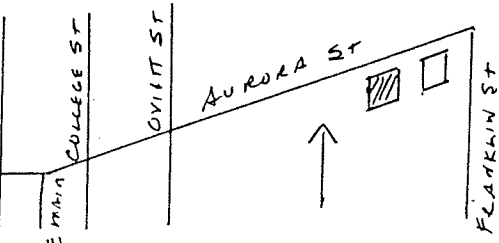
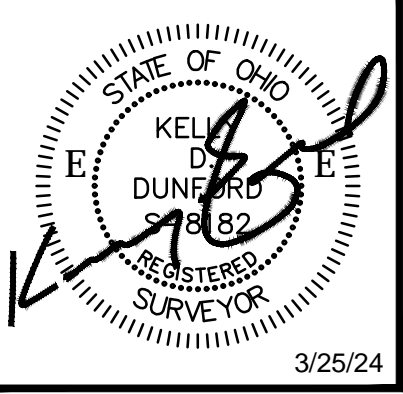


OHIO HISTORIC INVENTORY

Ohio Historic Preservation Office
Ohio Historical Center
Columbus, Ohio 43211

1. No.		4. Present Name(s) Residence, John Burke	
2. County Summit		5. Other Name(s) I. T. Frary House	
3. Location of Negatives HHA 50-10			
6. Specific Location 172 Aurora Street		16. Thematic Category C	28. No. of Stories 2
7. City or Town If Rural, Township & Vicinity Hudson		17. Date(s) or Period 1878	29. Basement? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
8. Site Plan with North Arrow 		18. Style or Design Greek Revival	30. Foundation Material sandstone blocks
9. Coordinates Lat. _____ Long. _____ U.T.M. Reference 17 463 768 4565 850		19. Architect or Engineer	31. Wall Construction wood frame
10. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>		20. Contractor or Builder	32. Roof Type & Material hip, asph shingle
11. Original Use, if apparent residence		21. Original Use, if apparent residence	33. No. of Bays Front 4 Side 3
12. Present Use residence		22. Present Use residence	34. Wall Treatment beveled siding
13. Owner's Name & Address, if known John Burke 172 Aurora Street Hudson 44236		23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape rect
14. Owner's Name & Address, if known John Burke 172 Aurora Street Hudson 44236		24. Owner's Name & Address, if known John Burke 172 Aurora Street Hudson 44236	36. Changes (Explain in #42) Addition <input checked="" type="checkbox"/> Altered <input checked="" type="checkbox"/> Moved <input type="checkbox"/>
15. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	37. Condition Interior _____ Exterior excellent
16. Local Contact Person or Organization Hudson Heritage Association		26. Local Contact Person or Organization Hudson Heritage Association	38. Preservation Underway? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
17. Other Surveys In Which Included		27. Other Surveys In Which Included	39. Endangered? By What? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
18. Part of Estab. Yes <input checked="" type="checkbox"/> Hist. Dist.? No <input type="checkbox"/>		19. Part of Estab. Yes <input checked="" type="checkbox"/> Hist. Dist.? No <input type="checkbox"/>	40. Visible from Public Road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
20. Name of Established District Hudson Local Historic District		21. Name of Established District Hudson Local Historic District	41. Distance from and Frontage on Road 30' 60'
22. Further Description of Important Features Greek Revival doorway with transom, sidelights; wide frieze, corner boards; one story rear addition; 2 story porch enclosed to east. Sandstone foundation partially cemented over. 6/6 double-hung windows.		Photo	
23. History and Significance H. R. Corner, 1929. Said to have been moved from present site of Hayden Hall; on present site since 1878. Residence of I. T. Frary in early 1900's. Frary, author of <u>Early Homes of Ohio</u> , (1936), made extensive alterations.			
24. Description of Environment and Outbuildings 1900 garage. Residential street of historic houses.			
25. Sources of Information Summit County Tax Assessment records Personal inspection		26. Prepared by L Newkirk, F. Barlow	
		27. Organization HHA	
		28. Date	29. Revision Date(s)

Summit
Residence, John Burke

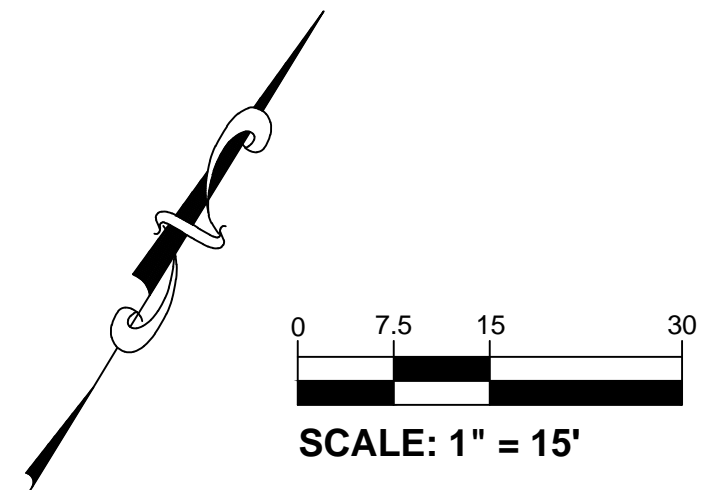
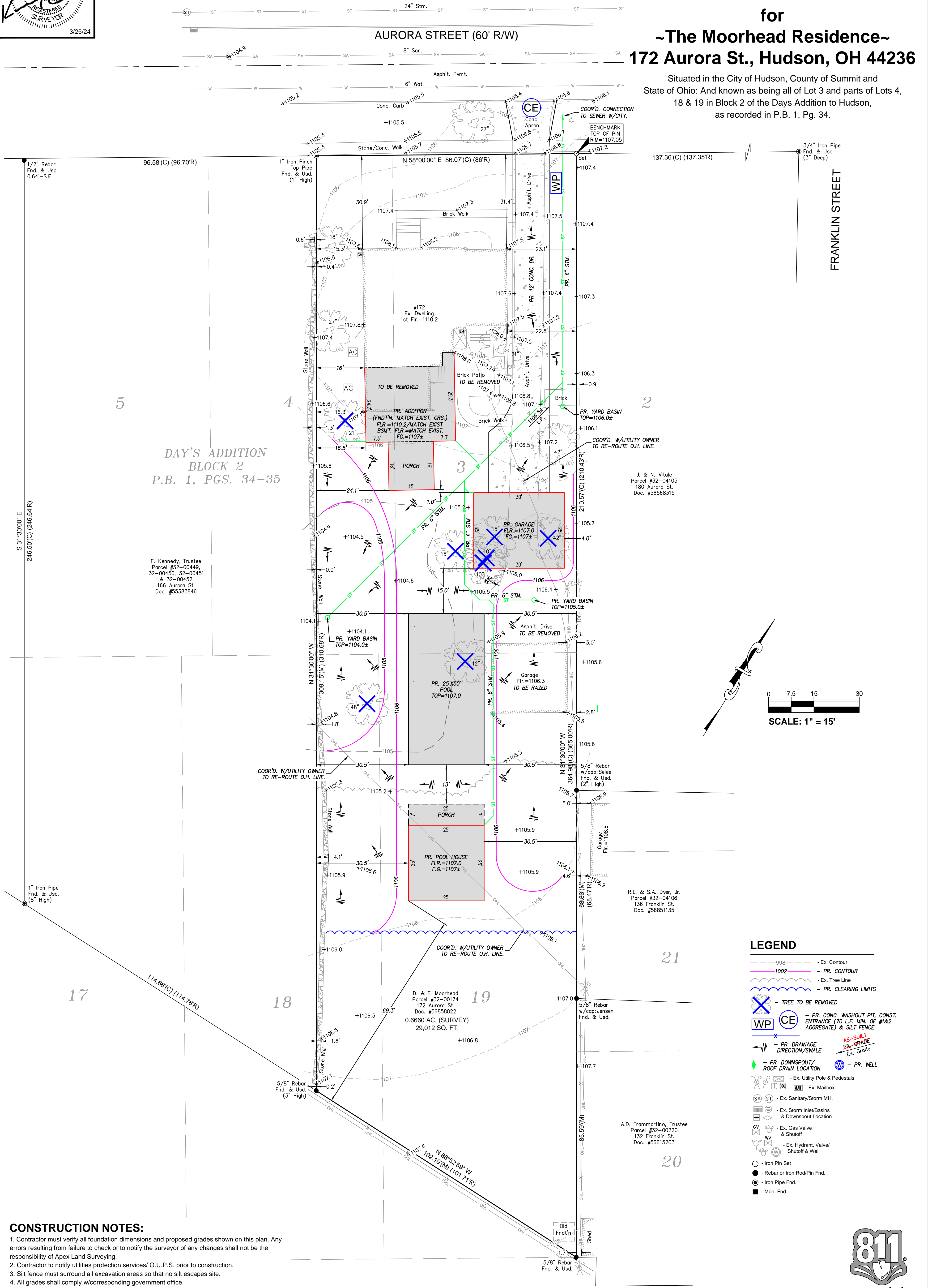


DATE OF SURVEY: JAN. 2024
 REVISIONS:
 1.) Ex. Cond. Survey Released to Client - 2/02/24

TOPOGRAPHIC SURVEY & SITE PLAN

for
~The Moorhead Residence~
172 Aurora St., Hudson, OH 44236

Situated in the City of Hudson, County of Summit and State of Ohio: And known as being all of Lot 3 and parts of Lots 4, 18 & 19 in Block 2 of the Days Addition to Hudson, as recorded in P.B. 1, Pg. 34.



- LEGEND**
- - - 998 - Ex. Contour
 - - - 1002 - PR. CONTOUR
 - - - - - Ex. Tree Line
 - - - - - PR. CLEARING LIMITS
 - X - TREE TO BE REMOVED
 - WP - PR. CONC. WASHOUT PIT, CONST. ENTRANCE (70 L.F. MIN. OF #1&2 AGGREGATE) & SILT FENCE
 - CE - PR. CONC. WASHOUT PIT, CONST. ENTRANCE (70 L.F. MIN. OF #1&2 AGGREGATE) & SILT FENCE
 - AS-BUILT - PR. GRADE
 - AS - PR. GRADE
 - PR. DRAINAGE DIRECTION/SWALE
 - PR. DOWNSPOUT/ ROOF DRAIN LOCATION
 - PR. WELL
 - Ex. Utility Pole & Pedestals
 - Ex. Mailbox
 - Ex. Sanitary/Storm MH.
 - Ex. Storm Inlet/Basins & Downspout Location
 - Ex. Gas Valve & Shutoff
 - Ex. Hydrant, Valve/ Shutoff & Well
 - - Iron Pin Set
 - - Rebar or Iron Rod/Pin Fnd.
 - - Iron Pipe Fnd.
 - - Mon. Fnd.

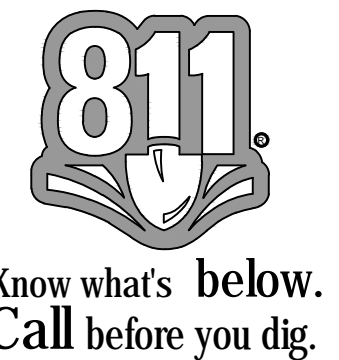
- CONSTRUCTION NOTES:**
- Contractor must verify all foundation dimensions and proposed grades shown on this plan. Any errors resulting from failure to check or to notify the surveyor of any changes shall not be the responsibility of Apex Land Surveying.
 - Contractor to notify utilities protection services/ O.U.P.S. prior to construction.
 - Silt fence must surround all excavation areas so that no silt escapes site.
 - All grades shall comply w/corresponding government office.
 - Maintain positive yard drainage away from house and a minimum slope of 1% along all swales.
 - Contractor shall verify location and depths of existing laterals & verify if proper connections can be made to house. Contact corresponding government office or utility owner if discrepancies occur.
 - All sewer connections must maintain a minimum slope of 1%.
 - The footer drain & downspouts are to be tied into storm drain. Contractor to determine connection point or points upon excavation & examination of existing storm drain system. Refer to house plans for downspout locations.
 - Contractor to determine if a foundation sump pump is required.
 - The location of utilities shown hereon are based on observed evidence of above ground appurtenances only. The location of these utilities may vary and are subject to field verification prior to construction. No other search for utilities was performed and additional utilities may be encountered.
 - There was no search for easements of record, right-of-ways, restrictive covenants, encumbrances, ownership title evidence, or any other facts that a title search may disclose.

- MISCELLANEOUS NOTES:**
- The "BASIS OF BEARINGS" for this survey was held as S 58°00'00" W along Aurora Street, as called for in deed recorded as Doc. #56858822. ALL DISTANCES SHOWN HEREON INDICATE GROUND DISTANCES IN US SURVEY FEET.
 - The vertical datum for this survey is NAVD88 (Geoid12b), as observed by GPS via the ODOT VRS network and referenced by benchmarks shown hereon.

SURVEYED BY:

APEX LAND SURVEYING
 KELLY D. DUNFORD, P.S. 8182
 2858 FULMER DR., SILVER LAKE, OH
 (330) 928-7750
 ps8182@sbcglobal.net
 www.apexlandsurveying.com

TITLE: TOPO & SITE PLAN	DATE: MAR. 2024
CLIENT: KAPELA	PROJ.: 2024004
SCALE: 1" = 15'	FILE: 2024004.dwg
DRAWN BY: KDD	CHECKED BY: KDD
CREW: KDD	SHEET: 1 OF 1
SHEET SIZE: 22" X 34"	



FOUNDATION NOTES

Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

GENERAL:

- 2x8 PRESSURE TREATED SILL PLATE WITH SILL SEALER
- 1/2" \varnothing x18" ANCHOR BOLTS @ 6'-0" o.c. AND 12" MAXIMUM FROM CORNERS AND WITH A MIN. OF 2 BOLTS PER PLATE PER RCO SECTION 403.1.6.
- EXTERIOR FOUNDATION INSULATION AS REQUIRED.
- R-19 BATT INSULATION BETWEEN FLOOR JOIST CAVITIES AT RIM.

FOOTINGS:

- ALL FOOTINGS SHALL EXTEND BELOW THE MINIMUM FROST LINE DEPTH OF 42" PER RCO SECTION 402.2.
 - (2)#4 REBAR CONTINUOUS THRU WALL FOOTERS.
 - ALL 8" BLOCK OR POURED CONCRETE WALLS SHALL HAVE A MINIMUM 8"x16" CONTINUOUS POURED CONCRETE FOOTING.
 - ALL 12" BLOCK OR POURED CONCRETE WALLS SHALL HAVE A MINIMUM 8"x20" CONTINUOUS POURED CONCRETE FOOTING.
 - ALL CONCRETE LINTELS AT FOOTING LEVEL CHANGES SHALL HAVE A MINIMUM OF 8" BEARING AT EACH END.
- CENTER ALL FOOTINGS ON COLUMN CENTER LINES. REINFORCE EACH WAY AS FOLLOWS:
- | | |
|--------------|-------|
| 24"x24"..... | (2)#4 |
| 30"x30"..... | (3)#4 |
| 36"x36"..... | (3)#5 |
| 42"x42"..... | (4)#5 |
| 48"x48"..... | (4)#5 |
| 60"x60"..... | (5)#5 |
| 72"x72"..... | (6)#5 |

CRAWL SPACE VENTILATION:

CRAWL SPACE EXTERIOR VENTILATION OPENINGS MAY BE OMITTED WHEN CONTINUOUSLY OPERATED MECHANICAL VENTILATION IS PROVIDED AT A RATE OF 1.0 cfm FOR EACH 50 SQUARE FEET OF CRAWL SPACE FLOOR AREA.

