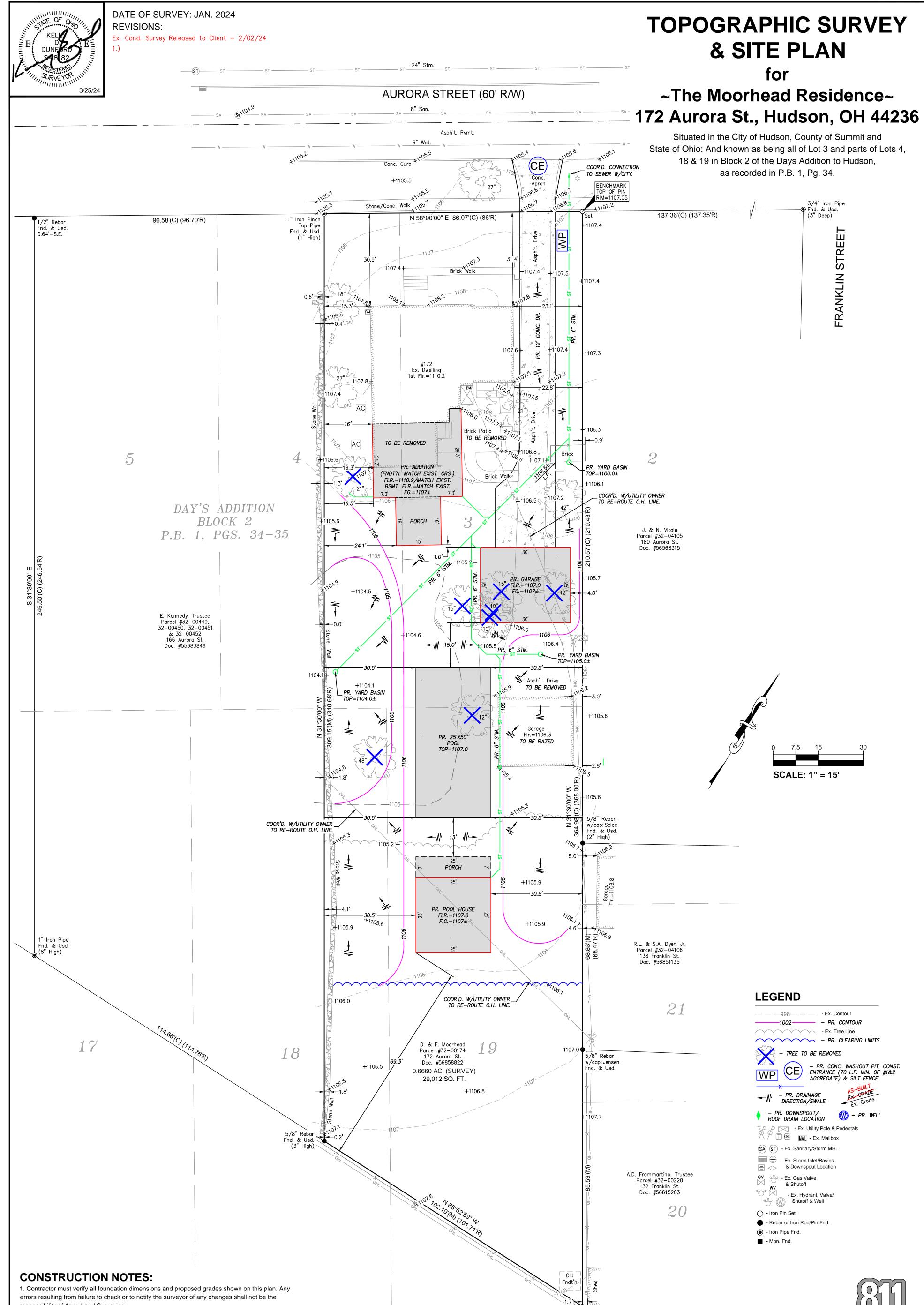
OHIO HISTORIC INVENTORY

. No.	No. 4. Present Name(s)			
County Summit				
5. Other Name(s)				
. Lon of Negatives HHA 50-10	I. T. Frary House	·		
3. Specific Location	16. Thematic Category _C	28. No. of Stories 2		
172 Aurora Street	17. Date(s) or Period	29. Basement? Yes 23 No 🗆		
	1878	30. Foundation Material		
7. City or Town If Rural, Township & Hudson	Vicinity 18. Style or Design Greek Revival	sandstone blocks of 31. Wall Construction		
Site Plan with North Arrow	19. Architect or Engineer			
1 1 5	1 20. Contractor or Builder	32. Boof Type & Material hip, asph shingle		
S S S AURORA ST		33. No. of Bays Front 4 Side 3		
Au Roker		34. Wall Treatment		
	22. Present Use residence	beveled siding		
L'IN A	23. Ownership Public 🗆	35. Plan Shape rect		
. Coordinates	Private 29	(Explain Altered 🛛 🖗		
Lat. Long.	24. Owner's Name & Address, if known John Burke	Moved ☐ ☐ 0 1/37. Condition		
U.T.M. Reference	172 Aurora Street	Interior		
17 463768 4565		Exterior excellent		
ione Easting Northin 0. Site Stru	ng 25. Open to Yes ⊡ cture □ Public? No ⊠	138. Preservation Yes Manager Yes		
	bject 26. Local Contact Person or Organization	39. Endangered? Yes 🗆 🛱		
1. ∟ .ational Yes □ 12. Is It Register? No ⊠ Eligible?	Yes A Hudson Heritage Association No 27. Other Surveys In Which Included	By What? No 🖾 🗥		
3. Part of Estab. Yes 🗷 14. District Hist. Dist.? No 🖸 Potent'!?	Yes C	40. Visible from Yes ⊠ Public Road? No □		
5. Name of Established District		41. Distance from and		
Hudson Local Historic Dist	rict	、Frontage on Road 30' Gov		
2. Further Description of Important Feature	ures Greek Revival doorway with transom,			
sidelights; wide frieze, co	rner boards; one story rear addition;			
cemented over. 6/6 double	ast. Sandstone foundation partially e-hung windows.	Photo		
		FINIT		
·				
	orner, 1929.			
Residence of I. T. Frary in	<pre>n present`site of Hayden Hall; on preser early 1900's. Frary, author of Early Ho</pre>			
made extensive alterations.				
4. Description of Environment and Outbu	Ildings 1900 garage. Residential street	of historic houses.		
5. ces of Information Summit Cou				
	inspection	L Newkirk, F. Barlow 47. Organization		
		47. Organization HHA		
		48. Date 49. Revision Date(s)		
	- ····· .			



responsibility of Apex Land Surveying.

- 2. Contractor to notify utilities protection services/ O.U.P.S. prior to construction.
- 3. Silt fence must surround all excavation areas so that no silt escapes site.
- 4. All grades shall comply w/corresponding government office.
- 5. Maintain positive yard drainage away from house and a minimum slope of 1% along all swales. 6. Contractor shall verify location and depths of existing laterals & verify if proper connections can be made to house. Contact corresponding government office or utility owner if discrepancies occur. 7. All sewer connections must maintain a minimum slope of 1%.
- 8. The footer drain & downspouts are to be tied into storm drain. Contractor to determine connection point or points upon excavation & examination of existing storm drain system. Refer to house plans for downspout locations.

9. Contractor to determine if a foundation sump pump is required.

10. The location of utilities shown hereon are based on observed evidence of above ground appurtenances only. The location of these utilities may vary and are subject to field verification prior to construction. No other search for utilities was performed and additional utilities may be encountered.

11. There was no search for easements of record, right-of-ways, restrictive covenants, encumbrances, ownership title evidence, or any other facts that a title search may disclose.

MISCELLANEOUS NOTES:

1.) The "BASIS OF BEARINGS" for this survey was held as S 58°00'00" W along Aurora Street, as called for in deed recorded as Doc. #56858822. ALL DISTANCES SHOWN HEREON INDICATE GROUND DISTANCES IN US SURVEY FEET. 2.) The vertical datum for this survey is NAVD88 (Geoid12b), as observed by GPS via the ODOT VRS network and referenced by benchmarks shown hereon.



5/8"Rebar

Fnd. & Usd.

	,
Vnow what's hole	h

Know what's **Delow**. Call before you dig.

TITLE: TOPO & SITE PLAN		DATE: MAR. 2024	
CLIENT: KAPELA		PROJ.: 2024004	
SCALE: 1" = 15'	F	ILE: 2024004.dwg	
DRAWN BY: KDD	С	CHECKED BY: KDD	
CREW: KDD		SHEET: 1 OF 1	
SHEET SIZE: 22" X 34"	SHEET. FOF I		

GENERAL CONSTRUCTION NOTES:

MISCELLANEOUS:

FOR ANY ELEMENTS OF CONSTRUCTION NOT SPECIFICALLY NOTED ON THESE PLANS, COMPLY WITH THE LATEST EDITION OF THE OBOA RESIDENTIAL CODE OF OHIO, UNLESS LOCAL BUILDING AND ZONING DEPARTMENTS ADHERE TO A SPECIFIC EDITION.

TRUSSES:

ALL TRUSSES ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER WITH DETAILED DRAWINGS DESCRIBING TRUSS LAYOUTS AND LOAD CALCULATIONS USED TO DESIGN THE TRUSSES. IT IS THE BUILDER AND/OR OWNERS RESPONSIBILITY TO SUPPLY ANY/OR ALL OF THIS INFORMATION IF REQUESTED BY THE BUILDING DEPARTMENT TO ISSUE **BUILDING PERMITS.**

LIVE LOADS:

IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THAT ALL POINT LOADS TRANSFER TO THE FOUNDATION OR SPECIFIED BEARING LOCATIONS.

THIS STRUCTURE IS DESIGNED TO RESIST THE FOLLOWING LOADS:				
ROOF/SNOW2	25psf	ATTIC	20psf	
FIRST FLOOR4	10psf	SECOND FLOOR	40psf	
BALCONIES	50psf	BASIC WIND SPEED	90mph	

LUMBER:

IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THAT ALL LUMBER USED FOR THIS PROJECT MEETS OR EXCEEDS THE MINIMUM REQUIREMENTS OF STRENGTH AND MOISTURE CONTENT SET FORTH BY THE STATE AND LOCAL BUILDING CODES.

TYP. SPF #2 OR BETTER Fb.... ...875 psi

ANY MICROLAM (LVL) NOTED ON THESE DRAWINGS MUST MEET THE FOLLOWING DESIGN CRITERIA:1,900,000psi Fb..... M.O.E....2,600psi

WALL STUDS SHALL BE A MINIMUM OF 2x4's @ 16"o.c. AND SHALL BE ONE PIECE FULL HEIGHT AND A MINIMUM OF (2) STUDS AT EACH SIDE

OF ALL OPENINGS THROUGH ALL WALLS UNLESS NOTED OTHERWISE. REFER TO THE TYPICAL WALL SECTION FOR SUBFLOOR AND ROOF

SHEATHING THICKNESSES AND MATERIAL TYPES.

CONCRETE:

ALL CONCRETE SHALL COMPLY WITH ACI 318-08: "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" AND ACI 318-03: "BUILDING CODE REOUIREMENTS FOR REINFORCED CONCRETE" WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 psi. ALL EXTERIOR CONCRETE SHALL BE AIR-ENTRAINED PER RCO SECTION 402.2.

STEEL:

ALL STEEL BEAMS AND COLUMNS ARE DESIGNED FOR A992 GR. 50 STEEL. ANCHOR BOLTS SHALL CONFORM TO ASTM A307-07b. ALL REINFORCING STEEL SHALL BE GRADE 60. FOR ALL STEEL COLUMNS, BEARING PLATES AND ANCHOR BOLTS BELOW

GRADE, ENCASE WITH A MINIMUM OF 3" CONCRETE COVER.

SOIL BEARING:

FOUNDATIONS SHOWN ON THESE DRAWINGS ARE DESIGNED FOR AN ALLOWABLE SOIL BEARING PRESSURE OF 1,500 psf. WALLS ARE DESIGNED FOR AN EQUIVALENT FLUID PRESSURE OF 55 pcf. IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO DETERMINE THAT THE SOIL IS ADEQUATE TO SUPPORT THIS BUILDING ON THE FOUNDATION AND THE WALLS SHOWN, AND ALSO, DETERMINING THAT THE TOTAL AND DIFFERENTIAL SETTLEMENTS OF THE FOUNDATIONS ARE WITH IN THE TOLERABLE LIMITS OF THIS STRUCTURE AND THAT 55 pcf IS THE CORRECT WALL LOADING. THE BUILDER AND/OR OWNER IS ENCOURAGED TO OBTAIN THE SERVICES OF A SOILS ENGINEERING FIRM TO DETERMINE THE SUITABILITY OF THE FOUNDATIONS AND THE WALLS SHOWN ON THESE DRAWINGS TO SAFELY SUPPORT THE STRUCTURE WITH NO DETRIMENTAL EFFECT TO THE BUILDING.

GENERAL CODE REQUIREMENTS

Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

ROOFS:

ROOF SHINGLES SHALL BE APPLIED OVER A MINIMUM OF ONE PLY OF #15 FELT. FELT SHALL BE LAID PARALLEL TO THE EAVES, WITH A 2" TOP LAP AND 4" END LAP. FOR A ROOF WITH A 4/12 OR LESS PITCH REFER TO RCO SECTION 905.2. ICE GUARD AND WATERSHIELD AT ALL EAVES AND VALLEYS.

ATTICS:

ALL ENCLOSED ATTICS AND RAFTER SPACES SHALL HAVE CROSS VENTILATION WITH THE NET FREE VENTILATING AREA NOT LESS THAN 1/300 OF THE AREA TO BE VENTILATED. ALL OPENINGS SHALL BE PROTECTED AGAINST THE ENTRANCE OF SNOW AND RAIN.

MECHANICALS:

ALL PLUMBING, ELECTRICAL, HEATING AND COOLING SYSTEMS SHALL COMPLY WITH ALL ORDINANCES SET FORTH THE BY THE LOCAL GOVERNING BUILDING AND ZONING DEPARTMENTS. PLUMBING SHALI ALSO COMPLY WITH THE OHIO PLUMBING CODE. ELECTRICAL SHALL ALSO COMPLY WITH THE NATIONAL ELECTRIC CODE AND THE 2013 RESIDENTIAL CODE OF OHIO.

