

DUDICK RESIDENCE



ARCHITECT

PENINSULA ARCHITECTS
1775 MAIN STREET, PENINSULA, OHIO
P: 330.657.2800

CONTACT:

STRUCTURAL

CIVIL

BUILDER

MEP

INTERIORS

ABBREVIATIONS		
ABV	ABOVE	HC HOLLOW CORE
AC	AIR CONDITIONING	HDWR. HARDWARE
AFF	ABOVE FINISHED FLOOR	HM HOLLOW METAL
ALT	ALTERNATE	HVAC HEATING, VENTILATION, AND AIR COND.
AJH	AUTHORITY HAVING JURISDICTION	HT HEIGHT
ALUM	ALUMINUM	INSUL INSULATION
APPROX.	APPROXIMATELY	JST JOIST
ARCH	ARCHITECTURAL	
ASPH	ASPHALT	
BD	BOARD	LAM LAMINATED
BLDG	BUILDING	LF LINEAR FOOT
BRG	BEARING	MAS MASONRY
BOTT	BOTTOM	MATL MATERIAL
BTW	BETWEEN	MECH MECHANICAL
CF	CUBIC FEET	MAX. MAXIMUM
CIP	CAST IN PLACE	MFG. MANUFACTURER
CJ	CONTROL JOINT	MIN. MINIMUM
CLG	CEILING	MISC MISCELLANEOUS
CLR	CLEAR	MO MOUNTED
CMU	CONCRETE MASONRY UNIT	MTD METAL
CONC	CONCRETE	MTL NOMINAL
CO	CLEAN OUT	NTS NOT TO SCALE
CONT	CONTINUOUS	OV OVER
DBL	DOUBLE	O.C. ON CENTER
DEPT	DEPARTMENT	OPN OPENING
DIAM	DIAMETER	
DN	DOWN	PREFAB PREFABRICATED
DR	DOOR	PLYWD PLYWOOD
DS	DOWNSPOUT	P. LAM PLASTIC LAMINATE
DTL	DETAIL	PR PAIR
DWG	DRAWING	PSI POUNDS PER SQUARE INCH
EA	EACH	REF REFERENCE
ELEC	ELECTRICAL	RM ROOM
EQ	EQUAL	REQ REQUIRED
EXH	EXHAUST	REQ REQUIRED
EXIST	EXISTING	SC SOLID CORE
EXT	EXPOSED	SECT SECTION
EXP	EXTERIOR	SM SIMILAR
FD	FLOOR DRAIN	STRUC STRUCTURAL
FDN	FOUNDATION	
FIN	FINISHED	TYP TYPICAL
FLR	FLOOR	UNO UNLESS NOTED OTHERWISE
FT	FOOT	
FTG	FOOTING	W WITH
FUR	FURNING	WWF WELDED WIRE FABRIC
GALV	GALVANIZED	
GA	GUAGE	
GC	GENERAL CONTRACTOR	
GYP	GYPSUM BOARD	
GYP	GYPSUM	

SYMBOLS	
	DETAIL
	EXTERIOR ELEVATION
	BUILDING SECTION
	INTERIOR ELEVATION
	WALL SECTION
	CENTERLINE AND GRID
	WALL TYPE
	DOOR TAG
	WINDOW TAG
	CODED NOTE
	SPOT ELEVATION

MATERIALS LEGEND			
	DIMENSIONAL LUMBER		GRAVEL
	PLYWOOD		CONCRETE
	FINISH WOOD		CONCRETE BLOCK
	GYPSUM BOARD		STEEL
	BRICK		RIGID INSULATION
	EARTH		SPRAY FOAM INSULATION
	STONE VENEER		MINERAL WOOL INSULATION
	BLOCKING		METAL DECK

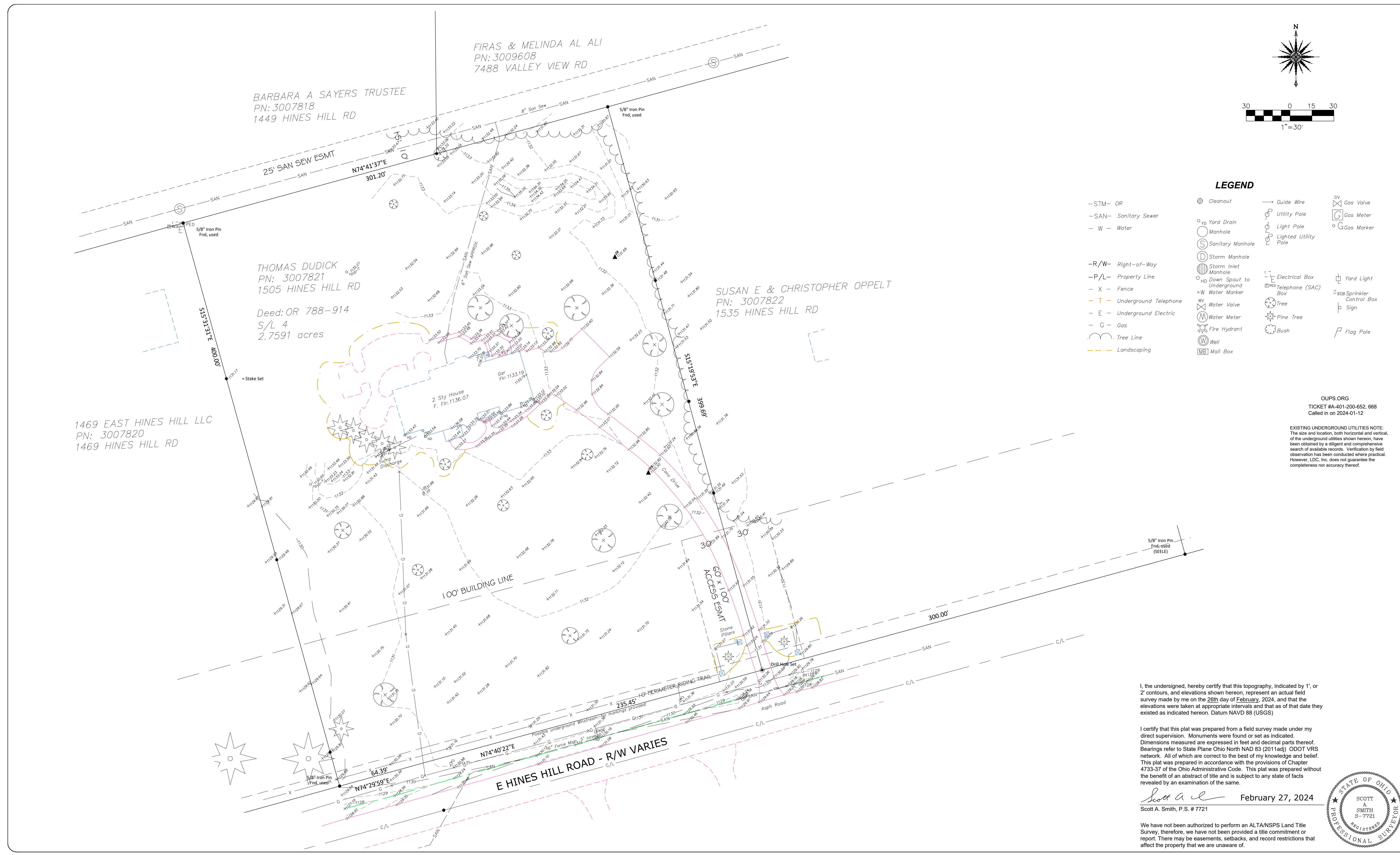
PROJECT GENERAL NOTES	
CONTRACTOR SHALL PROVIDE ALL MATERIALS AND WORKMANSHIP FOR ALL CONSTRUCTION REQUIRED HEREIN AND SHALL BE IN ACCORDANCE WITH THE:	BUILDING CODE RESIDENTIAL CODE MECHANICAL CODE ENERGY CONSERVATION CODE WILDLAND-URBAN INTERFACE NFPA 70 - NATIONAL ELECTRICAL CODE UNIFORM PLUMBING CODE
THE CONTRACTOR WILL FURNISH ALL LABOR, MATERIAL, EQUIPMENT, PERMITS, TAXES, AND INSURANCE NECESSARY TO COMPLETE THE WORK INDICATED AND/OR IMPLIED IN THE CONSTRUCTION DOCUMENTS UNLESS NOTED OTHERWISE AND WILL COORDINATE THE WORK RESPONSIBILITIES OF ALL SUBCONTRACTORS. ALL LABOR AND MATERIALS TO CARRY OUT FULLY THE INTENTIONS OF THE PLANS AND SPECIFICATIONS ARE PART OF THE CONTRACT, WHETHER OR NOT SPECIFICALLY DOCUMENTED.	
ALL WORK WILL CONFORM TO THE CURRENT OHIO BUILDING, MECHANICAL & PLUMBING CODES, AS WELL AS THE CURRENT NATIONAL BOARD OF FIRE UNDERWRITERS AND ALL OTHER APPLICABLE CITY CODES, LOCAL LAWS, AND AUTHORITIES HAVING JURISDICTION. CODE STANDARDS AND PUBLICATIONS OF PRIVATE AND PUBLIC BODIES MENTIONED WITHIN THE SPECIFICATIONS OR ON THE DRAWINGS, WILL BE CONSIDERED TO BE THOSE IN FORCE AT THE TIME OF THE CONTRACT AWARD.	
THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONTROLLED INSPECTIONS AND ANY TECHNICAL TESTING REQUIRED FOR CONTROLLED INSPECTIONS AS STIPULATED BY ALL APPLICABLE CODES.	
ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT WILL BE NEW AND FREE OF DEFECTS AND WILL BE SUPPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED, AND CONDITIONED AS DIRECTED BY THE RESPECTIVE MANUFACTURERS, UNLESS SPECIFIED OTHERWISE.	
THE CONTRACTOR WILL NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS, CONFLICTS, OR AMBIGUITIES IN AND BETWEEN THE DRAWINGS AND THE SPECIFICATIONS PRIOR TO PROCEEDING WITH THE WORK. IF SUCH NOTICE IS NOT FURNISHED TO THE ARCHITECT, THE CONTRACTOR WILL BE DEEMED TO HAVE INSPECTED THE DRAWINGS AND SPECIFICATIONS AND TO HAVE FOUND THEM IN PROPER FORM FOR EXECUTION.	
THE CONTRACTOR REPRESENTS THAT HE HAS HAD ADEQUATE ACCESS TO THE JOB SITE AND BUILDING AREA IN WHICH THE WORK IS TO BE PERFORMED, THAT HE HAS SATISFIED HIMSELF AS TO THE NATURE AND LOCATION OF WORK, INCLUDING ANY OBSTRUCTIONS, SCOPE OF WORK, ACTUAL LEVELS, THE EQUIPMENT AND FACILITIES NEEDED PRIOR TO AND DURING THE EXECUTION OF THE WORK AND ALL OTHER MATTERS, WHICH CAN IN ANY WAY AFFECT THE WORK OR THE COST THEREOF UNDER THIS CONTRACT, AND THAT HE HAS STUDIED THE CONTRACT DOCUMENTS AND ALL OTHER DOCUMENTS PERTAINING TO THE INSTALLATION OF OTHER TRADES WHICH MAY INFLUENCE HIS WORK.	
THE CONTRACTOR WILL ASSUME FULL RESPONSIBILITY, INCLUDING RESPONSIBILITY FOR ALL RELATED COSTS FOR ANY AND ALL WORK DONE WITHOUT THE APPROVAL OF THE ARCHITECT IF SUCH WORK IS IN CONFLICT WITH THE CONTRACT DRAWINGS, OR SPECIFICATIONS.	
THE CONTRACTOR WILL BE RESPONSIBLE FOR THE SAFE WORKING CONDITIONS AT THE SITE. THE ARCHITECT AND OWNER WILL NOT BE DEEMED TO HAVE ANY RESPONSIBILITY OR LIABILITY IN CONNECTION HERewith.	
CONSTRUCTION OPERATIONS WILL NOT INVOLVE INTERRUPTION OF HEATING, WATER, ELECTRICAL, OR OTHER SERVICES TO ANY PORTION OF THE BUILDING OUTSIDE THE LIMITS OF THE CONSTRUCTION SITE.	
THE CONTRACTOR WILL BE RESPONSIBLE FOR CORRECTING ANY DEFICIENCIES CAUSED BY DEFECTIVE OR ILL-TIMED WORK AT NO ADDITIONAL COST TO THE OWNER.	
NO SUBSTITUTIONS ARE PERMITTED EXCEPT WHERE THE TERM "APPROVED EQUAL" APPEARS. ALL SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE ARCHITECT. THE CONTRACTOR IS TO SUBMIT SAMPLES OR CATALOG CUTS OF ALL VISIBLE MATERIALS AND EQUIPMENT FOR THE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.	
CONTRACTOR TO MAINTAIN FULL SET OF PLANS AND INSTALLATION INSTRUCTIONS ON SITE.	
PERFORM VISUAL INSPECTION OF ENVELOPE AND INSULATION TO MEET 2009 IECC, 402.4.2 "AIR SEALING AND INSULATION"	