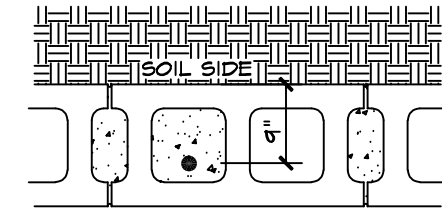
POINT LOADS:

IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THAT ALL POINT LOADS TRANSFER TO THE FOUNDATION OR SPECIFIED BEARING LOCATIONS.

12" CONC. BLOCK REINFORCING DETAIL

MASONRY WALL REINFORCEMENT =
(1)#5 @ 48" o.c.

- 24" MAX. FROM CORNERS
- BARS 9" IN FROM SOIL SIDE
- GROUT CORES FULL-HEIGHT SOLID AT REINFORCING BARS



DESIGN CRITERIA:

- 36" MINIMUM GRAVEL FILL
- MAX. LATERAL SOIL PRESSURE OF 55 psf
- 1,500 psf SOIL BEARING PRESSURE
- MIN. 3,000 psi CONCRETE STRENGTH
- REINFORCING YIELD STRENGTH OF 60,000 psi

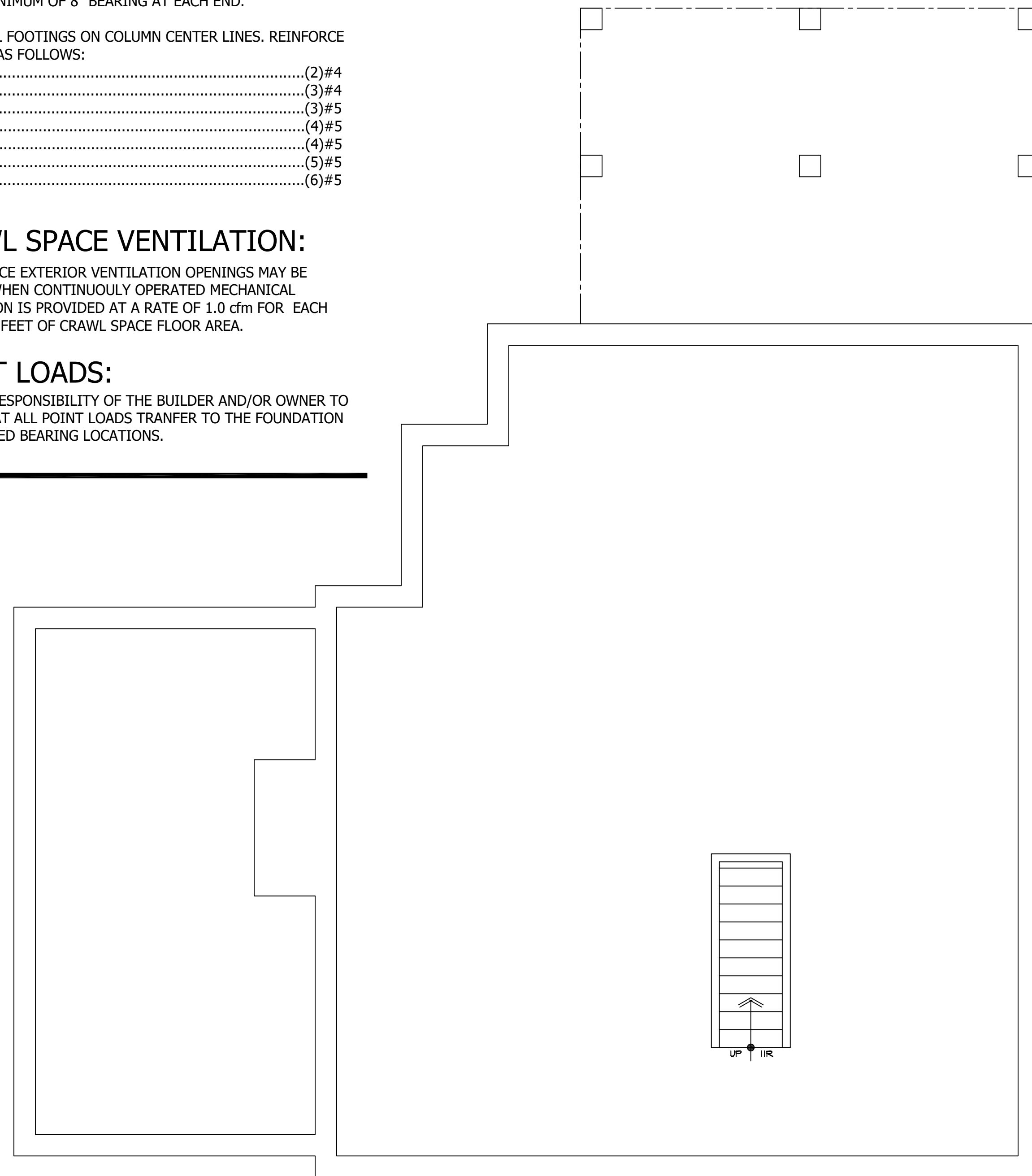
NOTE: THIS DETAIL IS ASSUMING BEST CASE SOIL CONDITIONS. FOR MEDIUM OR WORST CASE REFER TO RCO TABLE 404.1.1(4)

STEEL BEAM CHART

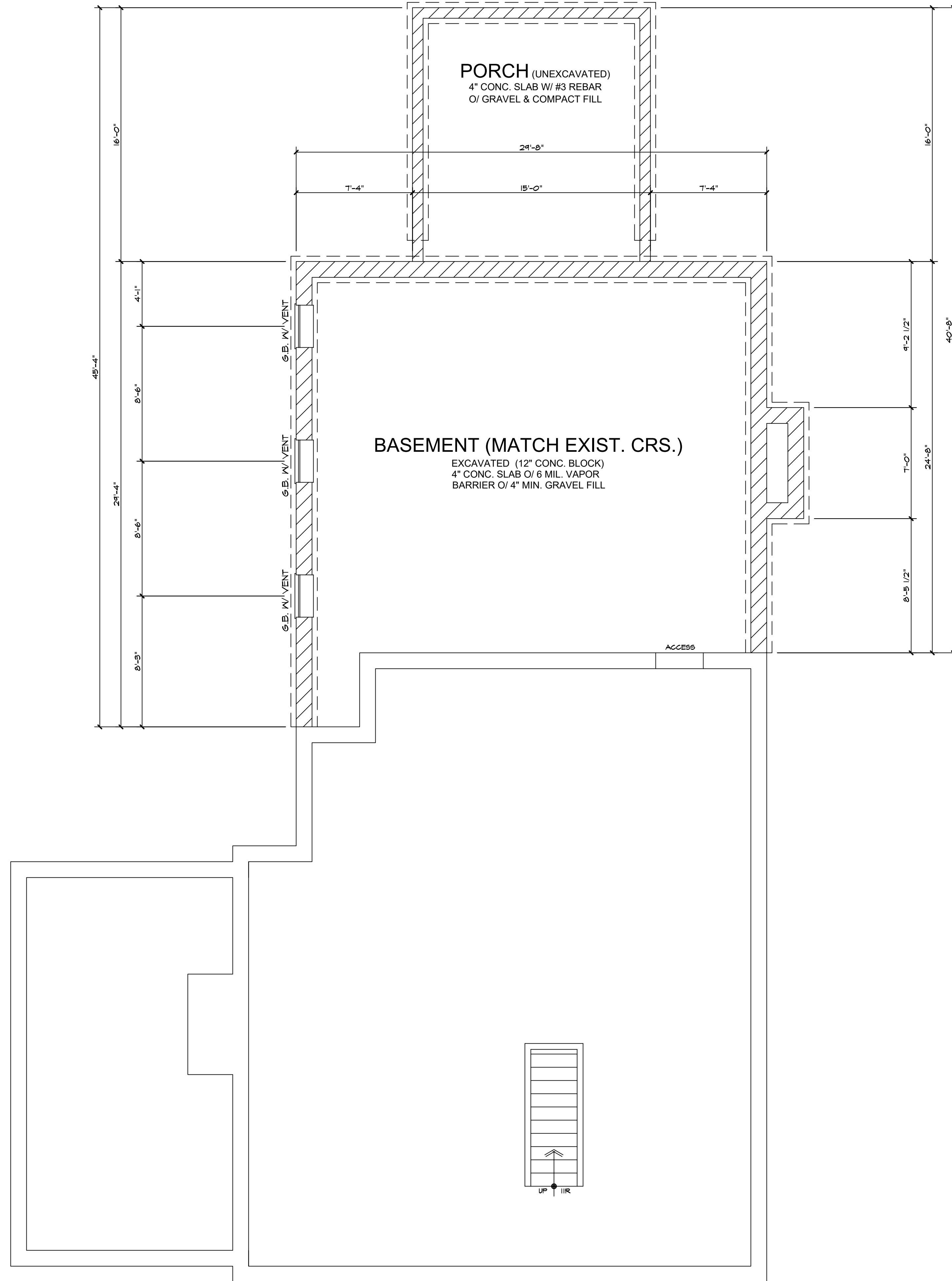
SIZE	DEPTH	WIDTH
W8x15	8 1/8"	4"
W10x22	10 1/8"	5 3/4"
W12x26	12 1/4"	6 1/2"
W12x45	12"	8"

NOTE: DIMENSIONS ARE DERIVED FROM AISC STEEL MANUAL. VERIFY WITH STEEL DISTRIBUTOR.

SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES



FOUNDATION PLAN - EXISTING
S: 1/4" = 1'-0"



FOUNDATION PLAN
S: 1/4" = 1'-0"

FIRST FLOOR NOTES

Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

GENERAL:

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- ALL INTERIOR WALLS ARE 3 1/2", EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
- ALL ANGLED WALLS ARE 45° UNLESS OTHERWISE NOTED.
- SEE PLANS FOR HEADERS IN ALL OPENINGS FOR EXTERIOR AND LOAD BEARING WALLS.
- ALL FLOOR JOISTS SHALL BE CROWNED BEFORE PLACEMENT.
- ALL POSTS (■) SHALL BE A MINIMUM OF (3)2x4's OR (2)2x6's UNLESS NOTED OTHERWISE & DEPENDENT ON WALL THICKNESS
- POINT LOADS ARE REPRESENTED BY (●)

SMOKE & CARBON DETECTORS:

ALL SMOKE & CARBON DETECTORS SHALL BE HARDWIRED & INTERCONNECTED WITH A BATTERY BACK-UP. THEY SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH ADDITIONAL STORY OF THE BUILDING PER RCO SECTIONS 314.3 AND 315.1.

STAIR REQUIREMENTS:

- MINI. STAIR WIDTH EXCLUDING WALL HANDRAIL.....3'-0"
- MINIMUM TREAD DEPTH.....9"
- MAXIMUM RISER HEIGHT.....8 1/4"
- MAXIMUM VARIANCE IN RISER HEIGHT.....3/8"
- MINIMUM NOSING PROJECTION.....1"
- MINIMUM HEADROOM HEIGHT AT STAIR ANGLE.....6'-8"
- MINIMUM / MAXIMUM HANDRAIL HEIGHT.....34" / 38"
- MAXIMUM BALUSTER SPACING (CLEAR OPENING).....<4"
- MINIMUM GUARDRAIL HEIGHT AT STAIRS.....34"
- MINIMUM GUARDRAIL HEIGHT AT DECKS & BALCONIES.....36"
- MAXIMUM HAND GRIP WIDTH.....2 1/4"
- MINIMUM DISTANCE BETWEEN WALL AND HANDRAIL.....1 1/2"

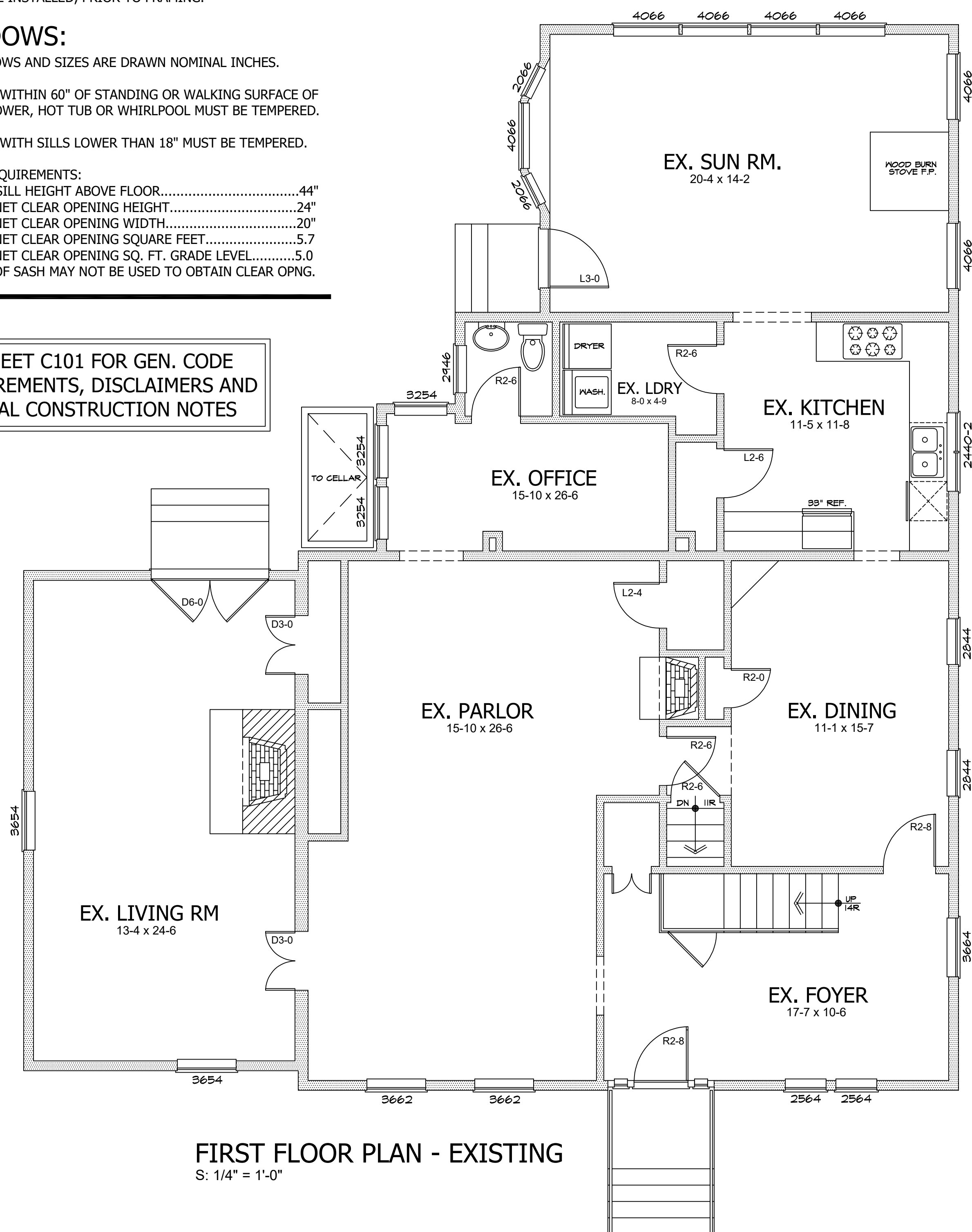
FIREPLACES:

ALL CHIMNEYS AND FIREPLACES SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF 2013 RCO AND INSTALLED PER THE ORDINANCES SET FORTH THE BY THE LOCAL GOVERNING BUILDING AND ZONING DEPARTMENTS. IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THE ROUGH-OPENING DIMENSIONS FOR ALL PRE-FAB FIREPLACES WITH THE ACTUAL UNIT TO BE INSTALLED, PRIOR TO FRAMING.