SMOKE & CARBON DETECTORS:

ALL SMOKE & CARBON DETECTORS SHALL BE HARDWIRED & INTERCONNECTED WITH A BATTERY BACK-UP. THEY SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH ADDITIONAL STORY OF THE BUILDING PER RCO SECTIONS 314.3 AND 315.1.

FIRESTOPPING:

SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: CONCEALED SPACES OF STUD WALLS AND PARTITIONS AT THE CEILING AND FLOOR, OR ROOF LEVELS. AT ALL INTERCONNECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCURS AT SOFFITS OVER CABINETS, DROP CEILINGS, ETC. ALSO AROUND VENTS, PIPES, AND CHIMNEYS AT CEILING AND FLOOR LEVELS, WITH NONCOMBUSTABLE MATERIALS.

INSULATION:

INSULATION SHALL BE INSTALLED AND ALSO COMPLY WITH ALL MINIMUM ORDINANCES SET FORTH THE BY THE LOCAL GOVERNING BUILDING AND ZONING DEPARTMENTS. REFER TO THE TYPICAL WALL SECTION FOR R-VALUES AND LOCATIONS.

SHEATHING:

EXTERIOR WALLS & ROOF SHALL BE CONTINUOUSLY SHEATHED WITH MIN. $\frac{7}{6}$ " OSB OR PLYWOOD PER SECTION 602.10. NAILED W/ 8d NAILS AT 6" o.c. AT ALL PANEL EDGES AND 12" o.c. AT INTERMEDIATE SUPPORTS

FOOTINGS:

ALL FOOTINGS SHALL EXTEND TO OR BELOW THE MINIMUM FROST LINE DEPTH OF 42" PER RCO SECTION 402.2.

FIREPLACES:

ALL CHIMNEYS AND FIREPLACES SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF 2013 RCO AND INSTALLED PER THE ORDINANCES SET FORTH THE BY THE LOCAL GOVERNING BUILDING AND ZONING DEPARTMENTS. IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THE ROUGH-OPENING DIMENSIONS FOR ALL PRE-FAB FIREPLACES WITH THE ACTUAL UNIT TO BE INSTALLED, PRIOR TO FRAMING.

RADON:

IT IS THE RESPONSIBILITY OF THE BUILDER TO INFORM THE OWNER OR IF THE OWNER IS ACTING AS HIS OR HER OWN CONTRACTOR TO KNOW THAT ALL HOUSES HAVE A POTENTIAL TO HAVE RADON LEVELS WHICH MAY EXCEED THE RECOMMENDED LEVELS ESTABLISHED BY THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY. THE BUILDER AND/OR OWNER SHALL DECIDE WHAT ACTION, IF ANY, SHOULD BE TAKEN CONCERNING RADON. IT IS NOT THE RESPONSIBILITY OF J. KAPELA DESIGNS, INC. TO DETERMINE IF A RADON ABATEMENT SYSTEM IS REQUIRED.

GENERAL DISCLAIMER NOTES:

NOTE 1: J. KAPELA DESIGNS, INC. IS NOT A SURVEYING COMPANY. IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO RETAIN THE SERVICES OF A REGISTERED SURVEYOR OR ENGINEER TO COMPLETE AN ACCURATE SITE AND GRADING PLAN PRIOR TO THE COMPLETION OF THE "DESIGN PHASE". DURING THE DESIGN PROCESS ANY SITE STUDY DRAWN BY J. KAPELA DESIGNS, INC. WILL BE USED TO DETERMINE AN ESTIMATED BUILDABLE AREA AND AT NO TIME IS J. KAPELA DESIGNS, INC. RESPONSIBLE FOR THE LOCATION OF THE HOUSE ON THE LOT, ANY UTILITIES, BUILDING ELEVATIONS OR GRADING INFORMATION.

NOTE 2: J. KAPELA DESIGNS, INC. IS NOT A MECHANICAL ENGINEER AND DOES NOT ALWAYS CONSULT WITH A MECHANICAL ENGINEER FOR MECHANICAL SCHEMATICS DRAWN BY J. KAPELA DESIGNS, INC. ALL HVAC, PLUMBING AND/OR ELECTRICAL SCHEMATICS DRAWN BY J. KAPELA DESIGNS, INC. ARE "SUGGESTED" AND FOR USE ONLY TO FULFILL THE BUILDING DEPARTMENTS PLAN SUBMITTAL REQUIREMENTS. IT WILL BE THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO HAVE ALL ACTUAL MECHANICAL SYSTEMS DESIGNED AND INSTALLED BY LICENSED MECHANICAL SPECIALISTS. J. KAPELA DESIGNS, INC. ASSUMES NO RESPONSIBILITY FOR ANY MECHANICAL INSTALLATIONS AND/OR ISSUES RELATED TO THEIR INSTALLATION.

NOTE 3: J. KAPELA DESIGNS, INC. IS NOT A TRUSS MANUFACTURER OR DESIGNER. ENGINEERED ROOF TRUSSES ARE THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER, LUMBER COMPANY AND TRUSS MANUFACTURER. TRUSS DESIGNED ROOF PLANS ARE TO BE REVIEWED BY THE TRUSS MANUFACTURER PRIOR TO PRINTING FINAL CONSTRUCTION SETS. DURING THIS REVIEW PROCESS IT WILL BE THE RESPONSIBILITY OF THE TRUSS MANUFACTURER TO VERIFY THAT ALL PLATE HEIGHTS, HEEL HEIGHTS AND ROOF PITCHES WILL CREATE A BUILDABLE TRUSS PACKAGE. THE TRUSS MANUFACTURER IS ALSO RESPONSIBLE TO VERIFY, AND IF NECESSARY, ADJUST THE SIZE OF OR ADD ANY BEAM, POST OR HEADER THAT IS DIRECTLY EFFECTED OR REQUIRED TO CARRY THE ROOF LOADS. IN THIS EVENT, THE TRUSS MANUFACTURER, BUILDER AND/OR OWNER SHALL CONTACT J. KAPELA DESIGNS, INC. TO UPDATE THE PLAN SET. IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO FIELD VERIFY ALL AS-BUILT DIMENSIONS OF FOUNDATION AND FRAMING PRIOR TO ORDERING TRUSSES. J. KAPELA DESIGNS, INC. ASSUMES NO RESPONSIBILITY FOR TRUSSES ORDERED SOLELY FROM THIS SET OF CONSTRUCTION DOCUMENTS. J. KAPELA DESIGNS, INC. ASSUMES NO RESPONSIBILITY FOR ANY CONSTRUCTION SCHEDULE CHANGES OR DELAYS DUE TO ANY ENGINEERED ROOF TRUSS ISSUES.

NOTE 4: J. KAPELA DESIGNS, INC. IS A RESIDENTIAL ONLY DESIGN FIRM AND NOT AN OHIO REGISTERED ARCHITECT. PER OHIO LAW (ORC 3791.04-b) "NO ARCHITECTS STAMP IS REQUIRED FOR ANY PLANS, DRAWINGS, SPECIFICATIONS OR DATA SUBMITTED FOR APPROVAL FOR ANY RESIDENTIAL BUILDINGS UP TO A THREE-FAMILY DWELLING". J. KAPELA DESIGNS, INC. DOES NOT PROVIDE CONSTRUCTION SUPERVISION AND THUS NOT RESPONSIBLE FOR ANY STRUCTURAL ELEMENTS OF THE DESIGN. THE BUILDER, SUB-CONTRACTORS AND / OR OWNER ARE RESPONSIBLE TO VERIFY THAT ALL THE BUILT STRUCTURE MATCHES THE PLANS AS DRAWN AND DESIGNED. J. KAPELA DESIGNS, INC. IS NOT RESPONSIBLE FOR STRUCTURAL OR NON STRUCTURAL ISSUES RELATED TO SOIL CONDITIONS.

NOTE 5: ALL WINDOWS ON PLANS ARE DRAWN IN NOMINAL INCH SIZES. IT IS THE RESPONSIBILITY OF THE BUILDER, WINDOW SALES PERSON AND / OR OWNER TO VERIFY THE ACTUAL WINDOW MANUFACTURERS CUT SHEET MATCHES THE FLOOR PLANS AND ALSO THE EXTERIOR ELEVATION DRAWINGS. DURING PLAN DESIGNING, SOME FLOOR PLAN NUMBERS DO NOT GET UPDATED TO WHAT THE EXTERIOR ELEVATION DRAWINGS REFLECT AND THUS NEED TO BE VERIFIED BY THE WINDOW SALES PERSON. IT IS RECOMMENDED THAT ALL WINDOW CUT SHEETS ARE SENT TO J. KAPELA DESIGNS, INC. FOR REVIEW PRIOR TO ANY WINDOW ORDER BEING PLACED.

NOTE 6: ANY DESIGN, PLAN FLIP, SITE STUDY, MECHANICAL OR TRUSS RELATED CHANGES AND/OR ISSUES BROUGHT TO J. KAPELA DESIGNS, INC. AFTER THE PRINTING OF FINAL CONSTRUCTION SETS WILL BE CONSIDERED CHANGES TO THE DRAWINGS AND BILLED.



- PLAN DESIGN & CONSTRUCTION CRITERIA **BASED ON THE FOLLOWING CODES:** 2019 Residential Code of Ohio (RCO) 2017 National Electric Code (NEC) 2017 Ohio Mechanical Code (OMC) 2017 Ohio Plumbing Code (OPC)
- 2017 International Energy Conservation Code (IECC)

he Morkead Residence

SQUARE FOOTAGE TABLE:

SCOPE OF WORK INCLUDES ENTIRE FIRST & SECOND FLOOR RENOVATION, NEW ADDITION TO REAR OF RESIDENCE WITH ADDED BASEMENT SQUARE FOOTAGE. DEMOLITION OF EXISTING GARAGE AND BUILD OF NEW. NEW CONSTRUCTION OF POOL HOUSE AND POOL.				
EXIST	TING			
FIRST FLOOR:	1943.67	S.F.		
SECOND FLOOR:	1151.08	S.F.		
TOTAL LIVING SPACE:	3094.75	S.F.		
NEW				
FIRST FLOOR:	431.89	S.F.		
SECOND FLOOR:	0.00	S.F.		
TOTAL LIVING SPACE:	3526.64	S.F.		
SCREENED PORCH:	240.00	S.F.		
POOL HOUSE:	625.00	S.F.		
GARAGE:	750.00	S.F.		

BUILDING DEPARTMENT USE:

172 AURORA ST. - HUDSON, OH

INDEX TO DRAWINGS

SH#	SHEET NAME
C101	COVER SHEET
A101	FOUNDATION PLAN
A102	FIRST FLOOR PLAN
A103	SECOND FLOOR PLAN
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR ELEVATIONS
A203	EXTERIOR ELEVATIONS
A204	EXTERIOR ELEVATIONS
G101	GARAGE PLANS
G201	GARAGE EXTERIOR ELEVATIONS
P101	POOL HOUSE PLANS
P201	POOL HOUSE EXTERIOR ELEVATIONS

E CONTACT: J. KAPELA DESIGNS & CONST. 4302 John Avenue Cleveland, Ohio 44113 216-465-2123 www.jkapela.com Ζ Ш \square S Ш Ľ \square Ш 4 Ш I RH S Υ Ο Ш \geq Ο Ο Š \bigcirc 2023-12-07 LAYOUT EXISTING 2024-03-04 AHRB SUBMISSION 3-29-24 COPYRIGHT 2024 ALL DESIGNS & DRAWINGS APPEARING HEREII CONSTITUTE THE ORIGINAL AND UNPUBLISHEE WORK OF J. KAPELA CONSTRUCTION, LLC ANI OWNED SOLELY BY J. KAPELA CONSTRUCTION LLC REGARDLESS OF THEM BEING PAID FOR BY THE CLIENT OR BUILDER. THE DESIGNS AND / OR PLANS MAY NOT BI PRAWINGS AND / OR PLANS MAY NOT BI DRAWINGS AND / OR PLANS MAY NOT BI COPIED, DISCLOSED, CONSIGNED OR SOLD TO ANOTHER BUILDER, DESIGNER, ENGINEER ARCHITECT OR PERSON WITHOUT THE WRITTEI CONSENT OF J. KAPELA CONSTRCTION, LLC JOB # 2023-45

FOUNDATION NOTES Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

GENERAL:

-2x8 PRESSURE TREATED SILL PLATE WITH SILL SEALER

-1/2" $^{\circ}$ x18" ANCHOR BOLTS @ 6'-0" o.c. AND 12" MAXIMUM FROM CORNERS AND WITH A MIN. OF 2 BOLTS PER PLATE PER RCO SECTION 403.1.6.

-EXTERIOR FOUNDATION INSULATION AS REQUIRED.

-R-19 BATT INSULATION BETWEEN FLOOR JOIST CAVITIES AT RIM.

FOOTINGS:

-ALL FOOTINGS SHALL EXTEND BELOW THE MINIMUM FROST LINE DEPTH OF 42" PER RCO SECTION 402.2.

-(2)#4 REBAR CONTINUOUS THRU WALL FOOTERS.

-ALL 8" BLOCK OR POURED CONCRETE WALLS SHALL HAVE A MINIMUM 8"x16" CONTINUOUS POURED CONCRETE FOOTING.

-ALL 12" BLOCK OR POURED CONCRETE WALLS SHALL HAVE A MINIMUM 8"x20" CONTINUOUS POURED CONCRETE FOOTING.

-ALL CONCRETE LINTELS AT FOOTING LEVEL CHANGES SHALL HAVE A MINIMUM OF 8" BEARING AT EACH END.

CENTER ALL FOOTINGS ON COLUMN CENTER LINES. REINFORCE EACH WAY AS FOLLOWS: (2)#4

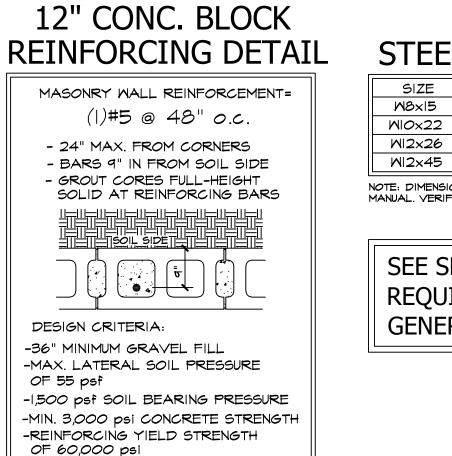
24"X24"	(2)#4
30"x30"	. ,
36"x36"	
42"x42"	
48"x48"	
60"x60"	
72"x72"	
/ ∠	(0)#5

CRAWL SPACE VENTILATION:

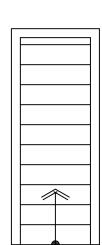
CRAWL SPACE EXTERIOR VENTILATION OPENINGS MAY BE OMITTED WHEN CONTINUOULY OPERATED MECHANICAL VENTILATION IS PROVIDED AT A RATE OF 1.0 cfm FOR EACH 50 SQUARE FEET OF CRAWL SPACE FLOOR AREA.

