

BALDWIN RESIDENCE



haraarchitects.com

PROJECT INFORMATION

CITY HUDSON
 COUNTY SUMMIT COUNTY
 PARCEL NO 3200873
 ZONING DISTRICT 3 | OUTER VILLAGE RESIDENTIAL NEIGHBORHOOD

PROJECT TEAM:

ARCHITECT
 HARA ARCHITECTS
 STRUCTURAL

PROJECT SECOND FLOOR ADDITION OVER AN EXISTING GARAGE

PROJECT TEAM

ARCHITECT:

HARA ARCHITECTS
 HUDSON, OHIO
 P. 419.410.6241

CONTACT: NATE BAILEY

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LOCATION MAP



BALDWIN RESIDENCE

19 WARRENSBURG, HUDSON, OHIO 44236

PROJECT #: 2412

| ISSUE | ID | DATE |
|-------|----|------------|
| A/HR | A | 03/04/2024 |

PROGRESS

NOT FOR CONSTRUCTION

4/15/2024

COVER SHEET

G100

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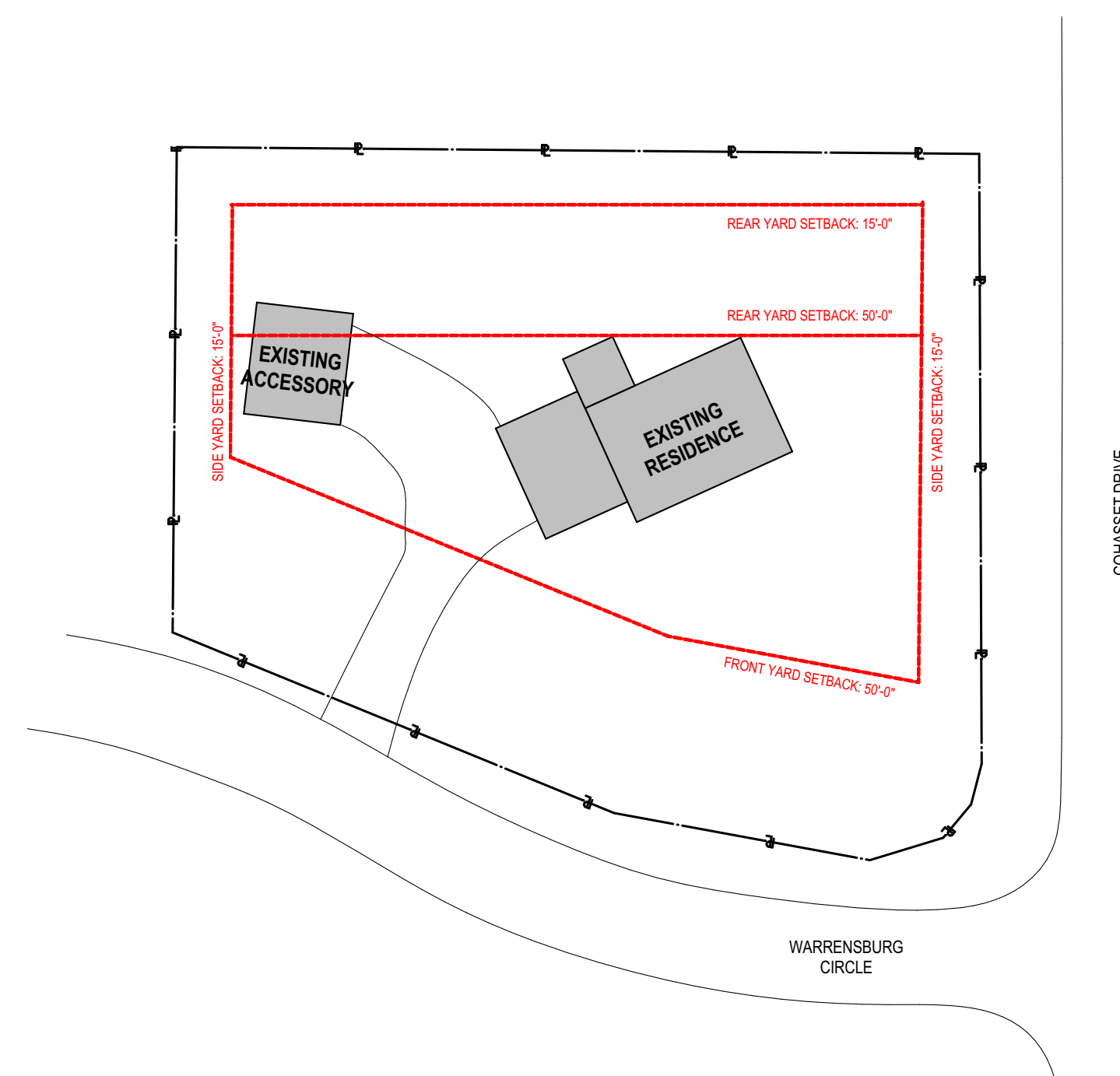
ABBREVIATIONS