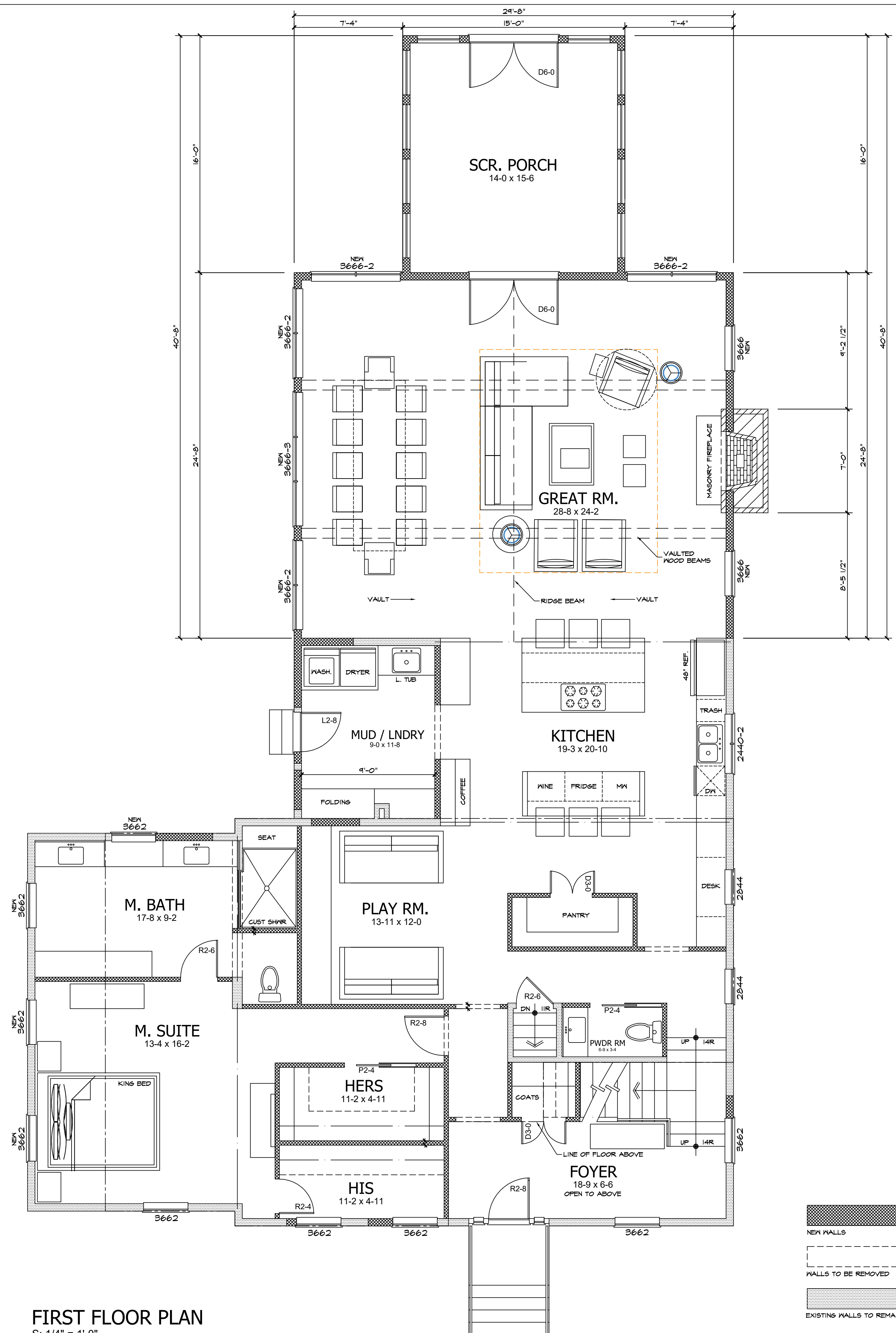
WINDOWS:

- ALL WINDOWS AND SIZES ARE DRAWN NOMINAL INCHES.
- WINDOWS WITHIN 60" OF STANDING OR WALKING SURFACE OF A TUB, SHOWER, HOT TUB OR WHIRLPOOL MUST BE TEMPERED.
- WINDOWS WITH SILLS LOWER THAN 18" MUST BE TEMPERED.
- EGRESS REQUIREMENTS:
- MAXIMUM SILL HEIGHT ABOVE FLOOR.....44"
- MINIMUM NET CLEAR OPENING HEIGHT.....24"
- MINIMUM NET CLEAR OPENING WIDTH.....20"
- MINIMUM NET CLEAR OPENING SQUARE FEET.....5.7
- MINIMUM NET CLEAR OPENING SQ. FT. GRADE LEVEL.....5.0
- REMOVAL OF SASH MAY NOT BE USED TO OBTAIN CLEAR OPNG.

SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES



FIRST FLOOR PLAN - EXISTING
S: 1/4" = 1'-0"



FIRST FLOOR PLAN
S: 1/4" = 1'-0"

SECOND FLOOR NOTES

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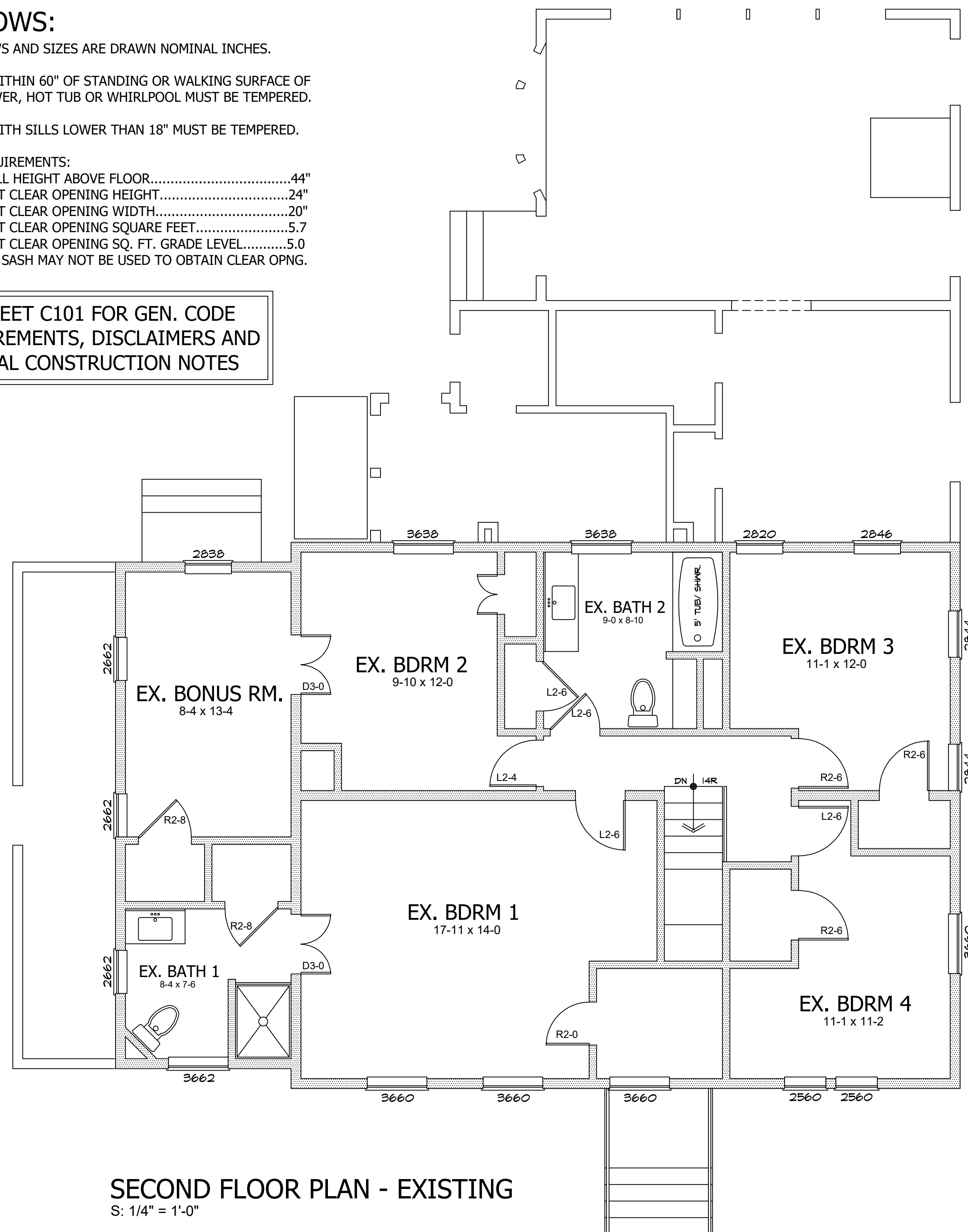
SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES

SMOKE & CARBON DETECTORS:

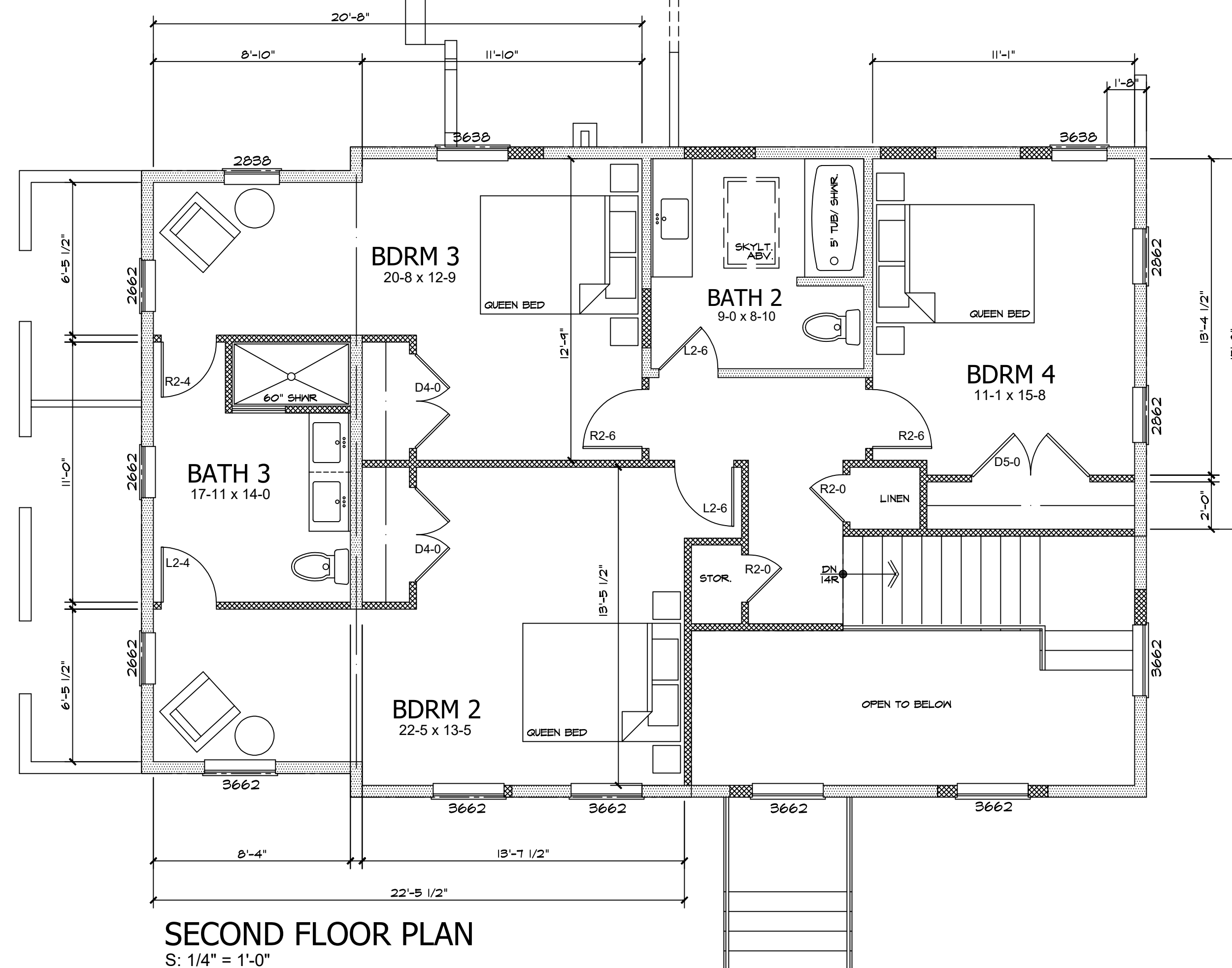
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STAIR REQUIREMENTS:

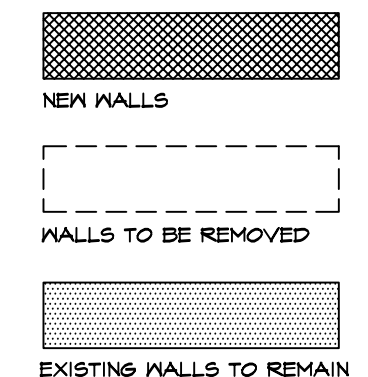
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SECOND FLOOR PLAN - EXISTING
 S: 1/4" = 1'-0"



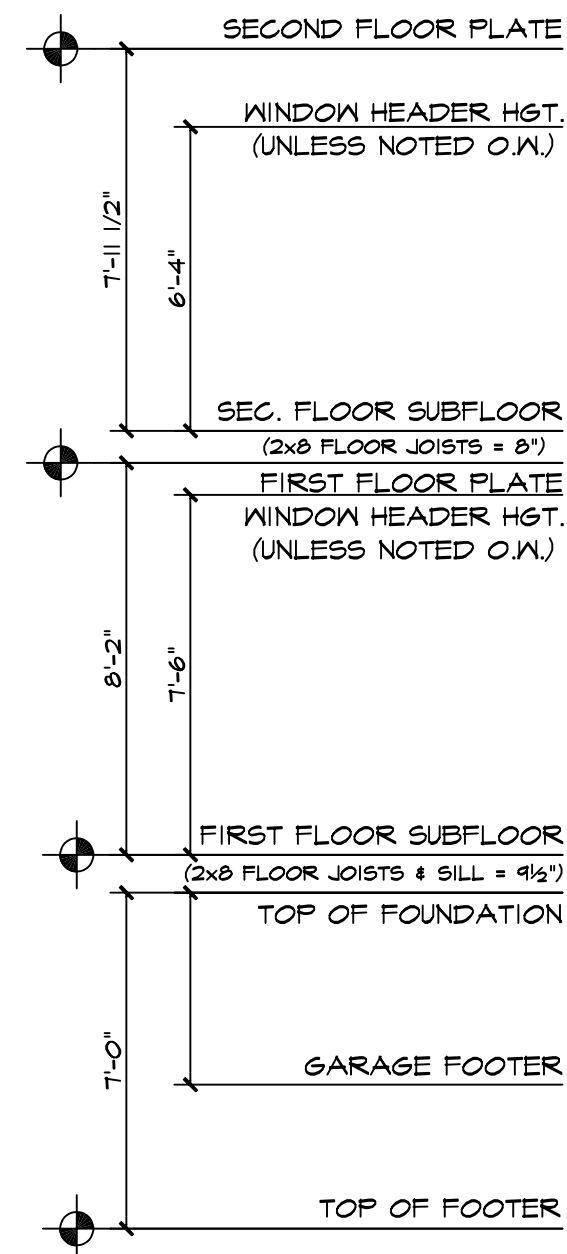
SECOND FLOOR PLAN
 S: 1/4" = 1'-0"





THE EXISTING SIDING, SHUTTERS AND TRIM HAVE DETERIORATED BEYOND REPAIR:

1. SIDING TO BE NEW CEDAR LAP TO MATCH EXISTING REVEAL
2. SHUTTERS TO BE NEW WOOD SHUTTERS TO MATCH EXISTING
3. TRIM TO BE BORAL WITH ALL SIZES AND PROFILES TO MATCH EXISTING



FRONT ELEVATION - EXIST.
S: 1/4" = 1'-0"



GAF TIMBERLINE HD SHINGLE - CHARCOAL



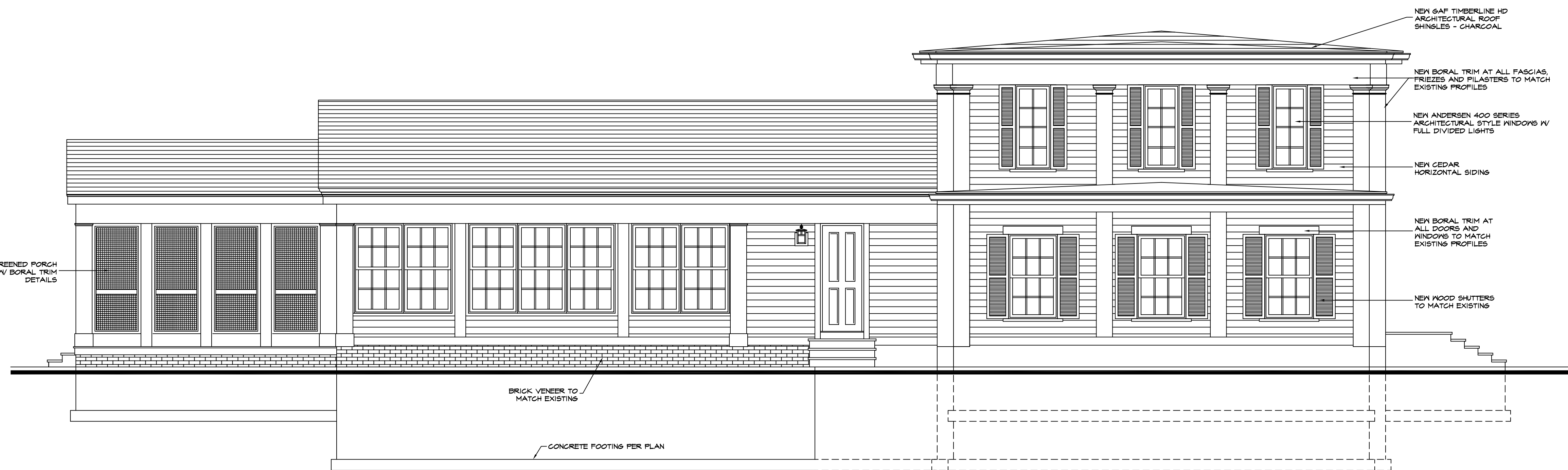
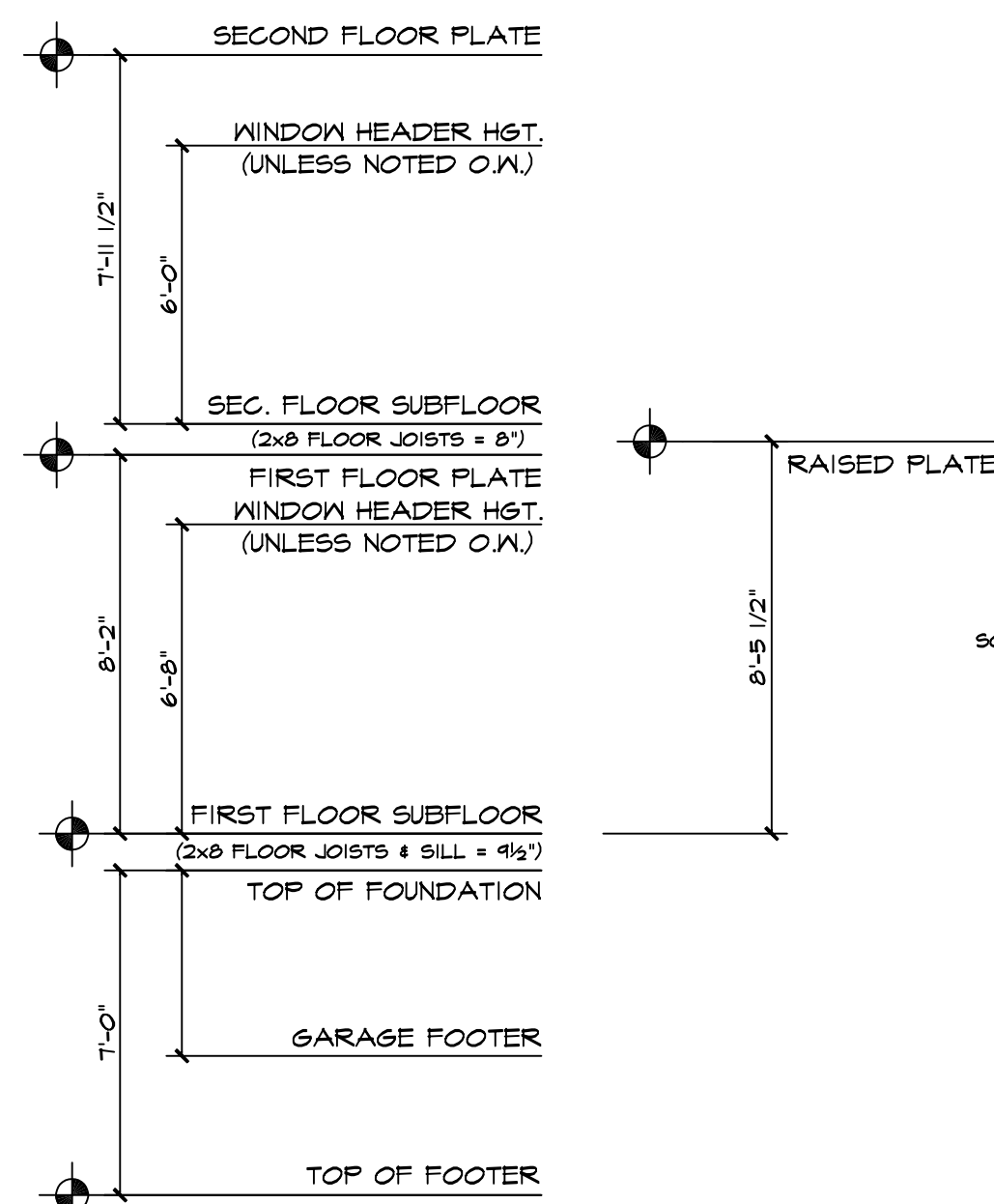
FRONT ELEVATION - NEW
S: 1/4" = 1'-0"



SAMPLE OF ALL BORAL TRIM FROM OUR PROJECT AT 1751 E. HINES HILL RD.



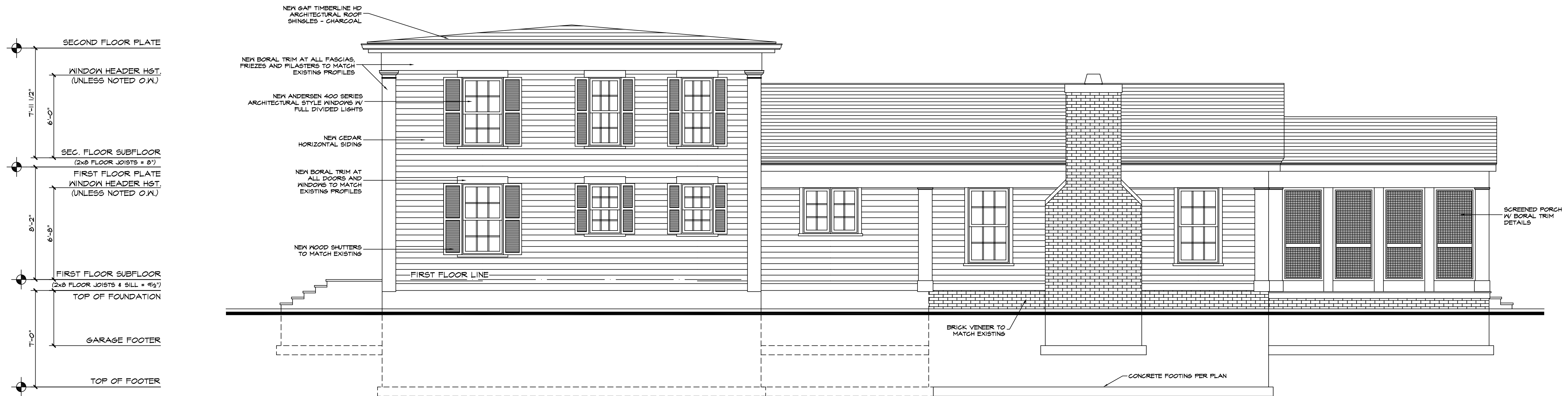
LEFT SIDE ELEVATION - EXIST.
S: 1/4" = 1'-0"



LEFT SIDE ELEVATION - NEW
S: 1/4" = 1'-0"



RIGHT SIDE ELEVATION - EXIST.
S: 1/4" = 1'-0"



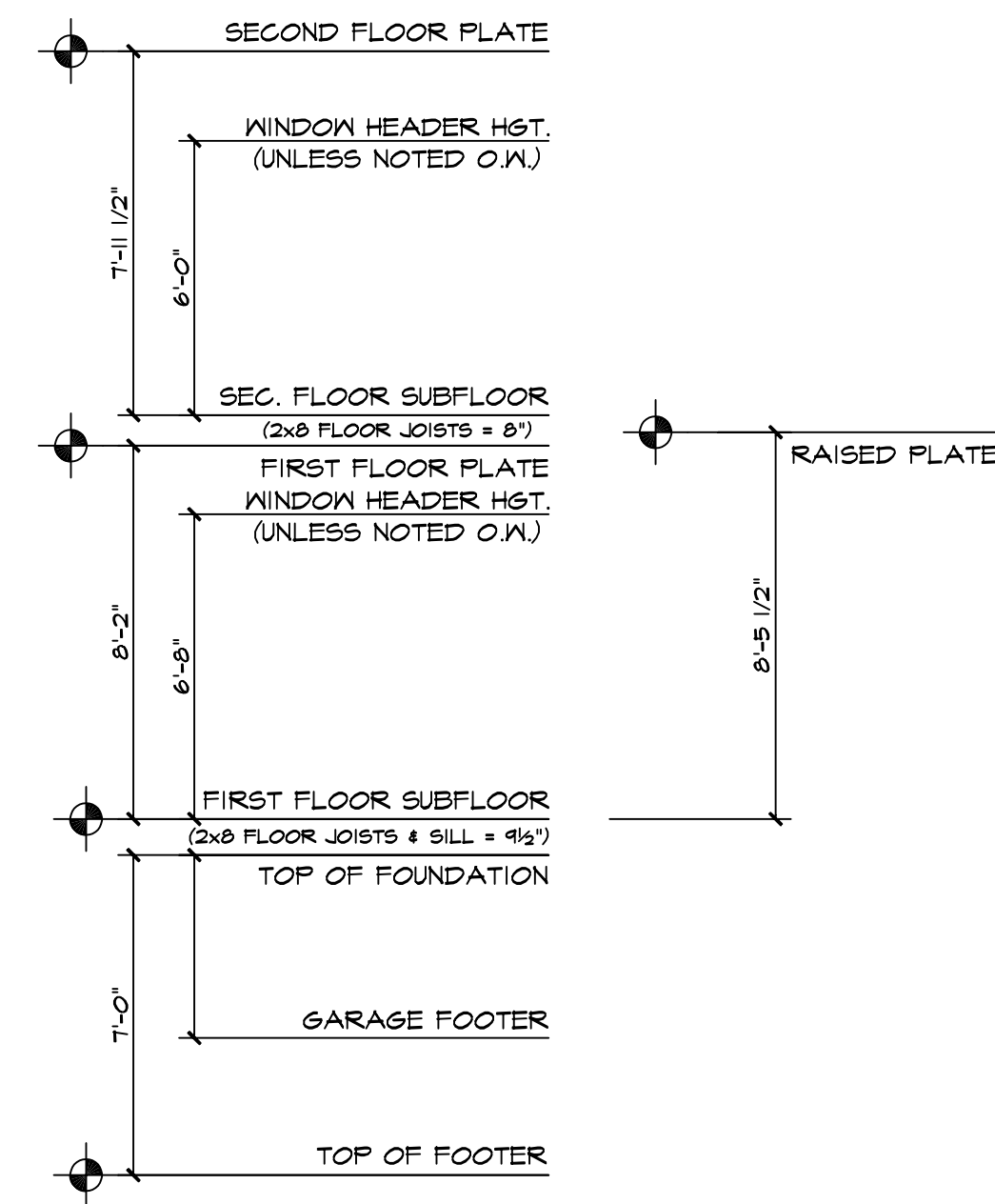
RIGHT SIDE ELEVATION - NEW
S: 1/4" = 1'-0"



REAR ELEVATION - EXIST.
S: 1/4" = 1'-0"



REAR ELEVATION - NEW
S: 1/4" = 1'-0"



FIRST FLOOR NOTES

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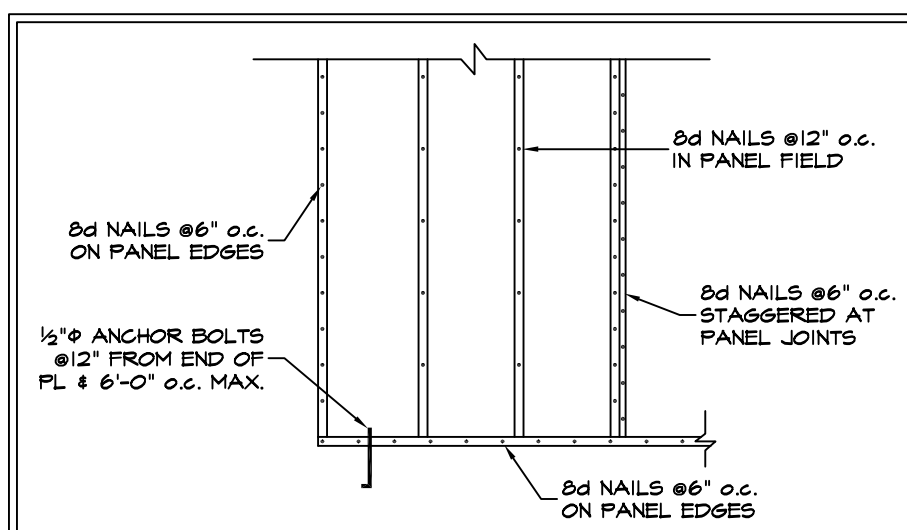
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 MINIMUM DISTANCE BETWEEN WALL AND HANDRAIL.....1 1/2"

SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES



METHOD CS-WSP (602.10.4)

- THIS IS FOR ALL EXTERIOR WALLS OF THE HOME U.N.O.
- EXTERIOR BRACED WALLS ARE ALL TO ALL BE CONTINUOUSLY SHEATHED WITH MIN 7/8" OSB OR PLYWOOD PER CODE.
- ATTACH PER TABLE 602.2(3)
- CONTINUOUSLY SHEATH PER SECTION 602.10.4.2
- MIN. PANEL LENGTHS PER TABLE 602.10.5
- PER TABLE 602.10.1.3 BRACED WALL LINE SPACING 60 FT. MAX WITH 3.1 DIAPHRAGM WIDTH TO DEPTH RATIO

BRACED WALL PANELS (NOT TO SCALE)

FOUNDATION NOTES

Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

GENERAL:

-2x8 PRESSURE TREATED SILL PLATE WITH SILL SEALER

-1/2" ^Ø x18" ANCHOR BOLTS @ 6'-0" o.c. AND 12" MAXIMUM FROM CORNERS AND WITH A MIN. OF 2 BOLTS PER PLATE PER RCO SECTION 403.1.6.