PROJECT INFORMATION	
TWO STORY SINGLE FAMILY RESIDENCE	
CITY: HUDSON	SUMMIT
COUNTY:	
SQUARE FOOTAGES	
UNFINISHED BASEMENT	---
FIRST FLOOR FINISHED	---
GARAGE	---
SCREEN PORCH	---
EXTERIOR COVERED AREAS	---
SECOND FLOOR FINISHED	---
TOTAL FINISHED SQUARE FOOTAGE	---

DRAWING INDEX	
* DENOTES SHEETS PRINTED IN COLOR	
*G1.00	COVER SHEET
C1.01	EXISTING SURVEY
C1.02	PROPOSED SITE PLAN
S1.01	FOUNDATION PLAN
A1.01	FIRST FLOOR PLAN
A1.02	ROOF PLAN AND WALL SECTION
A3.01	EXTERIOR ELEVATIONS

PROJECT # 2349	
ISSUE:	
SD MEETING	01-23-2024
SD MEETING	02-12-2024
SD MEETING	02-26-2024
FOR PRICING	02-23-2024
SITE/PLAN UPDATE	03-14-2024
HUDSON AHR	04-01-2024

**PROGRESS
NOT FOR
CONSTRUCTION**
4/1/2024



- LEGEND**
- STM- OR Sanitary Sewer
 - SAN- Sanitary Sewer
 - W- Water
 - R/W- Right-of-Way
 - P/L- Property Line
 - X- Fence
 - T- Underground Telephone
 - E- Underground Electric
 - G- Gas
 - Tree Line
 - Landscaping
 - Cleanout
 - Yard Drain
 - Manhole
 - Sanitary Manhole
 - Storm Manhole
 - Storm Inlet Manhole
 - HD Down Spout to Underground
 - Water Marker
 - Water Valve
 - Fire Hydrant
 - Well
 - Mail Box
 - Guide Wire
 - Utility Pole
 - Light Pole
 - Lighted Utility Pole
 - Electrical Box
 - Telephone (SAC) Box
 - Tree
 - Pine Tree
 - Bush
 - Gas Valve
 - Gas Meter
 - Gas Marker
 - Yard Light
 - Sprinkler Control Box
 - Sign
 - Flag Pole

OLIPS ORG
TICKET #A-401-200-652-668
Called in on 2024-01-12

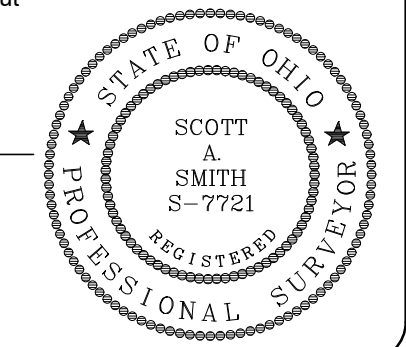
EXISTING UNDERGROUND UTILITIES NOTE:
The size and location, both horizontal and vertical, of the underground utilities shown herein, have been obtained by a diligent and comprehensive search of available records. Verification by field observation has been conducted where practical. However, LDC, Inc. does not guarantee the completeness or accuracy thereof.

I, the undersigned, hereby certify that this topography, indicated by 1' or 2' contours, and elevations shown hereon, represent an actual field survey made by me on the 26th day of February, 2024, and that the elevations were taken at appropriate intervals and that as of that date they existed as indicated hereon. Datum NAVD 88 (USGS)

I certify that this plat was prepared from a field survey made under my direct supervision. Monuments were found or set as indicated. Dimensions measured are expressed in feet and decimal parts thereof. Bearings refer to State Plane Ohio North NAD 83 (2011 Adj). ODOT VRS network. All of which are correct to the best of my knowledge and belief. This plat was prepared in accordance with the provisions of Chapter 4733-37 of the Ohio Administrative Code. This plat was prepared without the benefit of an abstract of title and is subject to any state of facts revealed by an examination of the same.

Scott A. Smith
February 27, 2024
Scott A. Smith, P.S. # 7721

We have not been authorized to perform an ALTA/NSPS Land Title Survey, therefore, we have not been provided a title commitment or report. There may be easements, setbacks, and record restrictions that affect the property that we are unaware of.



REV. No.	DATE	BY	CHKD

LAND DESIGN consultants
ENGINEERS • PLANNERS • SURVEYORS
9025 Osborne Drive Mentor, Ohio 44060
TEL: (440) 255-8463 (440) 951-LAND

THOMAS DUDICK
1505 E. HINES HILL ROAD
HUDSON - SUMMIT COUNTY - OHIO

DATE: 20240227
SCALE: HOR: 1"=30'
VERT:
FILENAME: SURVEY
COMPUTER: S:
TAB NAME: EXIST

BOUNDARY SURVEY
WITH PARTIAL TOPOGRAPHIC
SITUATED IN THE CITY OF HUDSON, COUNTY OF SUMMIT, AND STATE OF OHIO;
KNOWN AS BEING LOT 4 IN WATERFORD FARMS SUBD.
PLAT J-82.

SHEET 1 OF 1
CONTRACT No. PENIA1-24-01

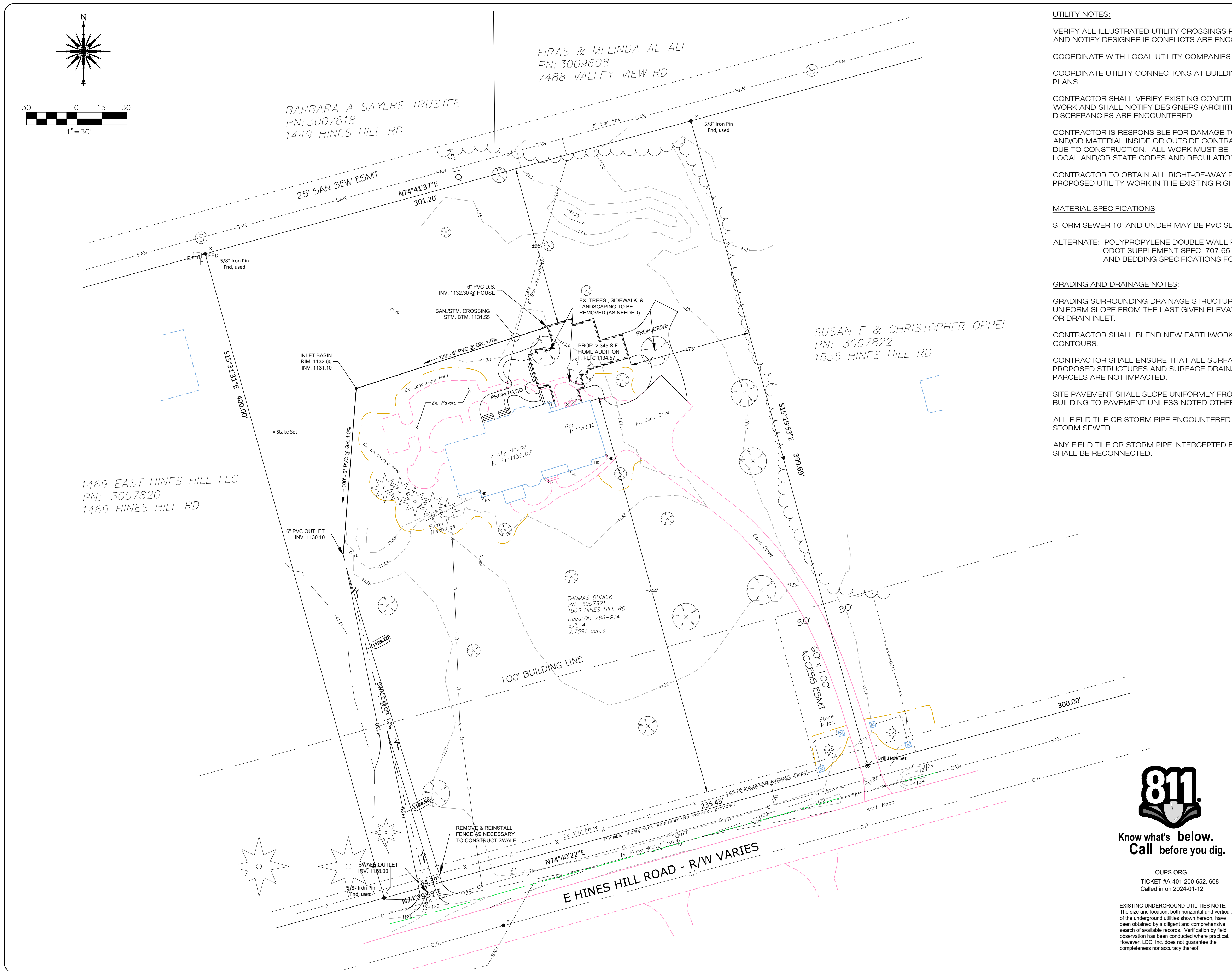
DUDICK RESIDENCE
1505 EAST HINES HILL ROAD, HUDSON, OHIO 44268