| | | | |
|----------|-------------------------------|--------|-------------------------------|
| ABV | ABOVE | HC | HOLLOW CORE |
| A/C | AIR CONDITIONING | HDWR. | HARDWARE |
| AFF | AIR CONDITIONING | HM | HOLLOW METAL |
| ALT | ALTERNATE | HVAC | HEATING, VENTILATION, AND AIR |
| AHJ | AUTHORITY HAVING JURISDICTION | COND. | COND. |
| ALUM | ALUMINUM | HT | HEIGHT |
| APPROX. | APPROXIMATELY | INSUL | INSULATION |
| ARCH | ARCHITECTURAL | JST | JOIST |
| ASPH | ASPHALT | LAM | LAMINATED |
| BD | BOARD | LF | LINEAR FOOT |
| BLDG | BUILDING | MATL | MASONRY |
| BOTT | BOTTOM OF | MAX | MATERIAL |
| BRG | BEARING | MECH | MECHANICAL |
| BOTT | BOTTOM | MFG. | MANUFACTURER |
| BTW | BETWEEN | MIN | MINIMUM |
| CF | CUBIC FEET | MISC | MISCELLANEOUS |
| CIP | CAST IN PLACE | MO | MASONRY OPENING |
| CJ | CONTROL JOINT | MTD | MOUNTED |
| CLG | CEILING | MTL | METAL |
| CLR | CLEAR | NGM | NOMINAL |
| CMU | CONCRETE MASONRY UNIT | NTS | NOT TO SCALE |
| COND | CONCRETE | | |
| CO | CLEAN OUT | | |
| CONT | CONTINUOUS | | |
| DBL | DOUBLE | QI | OVER |
| DEPT | DEPARTMENT | O.C. | ON CENTER |
| DIA | DIAMETER | OPN | OPENING |
| DIM | DIMENSION | PREFAB | PREFABRICATED |
| DN | DOWN | PLYVD | PLYWOOD |
| DR | DOOR | P.LAM | PLASTIC LAMINATE |
| DS | DOWNSPOUT | PR | PAIR |
| DTL | DETAIL | PSI | POUNDS PER SQUARE INCH |
| DWG | DRAWING | REF | REFERENCE |
| EA | EACH | RM | ROOM |
| ELEC | ELECTRICAL | RO | ROUGH OPENING |
| EQ | EQUAL | REQ | REQUIRED |
| EXH | EXHAUST | SC | SOLID CORE |
| EXIST | EXISTING | SECT | SECTION |
| EXP | EXPOSED | SIM. | SIMILAR |
| EXT | EXTERIOR | STRUC | STRUCTURAL |
| FD | FLOOR DRAIN | TYP | TYPICAL |
| FDN | FOUNDATION | UNO | UNLESS NOTED OTHERWISE |
| FIN | FINISHED | W | WITH |
| FLR | FLOOR | WWF | WELDED WIRE FABRIC |
| FT | FOOT | | |
| FTG | FOOTING | | |
| FUR | FURRING | | |
| GALV | GALVANIZED | | |
| GA | GAUZE | | |
| GC | GENERAL CONTRACTOR | | |
| GYP. BD. | GYP. BOARD | | |
| GYP | GYP. BOARD | | |

DRAWING SYMBOLS

| | |
|--|---------------------|
| | DETAIL |
| | EXTERIOR ELEVATION |
| | BUILDING SECTION |
| | INTERIOR ELEVATION |
| | WALL SECTION |
| | CENTERLINE AND GRID |
| | DOOR TAG |
| | WINDOW TAG |

SITE PLAN



PROJECT GENERAL NOTES

THE CONTRACTOR WILL FURNISH ALL LABOR, MATERIAL, EQUIPMENT, PERMITS, TAXES, AND INSURANCE NECESSARY TO COMPLETE THE WORK INDICATED AND/OR IMPLIED IN THE CONSTRUCTION DOCUMENTS UNLESS NOTED OTHERWISE AND WILL COORDINATE THE WORK RESPONSIBILITIES OF ALL SUBCONTRACTORS. ALL LABOR AND MATERIALS TO CARRY OUT FULLY THE INTENTIONS OF THE PLANS AND SPECIFICATIONS ARE PART OF THE CONTRACT, WHETHER OR NOT SPECIFICALLY DOCUMENTED.

ALL WORK WILL CONFORM TO THE CURRENT OHIO BUILDING, MECHANICAL & PLUMBING CODES, AS WELL AS THE CURRENT NATIONAL BOARD OF FIRE UNDERWRITERS AND ALL OTHER APPLICABLE CITY CODES, LOCAL LAWS, AND AUTHORITIES HAVING JURISDICTION. CODE STANDARDS AND PUBLICATIONS OF PRIVATE AND PUBLIC BODIES MENTIONED WITHIN THE SPECIFICATIONS OR ON THE DRAWINGS, WILL BE CONSIDERED TO BE THOSE IN FORCE AT THE TIME OF THE CONTRACT AWARD.

THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONTROLLED INSPECTIONS AND ANY TECHNICAL TESTING REQUIRED FOR CONTROLLED INSPECTIONS AS STIPULATED BY ALL APPLICABLE CODES.

ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT WILL BE NEW AND FREE OF DEFECTS AND WILL BE SUPPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED, AND CONDITIONED AS DIRECTED BY THE RESPECTIVE MANUFACTURERS, UNLESS SPECIFIED OTHERWISE.

THE CONTRACTOR WILL NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS, CONFLICTS, OR AMBIGUITIES IN AND BETWEEN THE DRAWINGS AND THE SPECIFICATIONS PRIOR TO PROCEEDING WITH THE WORK. IF SUCH NOTICE IS NOT FURNISHED TO THE ARCHITECT, THE CONTRACTOR WILL BE DEEMED TO HAVE INSPECTED THE DRAWINGS AND SPECIFICATIONS AND TO HAVE FOUND THEM IN PROPER FORM FOR EXECUTION.

THE CONTRACTOR REPRESENTS THAT HE HAS HAD ADEQUATE ACCESS TO THE JOB SITE AND BUILDING AREA IN WHICH THE WORK IS TO BE PERFORMED, THAT HE HAS SATISFIED HIMSELF AS TO THE NATURE AND LOCATION OF WORK, INCLUDING ANY OBSTRUCTIONS, SCOPE OF WORK, ACTUAL LEVELS, THE EQUIPMENT AND FACILITIES NEEDED PRELIMINARY TO AND DURING THE EXECUTION OF THE WORK AND ALL OTHER MATTERS, WHICH CAN IN ANY WAY AFFECT THE WORK OR THE COST THEREOF, UNDER THIS CONTRACT, AND THAT HE HAS STUDIED THE CONTRACT DOCUMENTS AND ALL OTHER DOCUMENTS PERTAINING TO THE INSTALLATION OF OTHER TRADES WHICH MAY INFLUENCE HIS WORK.

THE CONTRACTOR WILL ASSUME FULL RESPONSIBILITY, INCLUDING RESPONSIBILITY FOR ALL RELATED COSTS FOR ANY AND ALL WORK DONE WITHOUT THE APPROVAL OF THE ARCHITECT IF SUCH WORK IS IN CONFLICT WITH THE CONTRACT, DRAWINGS, OR SPECIFICATIONS.

THE OWNER WILL ESTABLISH THE LIMITS OF THE CONSTRUCTION SITE IN ADDITION TO ANY CONTRACT LIMIT LINES SHOWN IN THE DRAWINGS. THE CONTRACTOR WILL CONTINUE HIS OPERATIONS WITHIN THESE LIMITS, UNLESS UPON WRITTEN REQUEST AND REPLY, A VARIANCE IS AGREED TO BY THE OWNER. THE CONTRACTOR WILL BE RESPONSIBLE FOR TRESPASS ON AND/OR DAMAGE TO OTHER PROPERTY BY ANY OF HIS EMPLOYEES OR HIS SUBCONTRACTORS EMPLOYEES.

THE CONTRACTOR WILL BE RESPONSIBLE FOR THE SAFE WORKING CONDITIONS AT THE SITE. THE ARCHITECT AND OWNER WILL NOT BE DEEMED TO HAVE ANY RESPONSIBILITY OR LIABILITY IN CONNECTION HERewith.

CONSTRUCTION OPERATIONS WILL NOT INVOLVE INTERRUPTION OF HEATING, WATER, ELECTRICAL, OR OTHER SERVICES TO ANY PORTION OF THE BUILDING OUTSIDE THE LIMITS OF THE CONSTRUCTION SITE DESCRIBED IN NOTE 9.

THE CONTRACTOR WILL BE RESPONSIBLE FOR CORRECTING ANY DEFICIENCIES CAUSED BY DEFECTIVE OR ILL-TIMED WORK AT NO ADDITIONAL COST TO THE OWNER.

NO SUBSTITUTIONS ARE PERMITTED EXCEPT WHERE THE TERM "APPROVED EQUAL" APPEARS. ALL SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE ARCHITECT. THE CONTRACTOR IS TO SUBMIT SAMPLES OR CATALOG CUTS OF ALL VISIBLE MATERIALS AND EQUIPMENT FOR THE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.

MATERIAL SCHEDULE

ALL MATERIAL ASSEMBLIES LISTED BELOW TO OCCUR OVER THE FOLLOWING UNLESS NOTED OTHERWISE:

- WEATHER BARRIER
- APA RATED EXTERIOR GRADE OSB SHEATHING
- 2X6 STUDS W/ R-19 BATT INSULATION

LAP SIDING
VINYL SIDING TO MATCH EXPOSURE AND COLOR OF EXISTING RESIDENCE.

ASPHALT SHINGLE ROOF (R-1)
30 YEAR ARCHITECTURAL SHINGLE
○ MANUFACTURER'S RECOMMENDED UNDERLAYMENT
○ 1/2" APA RATED EXTERIOR GRADE OSB SHEATHING. ICE GUARD SHOULD BE INSTALLED AT ALL EAVES AND VALLEYS, UP 72", AND WRAPPED OVER THE FACE OF ALL FASCIAS.