POINT LOADS:

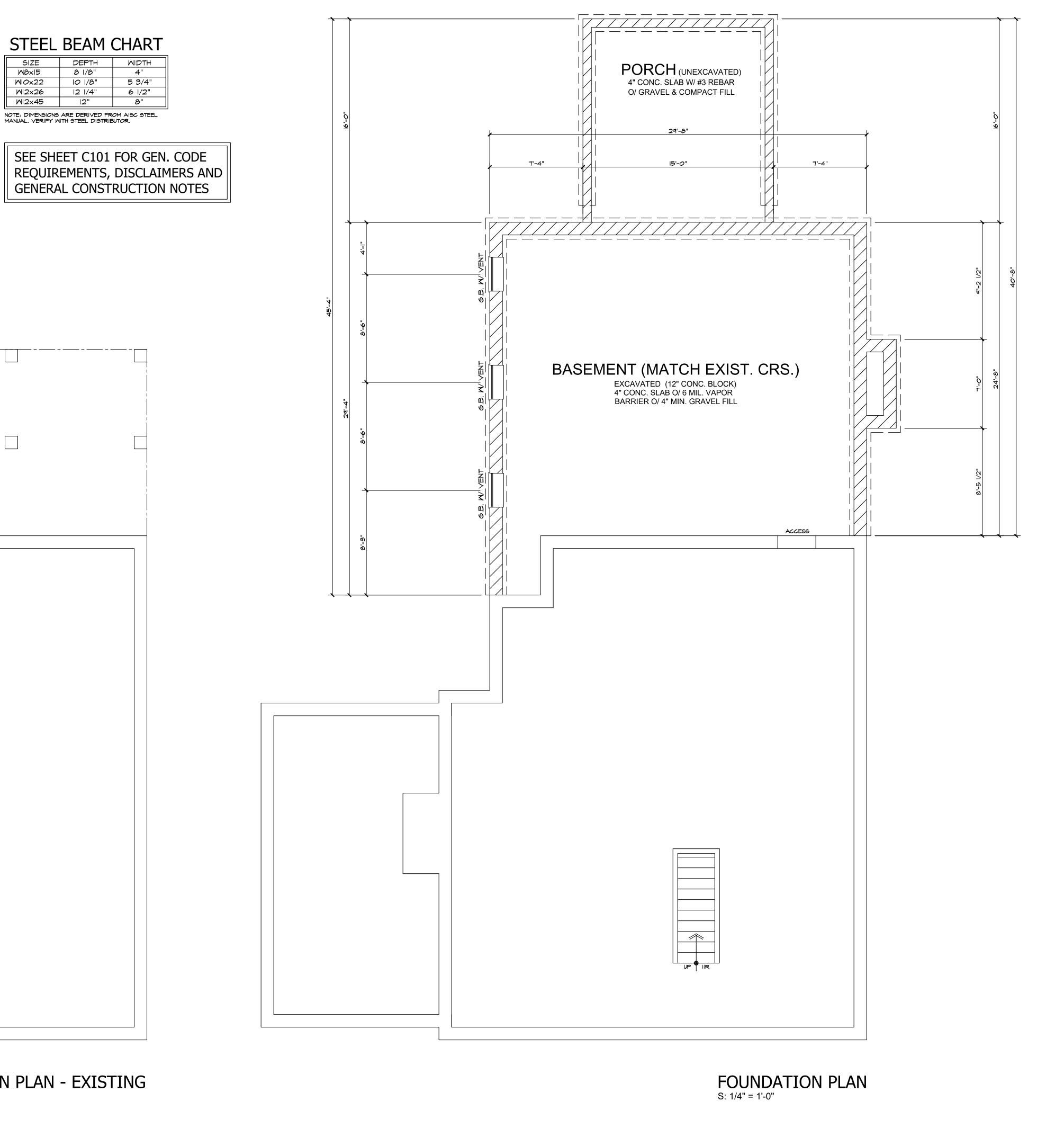
IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THAT ALL POINT LOADS TRANFER TO THE FOUNDATION OR SPECIFIED BEARING LOCATIONS.

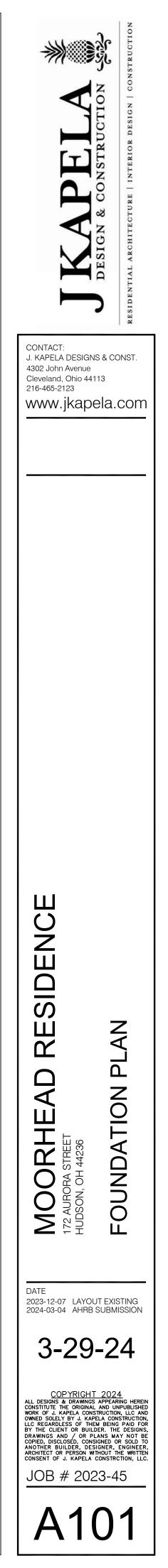


NOTE: THIS DETAIL IS ASSUMING BEST CASE SOIL CONDITIONS. FOR MEDIUM OR WORST CASE REFER TO RCO TABLE 404.1.1(4)



FOUNDATION PLAN - EXISTING S: 1/4" = 1'-0"





GENERAL:

-ALL WALLS ARE DIMENSIONED STUD-TO-STUD.

-ALL INTERIOR WALLS ARE 3 1/2", EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.

-ALL ANGLED WALLS ARE 45° UNLESS OTHERWISE NOTED.

-SEE PLANS FOR HEADERS IN ALL OPENINGS FOR EXTERIOR AND LOAD BEARING WALLS.

-ALL FLOOR JOISTS SHALL BE CROWNED BEFORE PLACEMENT.

-ALL POSTS (
) SHALL BE A MINIMUM OF (3)2x4's OR (2)2x6's UNLESS NOTED OTHERWISE & DEPENDENT ON WALL THICKNESS

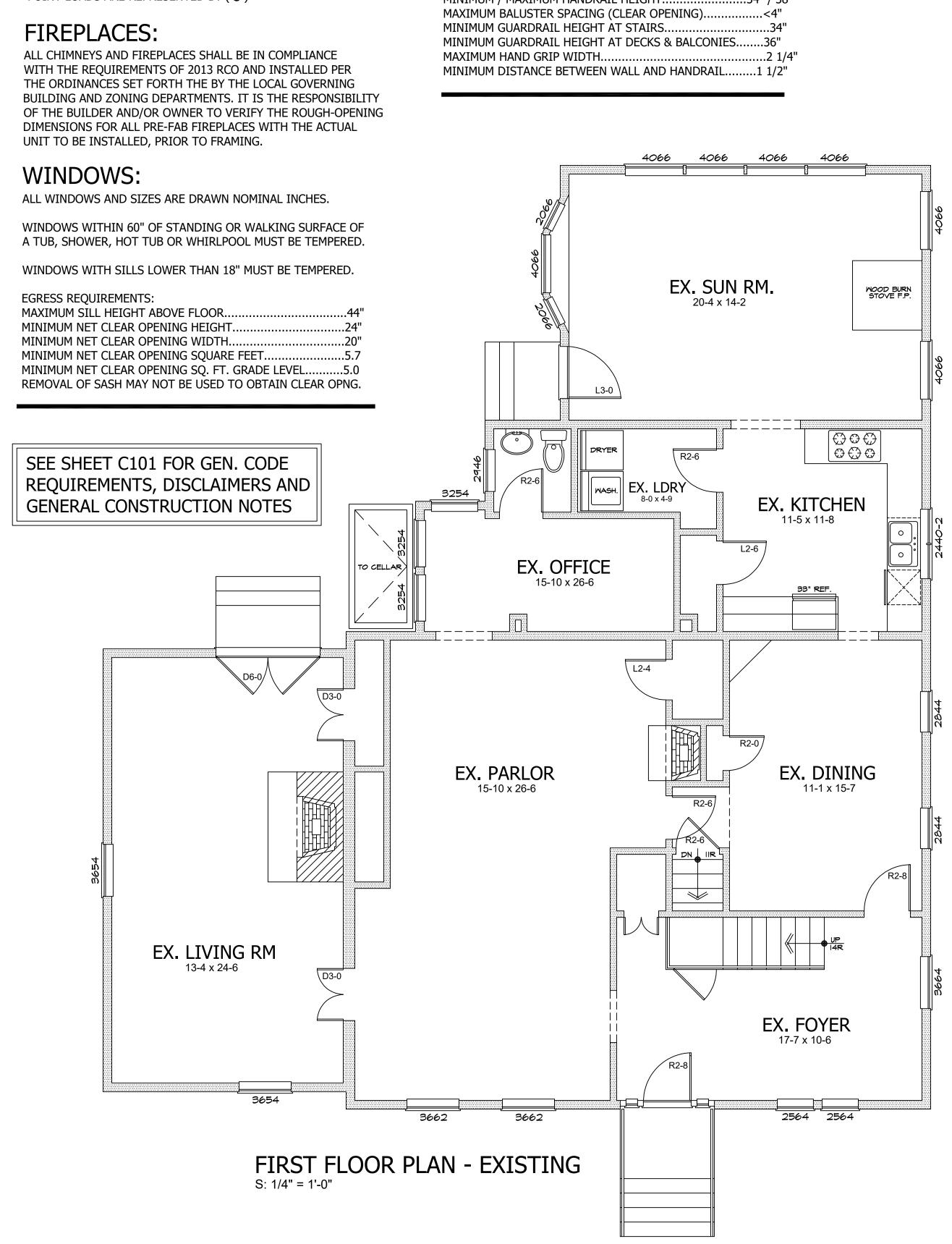
-POINT LOADS ARE REPRESENTED BY (
)

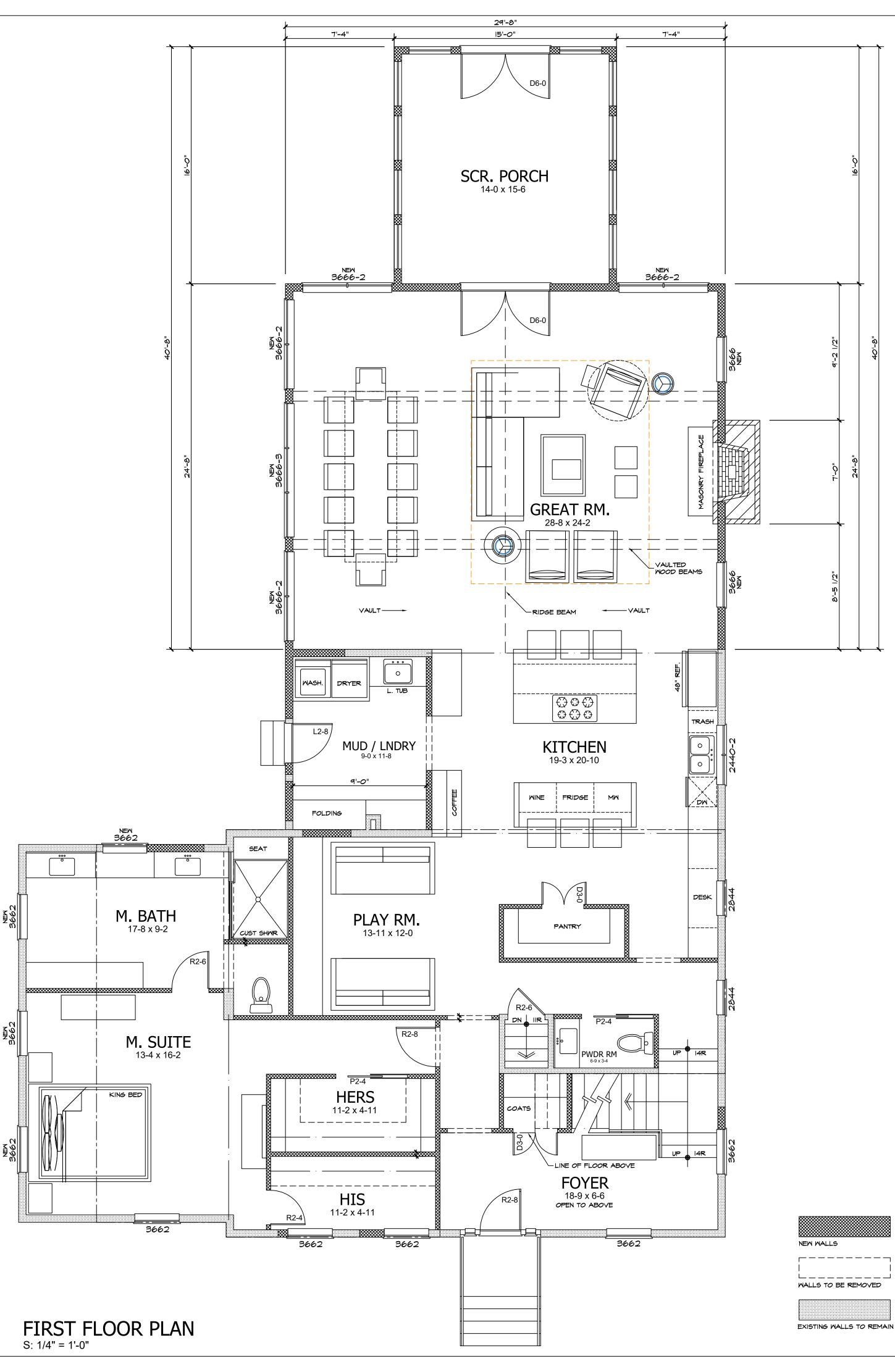
SMOKE & CARBON DETECTORS:

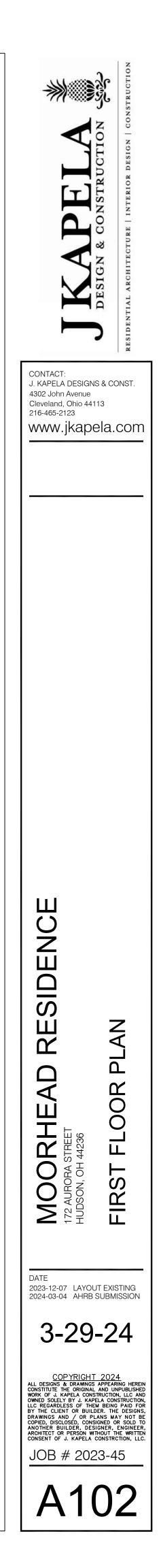
ALL SMOKE & CARBON DETECTORS SHALL BE HARDWIRED & INTERCONNECTED WITH A BATTERY BACK-UP. THEY SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH ADDITIONAL STORY OF THE BUILDING PER RCO SECTIONS 314.3 AND 315.1.