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EXISTING SURVEY

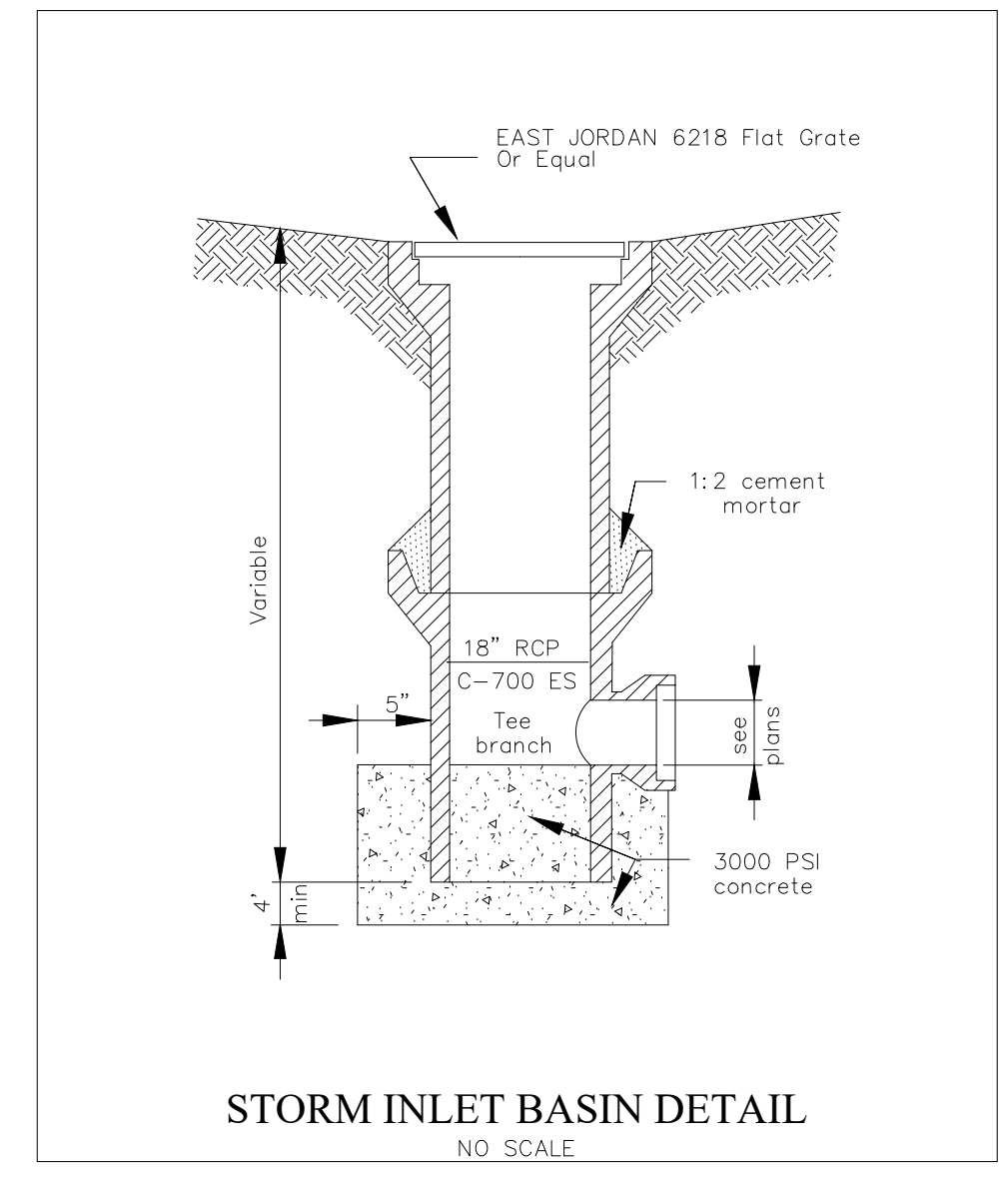
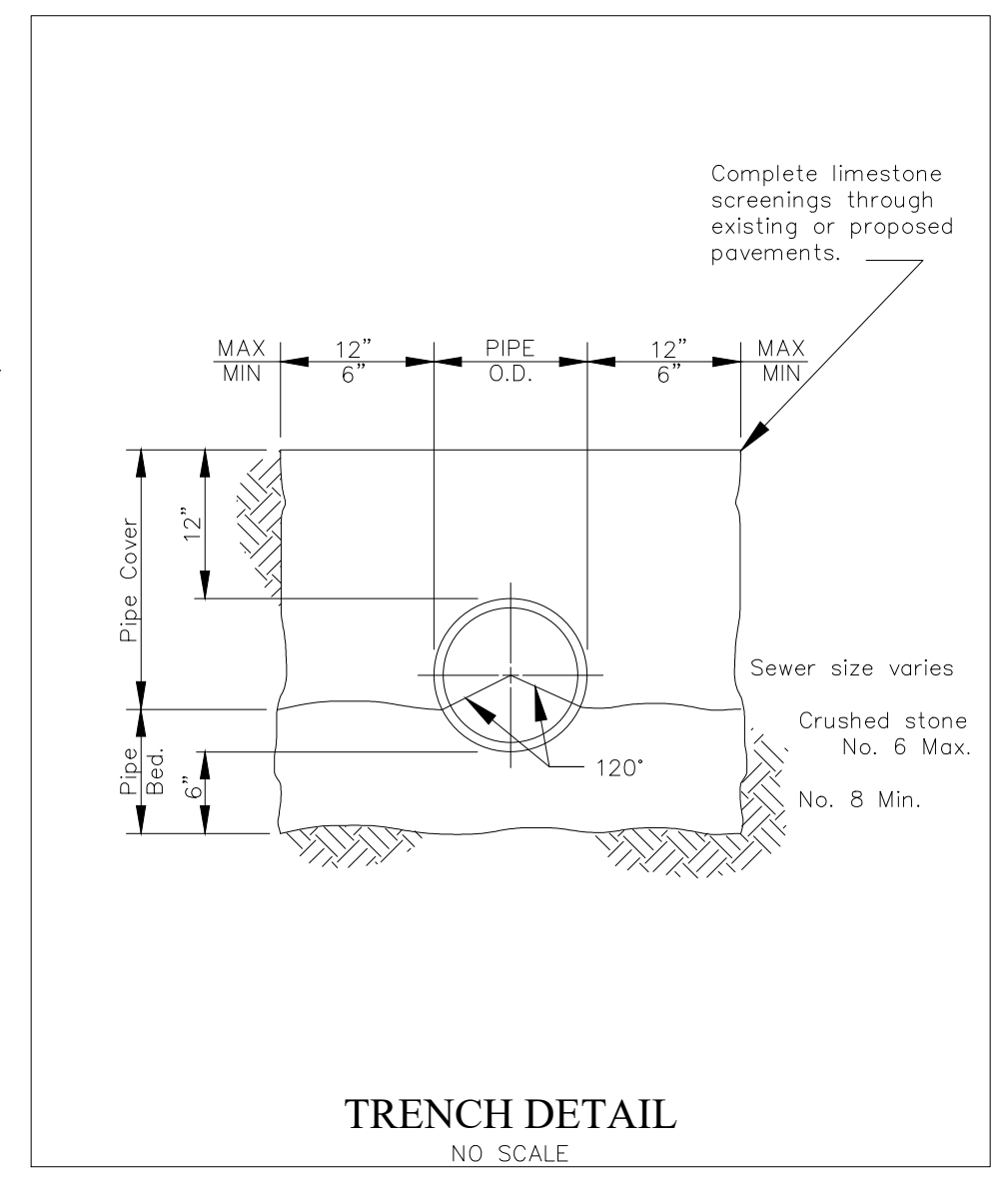
PROGRESS NOT FOR CONSTRUCTION
4/1/2024



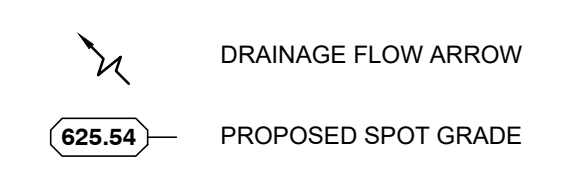
UTILITY NOTES:
VERIFY ALL ILLUSTRATED UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY DESIGNER IF CONFLICTS ARE ENCOUNTERED.
COORDINATE WITH LOCAL UTILITY COMPANIES AS REQUIRED.
COORDINATE UTILITY CONNECTIONS AT BUILDING WITH ARCHITECTURAL PLANS.
CONTRACTOR SHALL VERIFY EXISTING CONDITIONS REGARDING UTILITY WORK AND SHALL NOTIFY DESIGNERS (ARCHITECT AND CIVIL ENGINEER) IF DISCREPANCIES ARE ENCOUNTERED.
CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMIT/PROPERTY LINE DUE TO CONSTRUCTION. ALL WORK MUST BE IN ACCORDANCE WITH LOCAL AND/OR STATE CODES AND REGULATIONS.
CONTRACTOR TO OBTAIN ALL RIGHT-OF-WAY PERMITS PRIOR TO ANY PROPOSED UTILITY WORK IN THE EXISTING RIGHT-OF-WAY.

MATERIAL SPECIFICATIONS
STORM SEWER 10" AND UNDER MAY BE PVC SDR 26 OR CL. 52 D.I.P.
ALTERNATE: POLYPROPYLENE DOUBLE WALL PIPE INSTALLED PER QDOT SUPPLEMENT SPEC. 707.65 AND AS PER CITY TRENCH AND BEDDING SPECIFICATIONS FOR PLASTIC PIPE.

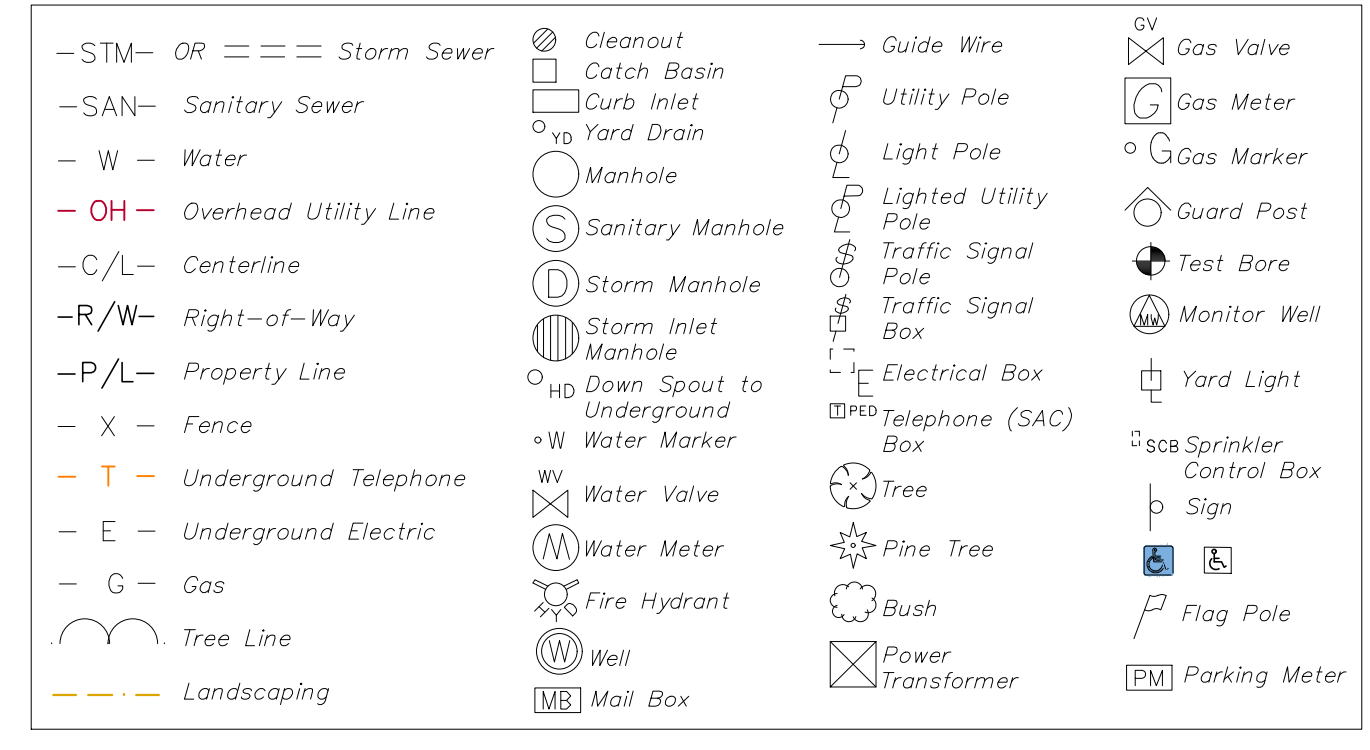
GRADING AND DRAINAGE NOTES:
GRADING SURROUNDING DRAINAGE STRUCTURES SHALL HAVE A UNIFORM SLOPE FROM THE LAST GIVEN ELEVATION TO THE CATCH BASIN OR DRAIN INLET.
CONTRACTOR SHALL BLEND NEW EARTHWORK WITH EXISTING CONTOURS.
CONTRACTOR SHALL ENSURE THAT ALL SURFACES POSITIVELY DRAIN TO PROPOSED STRUCTURES AND SURFACE DRAINAGE OF ADJACENT PARCELS ARE NOT IMPACTED.
SITE PAVEMENT SHALL SLOPE UNIFORMLY FROM LAST GIVEN GRADE AT BUILDING TO PAVEMENT UNLESS NOTED OTHERWISE.
ALL FIELD TILE OR STORM PIPE ENCOUNTERED SHALL BE TIED INTO STORM SEWER.
ANY FIELD TILE OR STORM PIPE INTERCEPTED BY OTHER EXCAVATIONS SHALL BE RECONNECTED.



GRADING LEGEND



LEGEND



811
Know what's below.
Call before you dig.
OUPS.ORG
TICKET #A-401-200-652, 688
Called in on 2024-01-12
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THOMAS DUDICK
1505 E. HINES HILL ROAD
HUDSON - SUMMIT COUNTY - OHIO