EXTERIOR ELEVATION GENERAL NOTES

ROOF SOFFITS TO MATCH EXISTING RESIDENCE UNLESS NOTED OTHERWISE.

ALL FIBER CEMENT EXTERIOR TRIM TO BE AZEK OR BORAL, PAINTED, OR APPROVED EQUAL.

ALL EXPOSED WOOD ELEMENTS AND TONGUE AND GROOVE CEILINGS IS TO BE DOUG FIR, STAINED AND SEALED. COORDINATE FINAL COLOR WITH ARCHITECT AND OWNER.

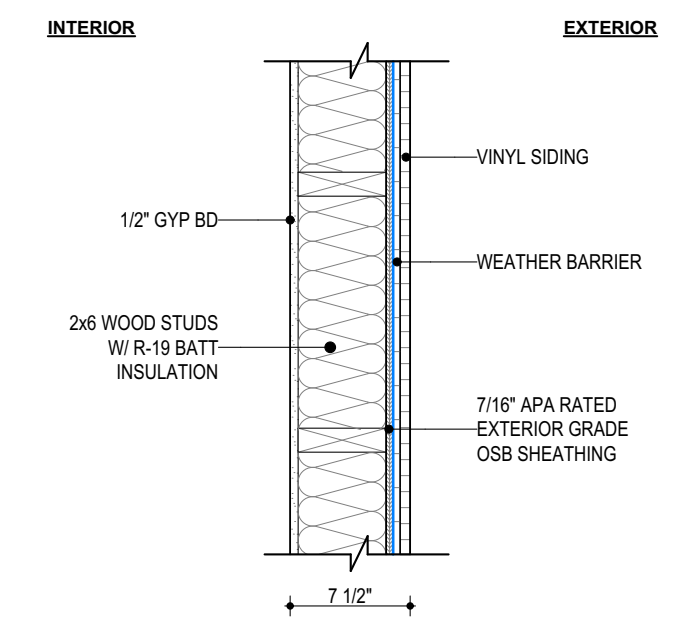
ALL ROOF PENETRATIONS TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION TO ENSURE AESTHETIC EXPECTATIONS ARE MAINTAINED.

GUTTER PROFILES SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ORDERING SAFETY GLAZING TO BE IN ACCORDANCE WITH THE 2019 RESIDENTIAL CODE OF OHIO (SECTION R308)

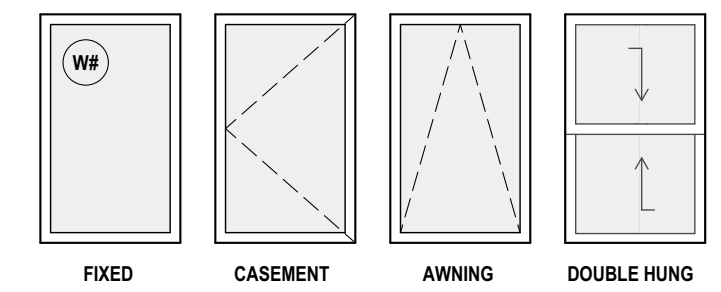
BEDROOM EGRESS WINDOWS TO COMPLY WITH THE 2019 RESIDENTIAL CODE OF OHIO (SECTION R310)

EXTERIOR WALL TYPES

NOTE: WALL INFORMATION IS DEMONSTRATED IN PLAN VIEW



WINDOW LEGEND



BASIS OF DESIGN:

WINDOWS ARE TO BE PELLA FIBERGLASS WINDOWS OR APPROVED EQUAL.

WINDOW HEAD GIVEN ABOVE FIRST AND SECOND FLOOR. CONFIRM WINDOW QUANTITIES WITH ELEVATIONS.

** WINDOW COUNT PROVIDED FOR GENERAL REFERENCE AND VERIFICATION ONLY. CONTRACTOR TO VERIFY TOTAL NUMBER OF WINDOWS WITH DOCUMENTS.

WINDOW AND DOOR REMARKS

- 1.
- 2.

| WINDOW SCHEDULE | | | |
|-----------------|-----|---------------|---------|
| ID | QTY | W x H | REMARKS |
| W02 | 6 | 3'-0" x 5'-6" | |
| W04 | 1 | 3'-0" x 3'-0" | |
| W05 | 1 | 5'-0" x 5'-0" | |

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19 WARRENSBURG, HUDSON, OHIO 44236