STAIR REQUIREMENTS:

MINI. STAIR WIDTH EXCLUDING WALL HANDRAIL	
MINIMUM TREAD DEPTH	9'
MAXIMUM RISER HEIGHT	8 1/4
MAXIMUM VARIANCE IN RISER HEIGHT	3/8
MINIMUM NOSING PROJECTION	1'
MINIMUM HEADROOM HEIGHT AT STAIR ANGLE	6'-8'
MINIMUM / MAXIMUM HANDRAIL HEIGHT	34" / 38
MAXIMUM BALUSTER SPACING (CLEAR OPENING)	<4"
MINIMUM GUARDRAIL HEIGHT AT STAIRS	34'
MINIMUM GUARDRAIL HEIGHT AT DECKS & BALCONIES	536"
MAXIMUM HAND GRIP WIDTH	
MINIMUM DISTANCE BETWEEN WALL AND HANDRAIL	1 1/2'







SECOND FLOOR NOTES

Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

GENERAL:

-ALL WALLS ARE DIMENSIONED STUD-TO-STUD.

-ALL INTERIOR WALLS ARE 3 1/2", EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.

-ALL ANGLED WALLS ARE 45° UNLESS OTHERWISE NOTED.

-SEE PLANS FOR HEADERS IN ALL OPENINGS FOR EXTERIOR AND LOAD BEARING WALLS.

-ALL FLOOR JOISTS SHALL BE CROWNED BEFORE PLACEMENT.

-ALL POSTS (
) SHALL BE A MINIMUM OF (3)2x4's OR (2)2x6's UNLESS NOTED OTHERWISE & DEPENDENT ON WALL THICKNESS

-POINT LOADS ARE REPRESENTED BY (
)

FIREPLACES:

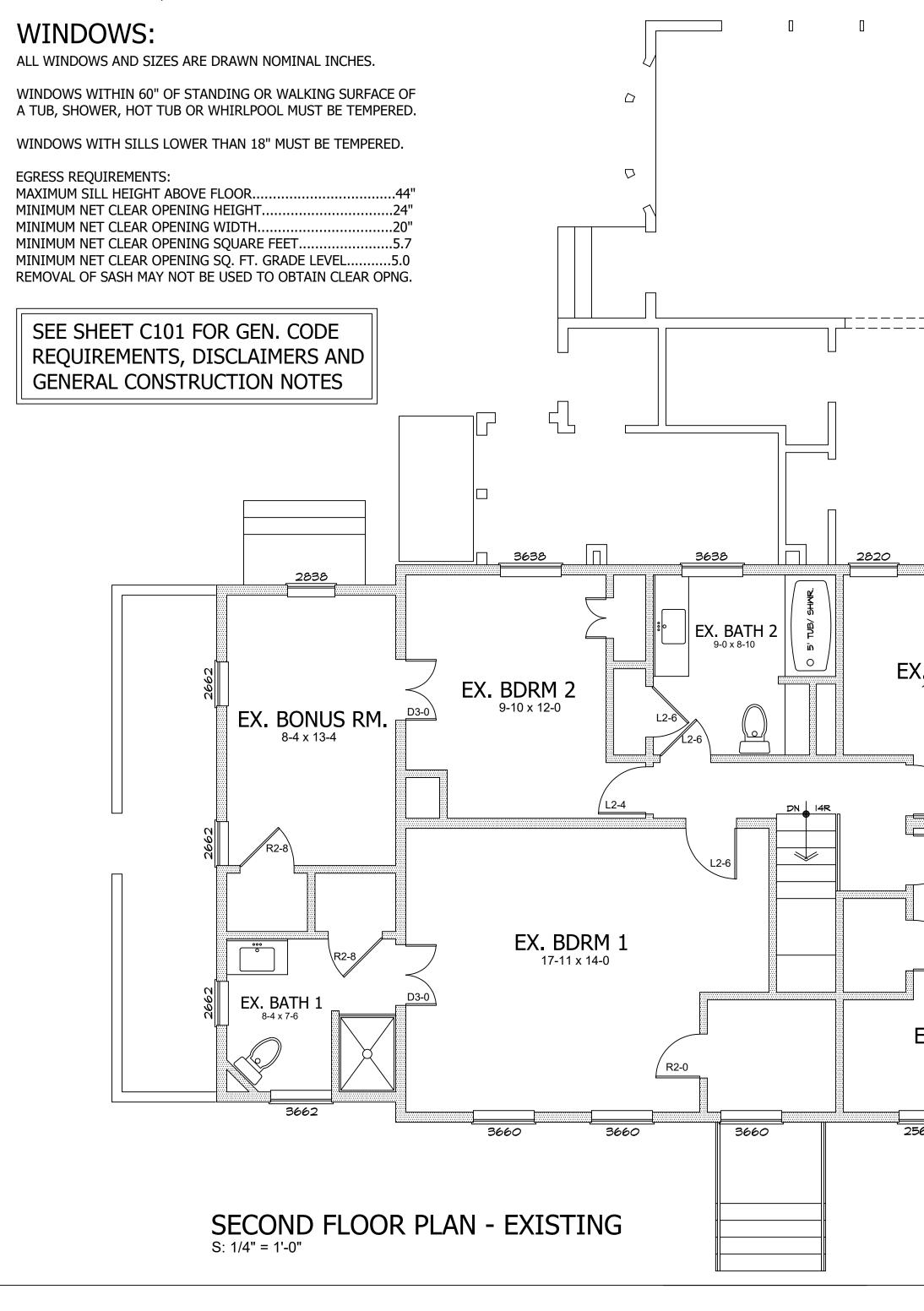
ALL CHIMNEYS AND FIREPLACES SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF 2013 RCO AND INSTALLED PER THE ORDINANCES SET FORTH THE BY THE LOCAL GOVERNING BUILDING AND ZONING DEPARTMENTS. IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THE ROUGH-OPENING DIMENSIONS FOR ALL PRE-FAB FIREPLACES WITH THE ACTUAL UNIT TO BE INSTALLED, PRIOR TO FRAMING.

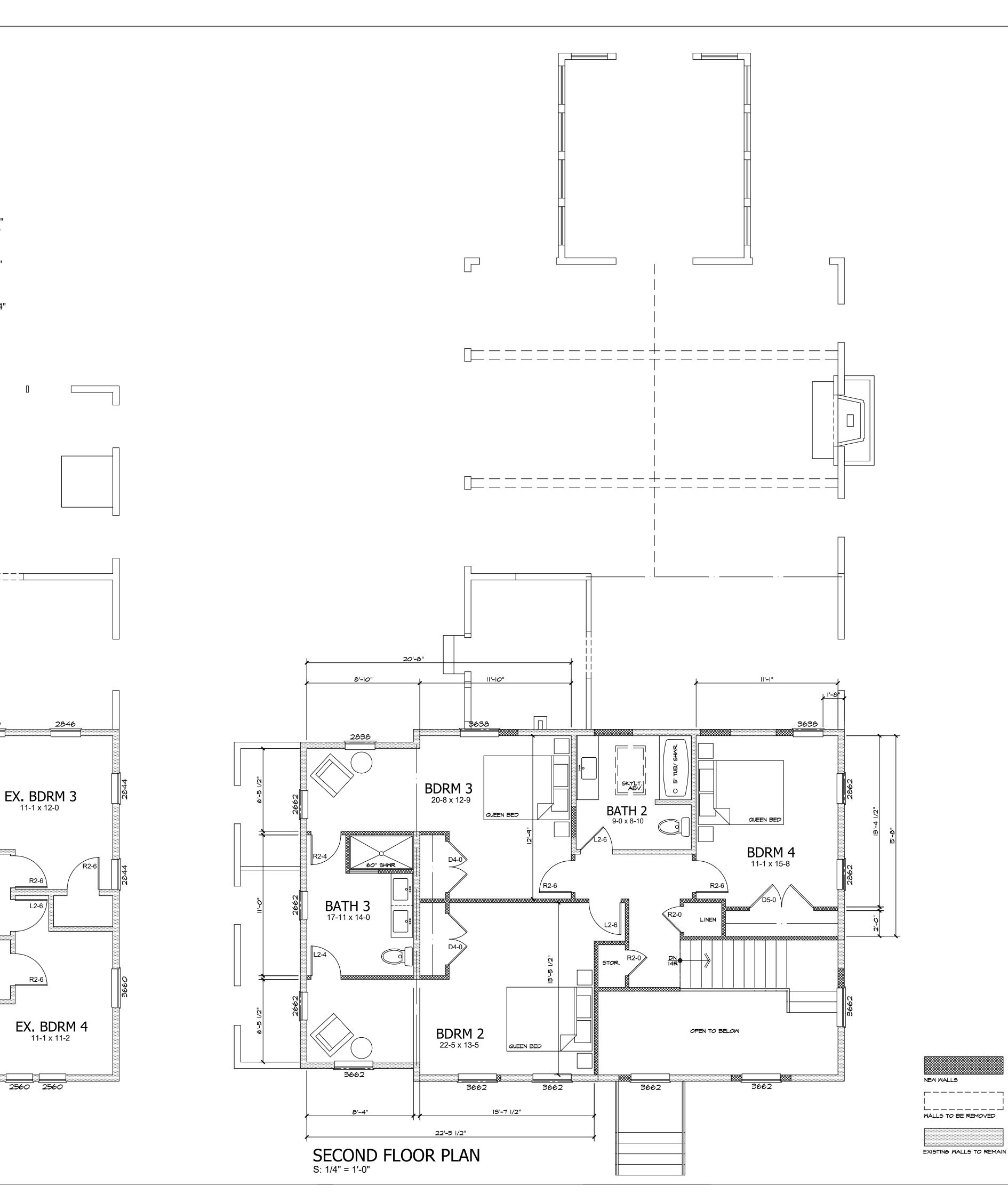


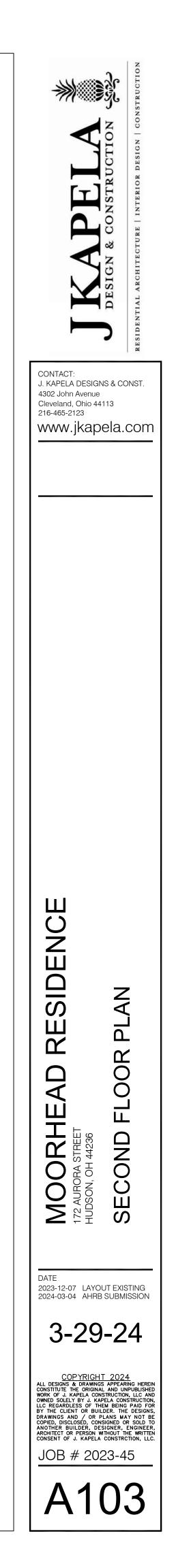
ALL SMOKE & CARBON DETECTORS SHALL BE HARDWIRED & INTERCONNECTED WITH A BATTERY BACK-UP. THEY SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH ADDITIONAL STORY OF THE BUILDING PER RCO SECTIONS 314.3 AND 315.1.

STAIR REQUIREMENTS:

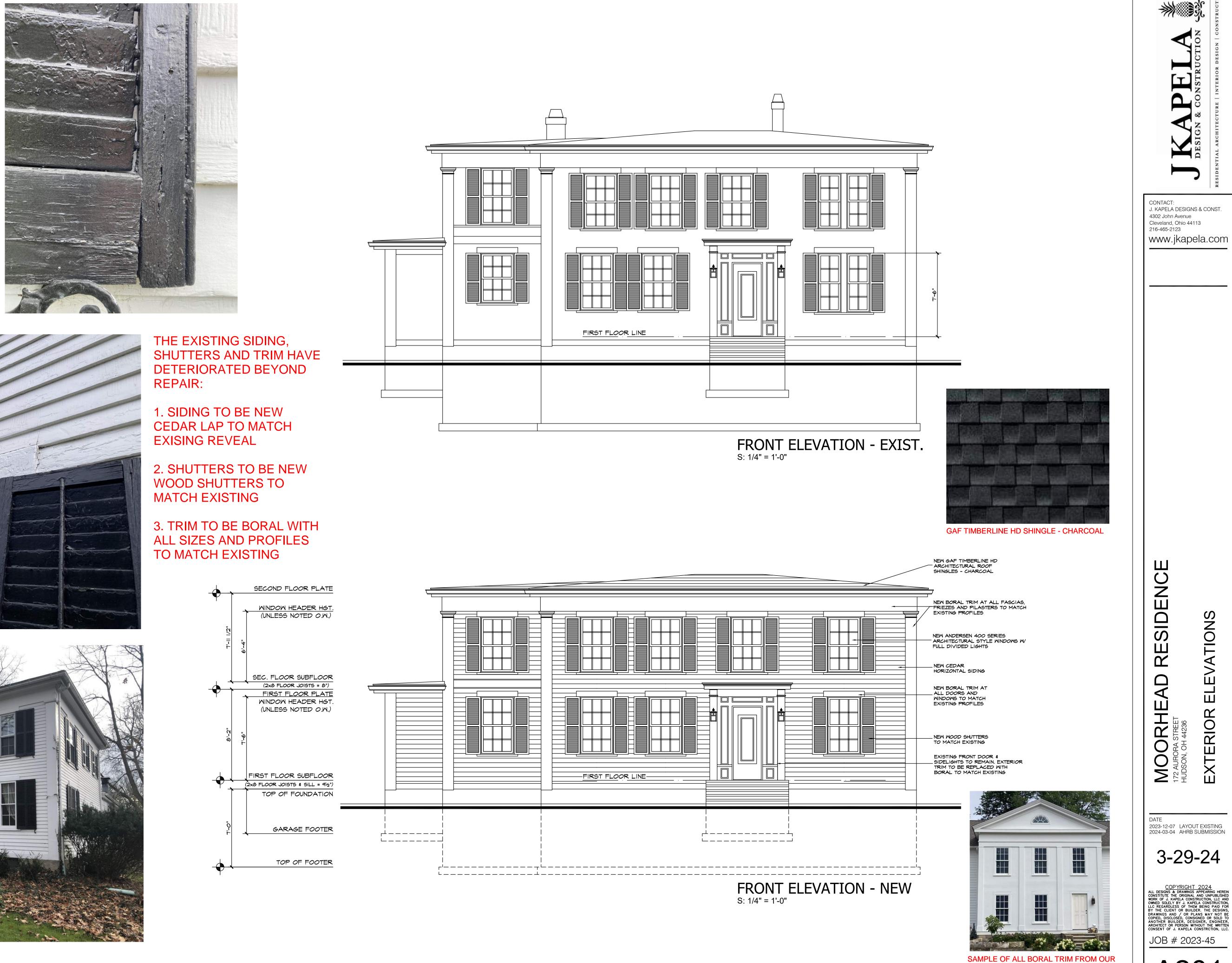
MINI. STAIR WIDTH EXCLUDING WALL HANDRAIL	3'-0"
MINIMUM TREAD DEPTH	9"
MAXIMUM RISER HEIGHT	8 1/4"
MAXIMUM VARIANCE IN RISER HEIGHT	
MINIMUM NOSING PROJECTION	1"
MINIMUM HEADROOM HEIGHT AT STAIR ANGLE	6'-8"
MINIMUM / MAXIMUM HANDRAIL HEIGHT	.34" / 38"
MAXIMUM BALUSTER SPACING (CLEAR OPENING)	<4"
MINIMUM GUARDRAIL HEIGHT AT STAIRS	34"
MINIMUM GUARDRAIL HEIGHT AT DECKS & BALCONIES	36"
MAXIMUM HAND GRIP WIDTH	2 1/4"
MINIMUM DISTANCE BETWEEN WALL AND HANDRAIL	1 1/2"