DATE: 3/25/2024
SCALE: HOR. 1"=30'
VERT. _____
FILENAME: SURVEY
COMPUTER: S:
TAB NAME: STORM

**PROPOSED DOWNSPOUT/
STORM SEWER PLAN**

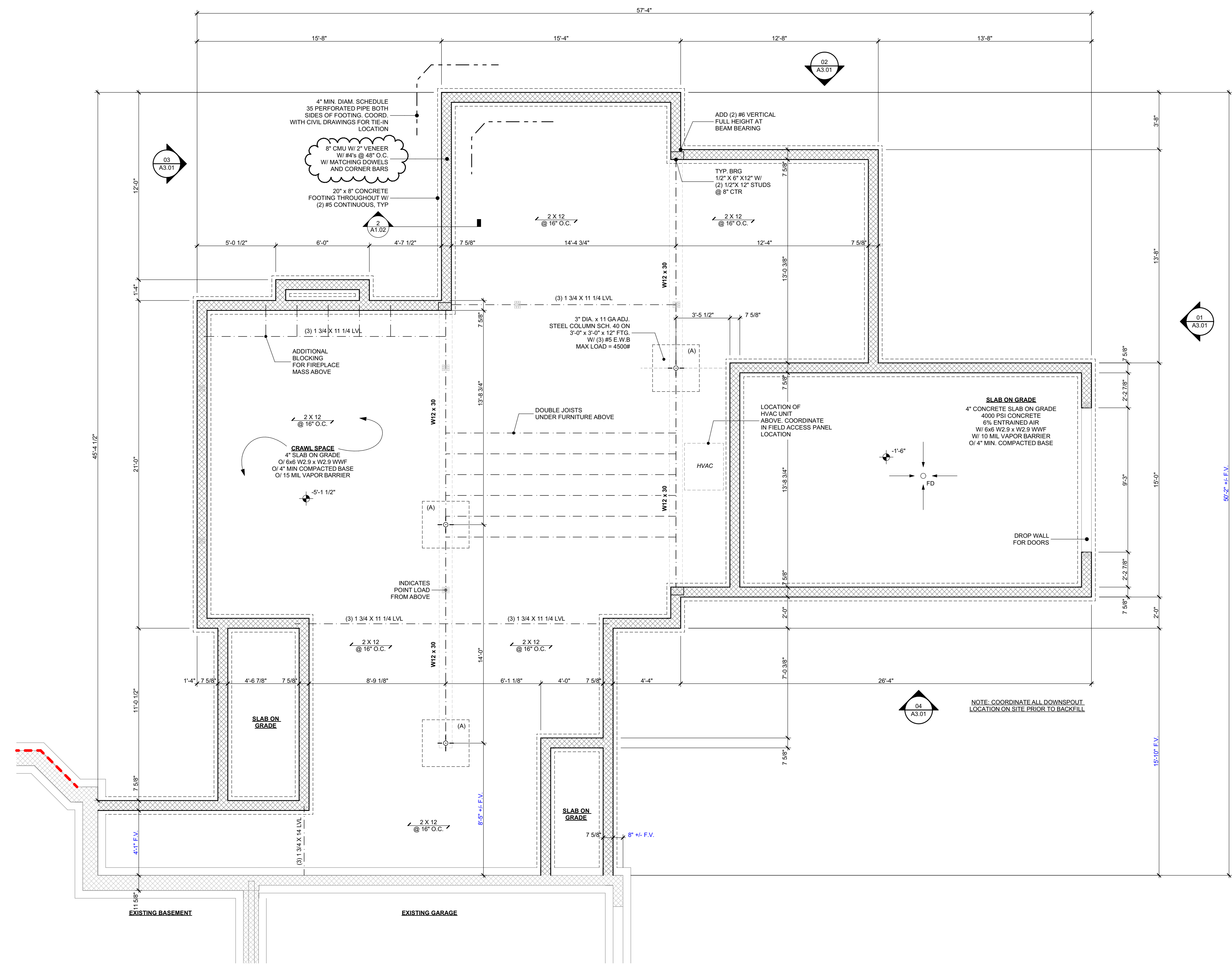
SHEET 1 OF 1
CONTRACT No. PENIA1-24_01

DUDICK RESIDENCE
1505 EAST HINES HILL ROAD, HUDSON, OHIO 44236

PROJECT # 2349

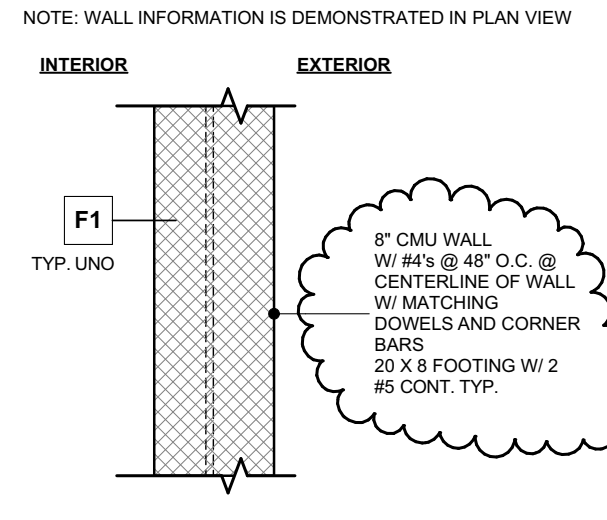
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PROPOSED SITE PLAN



1 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

FOUNDATION WALL TYPES



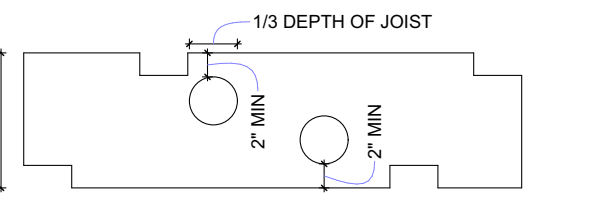
COLUMN & FOOTING GENERAL NOTES

COLUMN & FOOTING SCHEDULE

A 3" STD WEIGHT (7.8 PLF) STEEL COLUMN W/ 1" CAP AND BASE PLATE W/ 1/4" BOLTS AT EACH PLATE FOOTING TO BE 3'-0" x 2'-0" x 12" W/ (3) # 8 EACH WAY

SUBSTITUTION CHART:

LVL SIZE	WF STEEL SIZE
(2) 12" LVL	W12 x 16
(2) 14" LVL	W14 x 22
(2) 16" LVL	W16 x 26
(2) 17" LVL	W16 x 26
(2) 18" LVL	W18 x 26
(2) 18" LVL	W18 x 26
(2) 18" LVL W/ 1/2" PL	W18 x 26
(2) 18" LVL W/ 1/2" PL	W18 x 40



SECTION 502A
NOTCHES IN THE TOP OR BOTTOM OF JOISTS SHALL NOT EXCEED ONE-SIXTH THE DEPTH OF THE JOIST AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN WHERE JOISTS ARE NOTCHED ON THE ENDS FOR A LEDGER, THE NOTCH SHALL NOT EXCEED ONE-FOURTH THE JOIST'S DEPTH. CANTILEVERED JOISTS SHALL NOT BE NOTCHED UNLESS THE REDUCED SECTION PROPERTIES AND LUMBER DEFECTS ARE CONSIDERED IN THE DESIGN. HOLES DRILLED OR BORED IN JOISTS SHALL NOT BE WITHIN 3 INCHES OF THE TOP OR BOTTOM OR THE JOISTS AND THEIR DIAMETER SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE JOIST.

SECTION 502B
ANY STUD IN AN EXTERIOR BEARING PARTITION MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25% OF ITS WIDTH. STUDS IN NON-BEARING PARTITIONS MAY BE NOTCHED TO A DEPTH NOT TO EXCEED 40% OF A SINGLE STUD WIDTH. ANY STUD MAY BE BORED OR DRILLED, PROVIDED THAT THE DIAMETER OF THE RESULTING HOLES IS NO GREATER THAN 40% OF THE STUD WIDTH. THE EDGE OF THE HOLE IS NO CLOSER THAN 5/8 INCH TO THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH.

GENERAL NOTES

BLOCK WEBS SOLID AT BEARING WALL LOCATIONS ABOVE CONTRACTOR TO EXTEND ALL POSTS DOWN TO SOUND FOUNDATION. INSTALL FULL DEPTH SOLID BLOCKING AT ALL POINT LOAD LOCATIONS.

ALL FOOTINGS TO EXTEND DOWN TO FROST LEVEL MIN.

INDICATES LOCATION OF POINT LOAD ABOVE

INDICATES LOCATION OF BEARING WALL ABOVE

COORDINATE EXACT LOCATIONS OF FLOOR DRAIN WITH MECH CONTRACTOR

STEEL LINTEL SCHEDULE

PROVIDE STEEL LINTELS AS PER THE FOLLOWING SCHEDULE IN MASONRY WALL OPENINGS WHEN NOT SHOWN ON DRAWINGS. OR IN OPENINGS REQUIRED BY THE ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS.

L3 1/2 x 3 1/2 x 1/4 FOR OPENINGS UP TO 4'-0"

L5 x 3 1/2 x 5/16 FOR OPENINGS FROM 4'-1" TO 6'-0"

L6 x 3 1/2 x 5/16 FOR OPENINGS FROM 6'-1" TO 7'-0"

W8 x 18 WITH 5/16 PLATE FOR OPENINGS FROM 7'-1" TO 10'-0"

FOR OPENINGS GREATER THAN 10'-0" AND NOT SHOWN ON PLANS, ALLOW FOR MINIMUM BEAM WEIGHT OF 38-PLF PLUS A 5/16" x 11" BOTTOM PLATE

ALL LINTELS SHALL BEAR ON 8" OF SOLID MASONRY UNO.

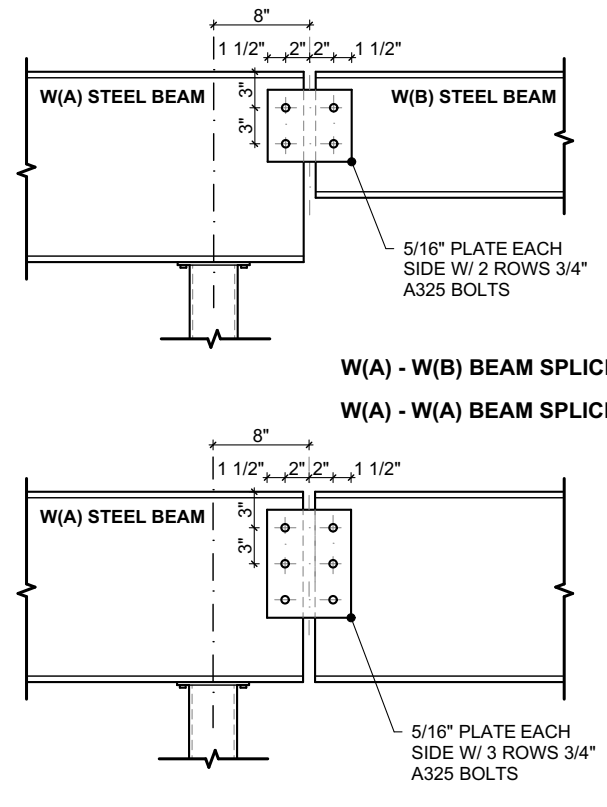
USE ONE ANGLE FOR EACH 4" WHYTE OF MASONRY. PLATES ARE TO BE 1" LESS THAN NOMINAL WALL THICKNESS.

MINIMUM THICKNESS OF LINTELS IN EXTERIOR WALLS TO BE 5/16"

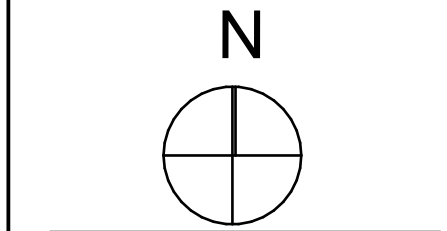
ANGLES OR PLATES IN EXTERIOR WIDTHS OF MASONRY WALLS TO BE HOT DIPPED GALVANIZED.

FOR MULTI-WYTHE WALLS WITH AIR SPACES, CONTRACTORS TO INCLUDE (B) ADDITIONAL ANGLES, PLATES, AND CHANNELS TO CLOSE OFF AIRSPACE AT LINTEL LOCATIONS. SEE DETAILS ON DRAWINGS. IF NO DETAILS ARE SHOWN, CONTACT ENGINEER FOR FURTHER INFORMATION AND DETAILS.

BEAM SPLICE DETAILS



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FLOOR PLAN GENERAL NOTES

- VERIFY DIMENSIONS AND CONDITIONS IN FIELD. WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON DRAWINGS CONFLICT WITH ACTUAL, CONTACT ARCHITECT FOR CLARIFICATION.
- PROVIDE SOUND DEADENING INSULATION AROUND BEDROOMS, BATHROOMS, MECHANICAL ROOMS, AND PLUMBING STACKS.
- BLOCK WEBS SOLID AT BEARING WALL LOCATIONS ABOVE.
- CONTRACTOR TO EXTEND ALL POSTS DOWN TO SOUND FOUNDATION. INSTALL FULL DEPTH SOLID BLOCKING AT ALL POINT LOAD LOCATIONS.
- ALL FOOTINGS TO EXTEND DOWN TO FROST LEVEL MIN.
- COORDINATE EXACT LOCATIONS OF FLOOR DRAIN WITH MECH CONTRACTOR.
- PROVIDE 5/8" GYP BOARD TYPE "X" ON GARAGE CEILINGS.
- ALL INTERIOR DOORS TO BE 1 7/8" SOLID CORE WOOD DOORS. COORDINATE WITH FINISH PLANS FOR FINAL FINISH SELECTIONS.
- ALL INTERIOR TRIM TO BE POPLAR OR APPROVED EQUAL. COORDINATE WITH INTERIOR ELEVATIONS AND MILLWORK DRAWINGS FOR SELECT TYPES AND PROFILES.
- ALL MILLWORK TO BE CUSTOM PER DRAWINGS.
- REFER TO CONSULTANT DRAWINGS IF APPLICABLE FOR COORDINATION OF WORK BETWEEN TRADES.

WOOD HEADERS (U.N.O.)

OPENING	HEADERS	NON-BEARING	BEARING
UP TO 4'-0"	2" X 8"	1 JACK, 1 KING	1 JACK, 1 KING
4'-0" - 6'-0"	2" X 10"	1 JACK, 1 KING	2 JACK, 1 KING
6'-0" - 8'-0"	2" X 12"	1 JACK, 1 KING	2 JACK, 1 KING
8'-0" - 10'-0"	2" X 14 LVL	2 JACK, 1 KING	3 JACK, 1 KING

- INDICATES WEB STIFFENING BELOW BEARING WALL ABOVE
- INDICATES AREA OF ADDITIONAL FRAMING REQUIRED
- INDICATES POINT LOAD FROM ABOVE
- INDICATES LOCATION OF BEARING WALL ABOVE
- INDICATES BEARING WALL

DOOR SCHEDULE INTERIOR

NO.	DOOR LEAF				REMARKS
	WIDTH	HEIGHT	MAT	TYPE	
101A	1	2	SC WOOD	B	7, 8
101B	1	2	SC WOOD	B	7, 8
102A	1	2	SC WOOD	C	3
103A	1	2	SC WOOD	A	
104A	1	2	SC WOOD	A	
105A	1	2	INSUL. MTL.	D	1, 2
107A	1	2	SC WOOD	C	3
110B	1	2	SC WOOD	A	
3070	1	2	SC WOOD	---	
3080	1	2	SC WOOD	---	

DOOR GENERAL NOTES

- HARDWARE AND ACCESSORIES TO BE COORDINATED WITH THE FINISH PLANS. SUBMIT SAMPLE FOR APPROVAL.
- ALL EXTERIOR HARDWARE, LOCKSETS, AND SCREENS TO BE COORDINATED WITH SELECT MFG. PRIOR TO ORDERING.
- ALL INTERIOR DOORS TO BE 1 7/8" SOLID WOOD CORE. REFER TO FINISH PLAN FOR FINISH MATERIAL.
- REFER TO EXTERIOR ELEVATIONS FOR ALL EXTERIOR DOOR TYPES AND SCHEDULES.

