

### GENERAL NOTES

**CONTRACTORS:**  
EACH CONTRACTOR IS TO FAMILIARIZE THEMSELVES WITH CONDITIONS AT THE JOB SITE PRIOR TO THE START OF THEIR WORK. DO NOT SCALE DRAWINGS. USE PLAN DIMENSIONS. IF DISCREPANCIES WITH DRAWINGS ARE DISCOVERED AT ANY TIME BEFORE OR DURING CONSTRUCTION NOTIFY PROJECT DESIGNER OR CONTRACTOR IMMEDIATELY BEFORE PROCEEDING. MAINTAIN ONE (1) COMPLETE SET OF APPROVED CONSTRUCTION DRAWINGS ON THE JOB SITE AT ALL TIMES. ALL WORK TO BE PERFORMED IN A GOOD WORKMANLIKE MANNER, IN ACCORDANCE WITH APPLICABLE CURRENT NATIONAL, STATE AND LOCAL CODES, ORDINANCES AND AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT. CONTRACTORS ARE RESPONSIBLE FOR LOCAL CODE INTERPRETATIONS FOR THEIR TRADE. ALL PRODUCTS AND MATERIALS TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. COORDINATE ALL UTILITIES PRIOR TO CONSTRUCTION. DEVIATION FROM THE CONSTRUCTION DOCUMENTS MUST FIRST BE APPROVED BY CONTRACTOR, AND AUTHORIZED THROUGH WRITTEN CHANGE ORDER FORM SUBMITTED BY THE CONTRACTOR. EACH CONTRACTOR IS RESPONSIBLE FOR DAILY CLEAN UP AND REMOVAL OF DEBRIS FROM THE JOB SITE. ALL CONTRACTORS WILL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR THE PERIOD OF ONE (1) YEAR.  
IT IS UNDERSTOOD THAT THESE DRAWINGS ARE GENERIC WITH RESPECT TO CONSTRUCTION DETAILING, STRUCTURAL DETAILING AND FINISH DETAILING. THE OWNER AND CONTRACTOR ACCEPTS ALL RESULTING DETAILS AND AESTHETICS, SPECIFIED OR UNSPECIFIED, AND UNDER NO CIRCUMSTANCES SHALL THE DESIGNER BE HELD RESPONSIBLE.

**TRUSSES:**  
ALL TRUSSES ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER WITH DETAILED DRAWINGS DESCRIBING TRUSS LAYOUTS AND LOAD CALCULATIONS USED TO DESIGN THE TRUSSES. IT IS THE BUILDER AND/OR OWNER'S RESPONSIBILITY TO SUPPLY ANY/OR ALL OF THIS INFORMATION IF REQUESTED BY THE BUILDING DEPARTMENT TO ISSUE BUILDING PERMITS. IT IS ALSO THE RESPONSIBILITY OF THE TRUSS MANUFACTURER TO VERIFY, AND IF NECESSARY, ADJUST THE SIZE OF OR ADD ANY BEAM OR HEADER THAT IS DIRECTLY EFFECTED OR REQUIRED TO CARRY THE ROOF LOADS. IN THIS EVENT, THE TRUSS MANUFACTURER SHALL CONTACT LABOCKI DESIGN IN ORDER TO UPDATE THE DRAWINGS.

**SOIL BEARING:**  
FOUNDATIONS SHOWN ON THESE DRAWINGS ARE DESIGNED FOR AN ALLOWABLE SOIL BEARING PRESSURE OF 2,000 PSF. WALLS ARE DESIGNED FOR AN EQUIVALENT FLUID PRESSURE OF 55PCF. IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO DETERMINE THAT THE SOIL IS ADEQUATE TO SUPPORT THIS BUILDING ON THE FOUNDATION AND THE WALLS SHOWN AND ALSO, DETERMINING THAT THE TOTAL AND DIFFERENTIAL SETTLEMENTS OF THE FOUNDATIONS ARE WITH IN THE TOLERABLE LIMITS OF THIS STRUCTURE AND THAT 55PCF IS THE CORRECT WALL LOADINGS. THE BUILDER AND/OR OWNER IS ENCOURAGED TO OBTAIN THE SERVICES OF A SOILS ENGINEERING FIRM TO DETERMINE THE SUITABILITY OF THE FOUNDATIONS AND THE WALLS SHOWN ON THESE DRAWINGS TO SAFELY SUPPORT THE STRUCTURE WITH NO DETRIMENTAL EFFECT TO THE BUILDING.

**RADON:**  
IT IS THE RESPONSIBILITY OF THE BUILDER TO INFORM THE OWNER OR IF THE OWNER IS ACTING AS HIS OR HER OWN CONTRACTOR TO KNOW THAT ALL HOUSES HAVE A POTENTIAL TO HAVE RADON LEVELS WHICH MAY EXCEED THE RECOMMENDED LEVELS ESTABLISHED BY THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY. THE BUILDER AND/OR OWNER SHALL DECIDE WHAT ACTION, IF ANY, SHOULD BE TAKEN CONCERNING RADON. IT IS NOT THE RESPONSIBILITY OF FIDEI LLC TO DETERMINE IF A RADON ABATEMENT SYSTEM IS REQUIRED.

**ATTICS:**  
ALL ENCLOSED ATTICS AND RAFTER SPACES SHALL HAVE CROSS VENTILATION WITH THE NET FREE VENTILATION AREA NOT LESS THAN 1/300 OF THE AREA TO BE VENTILATED. ALL OPENINGS SHALL BE PROTECTED AGAINST THE ENTRANCE OF THE SNOW AND RAIN.

**MECHANICALS:**  
ALL PLUMBING, ELECTRICAL, HEATING AND COOLING SYSTEMS SHALL COMPLY WITH ALL ORDINANCES SET FORTH BY THE LOCAL GOVERNING BUILDINGS AND ZONING DEPARTMENTS. PLUMBING SHALL ALSO COMPLY WITH THE OHIO PLUMBING CODE. ELECTRICAL SHALL ALSO COMPLY WITH THE NATIONAL ELECTRIC CODE AND THE OHIO BASIC BUILDING CODE.

**FIRE STOPPING:**  
SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: CONCEALED SPACES OF STUD WALLS AND PARTITIONS A THE CEILING AND FLOOR, OR ROOF LEVELS. AT ALL INTERCONNECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCURS AT SOFFITS OVER CABINETS, DROP CEILING, ETC. ALSO AROUND VENTS, PIPES, AND CHIMNEYS AT CEILING AND FLOOR LEVELS WITH NON COMBUSTIBLE MATERIALS.