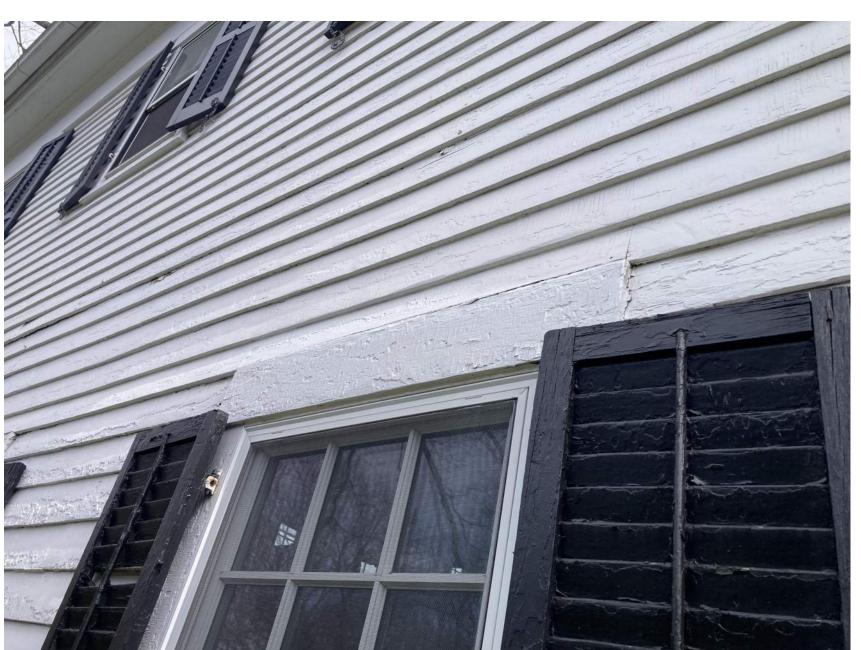




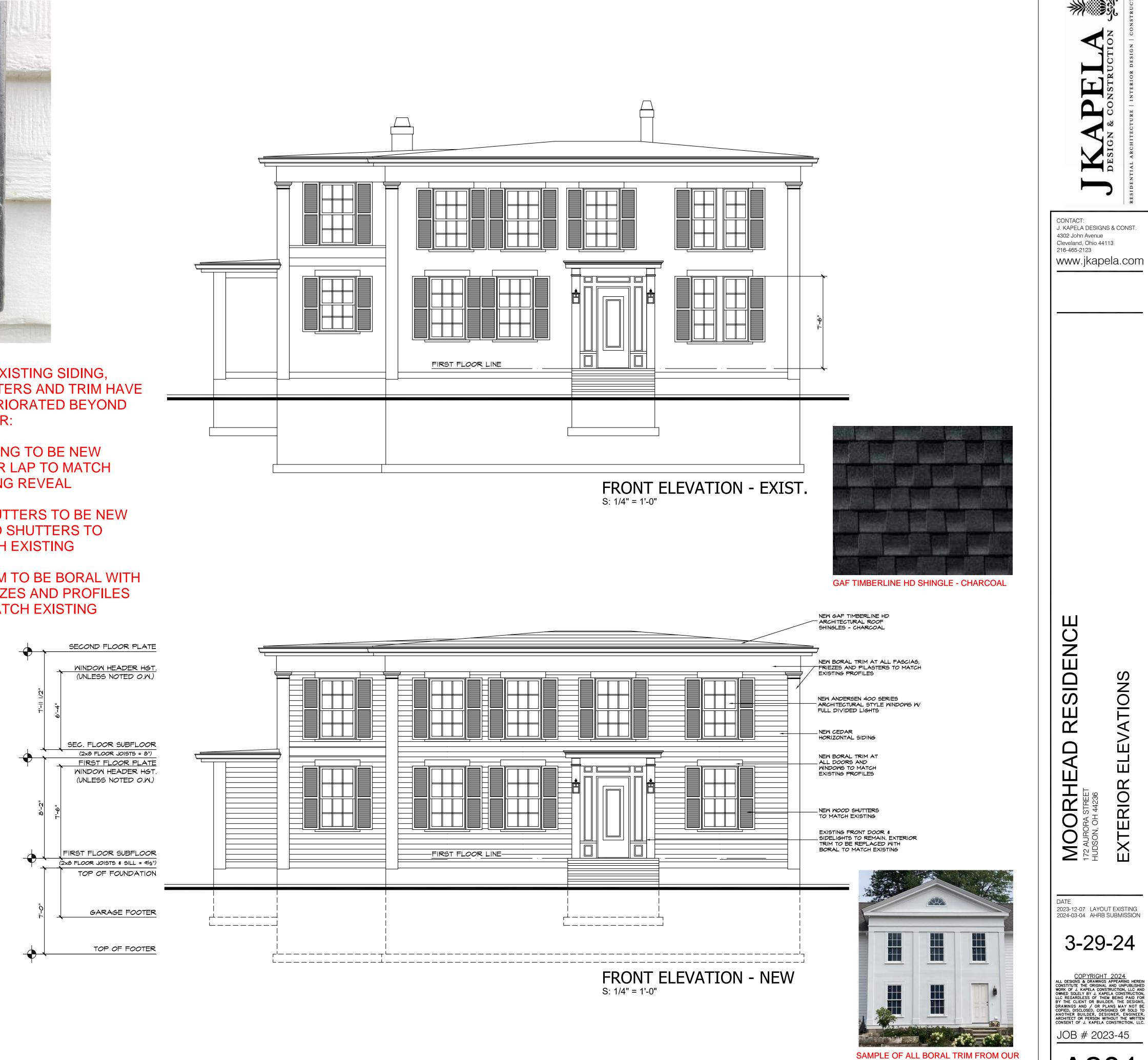








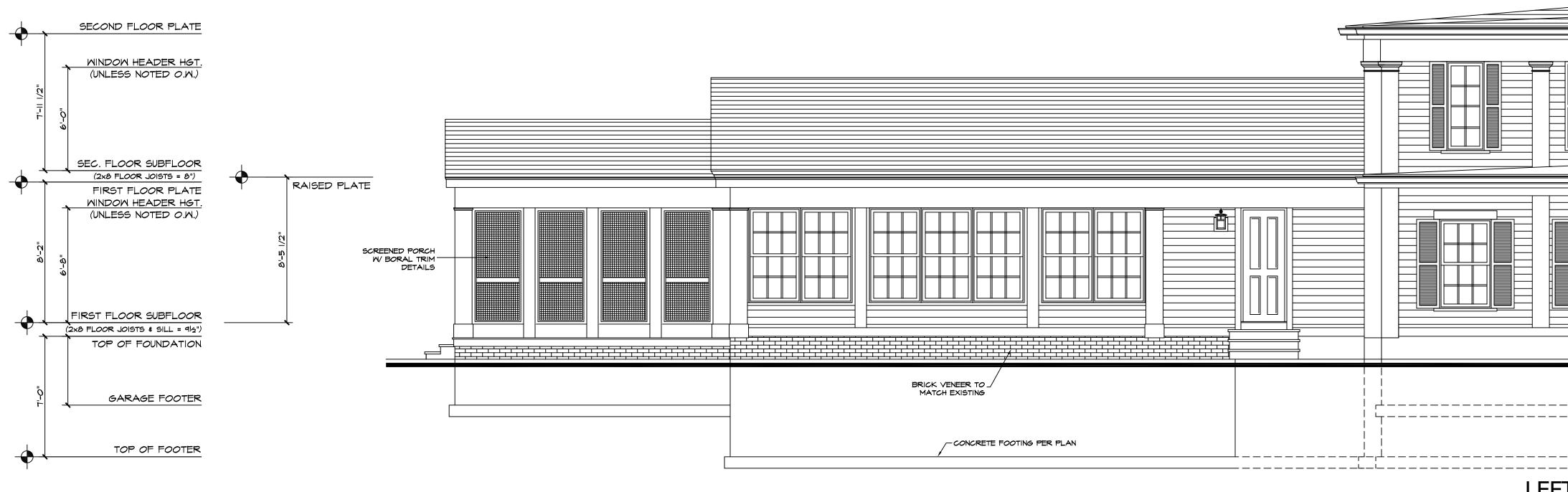


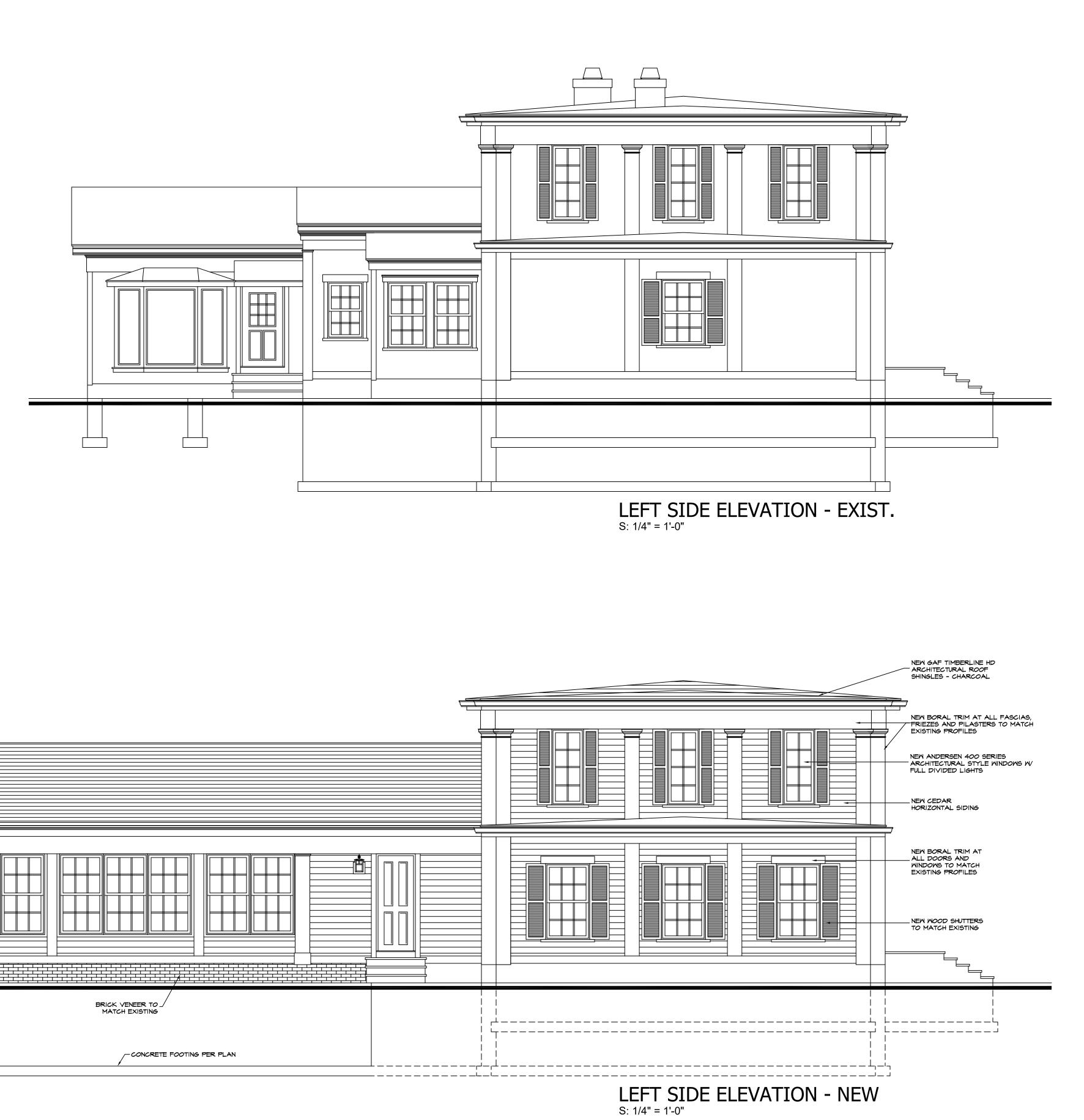


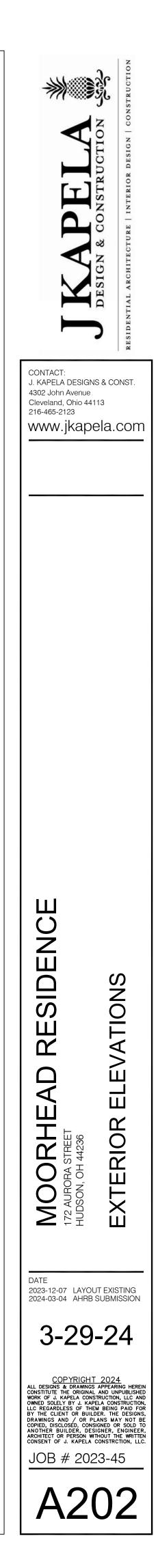
PROJECT AT 1751 E. HINES HILL RD.