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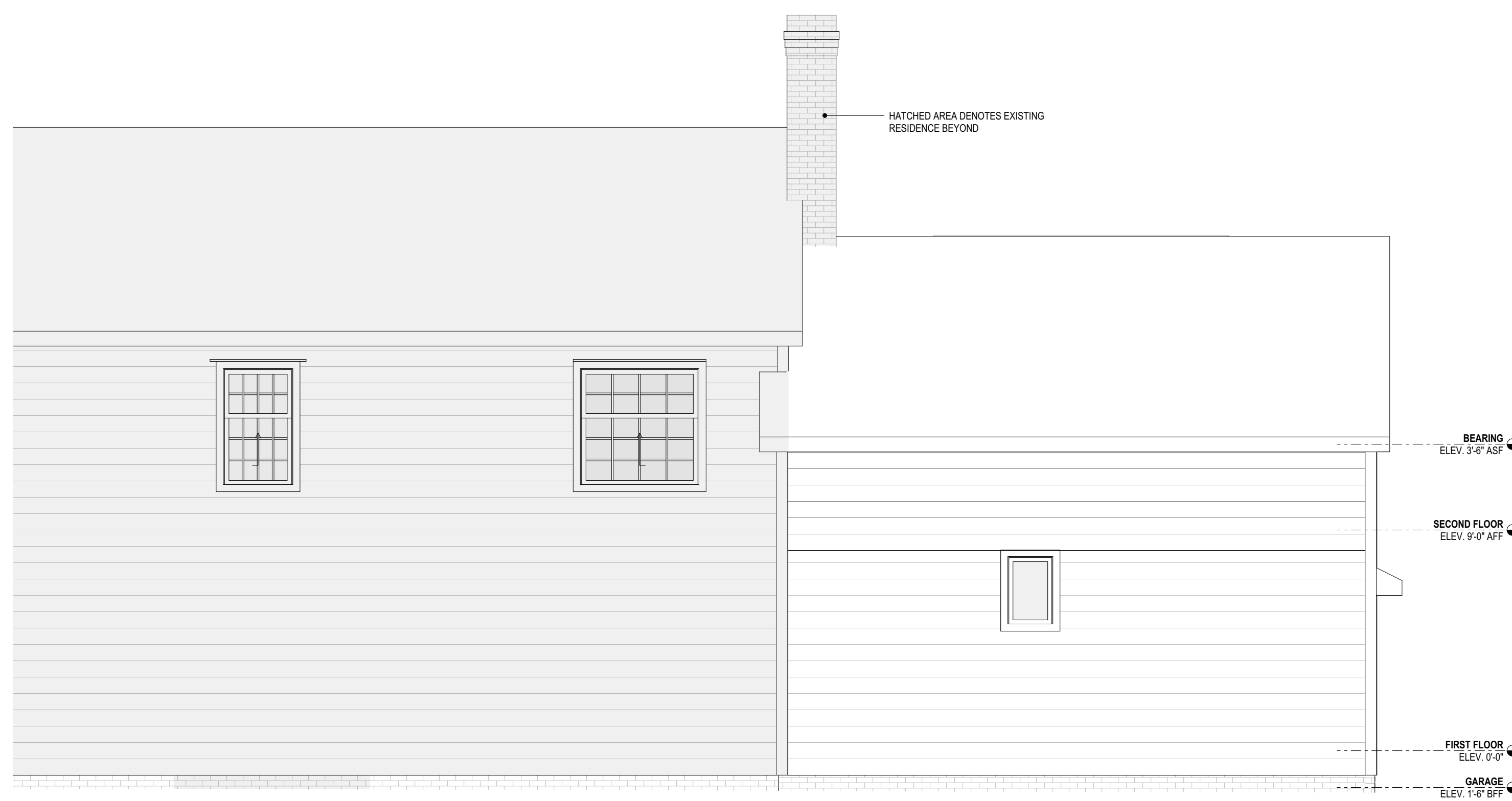
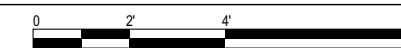
EXTERIOR ELEVATIONS