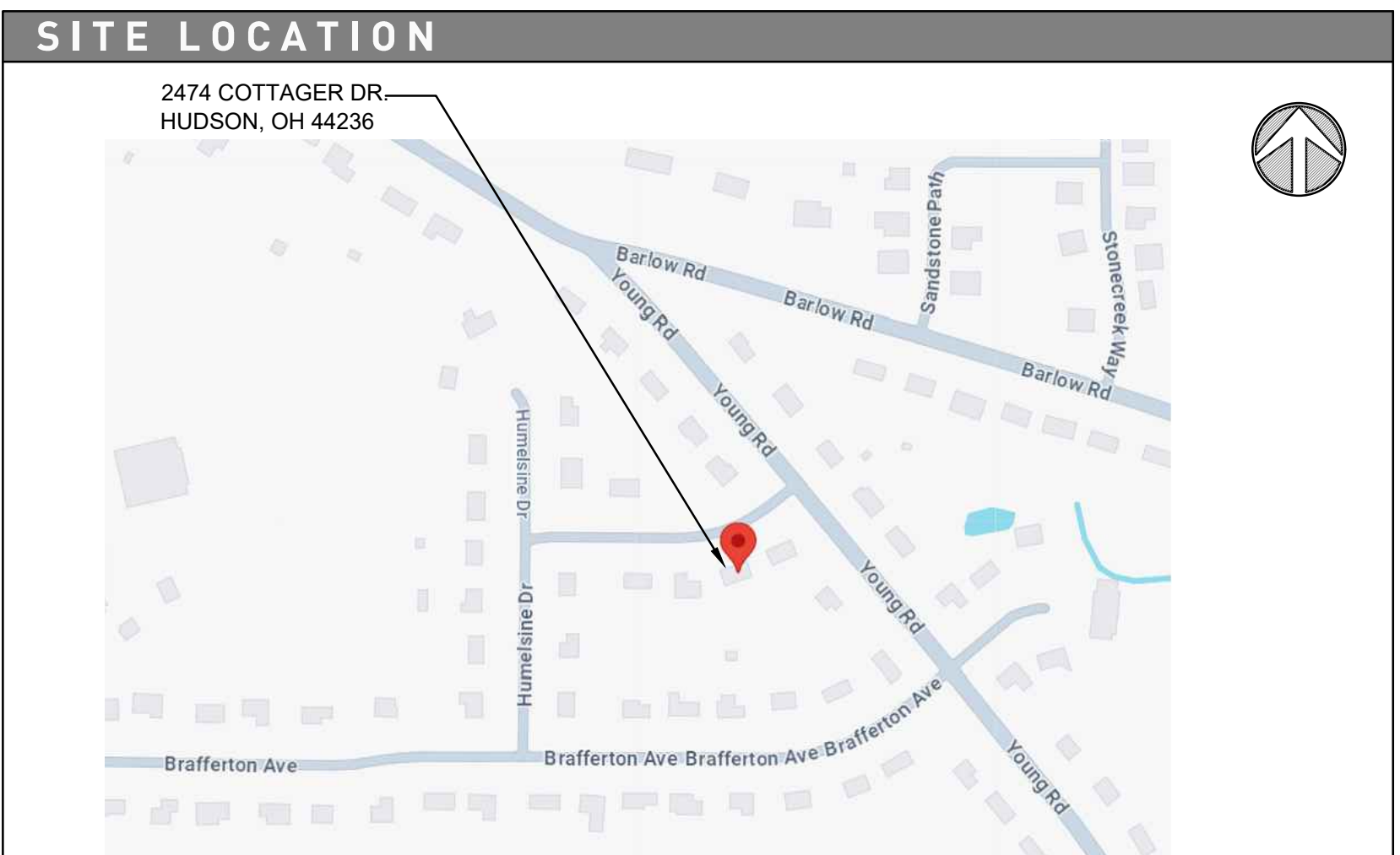
**INSULATION:**  
INSULATION SHALL BE INSTALLED AND ALSO COMPLY WITH ALL MINIMUM ORDINANCES SET FORTH BY THE LOCAL GOVERNING BUILDING AND ZONING DEPARTMENTS. REFER TO THE TYPICAL WALL SECTION FOR R-VALUES AND LOCATIONS.

### SYMBOLS

ELEVATION DATUM  
GROUND LEVEL  
+ 0'-0" A.F.F.  
ROOM NAME  
HALL  
ROOM NUMBER  
DOOR WIDTH  
DOOR SIZE  
DOOR HEIGHT  
WINDOW NUMBER  
PARTITION TYPE  
EXTERIOR ELEVATION  
DETAIL SECTION  
BUILDING SECTION

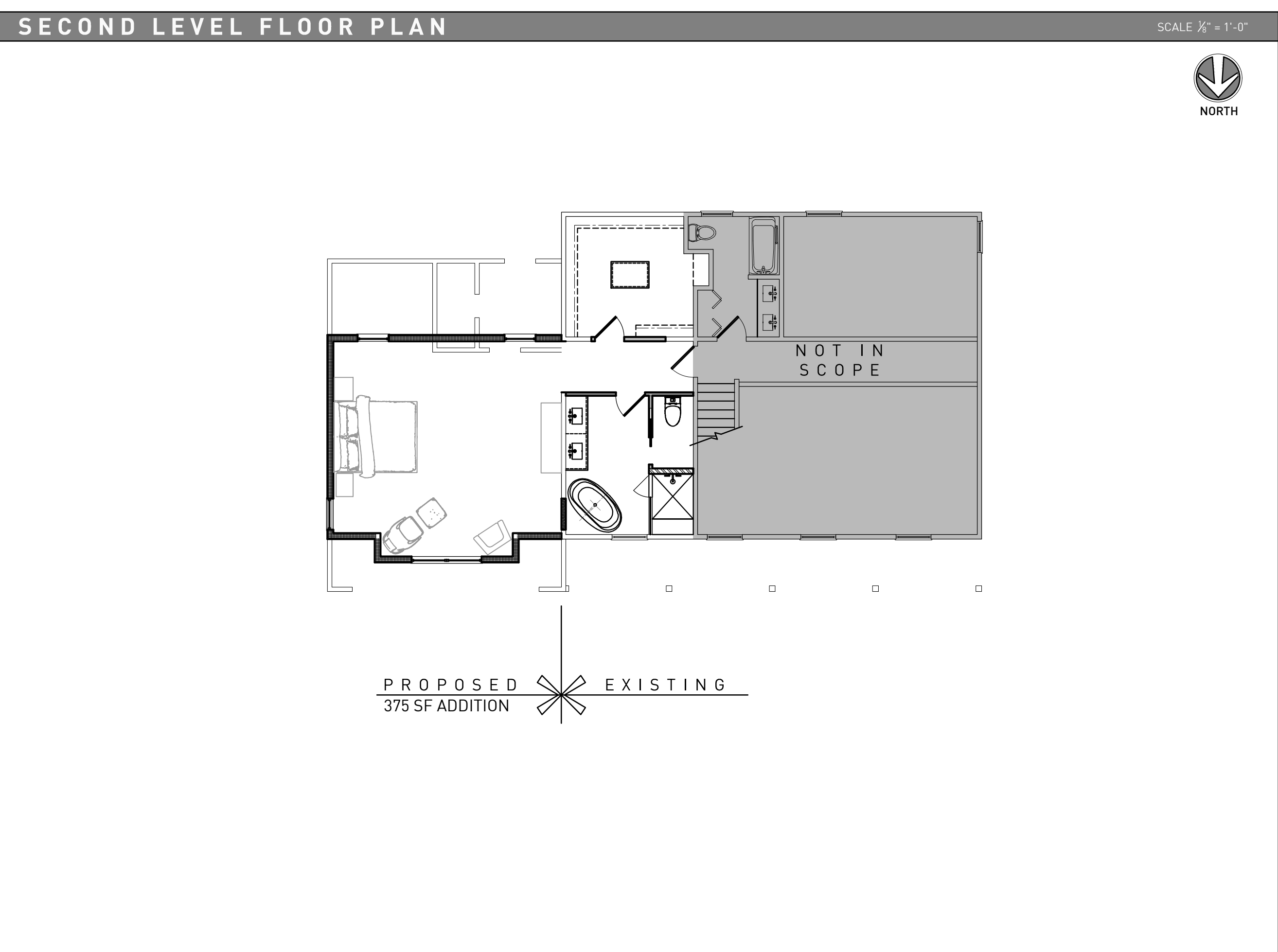
### MATERIAL

GRAVEL FILL  
EARTH  
GROUT OR STUCCO  
COUNTER TOP / DESK TOP  
DIMENSION LUMBER  
RIGID INSULATION  
BATT INSULATION  
MASONRY OR STONE  
CONCRETE MASONRY UNIT (C.M.U.)  
BRICK MASONRY UNIT



# Proposed Addition for: Gorog

Situated in the State of Ohio,  
County of Summit, City of Hudson



### APPLICATION INFORMATION

PROJECT LOCATION:	2474 COTTAGER DR. HUDSON, OH 44236			
TYPE OF IMPROVEMENT:	NEW BUILD	ADDITION <input checked="" type="checkbox"/>	ALTERATION <input checked="" type="checkbox"/>	CHANGE OF USE OTHER
TYPE OF USE:	SINGLE FAMILY <input checked="" type="checkbox"/>	DUPLEX	MULTI-FAMILY	# UNITS COMMERCIAL
	INDUSTRIAL	DECK	POOL	GARAGE SHED
USE GROUP:	A-1 A-2 A-3 A-4 A-5	B	E F-1 F-2	H-1 H-2 H-3 H-4 H-5
	I-1 I-2 I-3 I-4	M (R-1)	R-2 R-3 R-4	S-1 S-2 U
TYPE OF CONSTRUCTION:	I-A I-B II-A II-B III-A III-B	IV	V-A (V-B)	
PROJECT OWNER:	Brian Gorog 2474 COTTAGER DR. HUDSON, OH 44236			
PROJECT CONTRACTOR:	Element Design ADDRESS: 6721 Chittenden Road Hudson, Ohio 44236 EMAIL: vdi@elementkb.com			
PROJECT DESIGNER:	Fidei Architecture ADDRESS: 2850B West Market Street Fairlawn, Ohio 44333 EMAIL: dlabocki@fideiarch.com			