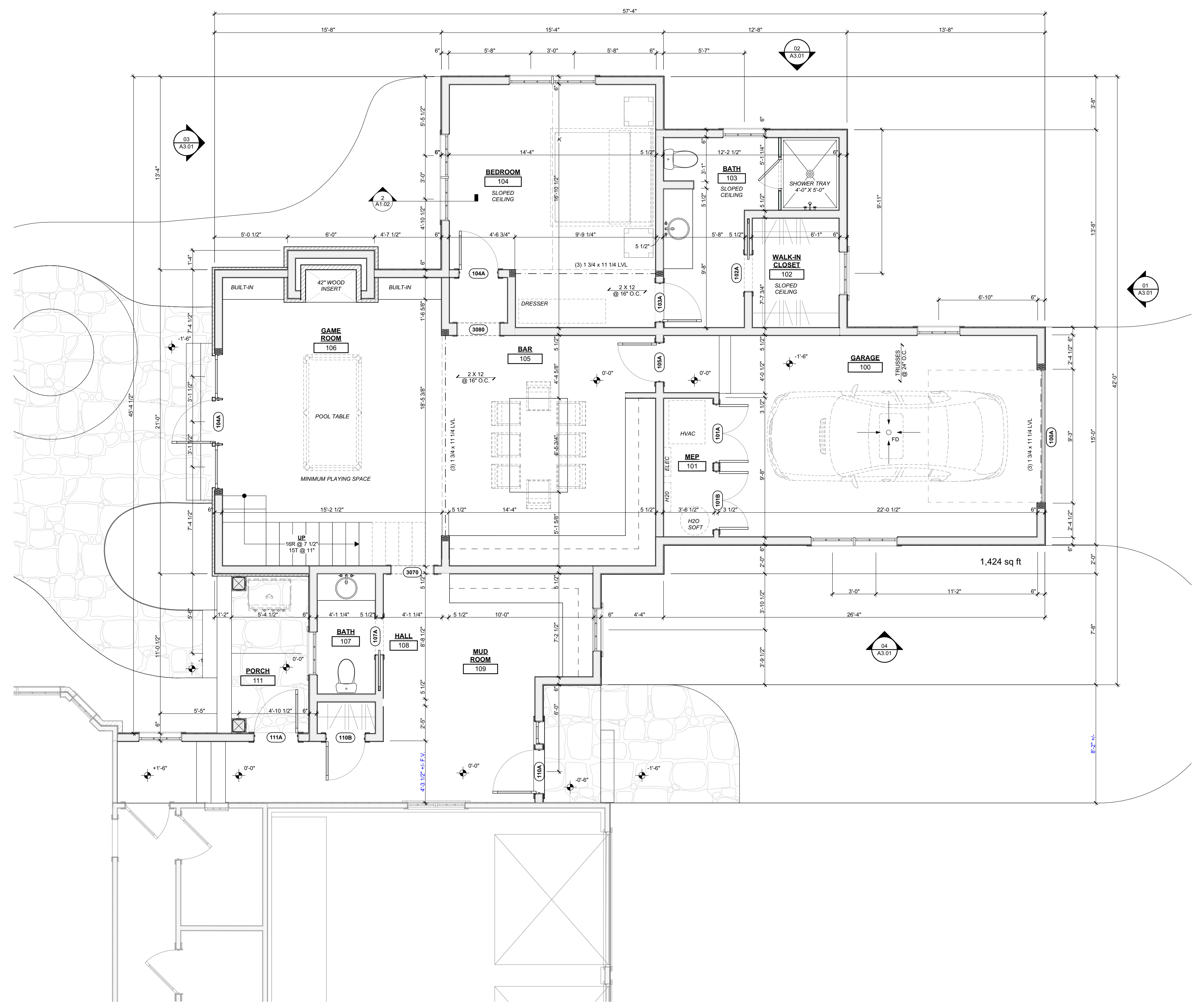
DOOR SCHEDULE REMARKS

- 20 MIN. RATED DOOR W/ SELF-CLOSING HARDWARE.
- THRESHOLD AND WEATHERSTRIPPING.
- POCKET DOOR HARDWARE SET. COORDINATE LOCKABLE PASSAGE SET W/ OWNER PRIOR TO ORDERING.
- HIDDEN DOOR BY MILLWORK SUPPLIER.
- ALL GLASS DOOR IN GLASS PARTITION.
- ARCHED TOP DOOR.
- LOUVER EACH DOOR PANEL PER MEP CONTRACTOR.
- PAIR OF DOORS.

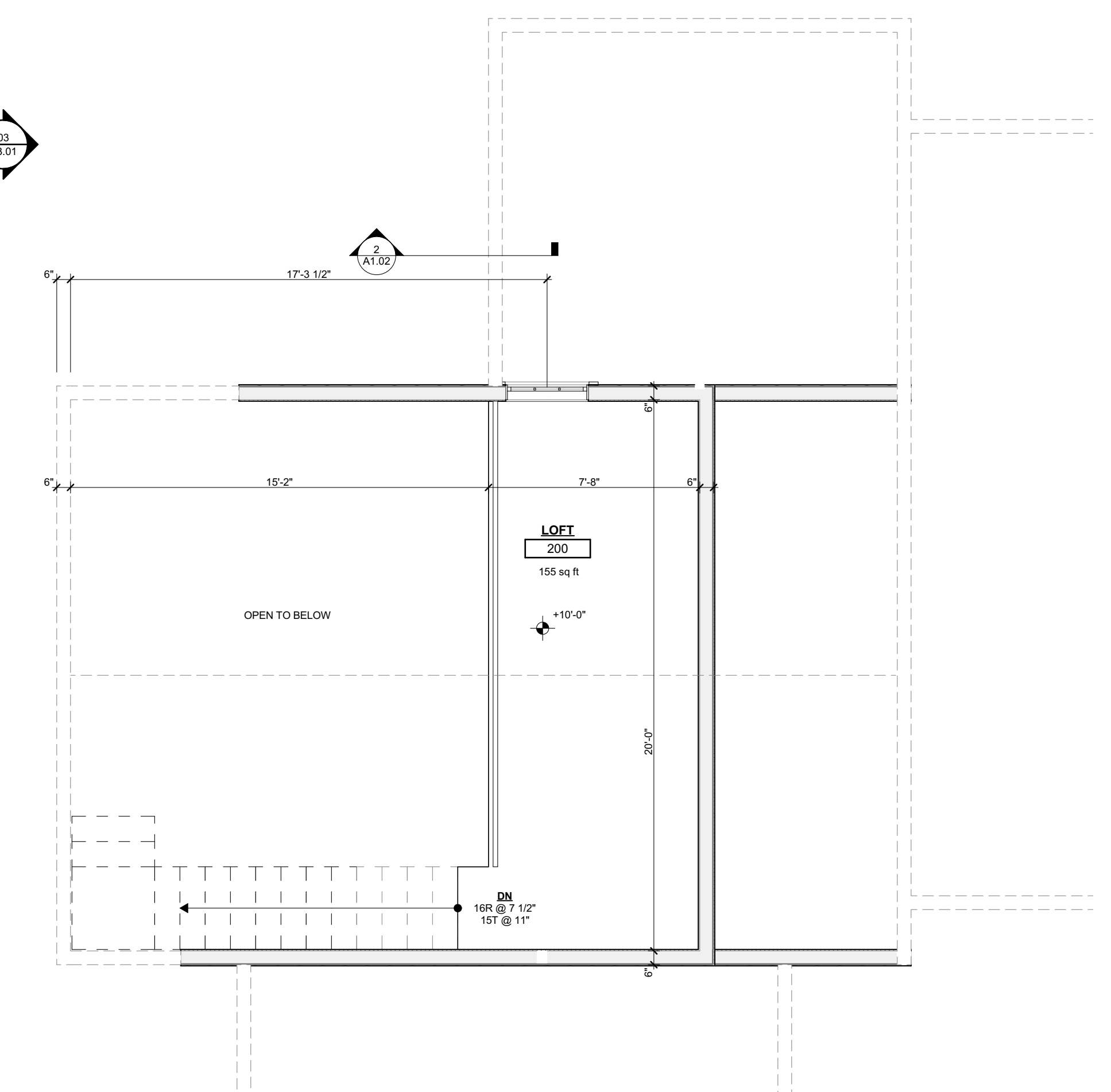
DOOR TYPES - INTERIOR



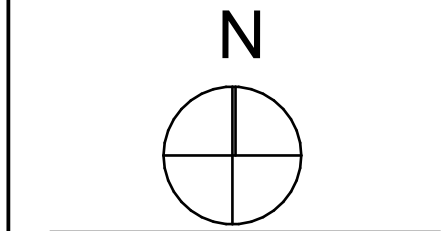
A / B (PAIR) (PANEL DOOR) C (POCKET DOOR)



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"