A20



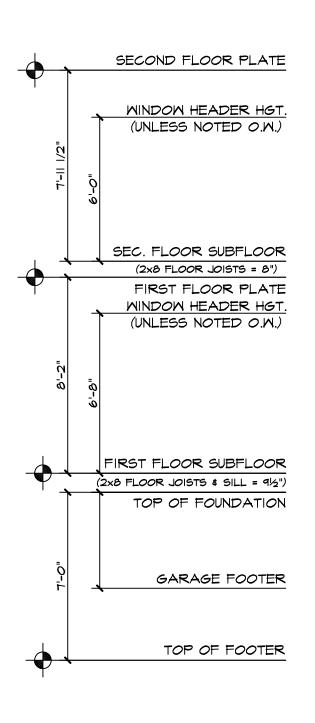


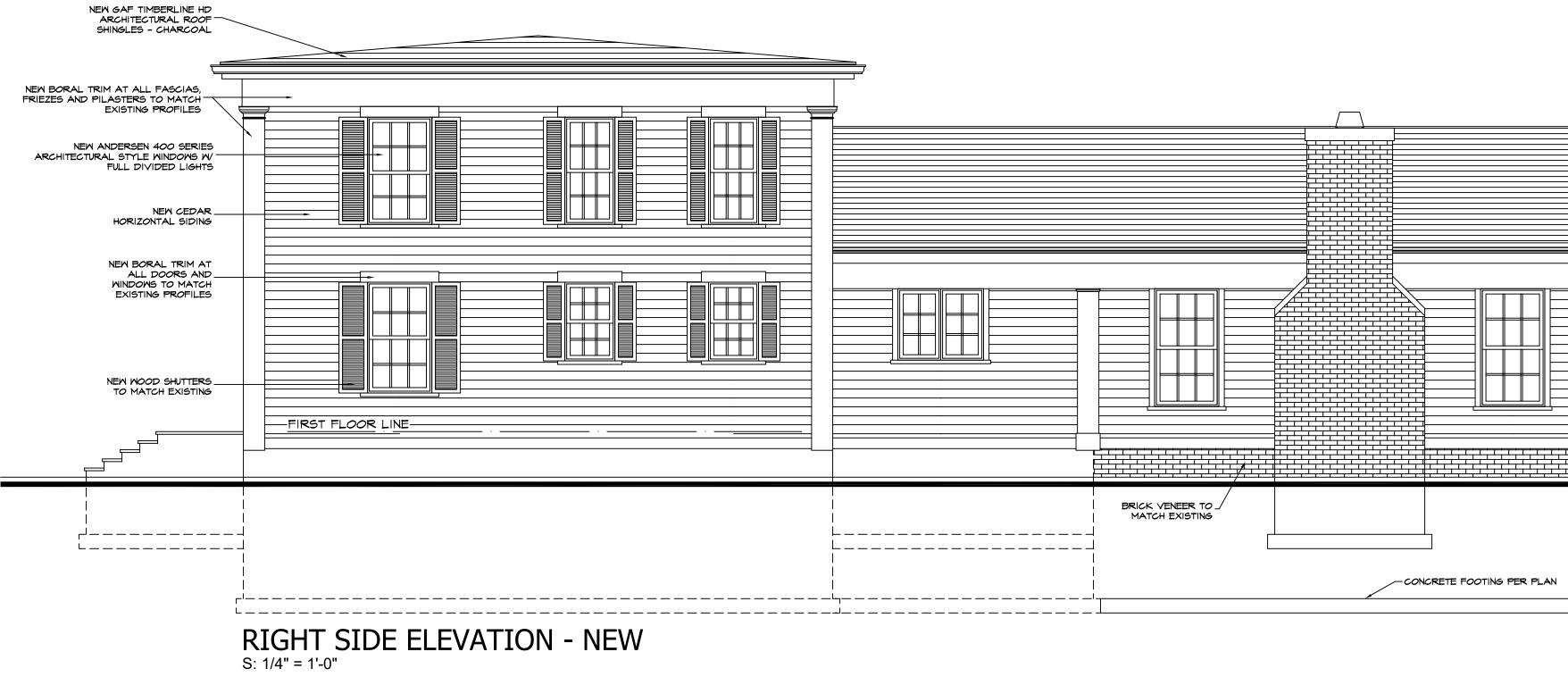




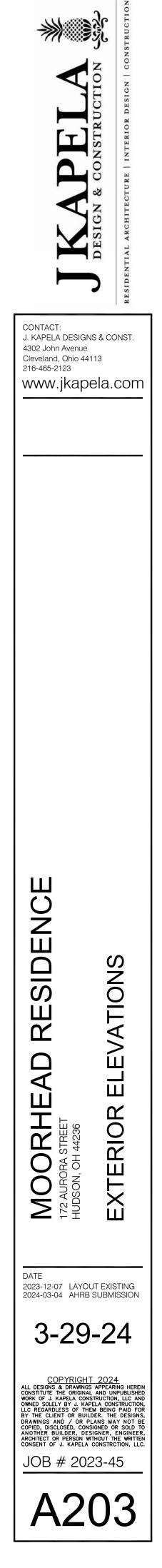






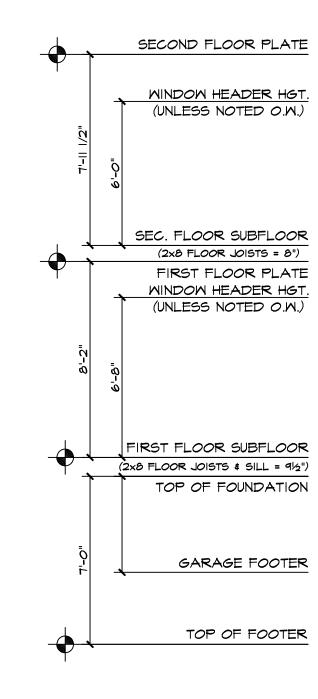








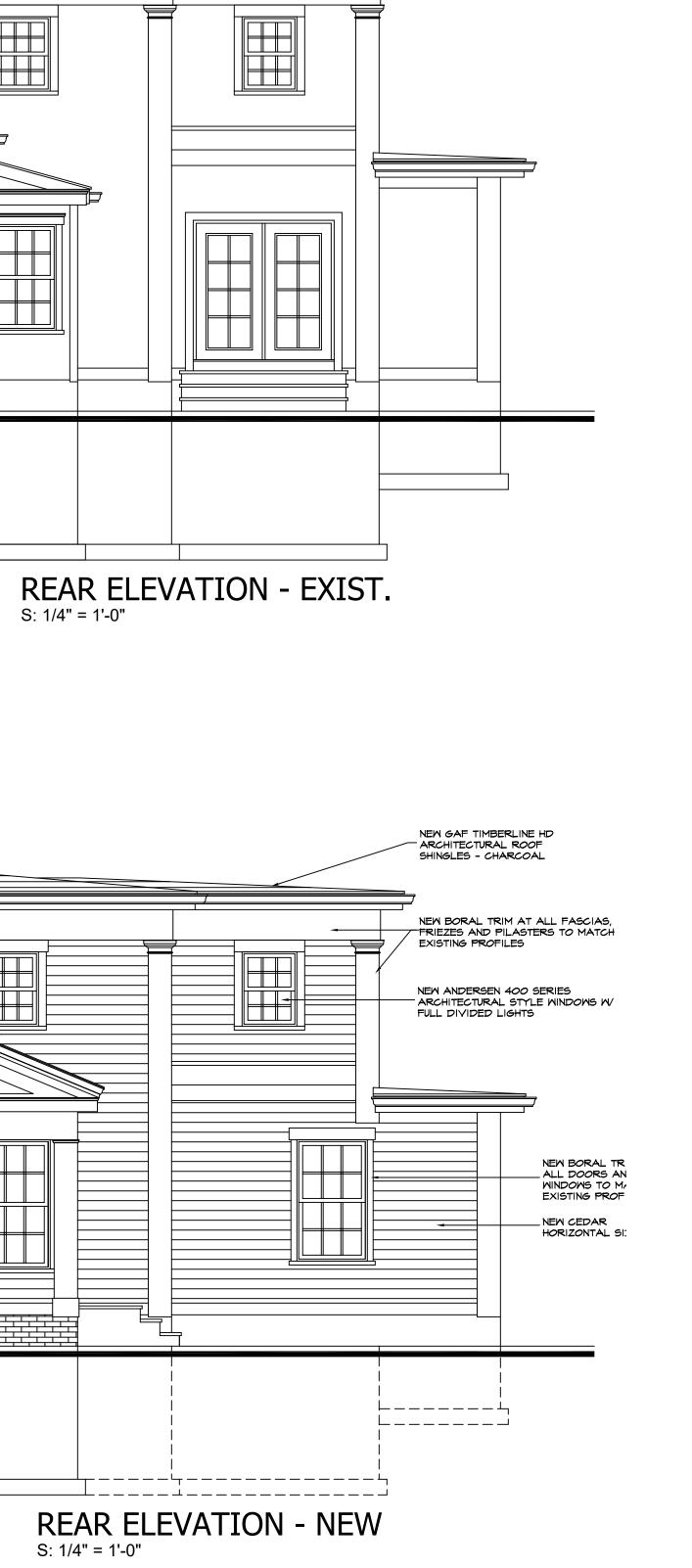


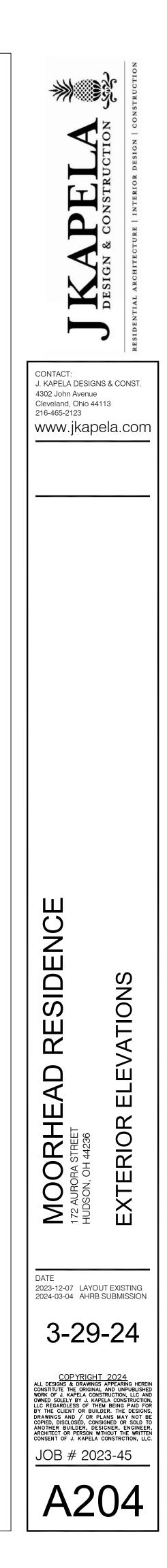






S: 1/4" = 1'-0"





FIRST FLOOR NOTES

Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

GENERAL:

-ALL WALLS ARE DIMENSIONED STUD-TO-STUD.

-ALL INTERIOR WALLS ARE 3 1/2", EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.

-ALL ANGLED WALLS ARE 45° UNLESS OTHERWISE NOTED.

-SEE PLANS FOR HEADERS IN ALL OPENINGS FOR EXTERIOR AND LOAD BEARING WALLS.

-ALL FLOOR JOISTS SHALL BE CROWNED BEFORE PLACEMENT.

-ALL POSTS (■) SHALL BE A MINIMUM OF (3)2x4's OR (2)2x6's UNLESS NOTED OTHERWISE & DEPENDENT ON WALL THICKNESS

-POINT LOADS ARE REPRESENTED BY (
)

SMOKE & CARBON DETECTORS:

ALL SMOKE & CARBON DETECTORS SHALL BE HARDWIRED & INTERCONNECTED WITH A BATTERY BACK-UP. THEY SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH ADDITIONAL STORY OF THE BUILDING PER RCO SECTIONS 314.3 AND 315.1.

FIREPLACES:

ALL CHIMNEYS AND FIREPLACES SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF 2013 RCO AND INSTALLED PER THE ORDINANCES SET FORTH THE BY THE LOCAL GOVERNING BUILDING AND ZONING DEPARTMENTS. IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THE ROUGH-OPENING DIMENSIONS FOR ALL PRE-FAB FIREPLACES WITH THE ACTUAL UNIT TO BE INSTALLED, PRIOR TO FRAMING.

WINDOWS:

ALL WINDOWS AND SIZES ARE DRAWN NOMINAL INCHES.

WINDOWS WITHIN 60" OF STANDING OR WALKING SURFACE OF A TUB, SHOWER, HOT TUB OR WHIRLPOOL MUST BE TEMPERED.

WINDOWS WITH SILLS LOWER THAN 18" MUST BE TEMPERED.

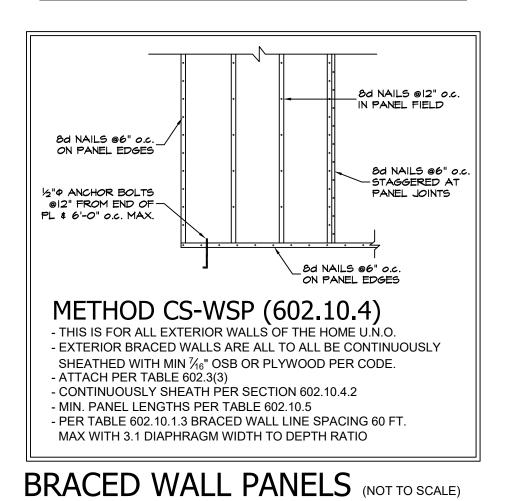
EGRESS REQUIREMENTS:

MAXIMUM SILL HEIGHT ABOVE FLOOR. MINIMUM NET CLEAR OPENING HEIGHT. ..24" MINIMUM NET CLEAR OPENING WIDTH20" MINIMUM NET CLEAR OPENING SQUARE FEET. MINIMUM NET CLEAR OPENING SQ. FT. GRADE LEVEL..... ...5.0 REMOVAL OF SASH MAY NOT BE USED TO OBTAIN CLEAR OPNG.

STAIR REQUIREMENTS:

MINI. STAIR WIDTH EXCLUDING WALL HANDRAIL	
MINIMUM TREAD DEPTH	9"
MAXIMUM RISER HEIGHT	8 1/4"
MAXIMUM VARIANCE IN RISER HEIGHT	3/8"
MINIMUM NOSING PROJECTION	1"
MINIMUM HEADROOM HEIGHT AT STAIR ANGLE	6'-8"
MINIMUM / MAXIMUM HANDRAIL HEIGHT	34" / 38"
MAXIMUM BALUSTER SPACING (CLEAR OPENING)	<4"
MINIMUM GUARDRAIL HEIGHT AT STAIRS	34"
MINIMUM GUARDRAIL HEIGHT AT DECKS & BALCONIES.	36"
MAXIMUM HAND GRIP WIDTH	2 1/4"
MINIMUM DISTANCE BETWEEN WALL AND HANDRAIL	1 1/2"

SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES



FOUNDATION NOTES

Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

GENERAL:

-2x8 PRESSURE TREATED SILL PLATE WITH SILL SEALER

 $-1/2"^{\circ}$ x18" ANCHOR BOLTS @ 6'-0" o.c. AND 12" MAXIMUM FROM CORNERS AND WITH A MIN. OF 2 BOLTS PER PLATE PER RCO SECTION 403.1.6.