### CLIMATIC & GEOGRAPHIC DESIGN CRITERIA

ROOF SNOW LOAD (LB. PER S.F.)	WIND DESIGN	SEISMIC DESIGN CATEGORY	ICE SHIELD REQUIRED	FLOOD HAZARDS	WINTER DESIGN TEMP.
20	110 MPH 20.7 PSF	A	YES	A: 7/16/79 B: 4/22/97	5 DEG. F
SUBJECT TO DAMAGE FROM			AIR FREEZING INDEX	MEAN ACTUAL TEMP.	
WEATHERING	FROST DEPTH	TERMITE	DECAY	1500	50.1 F
SEVERE	38"	YES	YES		

### CLIMATE ZONE CRITERIA

2018 IECC & US DEPARTMENT OF ENERGY

CLIMATE ZONE	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH	CRAWLSPACE WALL R-VALUE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION (SHGC) b, e
5	R-49	20 or 13+5h	13/17	30 <sup>g</sup>	15/19	10, 2 ft	15/19		0.55	NR

a. R-values are minimums. U-factors and SHGC are maximums. R-19 batts compressed into a nominal 2x6 framing cavity such that the R-value is reduced by R-1 or more shall be marked with the compressed batt R-value in addition to the full thickness R-value.  
b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.  
c. "15/19" means R-15 continuous insulated sheathing on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "10/13" means R-10 continuous insulated sheathing on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.  
d. R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in zones 1 through 3 for heated slabs.  
e. There are no SHGC requirements in the Marine zone.  
f. Basement Wall Insulation is not required in warm-humid locations.  
g. Or insulation sufficient to fill the framing cavity. R-19 is minimum.  
h. "13-5" means R-13 cavity insulation plus R-5 insulated sheathing. If structural sheathing covers 25 percent or less of the exterior, insulating sheathing is not required where structural sheathing is used. If structural sheathing covers more than 25 percent of exterior, structural sheathing shall be supplemented with insulated sheathing of at least R-2.  
i. The second R-value applies when more than half the insulation is on the interior of the wall.  
j. For impact rated fenestration complying with Section R301.2.1.2 of the International Residential Code or Section 1608.1.2 of the International Building code, the maximum U-factor shall be 0.75 in Zone 2 and 0.65 in Zone 3.

### DRAWING INDEX

SHEET No.	DESCRIPTION
T1	TITLE PAGE / GENERAL NOTES
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A2	DEMOLITION PLAN AND SECOND LEVEL FRAMING PLAN
A3	SECOND LEVEL FLOOR PLAN AND FINISH PLAN
A4	SECOND LEVEL ELECTRICAL SCHEMATIC AND ROOF PLAN
A5	CROSS SECTIONS AND DETAILS

PROJECT DESIGNER:

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Fairlawn, Ohio 44333  
Phone: 3301267-3132

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vdi@elementkb.com  
6721 Chittenden Rd.  
Hudson OH 44236

PROJECT LOCATION:  
2474 COTTAGER DR.  
HUDSON, OH 44236

element  
ARCHITECTURE DESIGN BUILD  
INTERIOR AND EXTERIOR FINISH

PROJECT LOCATION:  
2474 COTTAGER DR.  
HUDSON, OH 44236

Addition for:  
**GOROG**

DR CODE PDF DRAWING

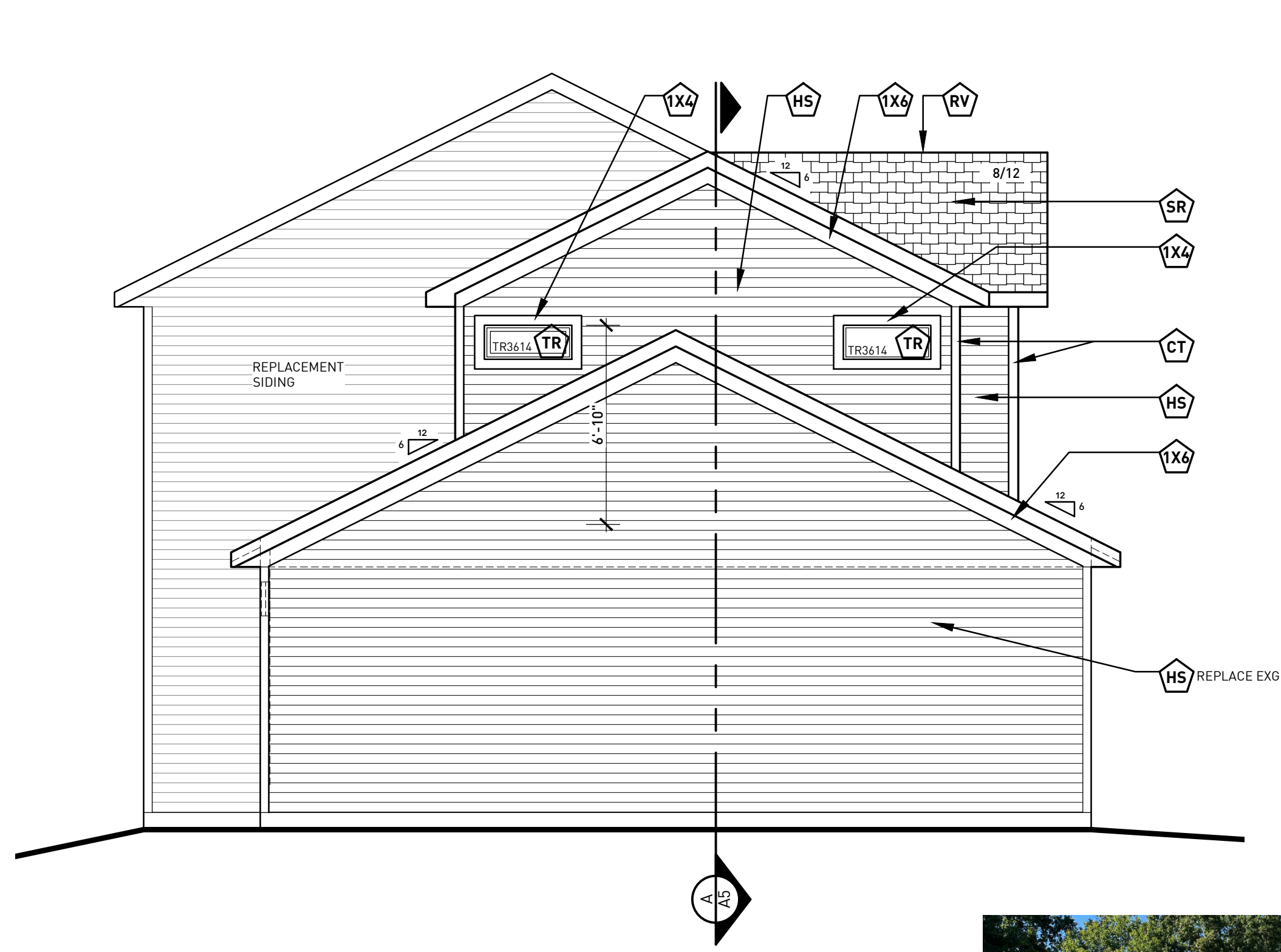
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TITLE SHEET