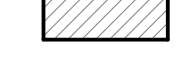

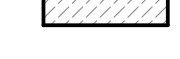

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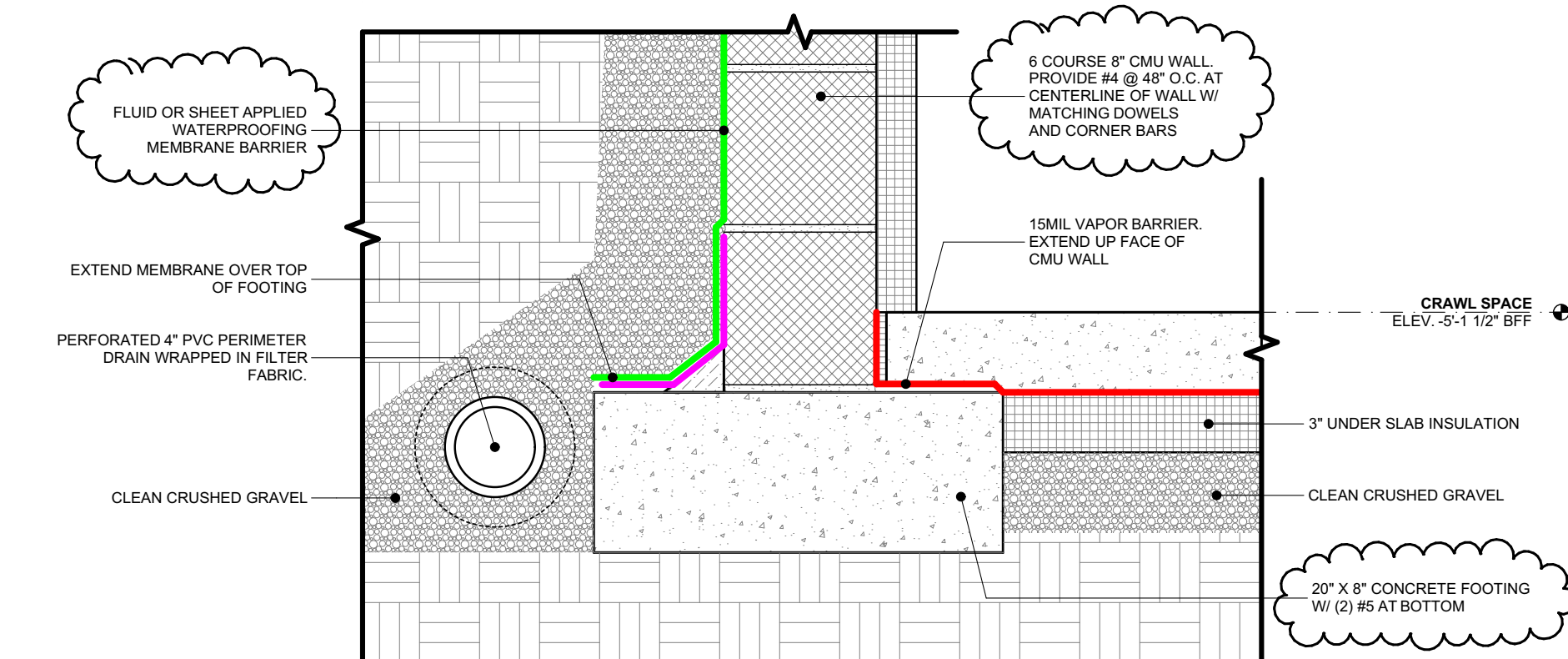
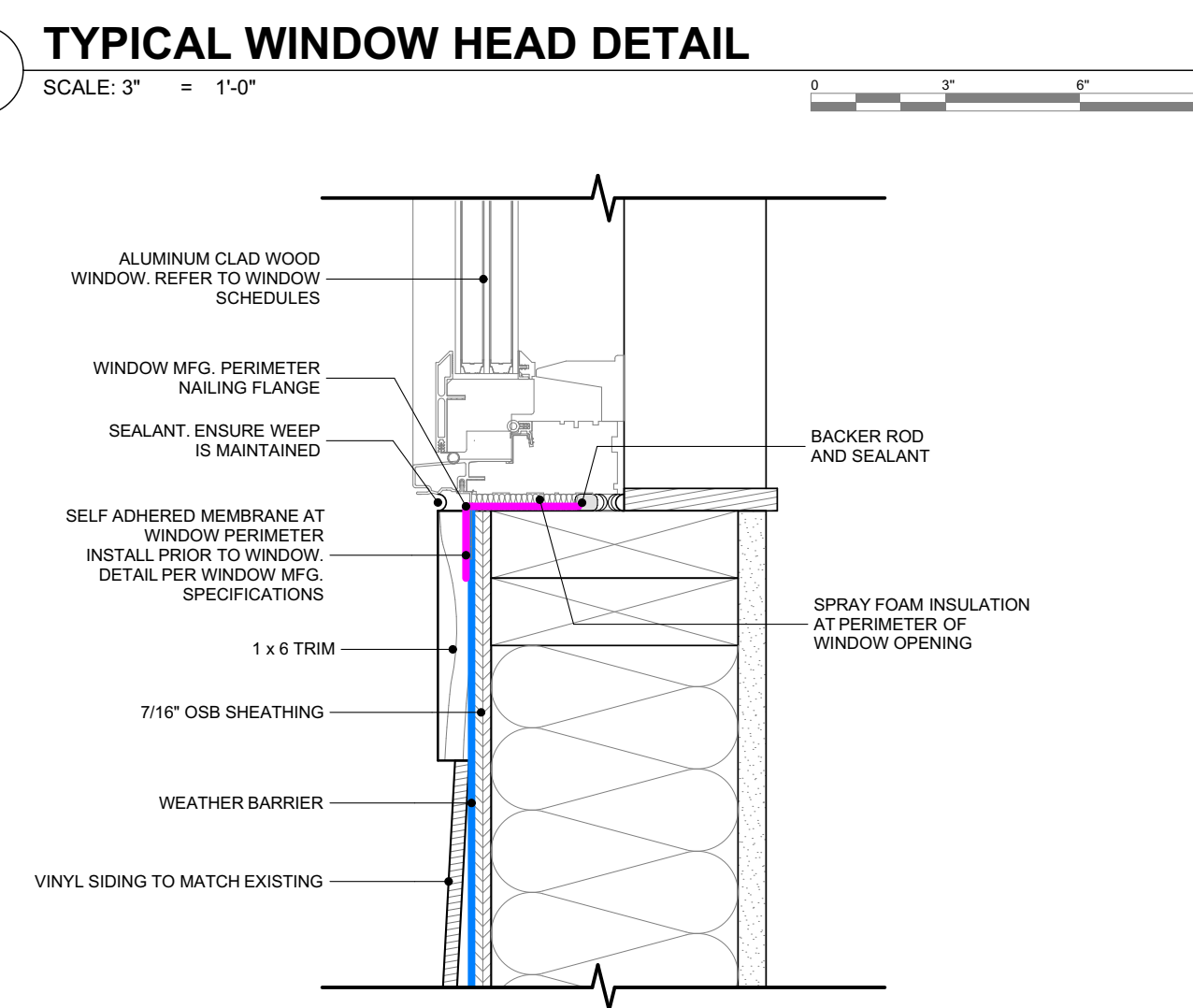
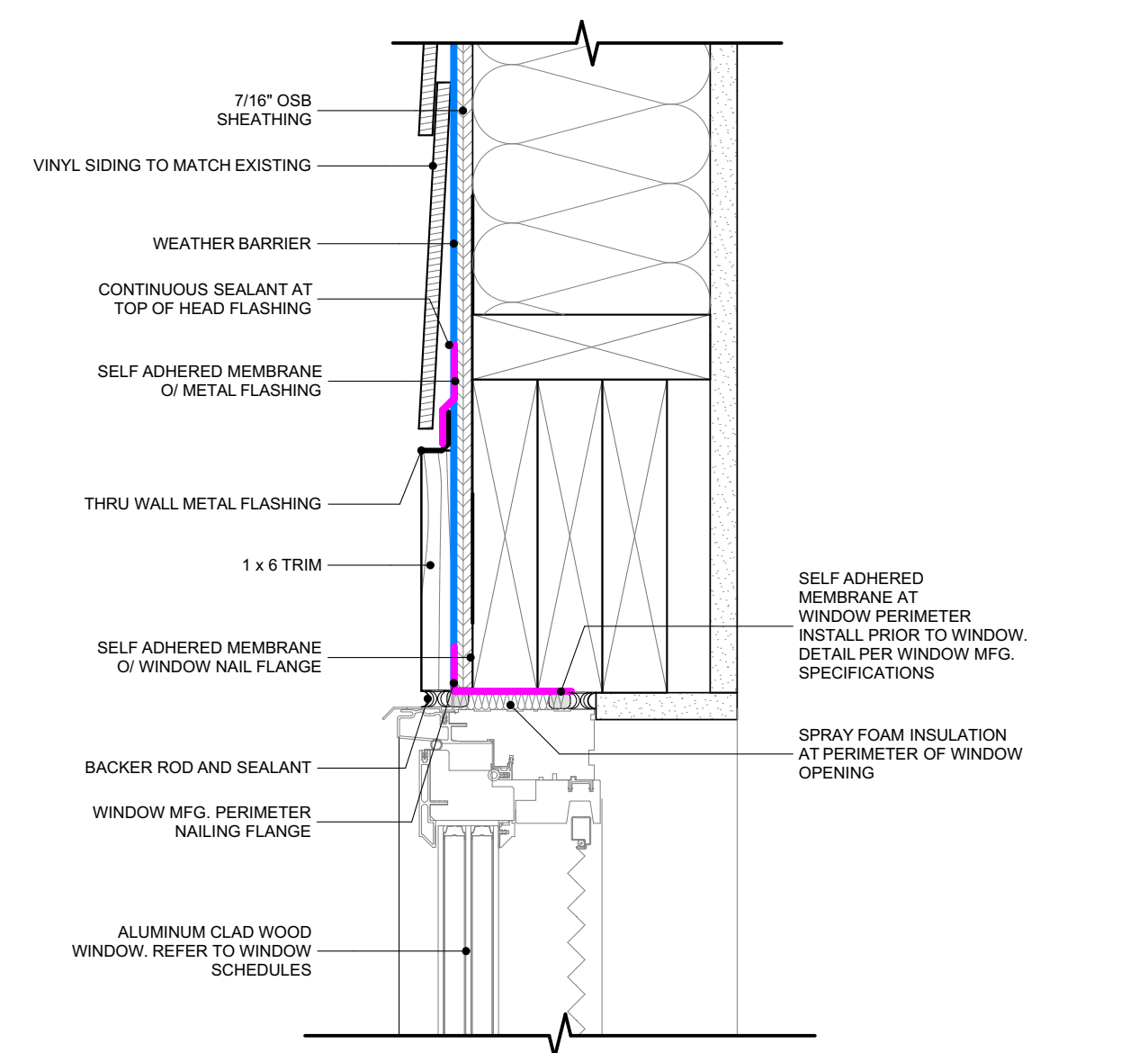
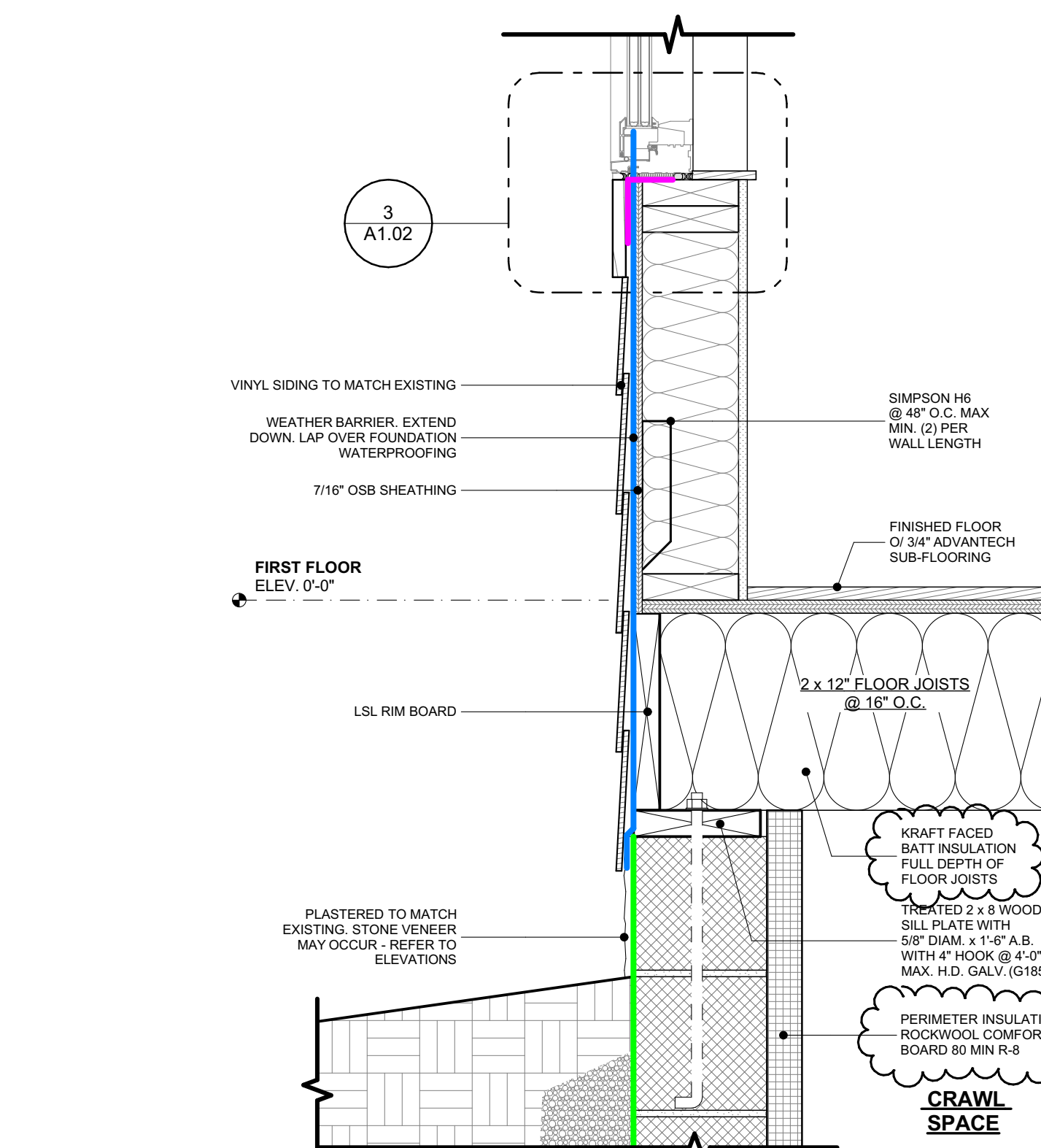
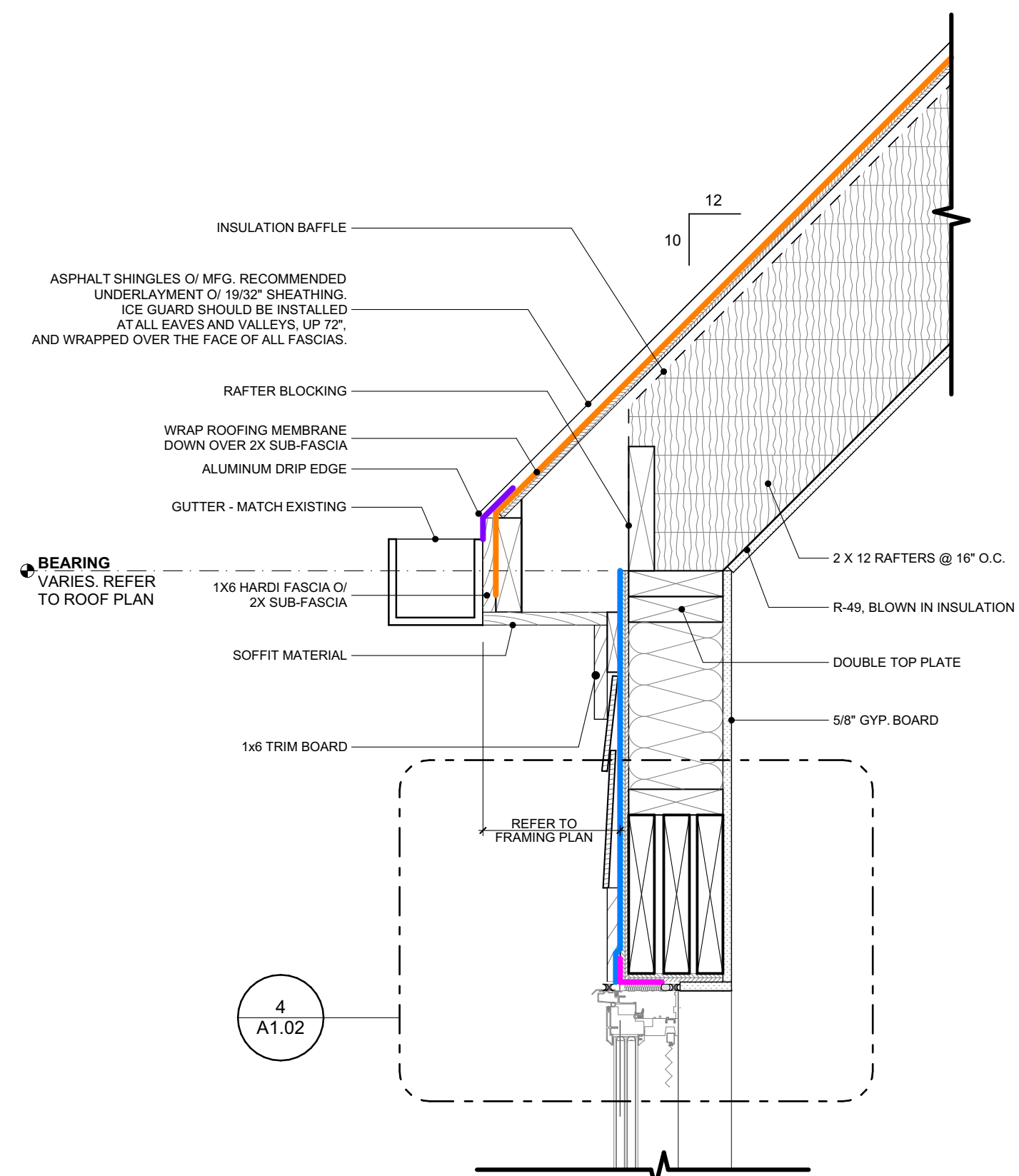
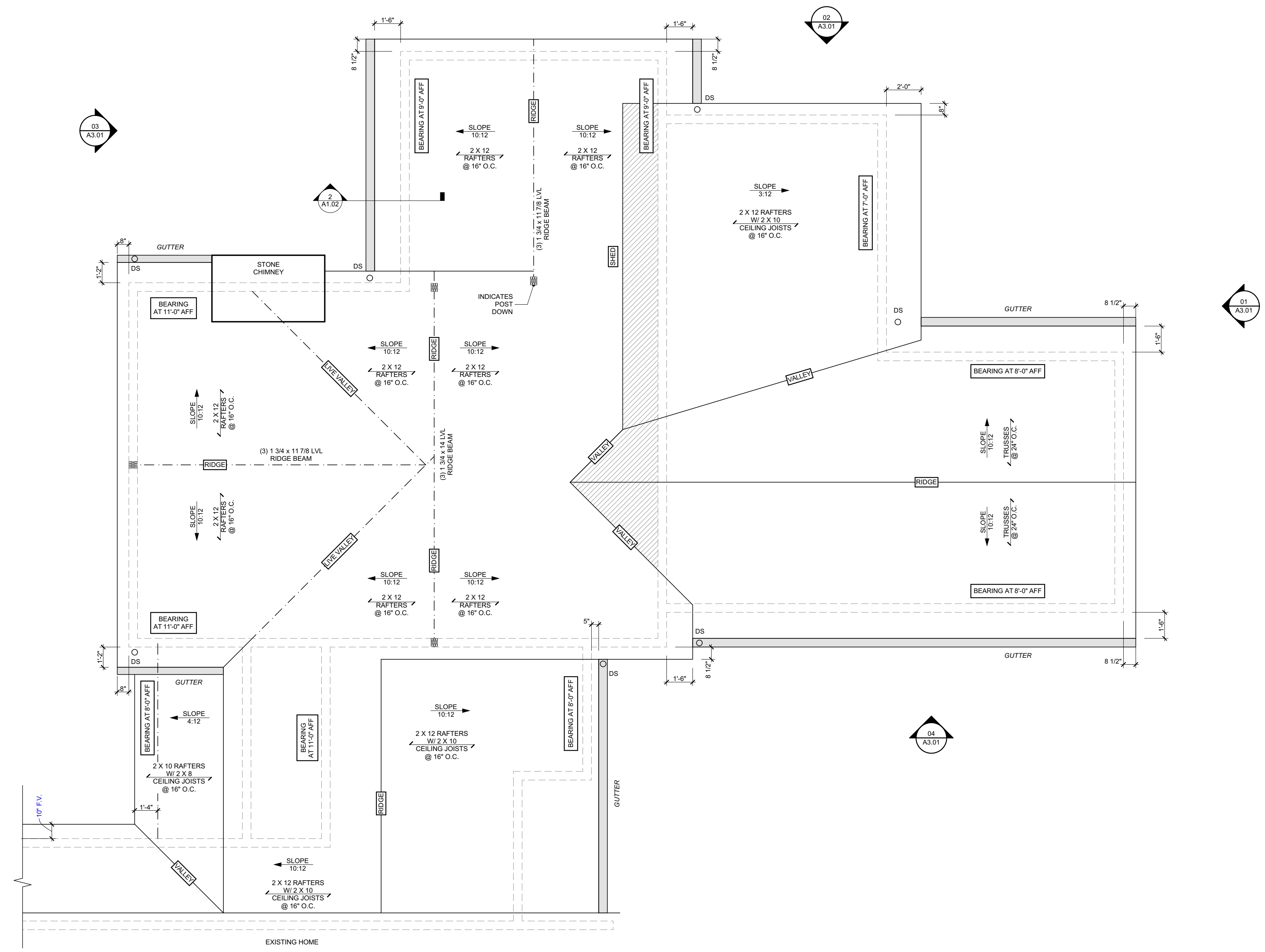
ISSUE:	DATE:
SD MEETING	01-23-2024
SD MEETING	02-12-2024
SD MEETING	02-20-2024
FOR PRICING	02-23-2024
SITE/ PLAN UPDATE	03-14-2024
HUDSON AHR	04-01-2024