-EXTERIOR FOUNDATION INSULATION AS REQUIRED.

-R-19 BATT INSULATION BETWEEN FLOOR JOIST CAVITIES AT RIM.

FOOTINGS:

-ALL FOOTINGS SHALL EXTEND BELOW THE MINIMUM FROST LINE DEPTH OF 42" PER RCO SECTION 402.2.

-(2)#4 REBAR CONTINUOUS THRU WALL FOOTERS.

-ALL 8" BLOCK OR POURED CONCRETE WALLS SHALL HAVE A MINIMUM 8"x16" CONTINUOUS POURED CONCRETE FOOTING.

-ALL 12" BLOCK OR POURED CONCRETE WALLS SHALL HAVE A MINIMUM 8"x20" CONTINUOUS POURED CONCRETE FOOTING.

-ALL CONCRETE LINTELS AT FOOTING LEVEL CHANGES SHALL HAVE A MINIMUM OF 8" BEARING AT EACH END.

CENTER ALL FOOTINGS ON COLUMN CENTER LINES. REINFORCE EACH WAY AS FOLLOWS: ())#4 2411-22411

24"x24"	(2)#4
30"x30"	• •
36"x36"	
42"x42"	
48"x48"	
60"x60"	
72"x72"	
	(0) = 3

CRAWL SPACE VENTILATION:

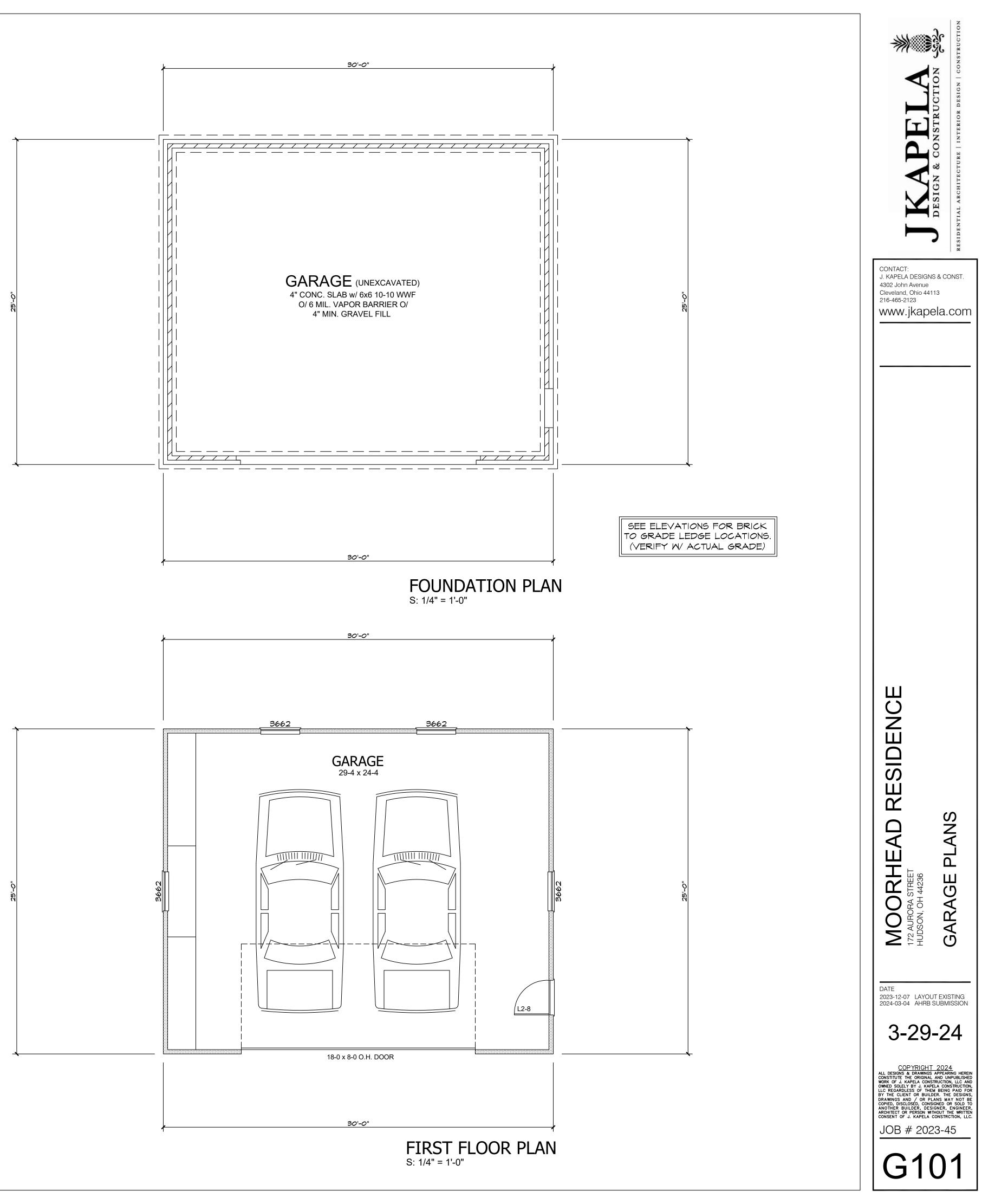
CRAWL SPACE EXTERIOR VENTILATION OPENINGS MAY BE OMITTED WHEN CONTINUOULY OPERATED MECHANICAL VENTILATION IS PROVIDED AT A RATE OF 1.0 cfm FOR EACH 50 SOUARE FEET OF CRAWL SPACE FLOOR AREA.

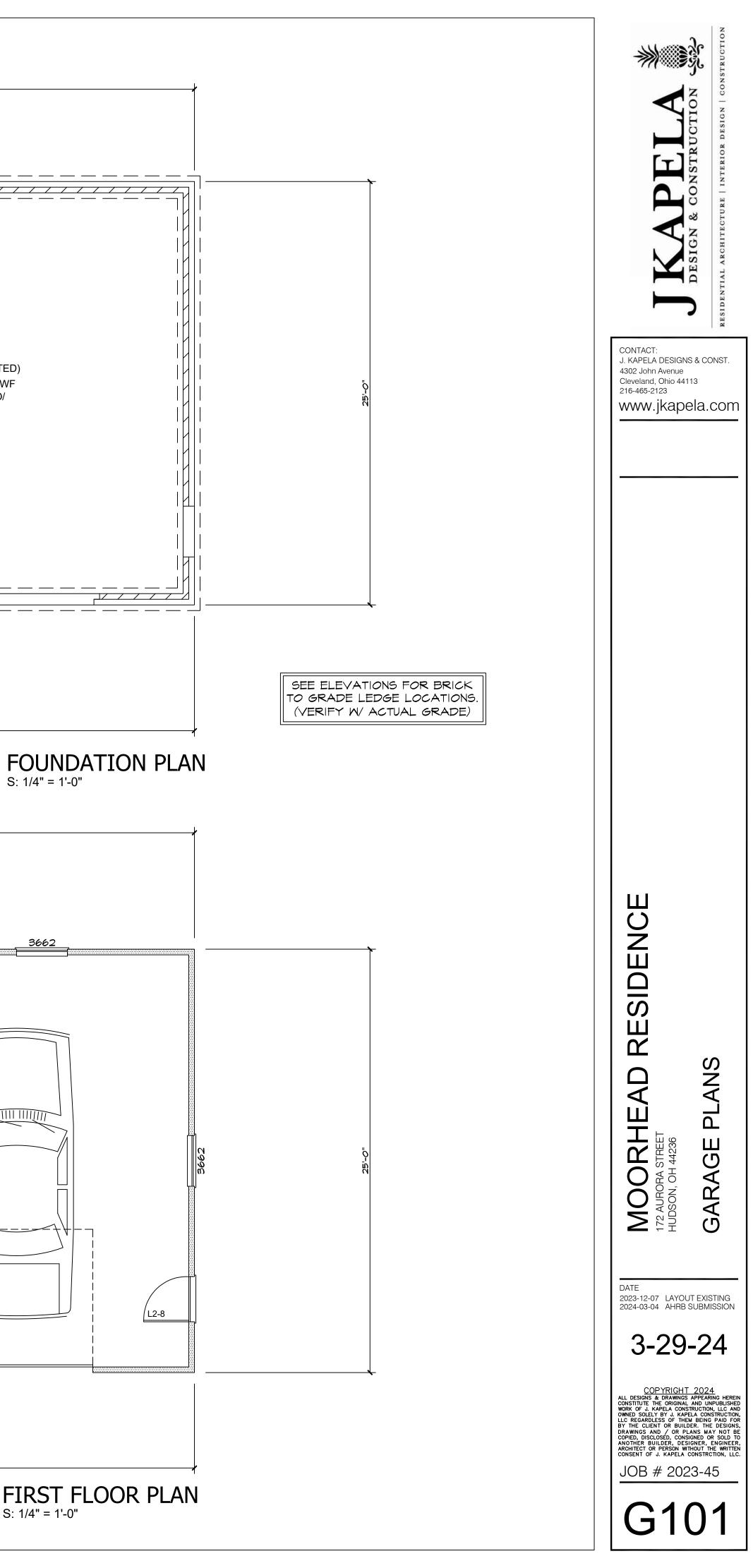
POINT LOADS:

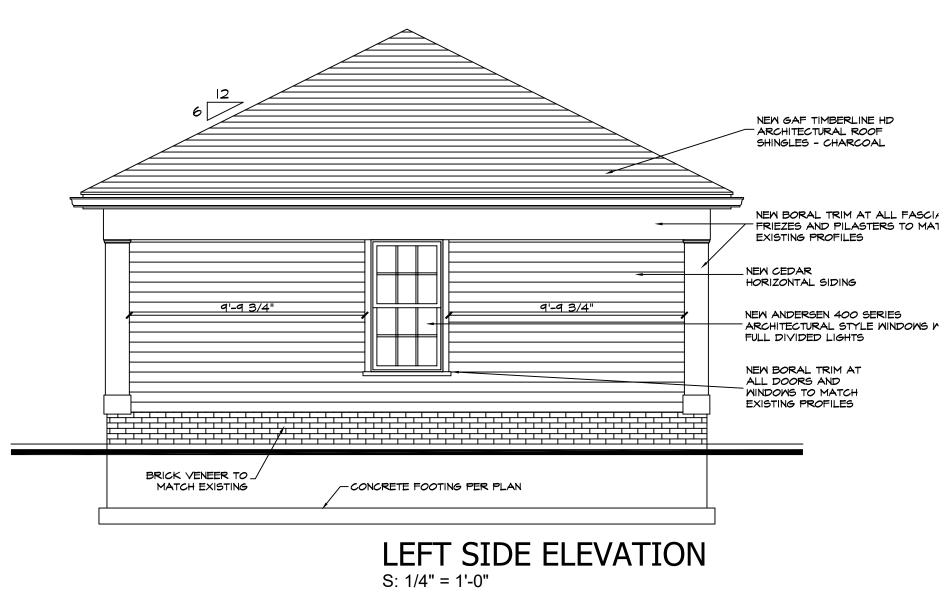
IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THAT ALL POINT LOADS TRANFER TO THE FOUNDATION OR SPECIFIED BEARING LOCATIONS.

> SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES



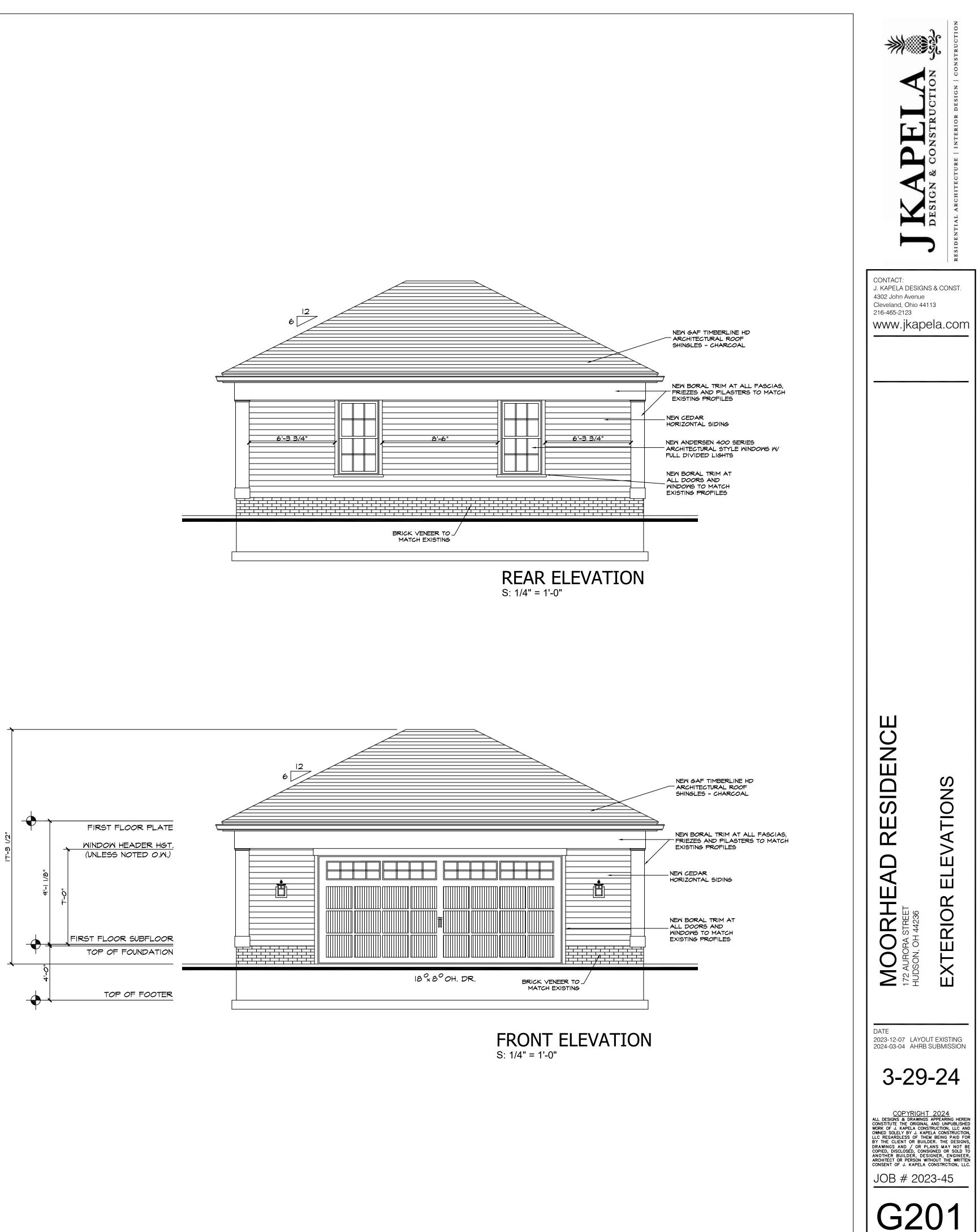


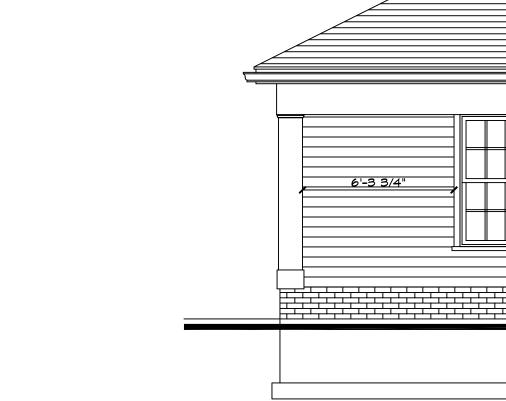




RIGHT SIDE ELEVATION S: 1/4" = 1'-0"







NEW GAF TIMBERLINE HD ARCHITECTURAL ROOF SHINGLES - CHARCOAL

FIRST FLOOR NOTES

Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

GENERAL:

-ALL WALLS ARE DIMENSIONED STUD-TO-STUD.