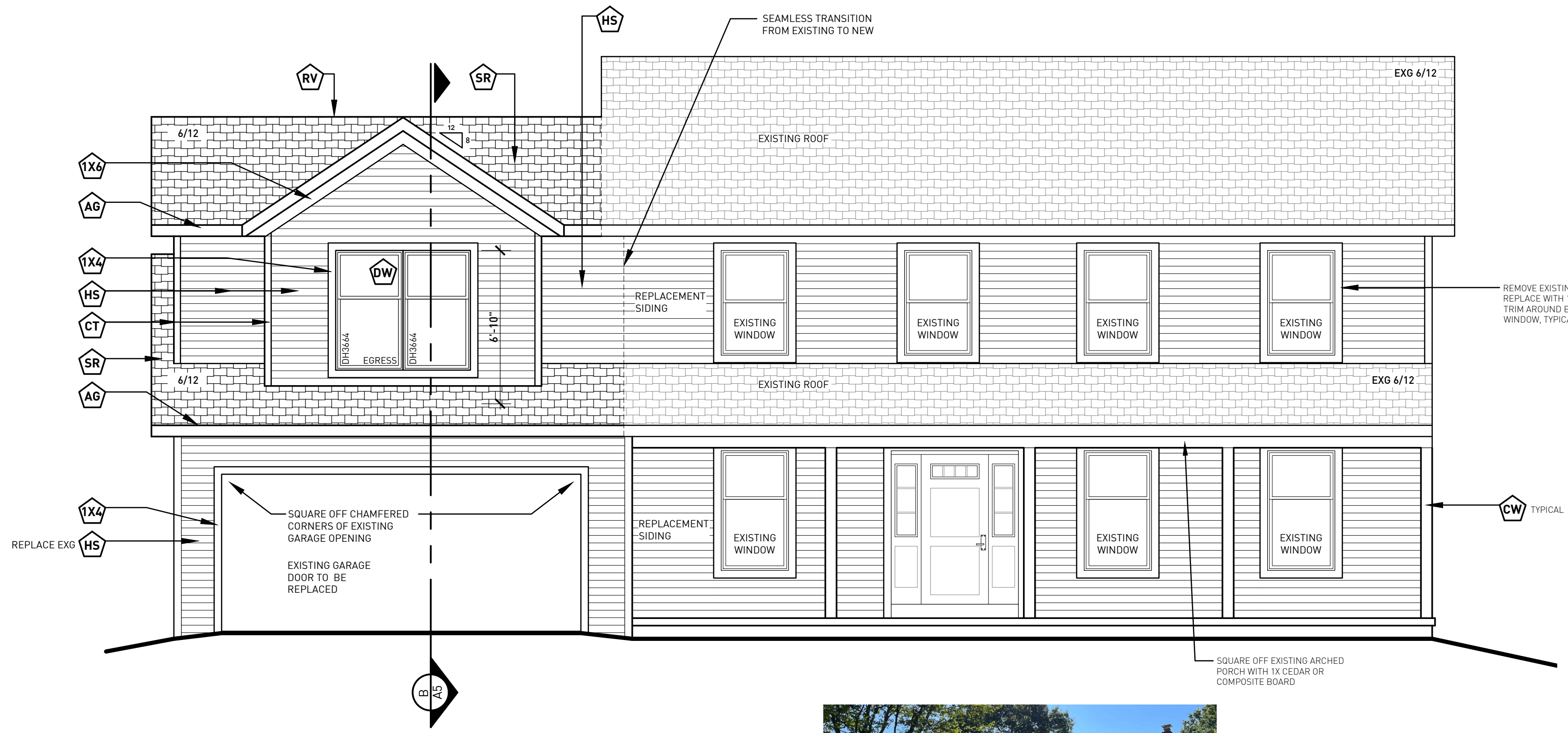
SHEET No.  
**T1**



**A** SCALE: 1/8" = 1'-0"  
**A1** SIDE ELEVATION



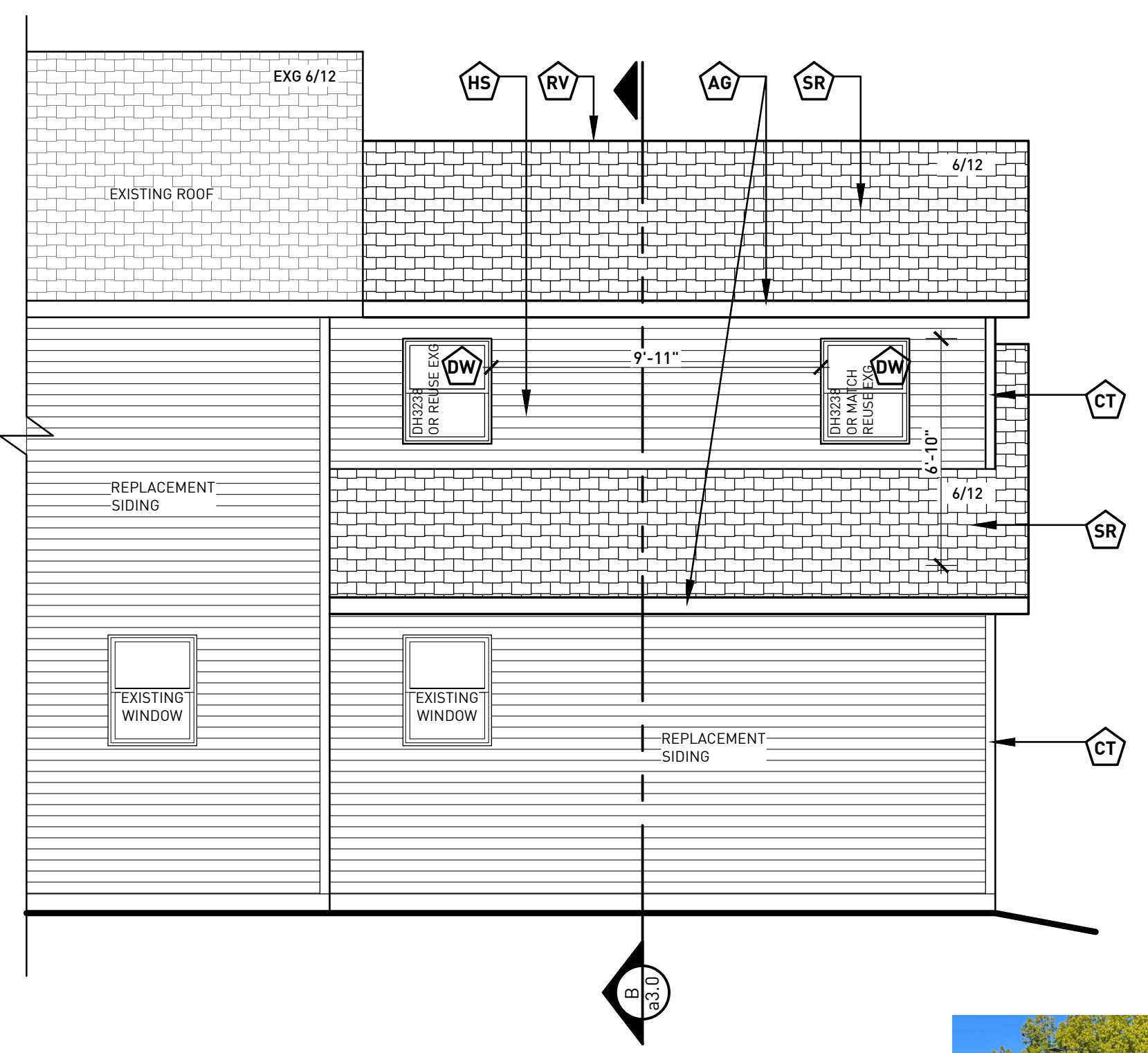
**EXISTING SIDE**



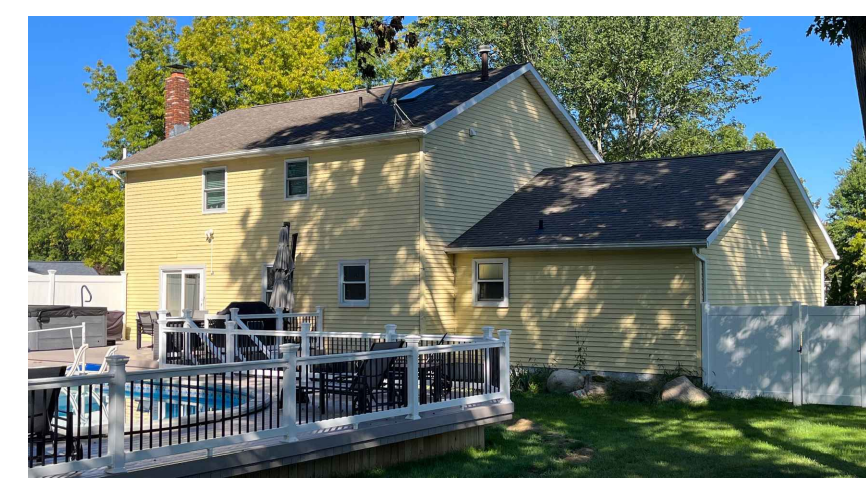
**B** SCALE: 1/8" = 1'-0"  
**A1** FRONT ELEVATION