-EXTERIOR FOUNDATION INSULATION AS REQUIRED.

-R-19 BATT INSULATION BETWEEN FLOOR JOIST CAVITIES AT RIM.

FOOTINGS:

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CENTER ALL FOOTINGS ON COLUMN CENTER LINES. REINFORCE EACH WAY AS FOLLOWS:

24"x24".....	(2)#4
30"x30".....	(3)#4
36"x36".....	(3)#5
42"x42".....	(4)#5
48"x48".....	(4)#5
60"x60".....	(5)#5
72"x72".....	(6)#5

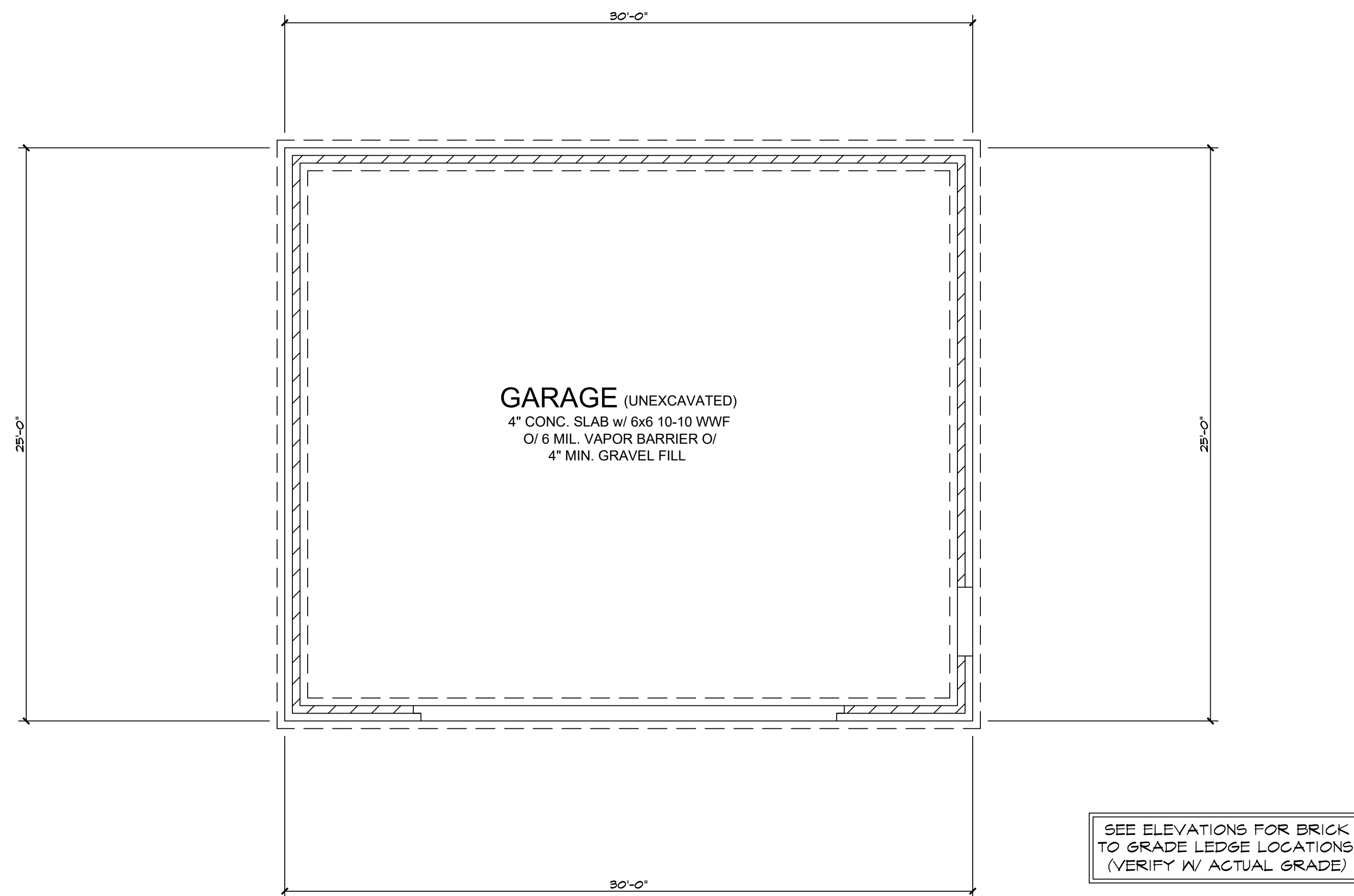
CRAWL SPACE VENTILATION:

CRAWL SPACE EXTERIOR VENTILATION OPENINGS MAY BE OMITTED WHEN CONTINUOUSLY OPERATED MECHANICAL VENTILATION IS PROVIDED AT A RATE OF 1.0 cfm FOR EACH 50 SQUARE FEET OF CRAWL SPACE FLOOR AREA.

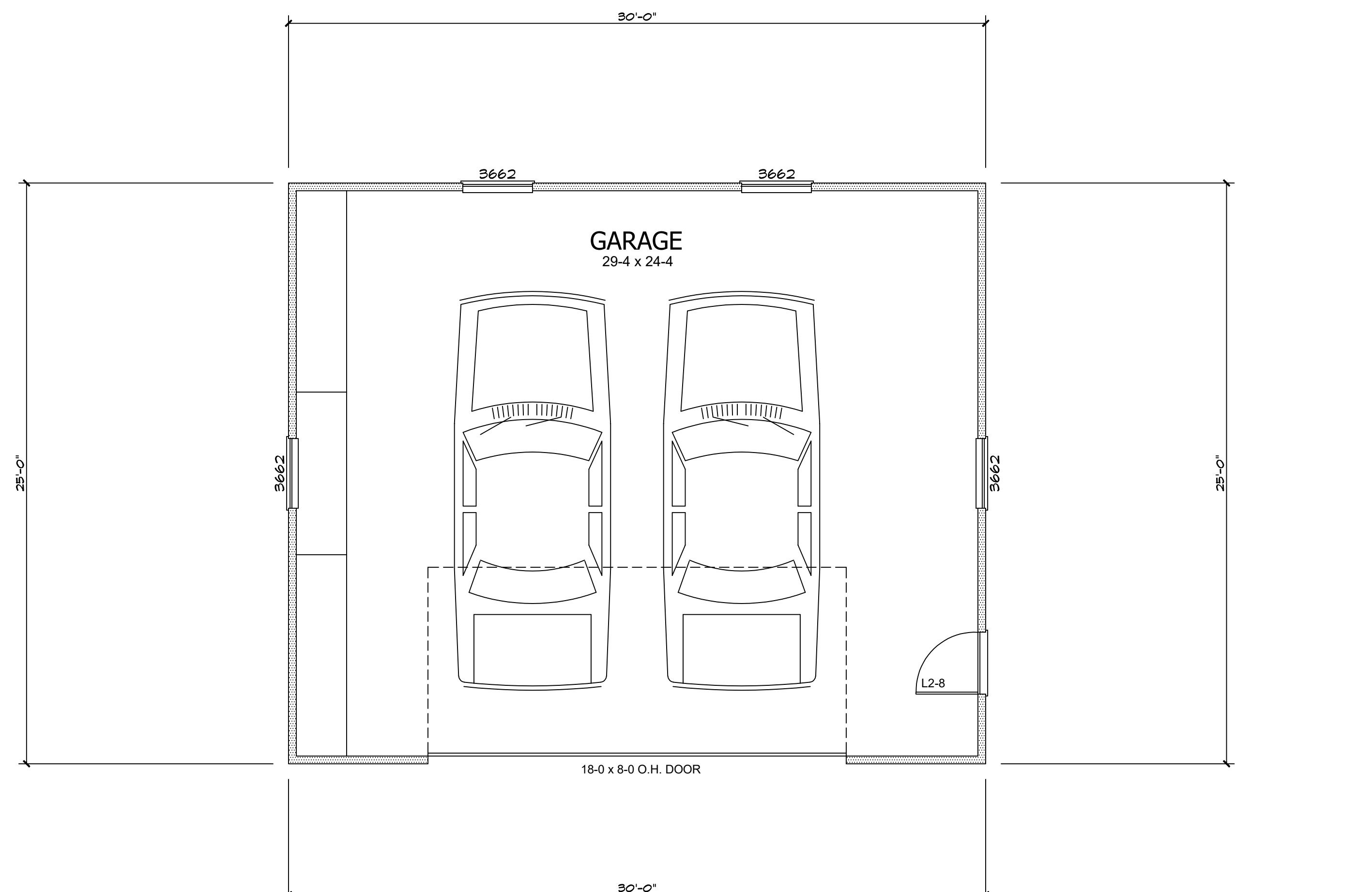
POINT LOADS:

IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THAT ALL POINT LOADS TRANSFER TO THE FOUNDATION OR SPECIFIED BEARING LOCATIONS.

SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES



FOUNDATION PLAN
S: 1/4" = 1'-0"



FIRST FLOOR PLAN
S: 1/4" = 1'-0"



CONTACT:
 J. KAPELA DESIGNS & CONST.
 4302 John Avenue
 Cleveland, Ohio 44113
 216-465-2123
 www.jkapela.com

MOORHEAD RESIDENCE
 1772 AURORA STREET
 HUDSON, OH 44236
 GARAGE PLANS

DATE
 2023-12-07 LAYOUT EXISTING
 2024-03-04 AHPB SUBMISSION

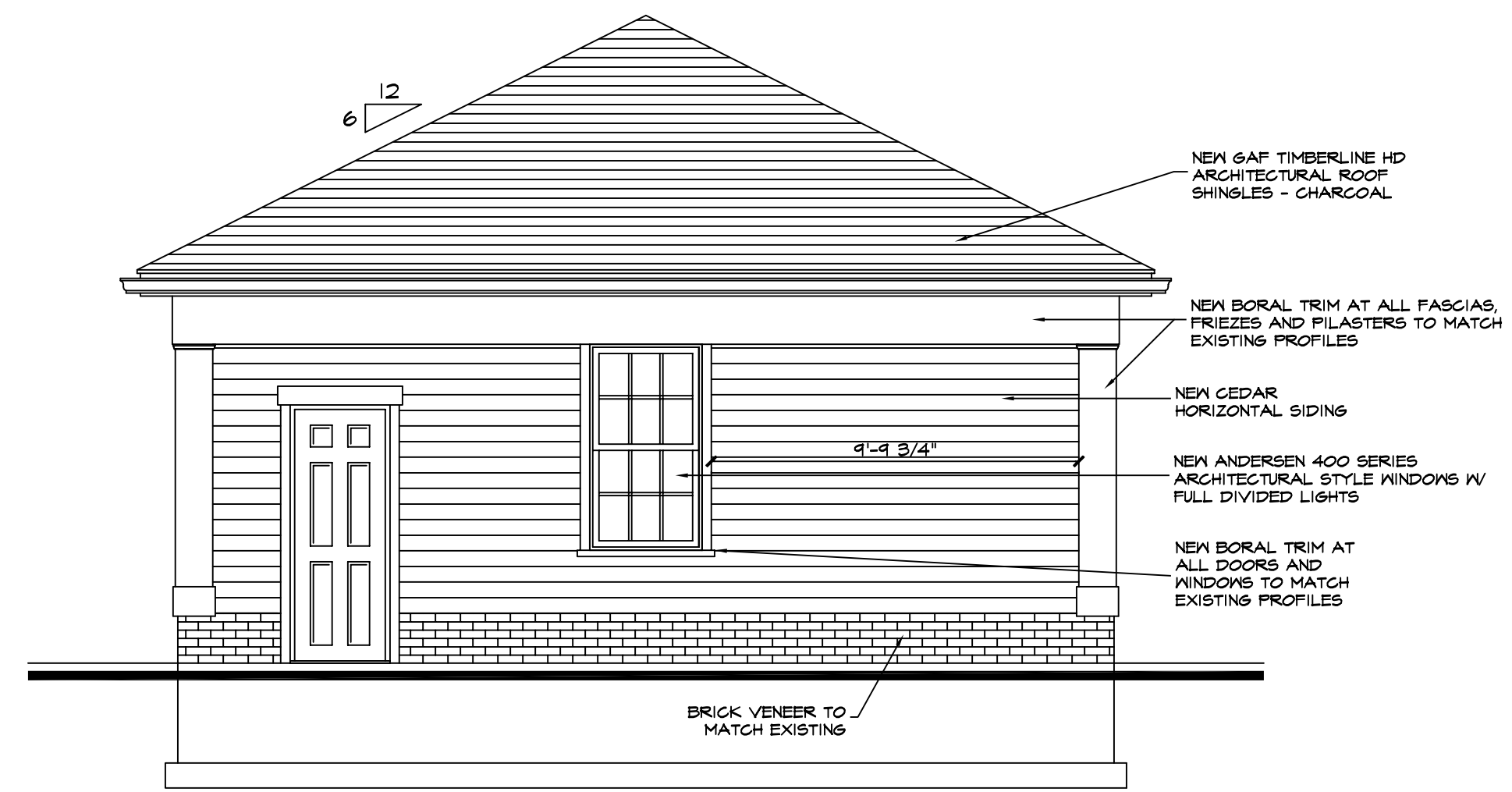
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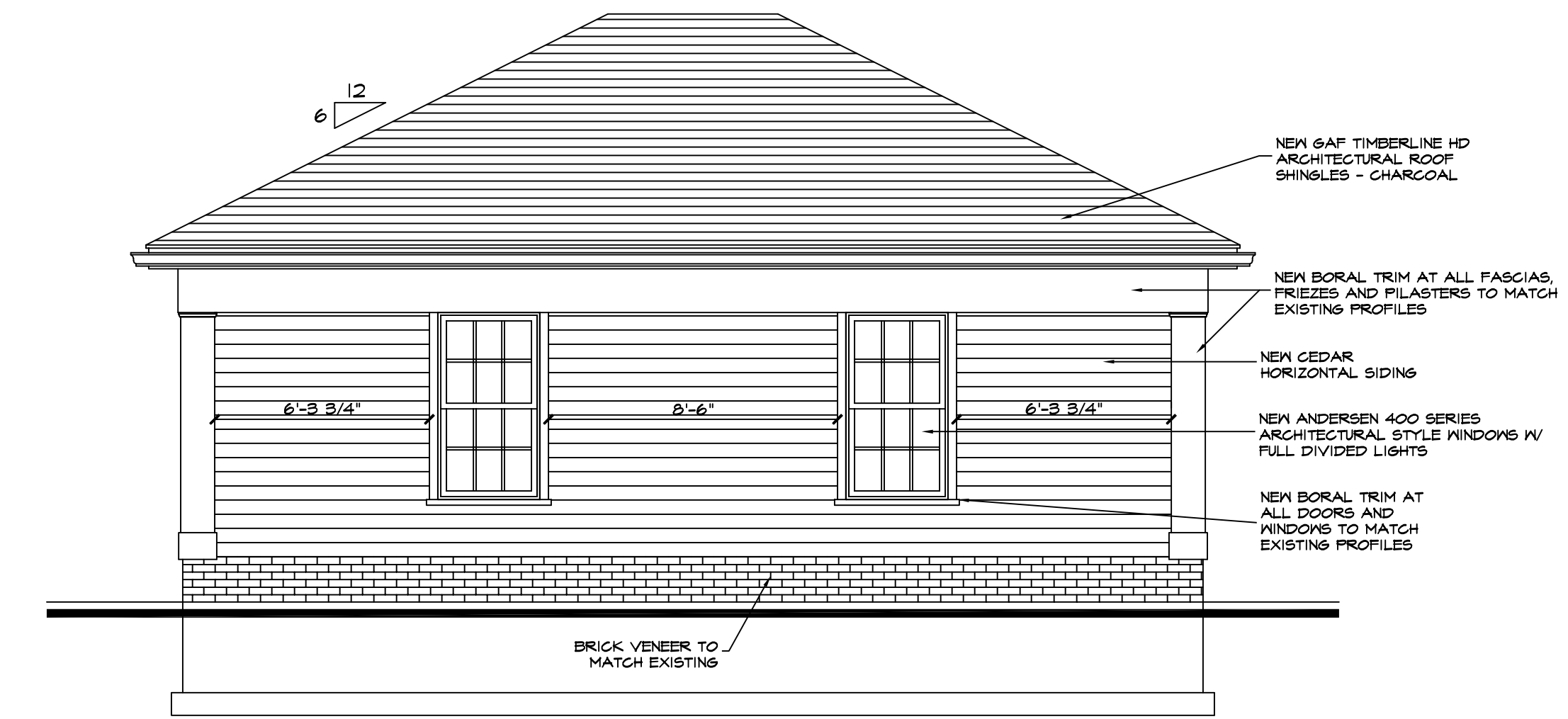
JOB # 2023-45