ROOF PLAN GENERAL NOTES

OVERHANG DIMENSIONS ARE NOTED FROM THE EXTERIOR FACE OF BREATHING TO THE EXTERIOR FACE OF THE 1X FASCIA BOARD.
OVERFRAMING AND CRICKETS TO BE CONSTRUCTED OF A MINIMUM 2 X 8 FRAMING.
ALL ROOF PENETRATIONS TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION TO ENSURE AESTHETIC EXPECTATIONS ARE MAINTAINED.
FLASH AND TERMINATE ALL PROOF PENETRATIONS PER MANUFACTURERS RECOMMENDATIONS U.N.C.
IN THE EVENT THAT LIGHTNING PROTECTION SYSTEM IS TO BE PROVIDED, D.C. TO COORDINATE WITH E.C. FOR ALL SYSTEM COMPONENTS.
GUTTER PROFILES SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ORDERING.
PROVIDE A MINIMUM OF 36" ICE GUARD AT ALL LEAVES. WRAP OVER FASCIA AND UP VALLEY 8'

ROOF PLAN LEGEND

-  AREA OF ROOF OVERBUILD CRICKETS/SADDLE
-  AREA OF CURVED ROOF FRAMING
-  DOWNSPOUT AND GUTTER
-  VENT
-  SLOPE DIRECTION



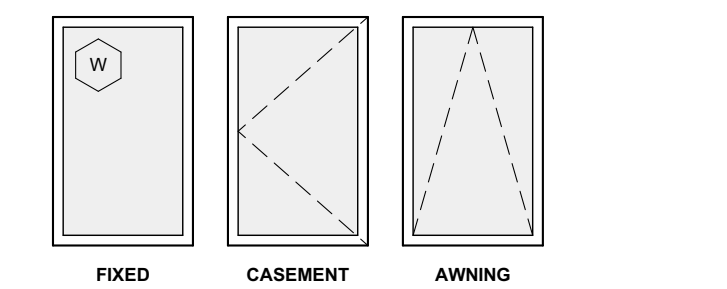
MATERIAL SCHEDULE

ALL MATERIAL ASSEMBLIES LISTED BELOW TO OCCUR OVER THE FOLLOWING UNLESS NOTED OTHERWISE:
 O WEATHER BARRIER
 D 1/2" EXTERIOR GRADE OSB SHEATHING
 O 2X6 STUDS W/ R-19 MIN. MINERAL WOOL INSULATION
STONE VENEER (S-1)
 2" STONE VENEER TO MATCH EXISTING
 O GROUT & METAL LATHE
 O KENED RANDGREEN
VINYL SIDING (S-1)
 VINYL SIDING TO MATCH EXISTING
 O TYPICAL STUCCO WRAP
ASPHALT SHINGLE ROOF (R-1)
 30 YEAR ARCHITECTURAL SHINGLE TO MATCH EXISTING
 O MANUFACTURER'S RECOMMENDED UNDERLAYMENT
 O 1/2" APPLIED EXTERIOR GRADE SHEATHING
 ICE GUARDS SHOULD BE INSTALLED AT ALL EAVES AND VALLEYS, UP 7", AND WRAPPED OVER THE FACE OF ALL FASCIAS.

EXTERIOR ELEVATION GENERAL NOTES

ROOF SOFFITS TO BE AC IN WOOD WITH A CONTINUOUS LINEAR VENT UNLESS NOTED OTHERWISE.
 ALL EXTERIOR TRIM TO BE AZEK OR BORAL, PAINTED, OR APPROVED EQUAL.
 ALL EXPOSED WOOD ELEMENTS AND TONGUE AND GROOVE CEILING IS TO BE DOUG FIR, STAINED AND SEALED. COORDINATE FINAL COLOR WITH ARCHITECT AND OWNER.
 ALL ROOF PENETRATIONS TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION TO ENSURE AESTHETIC EXPECTATIONS ARE MAINTAINED.
 GUTTERS AND DOWNSPOUTS ARE TO MATCH EXISTING.
 SAFETY GLAZING TO BE IN ACCORDANCE WITH THE 2019 RESIDENTIAL CODE OF OHIO (SECTION R308).
 BEDROOM EGRESS WINDOWS TO COMPLY WITH THE 2019 RESIDENTIAL CODE OF OHIO (SECTION R310).