**EXISTING FRONT**

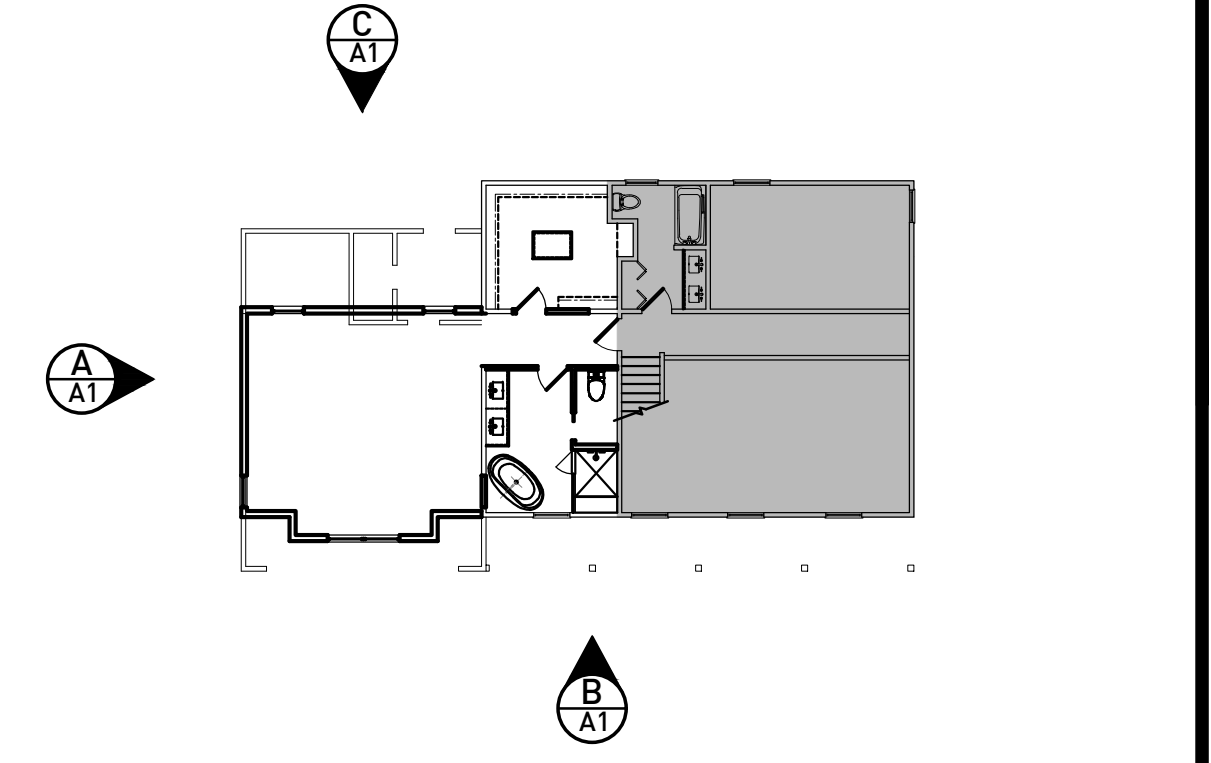


**C** SCALE: 1/8" = 1'-0"  
**A1** REAR ELEVATION



**EXISTING REAR**

SCALE: 1/8" = 1'-0"  
**KEY FLOOR PLAN**



**WINDOW NOTES**

WINDOW SIZES ON ELEVATION AND PLAN INDICATE ROUGH OPENING IN INCHES-WIDTH/WINDOWS-HEIGHT. OWNER TO DETERMINE WINDOW MAKE AND STYLE. WINDOWS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS

1. USE LOW E GLASS.
2. CONFIRM WINDOW HEADER HEIGHTS.
3. COMPLY W/ SECT. 310.1 (ORC) FOR EGRESS OPENINGS IN ALL SLEEPING AREAS.
4. ANY WINDOW OR SIDELIGHT WITHIN 24 INCHES HORIZONTALLY OF A DOOR MUST BE TEMPERED.
5. ANY WINDOW OR SASH THAT IS 9 SQUARE FEET OR MORE AND IS 18 INCHES OR LESS FROM A FLOOR MUST BE TEMPERED.
6. ANY WINDOW WITHIN A TUB OR SHOWER AREA THAT IS LESS THAN 60 INCHES FROM THE FLOOR OF THE TUB MUST BE TEMPERED.
7. ANY WINDOW ON A STAIRCASE LANDING OR WITHIN 60 INCHES A STAIRCASE TREAD MUST BE TEMPERED.
8. ANY WINDOW WITH A SASH THAT OPENS MUST INCLUDE A SCREEN.

**ELEVATION NOTES**

1. ELEVATIONS SHOWN GRAPHICALLY INDICATE BASEMENT FOUNDATION CONDITIONS.
2. ALL ROOF SADDLES TO BE PLYWOOD SHEATHED W/ BUILDING PAPER AND SHINGLES.
3. CONTINUOUS RIDGE VENTS TO BE BAFFLED TO PREVENT BACK FLOW
4. ALL EXTERIOR WOOD TO BE PRIMED BEFORE INSTALLATION
5. ALL WINDOW GRILLS TO MATCH ELEVATIONS
6. CONTRACTOR TO PROVIDE PROPER FLASHING AT ALL EXTERIOR DOORS & WINDOWS
7. PROVIDE ROOF SADDLE TO DRAIN AWAY FROM BACK SIDE OF CHIMNEY - PROVIDE ALL PROPER FLASHING
8. DENOTES GLAZING TO BE TEMPERED