A301



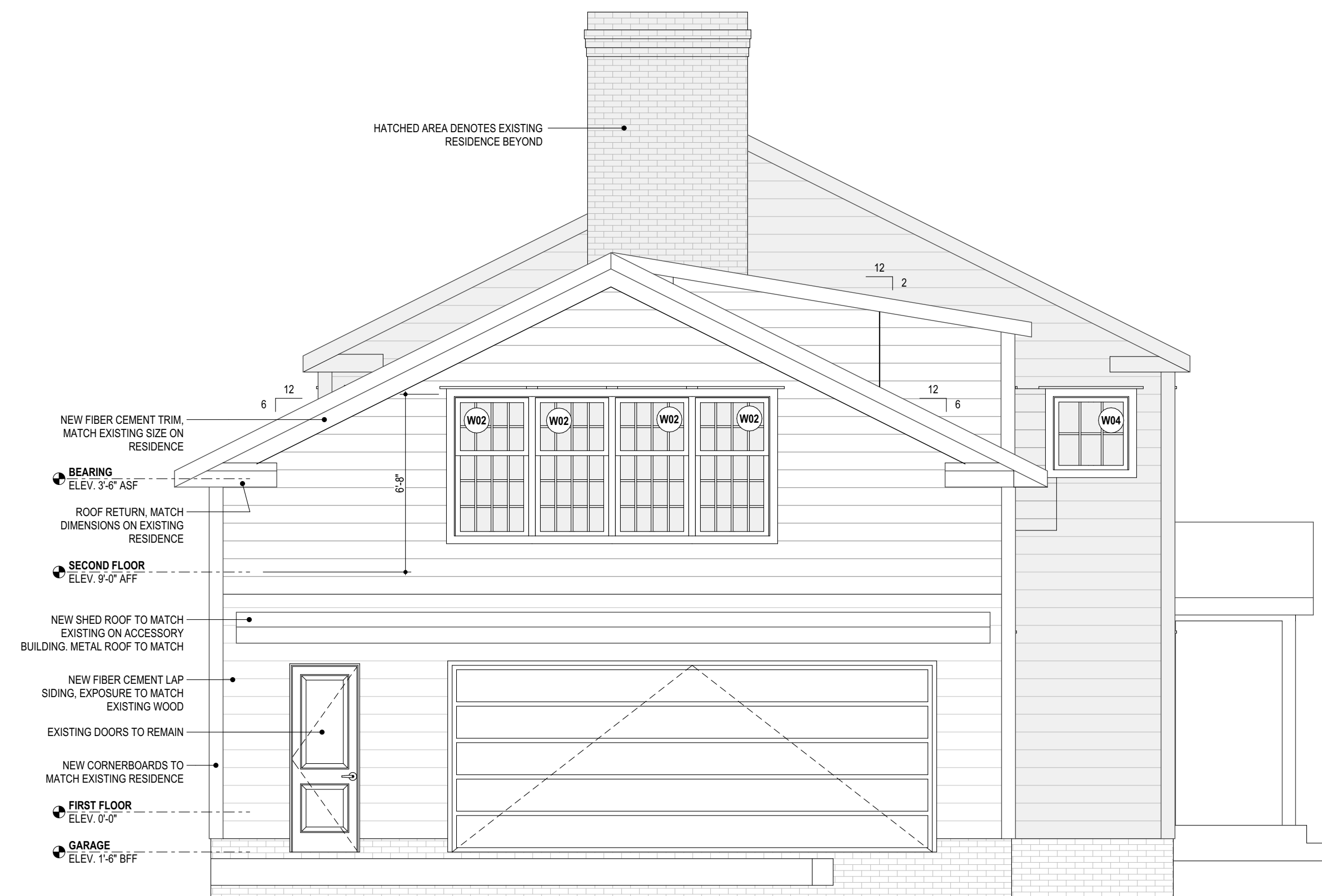
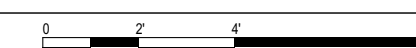
1 FRONT OF HOUSE ELEVATION

SCALE: 1/4" = 1'-0"



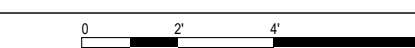
3 REAR OF HOUSE ELEVATION

SCALE: 1/4" = 1'-0"



2 SIDE OF HOUSE ELEVATION

SCALE: 1/4" = 1'-0"



FLOOR PLAN GENERAL NOTES

VERIFY DIMENSIONS AND CONDITIONS IN FIELD. WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON DRAWINGS CONFLICT WITH ACTUAL, CONTACT ARCHITECT FOR CLARIFICATION.

PROVIDE SOUND DEADENING INSULATION AROUND BEDROOMS, BATHROOMS, MECHANICAL ROOMS, AND PLUMBING STACKS.

BLOCK WEBS SOLID AT BEARING WALL LOCATIONS ABOVE.

CONTRACTOR TO EXTEND ALL POSTS DOWN TO SOUND FOUNDATION. INSTALL FULL DEPTH SOLID BLOCKING AT ALL POINT LOAD LOCATIONS.

ALL FOOTINGS TO EXTEND DOWN TO FROST LEVEL MINIMUM.

COORDINATE EXACT LOCATIONS OF FLOOR DRAINS WITH MECHANICAL CONTRACTOR.

PROVIDE 5/8" GYP. BOARD TYPE "X" ON GARAGE CEILINGS.

ALL INTERIOR DOORS TO BE 1 7/8" SOLID CORE WOOD DOORS. COORDINATE WITH FINISH PLANS FOR FINAL FINISH SELECTIONS.

ALL INTERIOR TRIM TO BE POPLAR OR APPROVED EQUAL. COORDINATE WITH INTERIOR ELEVATIONS AND MILLWORK DRAWINGS FOR SELECT TYPES AND PROFILES.

ALL MILLWORK TO BE PER DRAWINGS.

REFER TO CONSULTANT DRAWINGS IF APPLICABLE FOR COORDINATION OF WORK BETWEEN TRADES.

FLOOR TRUSS CRITERIA

TCL = 30 PSF
TCDL = 10 PSF
BCDL = 10 PSF
NET UPLIFT = 15 PSF
19/32" APA RATED EXPOSURE 1 OSB

ROOF TRUSS CRITERIA

TCLL = 25 PSF
TCDL = 10 PSF
BCDL = 10 PSF
NET UPLIFT = 10 PSF
ATTIC LL = 40 PSF
ΔTTL < L360
USE (2) SIMPSON SWDC15600 SCREWS AT TRUSS BRG

WOOD HEADERS (U.N.O.)