G101

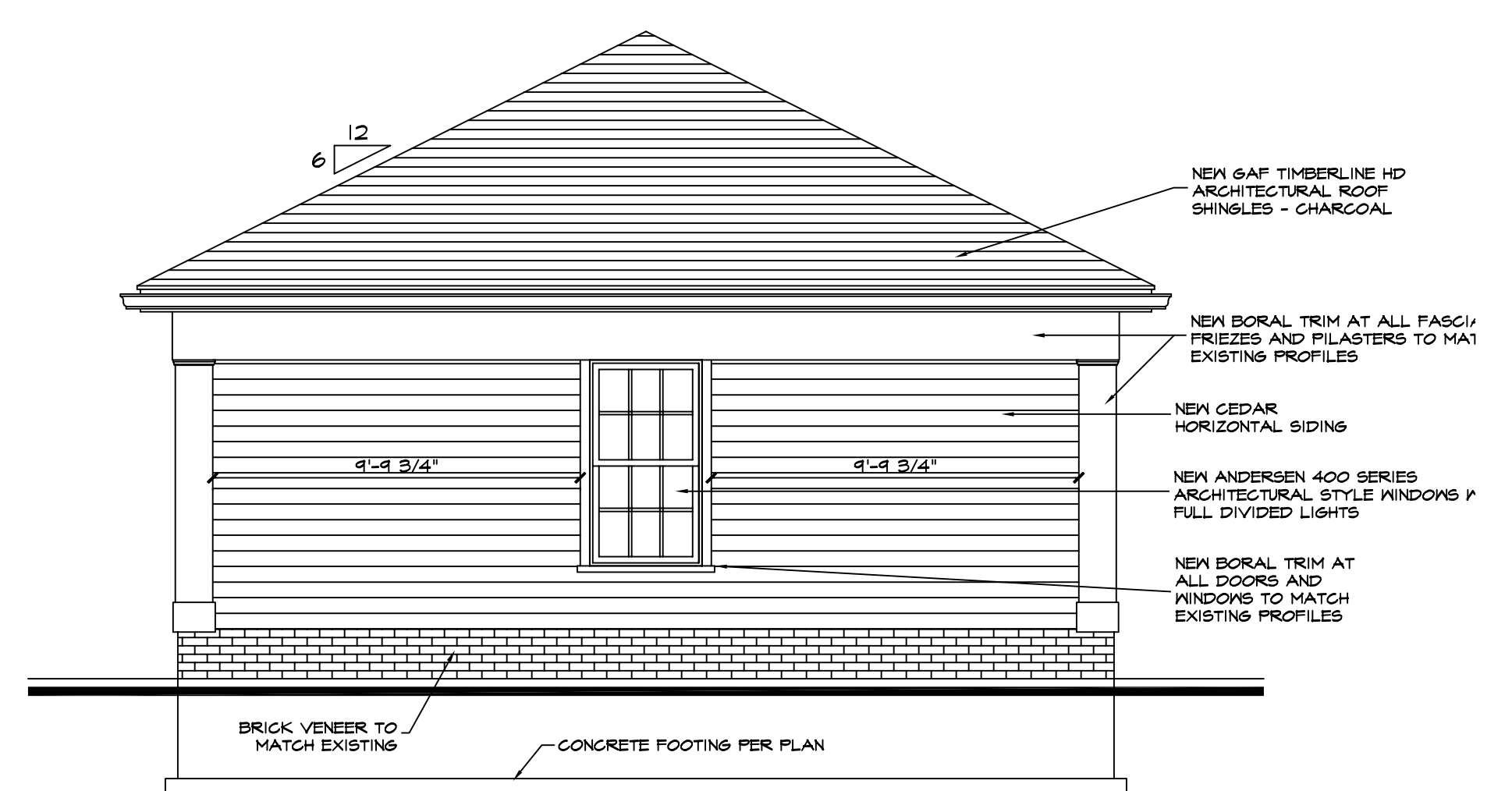
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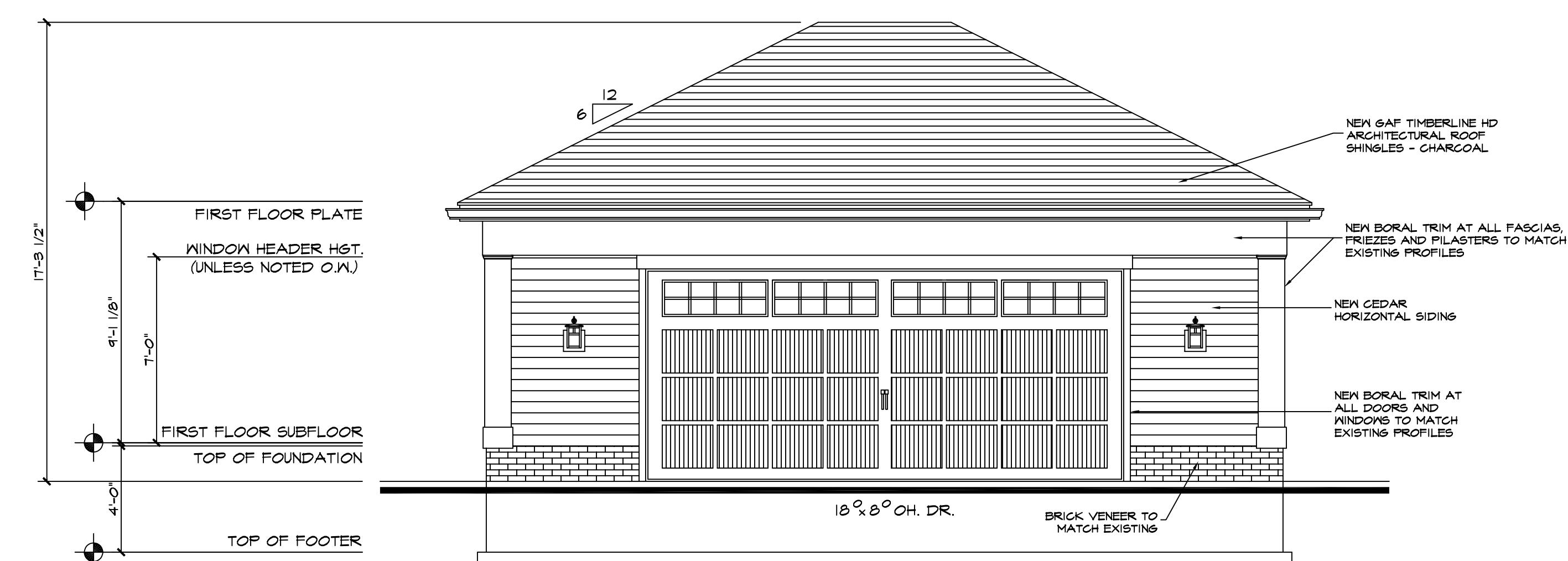
RIGHT SIDE ELEVATION
S: 1/4" = 1'-0"



REAR ELEVATION
S: 1/4" = 1'-0"



LEFT SIDE ELEVATION
S: 1/4" = 1'-0"



FRONT ELEVATION
S: 1/4" = 1'-0"

MOORHEAD RESIDENCE
172 AURORA STREET
HUDSON, OH 44236
EXTERIOR ELEVATIONS

DATE
2023-12-07 LAYOUT EXISTING
2024-03-04 AHRB SUBMISSION

3-29-24

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JOB # 2023-45

G201

FIRST FLOOR NOTES

Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

GENERAL:

-ALL WALLS ARE DIMENSIONED STUD-TO-STUD.

-ALL INTERIOR WALLS ARE 3 1/2", EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.

-ALL ANGLED WALLS ARE 45° UNLESS OTHERWISE NOTED.

-SEE PLANS FOR HEADERS IN ALL OPENINGS FOR EXTERIOR AND LOAD BEARING WALLS.

-ALL FLOOR JOISTS SHALL BE CROWNED BEFORE PLACEMENT.

-ALL POSTS (■) SHALL BE A MINIMUM OF (3)2x4's OR (2)2x6's UNLESS NOTED OTHERWISE & DEPENDENT ON WALL THICKNESS

-POINT LOADS ARE REPRESENTED BY (●)

SMOKE & CARBON DETECTORS:

ALL SMOKE & CARBON DETECTORS SHALL BE HARDWIRED & INTERCONNECTED WITH A BATTERY BACK-UP. THEY SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH ADDITIONAL STORY OF THE BUILDING PER RCO SECTIONS 314.3 AND 315.1.

FIREPLACES:

ALL CHIMNEYS AND FIREPLACES SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF 2013 RCO AND INSTALLED PER THE ORDINANCES SET FORTH THE BY THE LOCAL GOVERNING BUILDING AND ZONING DEPARTMENTS. IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THE ROUGH-OPENING DIMENSIONS FOR ALL PRE-FAB FIREPLACES WITH THE ACTUAL UNIT TO BE INSTALLED, PRIOR TO FRAMING.

WINDOWS:

ALL WINDOWS AND SIZES ARE DRAWN NOMINAL INCHES.

WINDOWS WITHIN 60" OF STANDING OR WALKING SURFACE OF A TUB, SHOWER, HOT TUB OR WHIRLPOOL MUST BE TEMPERED.

WINDOWS WITH SILLS LOWER THAN 18" MUST BE TEMPERED.

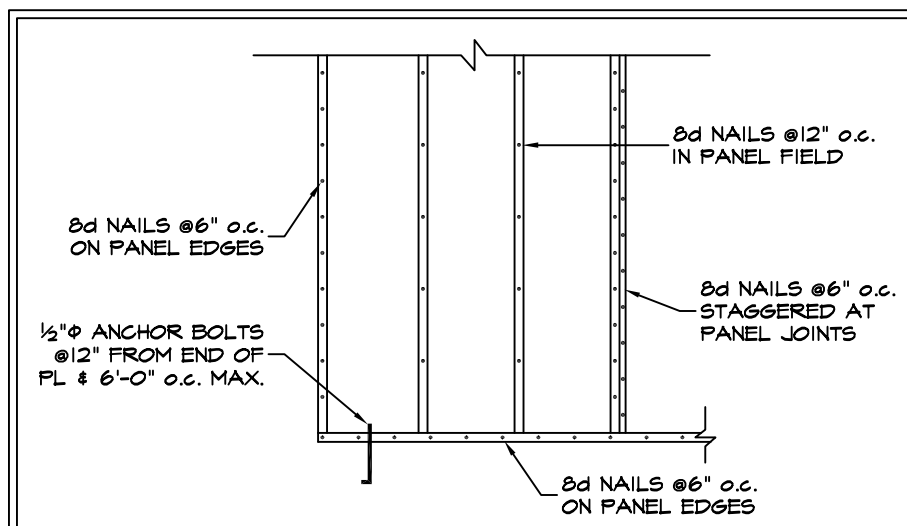
EGRESS REQUIREMENTS:

MAXIMUM SILL HEIGHT ABOVE FLOOR.....44"
 MINIMUM NET CLEAR OPENING HEIGHT.....24"
 MINIMUM NET CLEAR OPENING WIDTH.....20"
 MINIMUM NET CLEAR OPENING SQUARE FEET.....5.7
 MINIMUM NET CLEAR OPENING SQ. FT. GRADE LEVEL.....5.0
 REMOVAL OF SASH MAY NOT BE USED TO OBTAIN CLEAR OPNG.

STAIR REQUIREMENTS:

MINI. STAIR WIDTH EXCLUDING WALL HANDRAIL.....3'-0"
 MINIMUM TREAD DEPTH.....9"
 MAXIMUM RISER HEIGHT.....8 1/4"
 MAXIMUM VARIANCE IN RISER HEIGHT.....3/8"
 MINIMUM NOSING PROJECTION.....1"
 MINIMUM HEADROOM HEIGHT AT STAIR ANGLE.....6'-8"
 MINIMUM / MAXIMUM HANDRAIL HEIGHT.....34" / 38"
 MAXIMUM BALUSTER SPACING (CLEAR OPENING).....<4"
 MINIMUM GUARDRAIL HEIGHT AT STAIRS.....34"
 MINIMUM GUARDRAIL HEIGHT AT DECKS & BALCONIES.....36"
 MAXIMUM HAND GRIP WIDTH.....2 1/4"
 MINIMUM DISTANCE BETWEEN WALL AND HANDRAIL.....1 1/2"

SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES



METHOD CS-WSP (602.10.4)

- THIS IS FOR ALL EXTERIOR WALLS OF THE HOME U.N.O.
- EXTERIOR BRACED WALLS ARE ALL TO ALL BE CONTINUOUSLY SHEATHED WITH MIN 7/8" OSB OR PLYWOOD PER CODE.
- ATTACH PER TABLE 602.2(3)
- CONTINUOUSLY SHEATH PER SECTION 602.10.4.2
- MIN. PANEL LENGTHS PER TABLE 602.10.5
- PER TABLE 602.10.1.3 BRACED WALL LINE SPACING 60 FT. MAX WITH 3.1 DIAPHRAGM WIDTH TO DEPTH RATIO