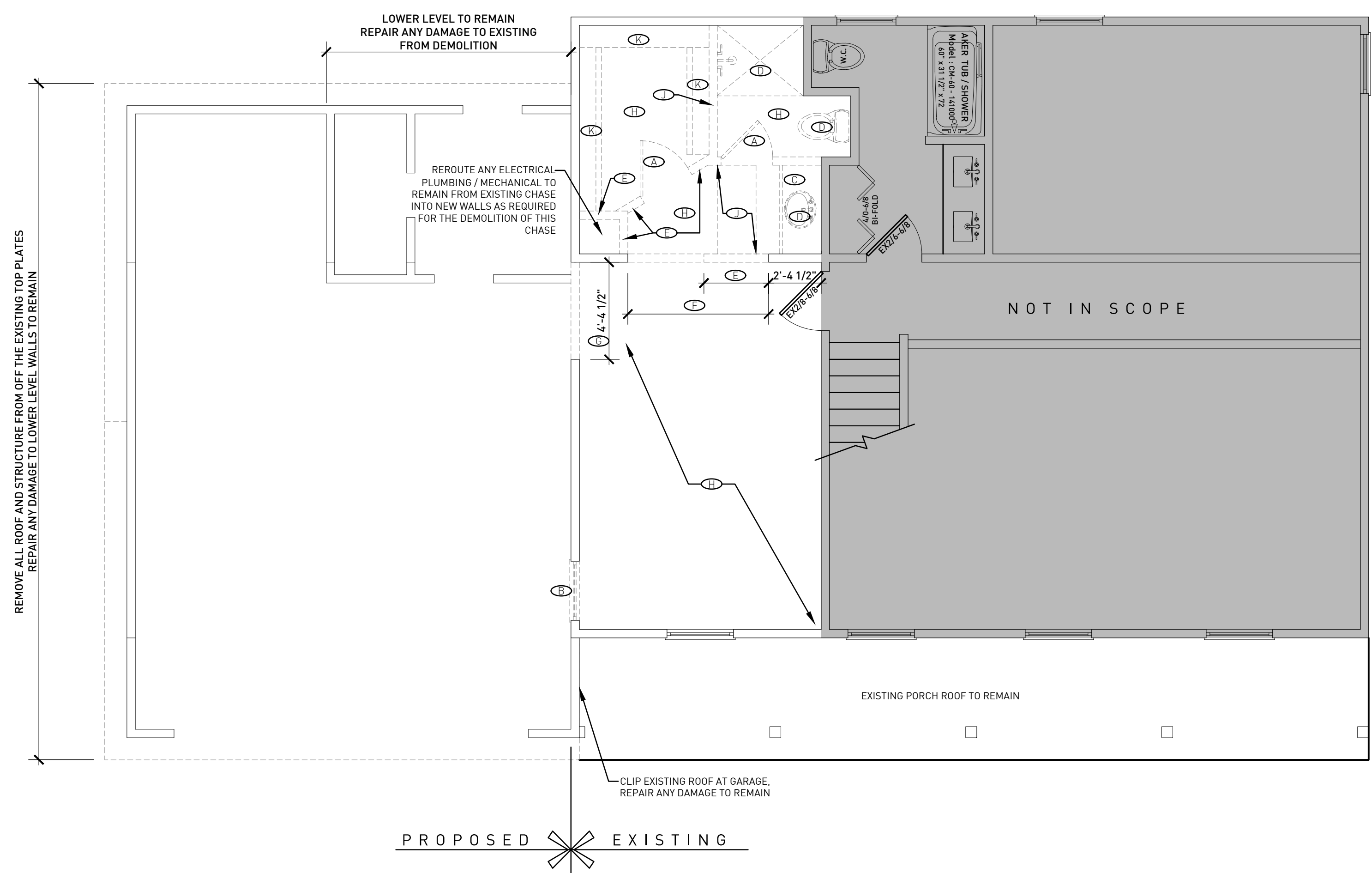
**EXTERIOR FINISH LEGEND**

NO.	DESCRIPTION	HATCH PATTERN
SR	SHINGLE ROOFING: BASIS OF DESIGN, CERTAINEED 30 YEAR ARCHITECTURAL ASPHALT SHINGLES ON 15# FELT W/ ICE AND WATER SHIELD AS REQUIRED. ASSEMBLY TO BE INSTALLED PER MFG. REQUIREMENTS COLOR & STYLE TO MATCH EXISTING	[Hatch pattern for shingles]
HS	HORIZONTAL SIDING: SIDING MAKE AND STYLE T.B.D. BY OWNER, TO MATCH EXISTING	[Hatch pattern for horizontal siding]
CT	CORNER TRIM: TRIM BY SIDING MANUFACTURER, TO MATCH SIDING COLOR	[Hatch pattern for corner trim]
TW	TRANSOM WINDOW: ANDERSEN-SILVER LINE (OR OWNER APPROVED EQUAL) TRANSOM WINDOW; GRILLE PATTERN TO MATCH ELEVATION	[Hatch pattern for transom window]
DW	DOUBLE HUNG WINDOW: ANDERSEN-SILVER LINE (OR OWNER APPROVED EQUAL) DOUBLE HUNG WINDOW; GRILLE PATTERN TO MATCH ELEVATION	[Hatch pattern for double hung window]
CW	CEDAR WRAP: COMPOSITE OR CEDAR WRAPPING ON EXISTING PORCH POST	[Hatch pattern for cedar wrap]

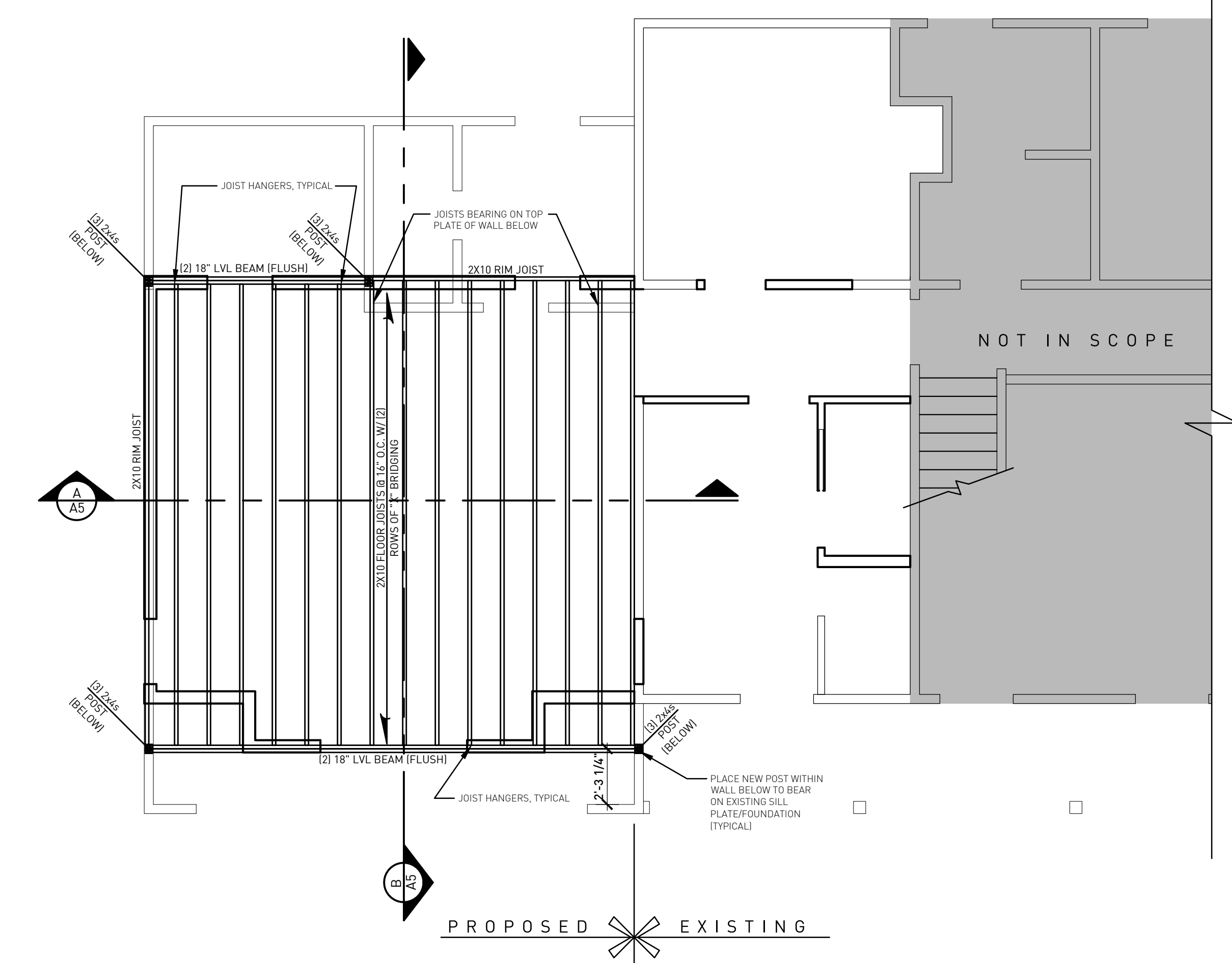
**EXTERIOR FINISH LEGEND**

NO.	DESCRIPTION
RV	RIDGE VENT: CONTINUOUS RIDGE VENTS TO BE BAFFLED TO PREVENT BACK FLOW
AG	ALUMINUM GUTTERS: AND DOWN SPOUTS TO MATCH EXISTING
1X4	1 X 4 BD. COMPOSITE OR EQUAL COLOR TO MATCH WINDOWS SASH
1X6	1 X 6 BD. COMPOSITE OR EQUAL COLOR TO MATCH WINDOWS SASH

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**DEMOLITION PLAN** SCALE: 1/4" = 1'-0"