| OPENING | HEADERS | NON BEARING | BEARING |
|----------------|----------------|----------------|----------------|
| UP TO 4'-0" | (2) 2 X 8 | 1 JACK, 1 KING | 1 JACK, 1 KING |
| 4'-0" - 6'-0" | (2) 2 X 10 | 1 JACK, 1 KING | 2 JACK, 1 KING |
| 6'-1" - 8'-0" | (2) 2 X 12 | 1 JACK, 1 KING | 2 JACK, 1 KING |
| 8'-1" - 10'-0" | (2) 11 1/4 LVL | 2 JACK, 1 KING | 3 JACK, 1 KING |

INDICATES WEB STIFFENING BELOW BEARING WALL ABOVE

INDICATES AREA OF ADDITIONAL FRAMING REQUIRED

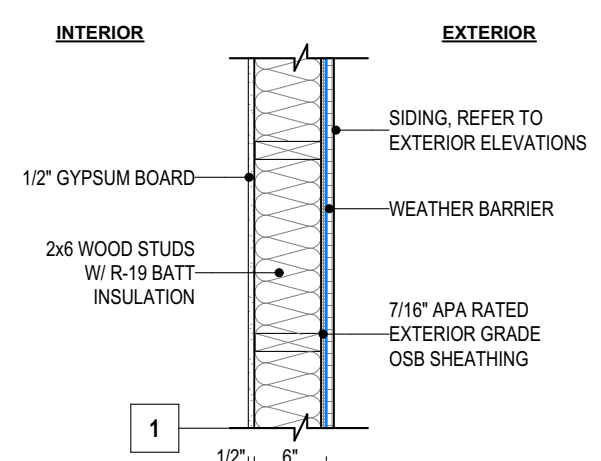
INDICATES POINT LOAD FROM ABOVE