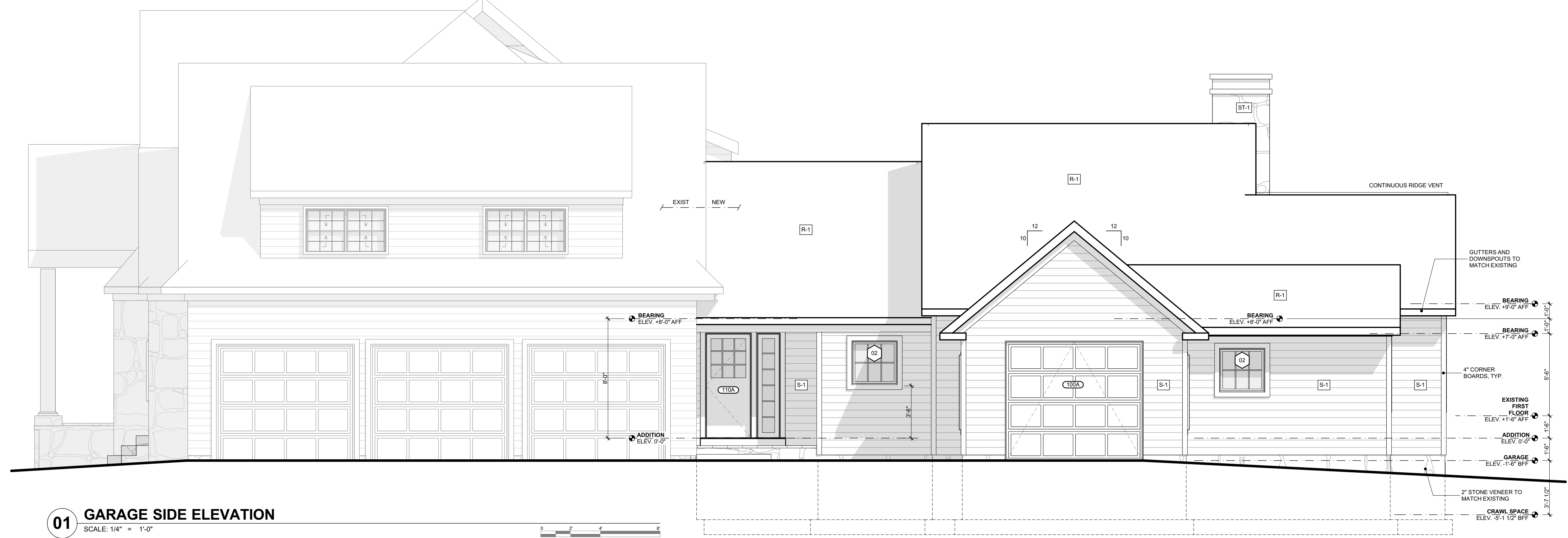
WINDOW LEGEND



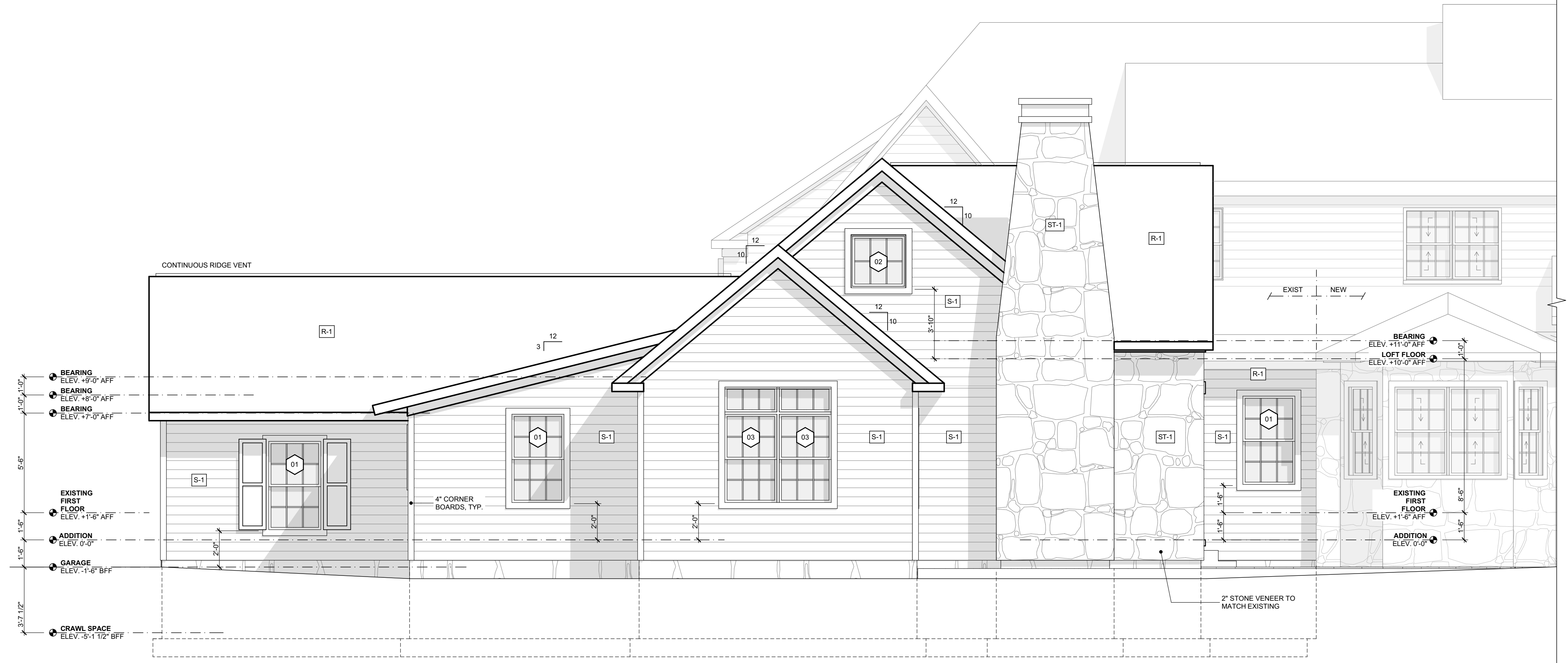
BASIS OF DESIGN:
 WINDOWS ARE TO BE ANDERSON "E" SERIES ALUMINUM CLAD WOOD OR APPROVED EQUAL.
 WINDOW HEAD GIVEN ABOVE FIRST AND SECOND FLOOR. CONFIRM WINDOW QUANTITIES WITH ELEVATIONS.
 ** WINDOW COUNT PROVIDED FOR GENERAL REFERENCE AND VERIFICATION ONLY. CONTRACTOR TO VERIFY TOTAL NUMBER OF WINDOWS WITH DOCUMENTS.

WINDOW SCHEDULE				
ID	QTY.	W X H	TYPE	REMARKS
01	7	1x2	DOUBLE HUNG	
02	5	1x1	AWNING	
03	2	1x2	DOUBLE HUNG	WITH 18" HIGH TRANS.

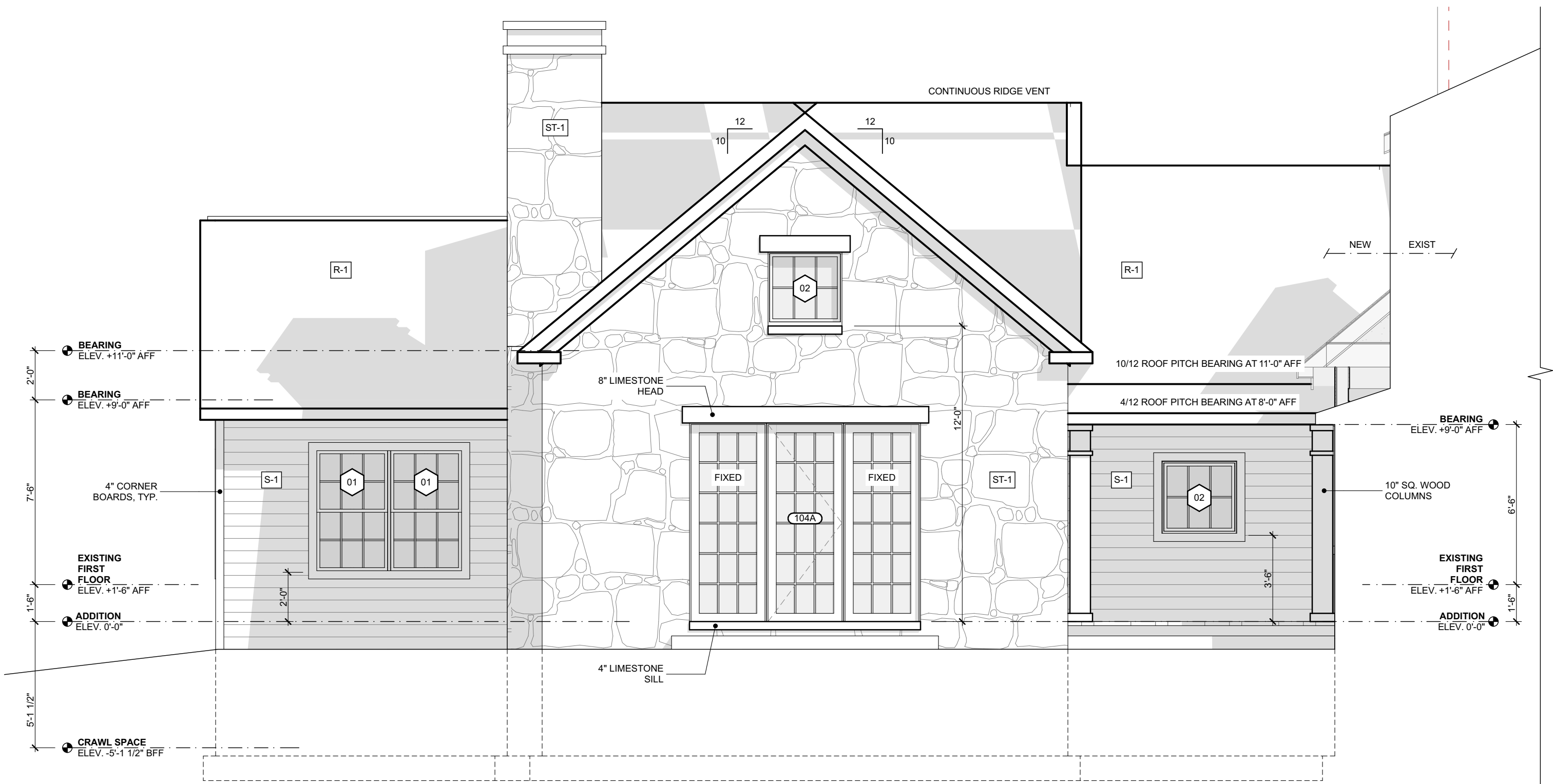
DOOR SCHEDULE - EXTERIOR					
DOOR LEAF					
NO.	WIDTH	HEIGHT	MAT	TYPE	REMARKS
100A	3	2	INSUL. MTL.	A	GARAGE DOOR
104A	1	2	ALUM / W/D	B	
104B	1	2	ALUM / W/D	B	FIXED
104C	1	2	ALUM / W/D	B	FIXED
110A	1	2	ALUM / W/D	C	
110C	0	2	ALUM / W/D	B	SIDE LIGHT
111A	1	2	ALUM / W/D	B	



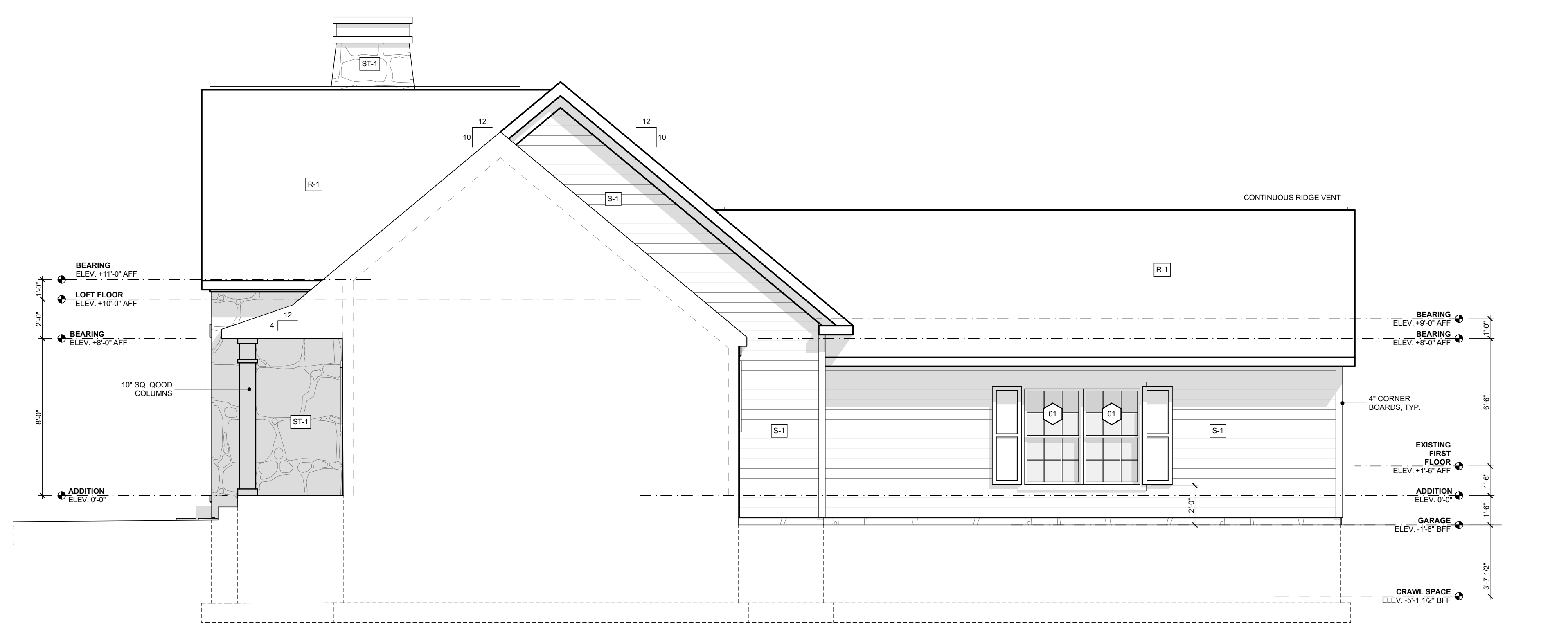
01 GARAGE SIDE ELEVATION
SCALE: 1/4" = 1'-0"



02 SIDE ELEVATION
SCALE: 1/4" = 1'-0"



03 REAR ELEVATION
SCALE: 1/4" = 1'-0"



04 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

DUDICK RESIDENCE
1505 EAST HINES HILL ROAD, HUDSON, OHIO 44236

PROJECT #: 2349
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EXTERIOR ELEVATIONS