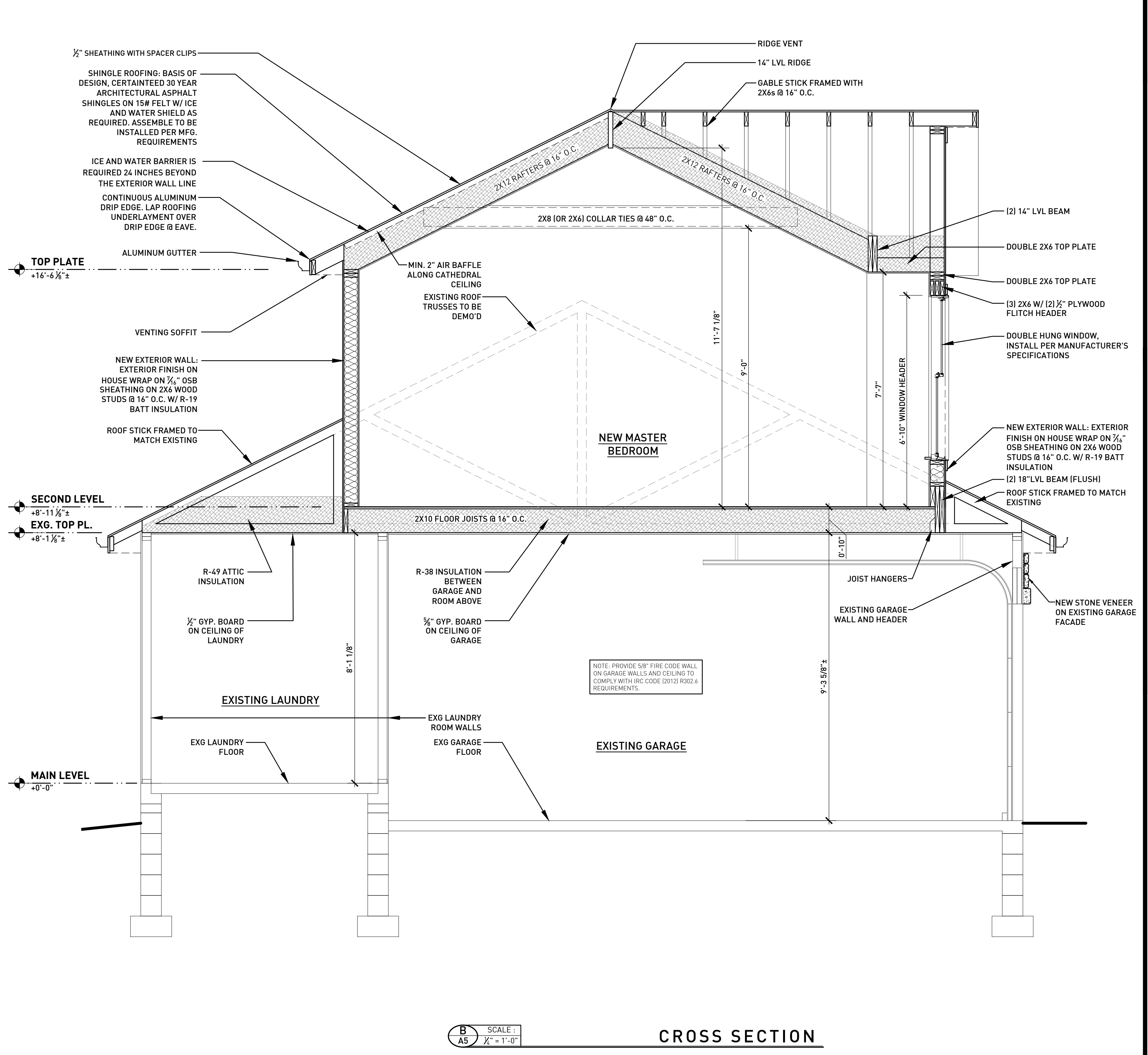
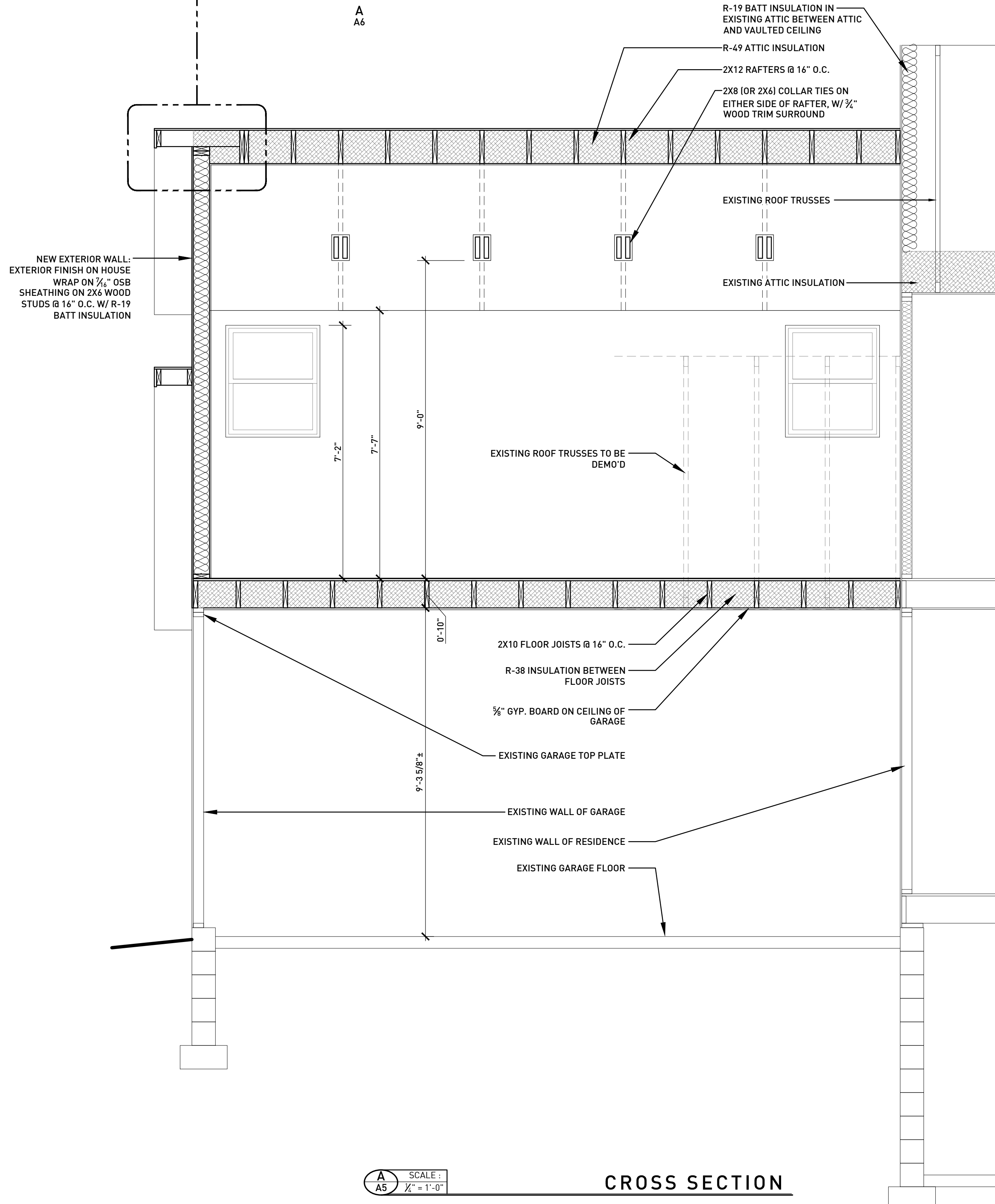
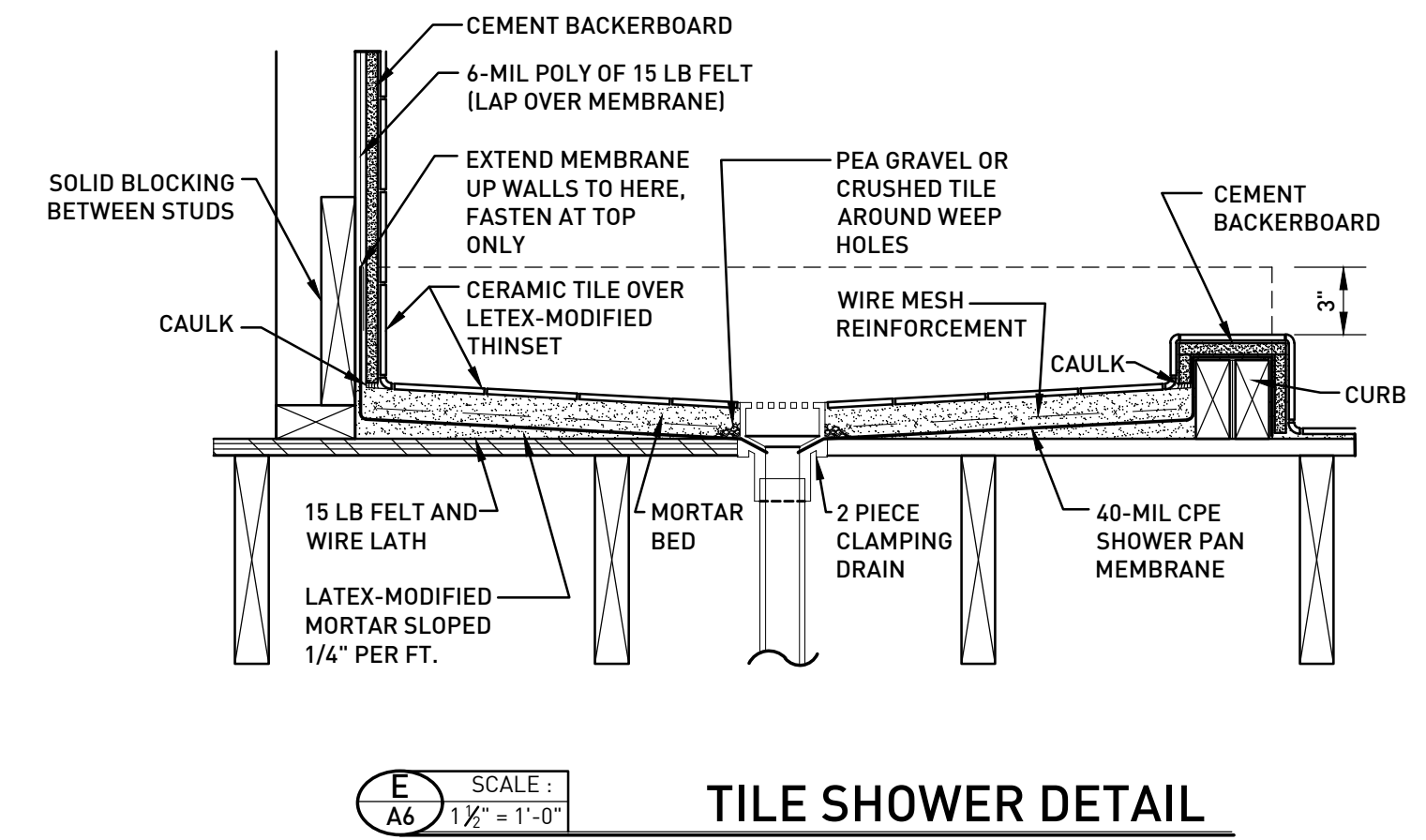
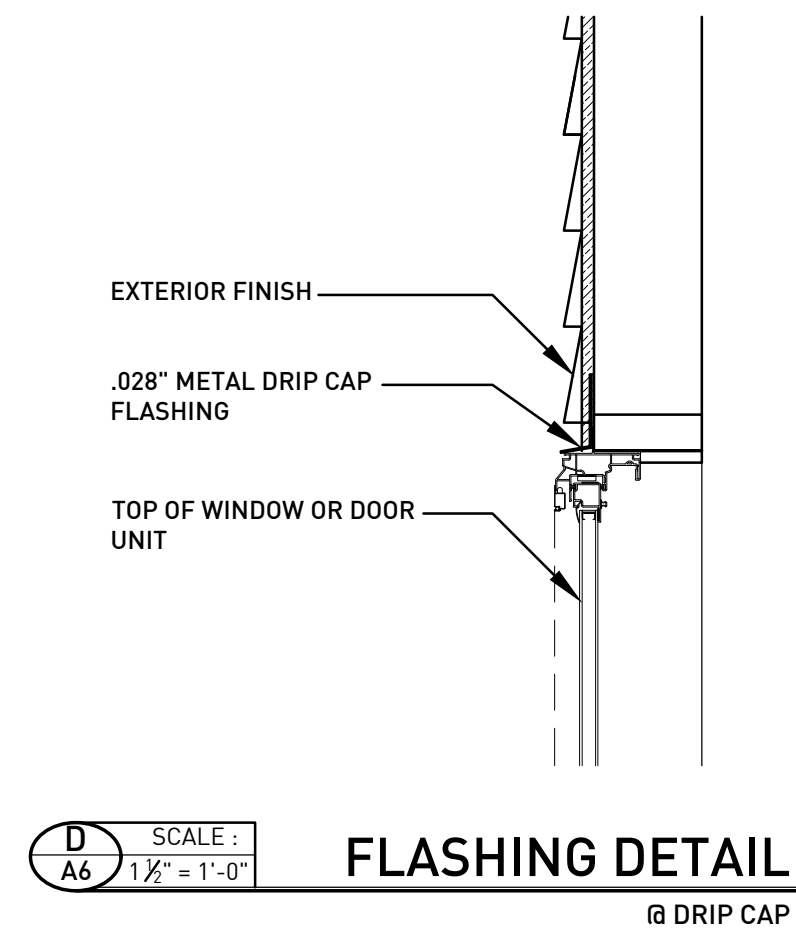
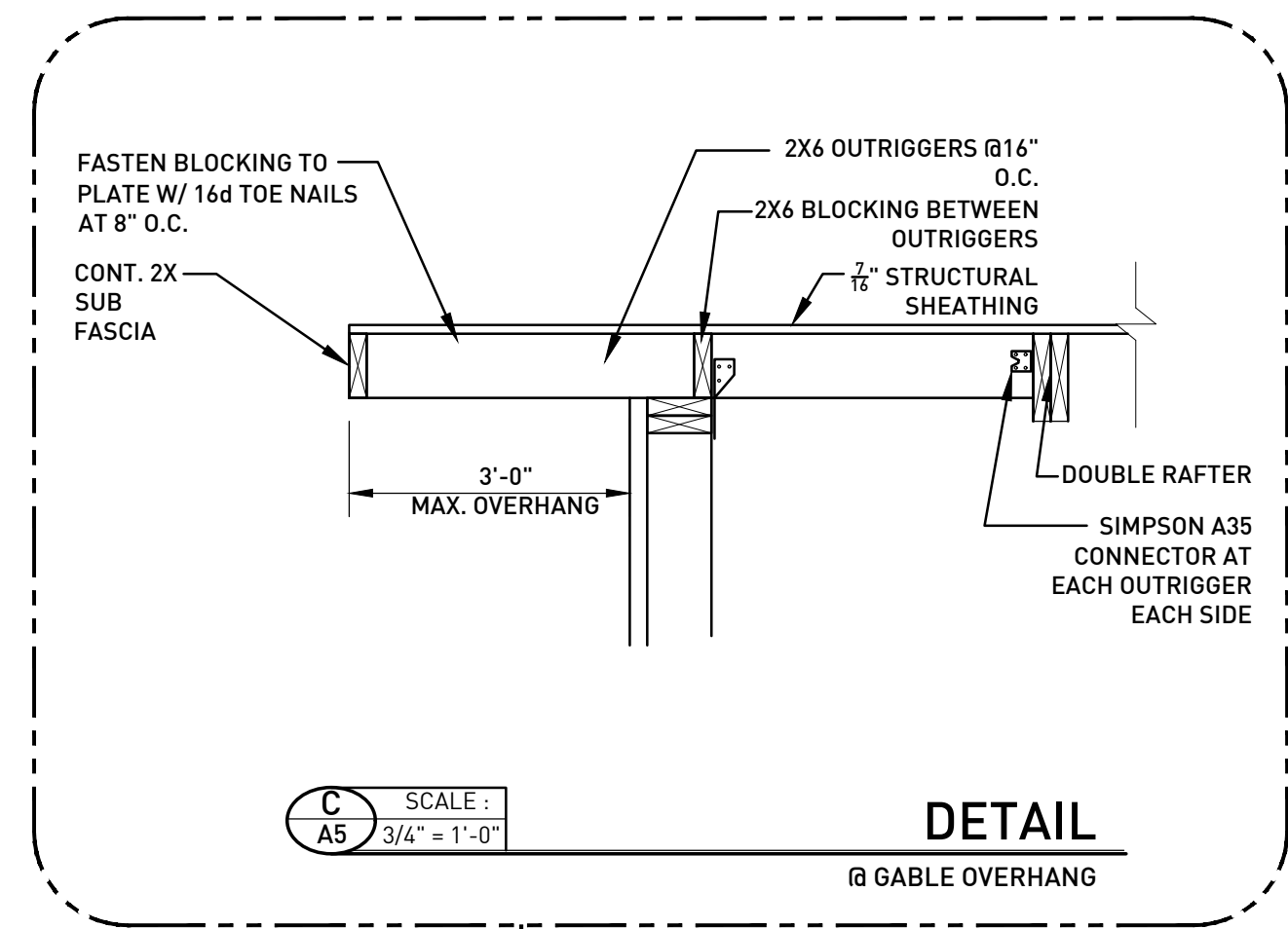


**SECOND LEVEL FRAMING** SCALE: 1/2" = 1'-0"

DEMOLITION LEGEND	
	REMOVE DOOR AND FRAME
	REMOVE WINDOW AND FRAME. SET ASIDE WINDOW TO BE REUSED, AS OWNER REQUIRES.
	REMOVE COUNTERTOPS AND BASE CABINETS, AND REPAIR DAMAGE TO ADJACENT SURFACES TO REMAIN.
	REMOVE PLUMBING FIXTURE AND CAP OFF ALL PIPES AND DRAINS.
	REMOVE INTERIOR PARTITIONS, EXPOSING AND TEMPORARILY SUPPORTING STRUCTURAL ELEMENTS. REPAIR DAMAGE TO ADJACENT SURFACES TO REMAIN.
	REMOVE EXISTING SOFFIT
	REMOVE EXTERIOR PARTITION AS REQUIRED FOR NEW CONSTRUCTION.
	REMOVE FLOORING AND PREPARE SURFACE TO RECEIVE NEW FLOOR FINISH.
	REMOVE EXISTING SKYLIGHT AND INFILL WITH STICK FRAMING, ATTIC INSULATION, AND FINISH WITH DRYWALL CEILING.
	REMOVE STORAGE SYSTEM.







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