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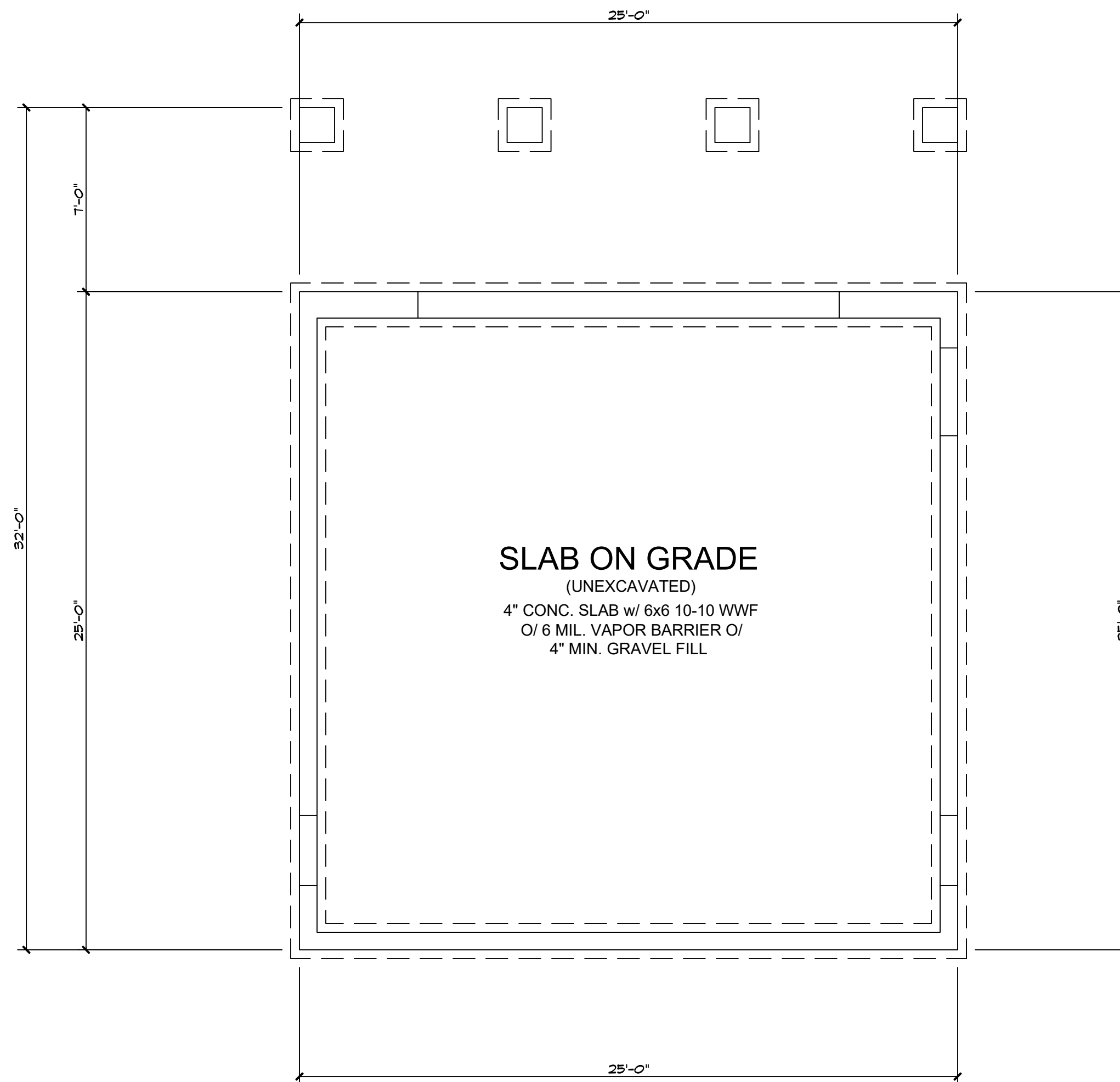
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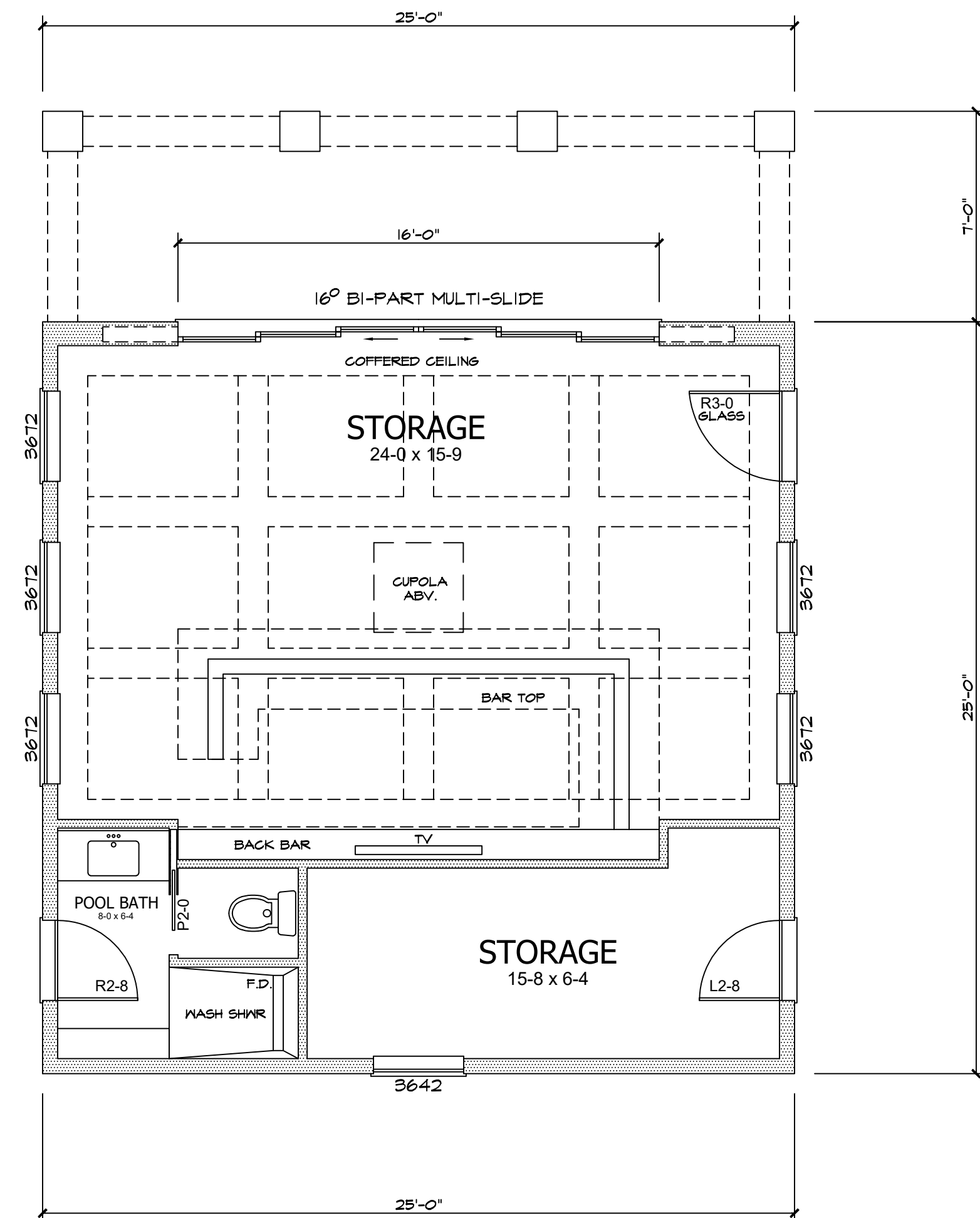
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FOUNDATION PLAN

S: 1/4" = 1'-0"



FIRST FLOOR PLAN

S: 1/4" = 1'-0"



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FIRST FLOOR PLAN

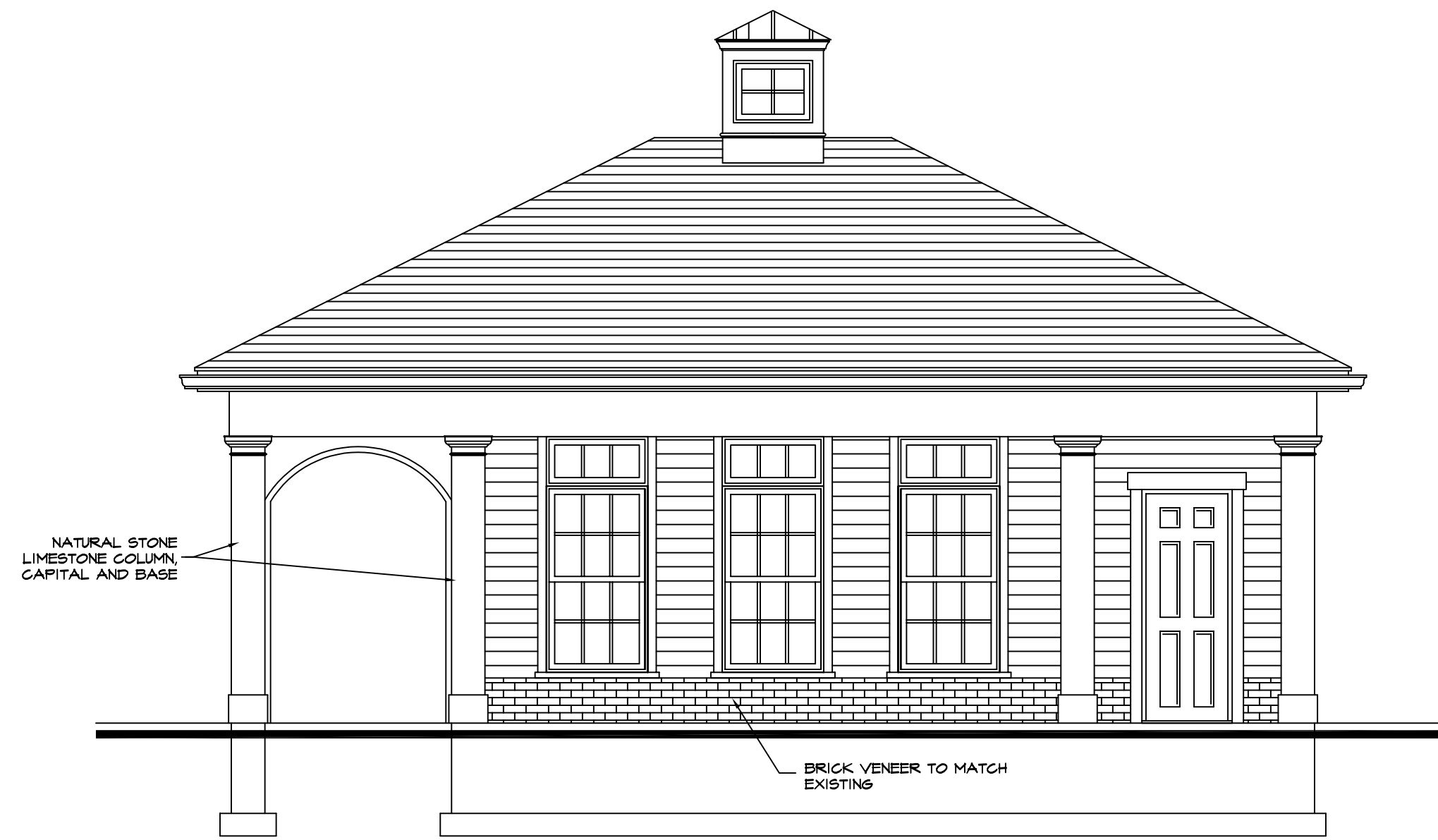
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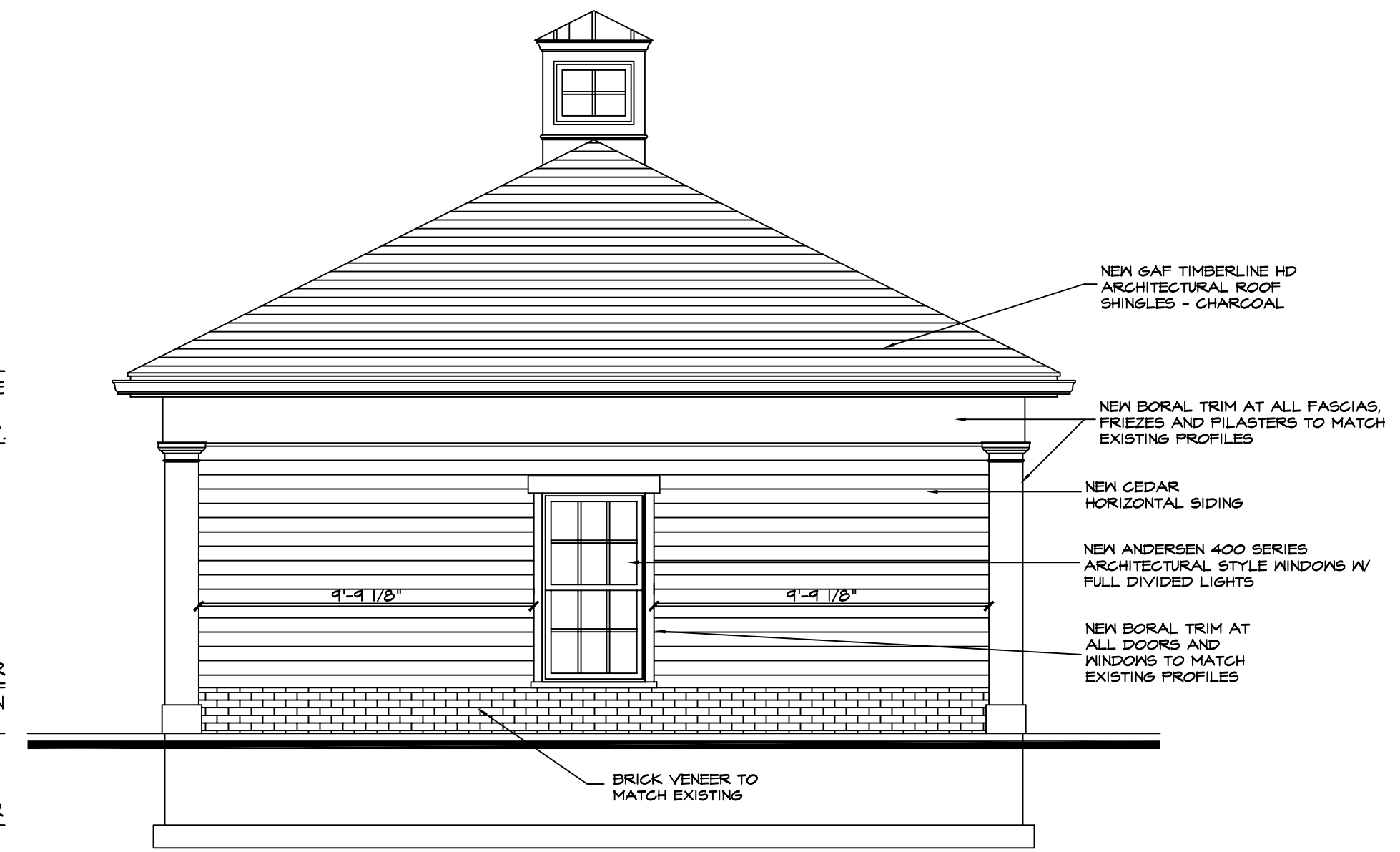
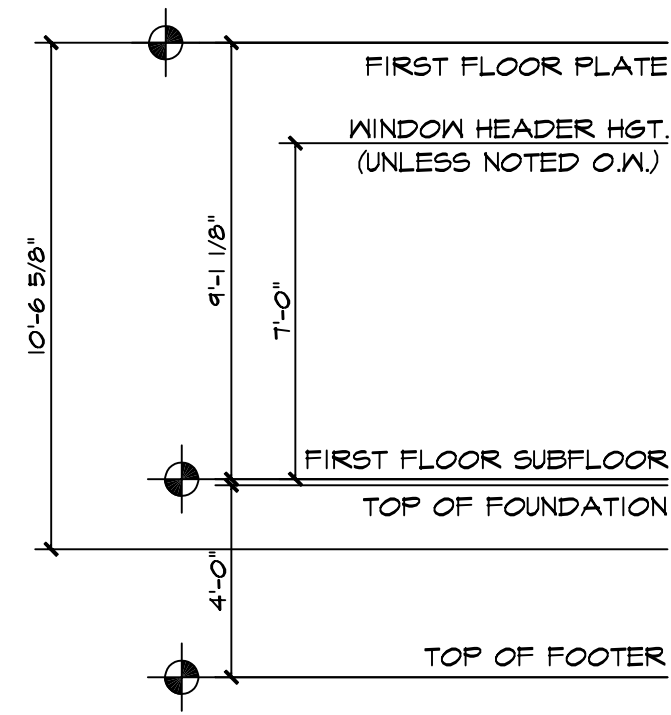
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JOB # 2023-45