INDICATES LOCATION OF BEARING WALL ABOVE

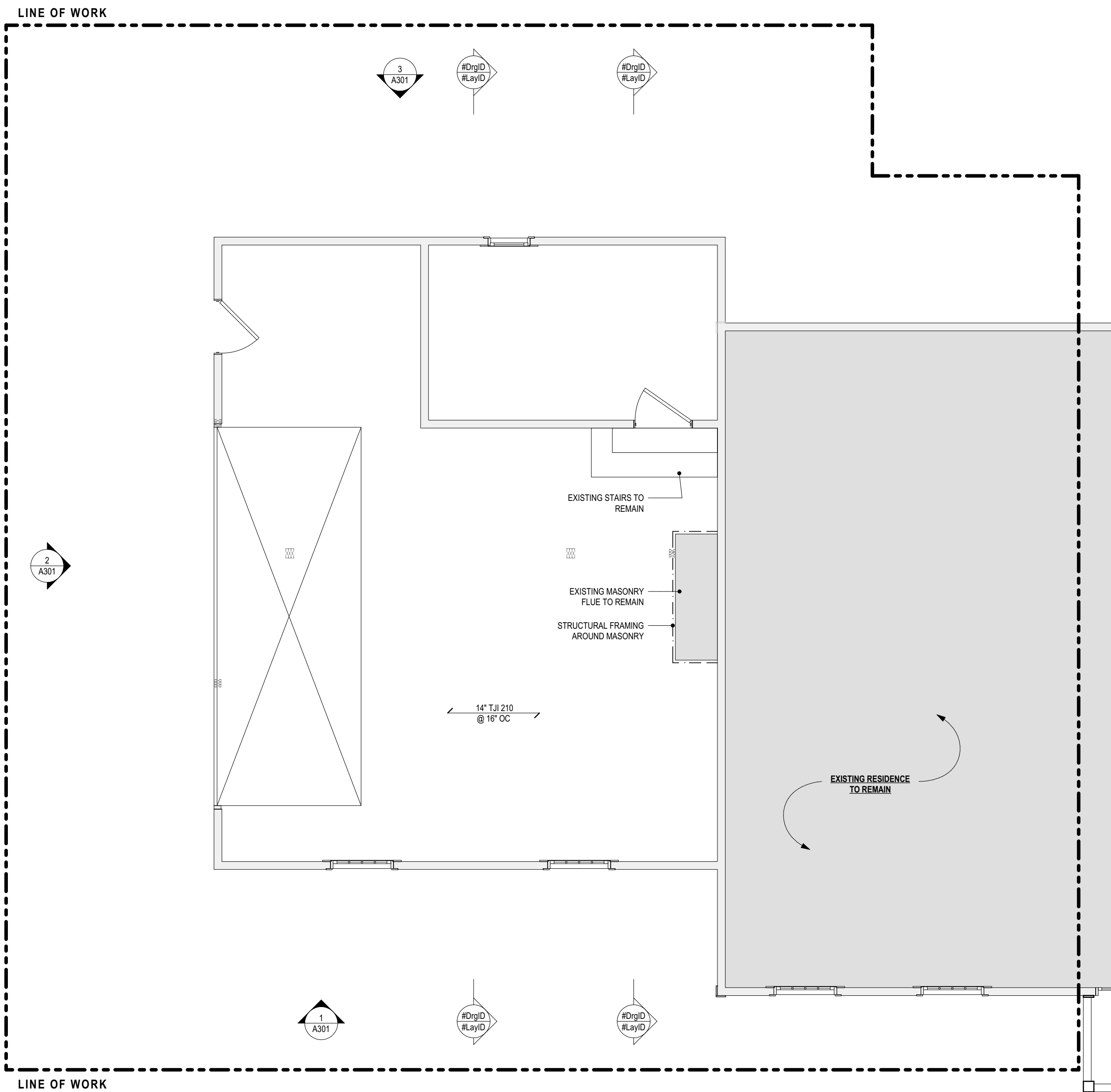
INDICATES BEARING WALL

EXTERIOR WALL TYPES

NOTE: WALL INFORMATION IS DEMONSTRATED IN PLAN VIEW

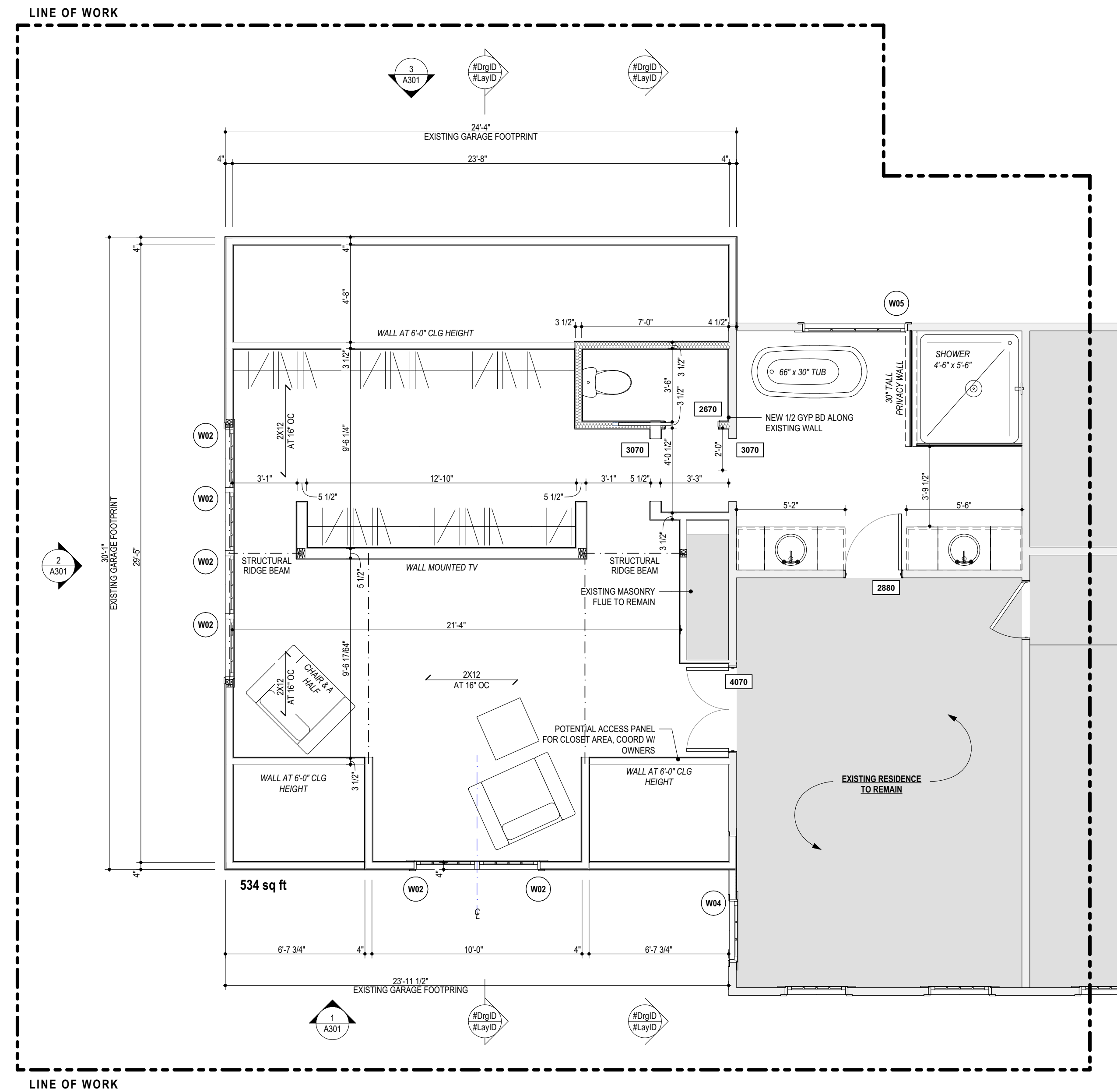
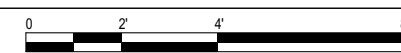


| WINDOW SCHEDULE | | | |
|-----------------|-----|---------------|---------|
| ID | QTY | W x H | REMARKS |
| W02 | 6 | 3'-0" x 5'-6" | |
| W04 | 1 | 3'-0" x 3'-0" | |
| W05 | 1 | 5'-0" x 5'-0" | |



1 FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



2 SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