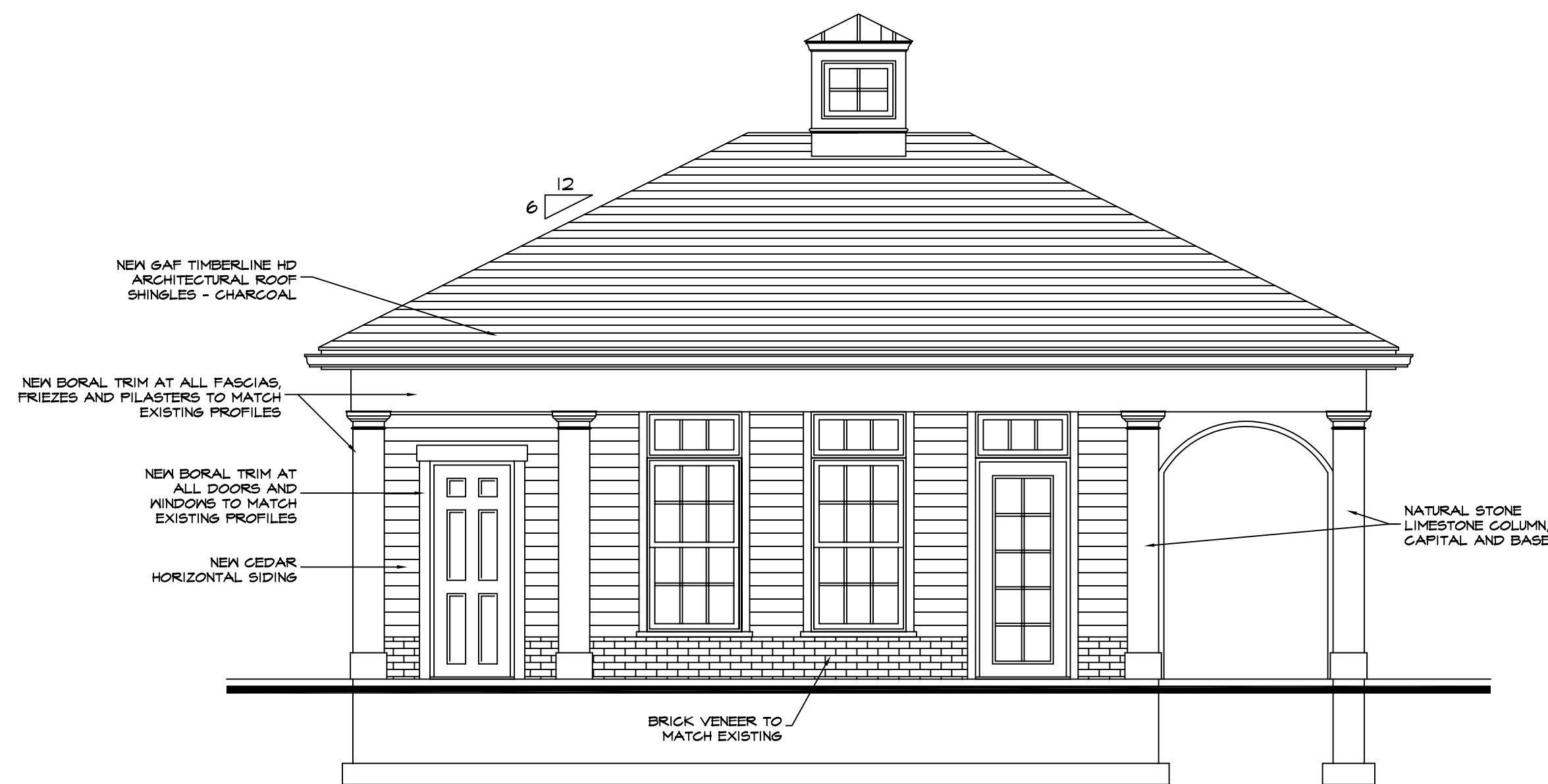
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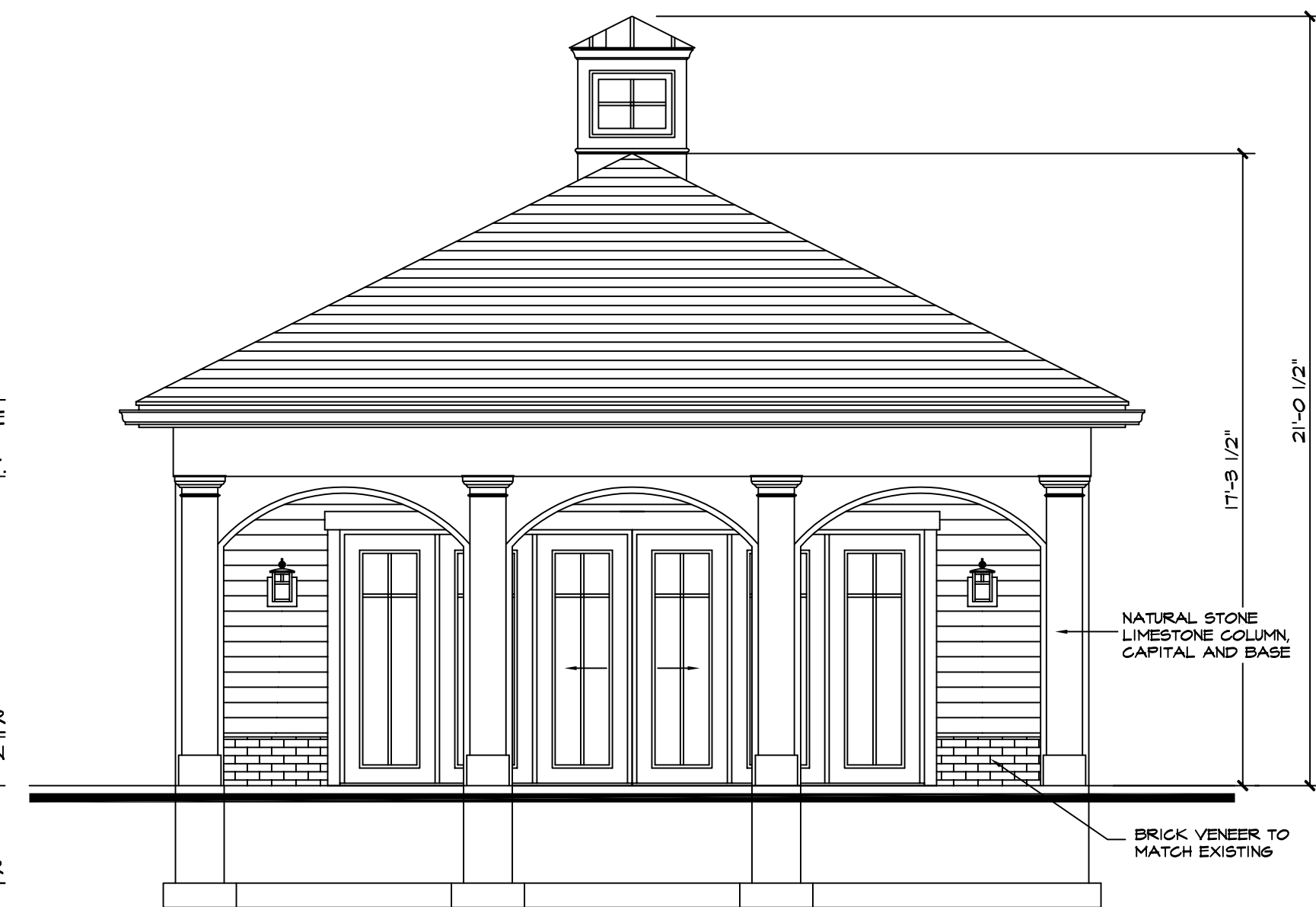
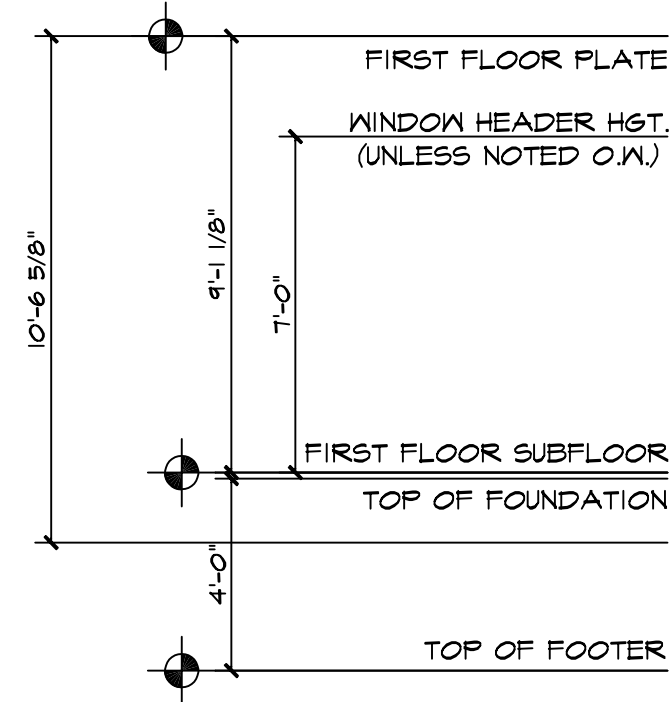
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FRONT ELEVATION
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172

ADI



172





















400 SERIES

**TIME-TESTED, CLASSIC WOOD
CRAFTSMANSHIP**





EXTERIOR & INTERIOR OPTIONS

Our Perma-Shield® exterior cladding system, a time-tested Andersen innovation, offers low maintenance and durability while also providing an attractive appearance. The interiors of all 400 Series windows and patio doors are available in unfinished stain-grade pine or with a long-lasting, low-maintenance white finish. Select windows are also available with a dark bronze or black finish. 400 Series Woodwright® windows and Frenchwood® patio doors are also available with unfinished maple or oak interiors.

EXTERIOR COLORS**



INTERIOR OPTIONS**



Design your window at andersenwindows.com/design-tool

*Visit andersenwindows.com/warranty for details.
 **Some products are not available in all colors or wood species. See your Andersen supplier for details.
 †Products with dark bronze and black interiors have matching exteriors.
 Printing limitations prevent exact replication of colors and finishes. See your Andersen supplier for actual color and finish samples.

GRILLE OPTIONS

A variety of grille patterns, widths and configurations fit any architectural style and help you create your vision. When remodeling or replacing, they play an important role in preserving the style of your home which is why we also offer custom patterns.



Permanent exterior
Permanent interior
with spacer

FULL DIVIDED LIGHT

Permanently applied to the interior and exterior of your window with a spacer between the glass.

Permanent exterior
Permanent interior

SIMULATED DIVIDED LIGHT

Permanent grilles on the exterior and interior with no spacer between the glass. We also offer permanent exterior grilles with removable interior grilles.

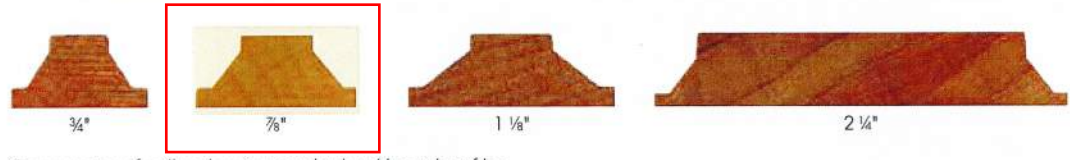
Removable interior

Finelight™
Grilles-
Between-
the-Glass™

CONVENIENT CLEANING OPTIONS

Removable interior grilles come off for easy cleaning. Finelight™ grilles-between-the-glass are installed between the glass panes and feature a contoured 3/4" or 1" profile.

Grille Bar Widths



Our 2 1/4" wide grille can be positioned horizontally across the center of a casement window to simulate the look of a double-hung window.

Cross section of grilles showing standard widths and profiles. Additional patterns available, see your Andersen supplier for details.

INSECT SCREEN OPTIONS

Choose our TruScene® insect screen for a beautifully unobstructed view with 400 Series windows. TruScene insect screens provide more than 50% greater clarity than conventional Andersen insect screens and let in 25% more fresh air,** all while keeping out unwanted small insects.

Conventional aluminum insect screens are also available for 400 Series windows. 400 Series patio doors are available with conventional fiberglass insect screens.



*3/8", 1 1/8" and 2 1/4" not available in Finelight grilles-between-the-glass.
**TruScene insect screens let in over 25% more fresh air than standard Andersen fiberglass insect screens.

COMPARISON CHART

Use the quick reference chart below to decide which Andersen® 400 Series products best fit your project needs.

		WINDOWS								PATIO DOORS	
FEATURES		Woodwright® Double-Hung Full-Frame	Woodwright Double-Hung Insert	Tilt-Wash Double-Hung Full-Frame	Tilt-Wash Double-Hung Insert	Narrowline® Double-Hung Conversion Kit	Caseament	Awning	Gliding	Frenchwood® Gliding	Frenchwood Hinged Inswing
Low-Maintenance Exteriors											
	White	●	●	●	●	●	●	●	●	●	●
	Canvas	●	●	●	●	●	●	●	●		
	Sandtone	●	●	●	●	●	●	●	●	●	●
	Terratone	●	●	●	●	●	●	●	●	●	●
	Dark Bronze	●	●	●	●	●	●	●	●		
	Forest Green	●	●	●	●	●	●	●	●	●	●
	Black	●	●	●	●	●	●	●	●		
Interiors											
	Pine	●	●	●	●	●	●	●	●	●	●
	Maple	●	●							●	●
	Oak	●	●							●	●
	White	●	●	●	●	●	●	●	●	●	●
	Sandtone							●			
	Dark Bronze			●	●		●	●	●		
	Black			●	●		●	●	●		
Easy Cleaning											
	Tilt-to-Clean Sash	●	●	●	●	●					
Grilles & Blinds											
	Full Divided Light	●	●	●	●	●	●	●	●	●	●
	Simulated Divided Light	●	●	●	●	●	●	●	●	●	●
	Finelight™ Grilles-Between-the-Glass	●	●	●	●	●	●	●	●	●	●
	Removable Interior Grilles	●	●	●	●	●	●	●	●	●	●
	Blinds-Between-the-Glass									●	●
High-Performance Glass Additional glass options are available. See page 8 for details. For patio doors, all glass options are tempered.											
	Low-E4®	●	●	●	●	●	●	●	●	●	●
	Low-E4 SmartSun™	●	●	●	●	●	●	●	●	●	●
	Low-E4 Sun	●	●	●	●	●	●	●	●	●	●
	Low-E4 PassiveSun	●	●	●	●	●	●	●	●	●	●
	Clear Dual-Pane						●	●			
	HeatLock® Coating	●	●	●	●	●	●	●	●	●	●
Performance Option											
	Stormwatch® Protection	PG upgrade		●			●	●			
Glass Spacers											
	Stainless Steel	●	●	●	●	●	●	●	●	●	●
	Black or White	●	●	●	●	●	●	●	●	●	●
Standard Sizes											
	Minimum Width	1'-9 3/8"	1'-4 1/2"	1'-9 3/8"	1'-9 1/4"	Fits Narrowline double-hung windows made after 1967	1'-5"	2'-0 1/8"	2'-11 1/4"	4'-11 1/2"	2'-6 1/8"
	Maximum Width	3'-9 3/8"	3'-9 3/8"	3'-9 3/8"	3'-8 7/8"		2'-11 15/16"	5'-11 7/8"	5'-11 1/4"	15'-9"	8'-11 1/8"
	Minimum Height	3'-0 7/8"	2'-3 3/4"	3'-0 7/8"	3'-0 3/8"		2'-0 1/8"	1'-5"	1'-10 1/4"	6'-7 1/2"	6'-7 1/2"
	Maximum Height	6'-4 7/8"	6'-5"	7'-8 7/8"	7'-6 3/8"		5'-11 7/8"	4'-0"	4'-11 1/4"	7'-11 1/2"	7'-11 1/2"
Custom Sizes		●	●	●	●		●	●		●	●