-ALL INTERIOR WALLS ARE 3 1/2", EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.

-ALL ANGLED WALLS ARE 45° UNLESS OTHERWISE NOTED.

-SEE PLANS FOR HEADERS IN ALL OPENINGS FOR EXTERIOR AND LOAD BEARING WALLS.

-ALL FLOOR JOISTS SHALL BE CROWNED BEFORE PLACEMENT.

-ALL POSTS (■) SHALL BE A MINIMUM OF (3)2x4's OR (2)2x6's UNLESS NOTED OTHERWISE & DEPENDENT ON WALL THICKNESS

-POINT LOADS ARE REPRESENTED BY (
)

SMOKE & CARBON DETECTORS:

ALL SMOKE & CARBON DETECTORS SHALL BE HARDWIRED & INTERCONNECTED WITH A BATTERY BACK-UP. THEY SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH ADDITIONAL STORY OF THE BUILDING PER RCO SECTIONS 314.3 AND 315.1.

FIREPLACES:

ALL CHIMNEYS AND FIREPLACES SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF 2013 RCO AND INSTALLED PER THE ORDINANCES SET FORTH THE BY THE LOCAL GOVERNING BUILDING AND ZONING DEPARTMENTS. IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THE ROUGH-OPENING DIMENSIONS FOR ALL PRE-FAB FIREPLACES WITH THE ACTUAL UNIT TO BE INSTALLED, PRIOR TO FRAMING.

WINDOWS:

ALL WINDOWS AND SIZES ARE DRAWN NOMINAL INCHES.

WINDOWS WITHIN 60" OF STANDING OR WALKING SURFACE OF A TUB, SHOWER, HOT TUB OR WHIRLPOOL MUST BE TEMPERED.

WINDOWS WITH SILLS LOWER THAN 18" MUST BE TEMPERED.

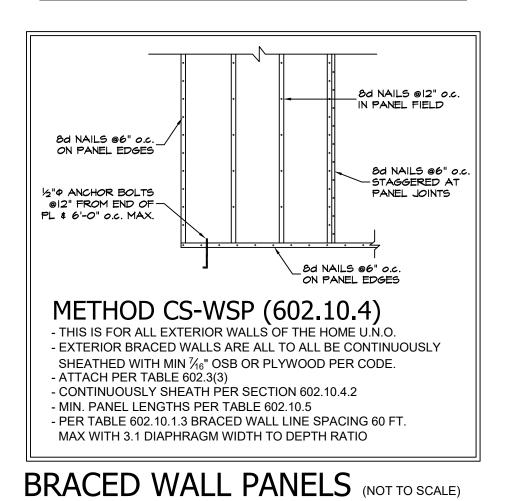
EGRESS REQUIREMENTS:

MAXIMUM SILL HEIGHT ABOVE FLOOR. MINIMUM NET CLEAR OPENING HEIGHT. ..24" MINIMUM NET CLEAR OPENING WIDTH20" MINIMUM NET CLEAR OPENING SQUARE FEET. MINIMUM NET CLEAR OPENING SQ. FT. GRADE LEVEL..... ...5.0 REMOVAL OF SASH MAY NOT BE USED TO OBTAIN CLEAR OPNG.

STAIR REQUIREMENTS:

MINI. STAIR WIDTH EXCLUDING WALL HANDRAIL	
MAXIMUM RISER HEIGHT	8 1/4"
MAXIMUM VARIANCE IN RISER HEIGHT.	1"
MINIMUM HEADROOM HEIGHT AT STAIR ANGLE MINIMUM / MAXIMUM HANDRAIL HEIGHT	.34" / 38"
MAXIMUM BALUSTER SPACING (CLEAR OPENING) MINIMUM GUARDRAIL HEIGHT AT STAIRS	
MINIMUM GUARDRAIL HEIGHT AT DECKS & BALCONIES MAXIMUM HAND GRIP WIDTH	
MINIMUM DISTANCE BETWEEN WALL AND HANDRAIL	

SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES



FOUNDATION NOTES

Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

GENERAL:

-2x8 PRESSURE TREATED SILL PLATE WITH SILL SEALER

 $-1/2"^{\circ}$ x18" ANCHOR BOLTS @ 6'-0" o.c. AND 12" MAXIMUM FROM CORNERS AND WITH A MIN. OF 2 BOLTS PER PLATE PER RCO SECTION 403.1.6.

-EXTERIOR FOUNDATION INSULATION AS REQUIRED.

-R-19 BATT INSULATION BETWEEN FLOOR JOIST CAVITIES AT RIM.

FOOTINGS:

-ALL FOOTINGS SHALL EXTEND BELOW THE MINIMUM FROST LINE DEPTH OF 42" PER RCO SECTION 402.2.

-(2)#4 REBAR CONTINUOUS THRU WALL FOOTERS.

-ALL 8" BLOCK OR POURED CONCRETE WALLS SHALL HAVE A MINIMUM 8"x16" CONTINUOUS POURED CONCRETE FOOTING.

-ALL 12" BLOCK OR POURED CONCRETE WALLS SHALL HAVE A MINIMUM 8"x20" CONTINUOUS POURED CONCRETE FOOTING.

-ALL CONCRETE LINTELS AT FOOTING LEVEL CHANGES SHALL HAVE A MINIMUM OF 8" BEARING AT EACH END.

CENTER ALL FOOTINGS ON COLUMN CENTER LINES. REINFORCE EACH WAY AS FOLLOWS: ())#4 2411-22411

24"x24"	(2)#4
30"x30"	
36"x36"	
42"x42"	
48"x48"	
60"x60"	
72"x72"	
	(0)#3

CRAWL SPACE VENTILATION:

CRAWL SPACE EXTERIOR VENTILATION OPENINGS MAY BE OMITTED WHEN CONTINUOULY OPERATED MECHANICAL VENTILATION IS PROVIDED AT A RATE OF 1.0 cfm FOR EACH 50 SOUARE FEET OF CRAWL SPACE FLOOR AREA.

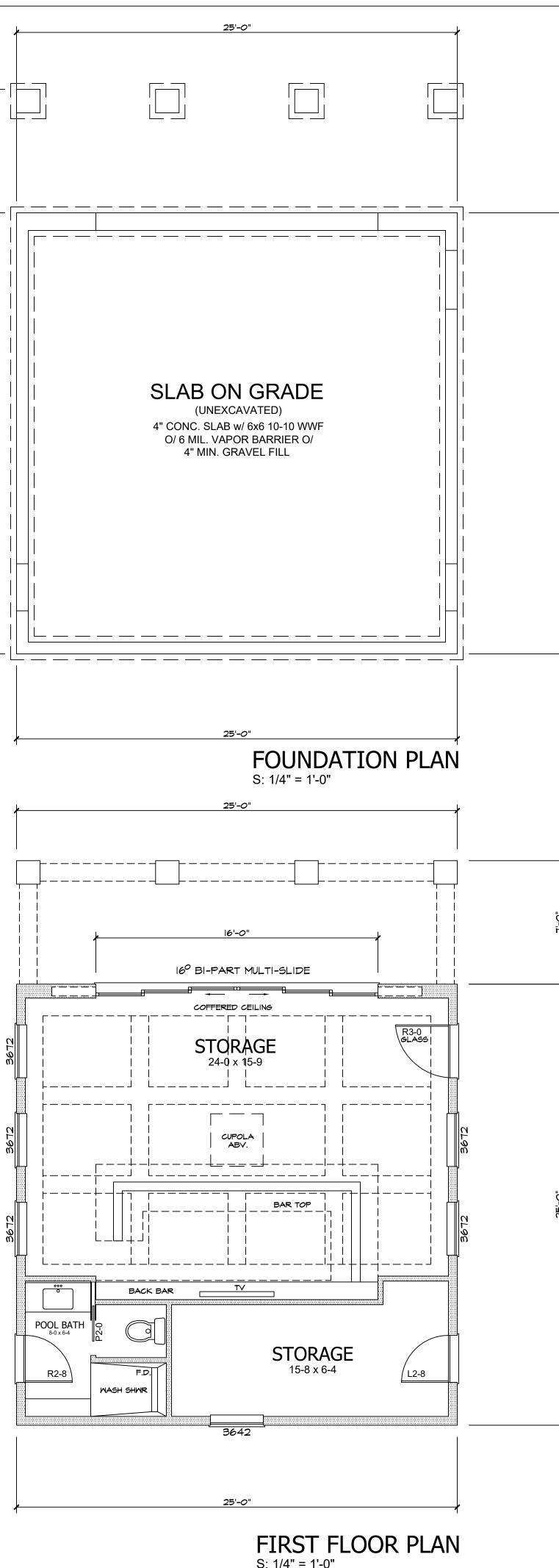
POINT LOADS:

IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THAT ALL POINT LOADS TRANFER TO THE FOUNDATION OR SPECIFIED BEARING LOCATIONS.

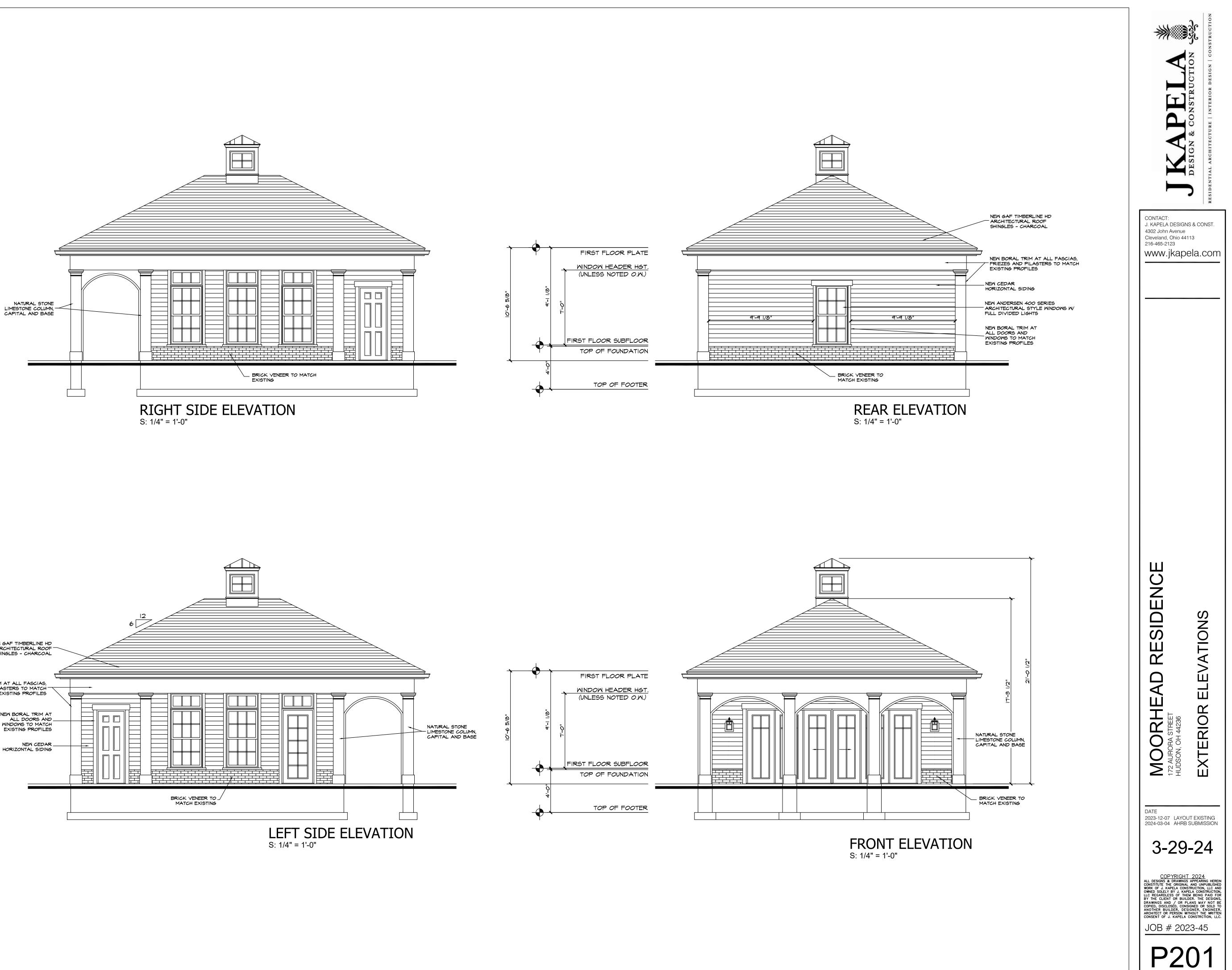
SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES

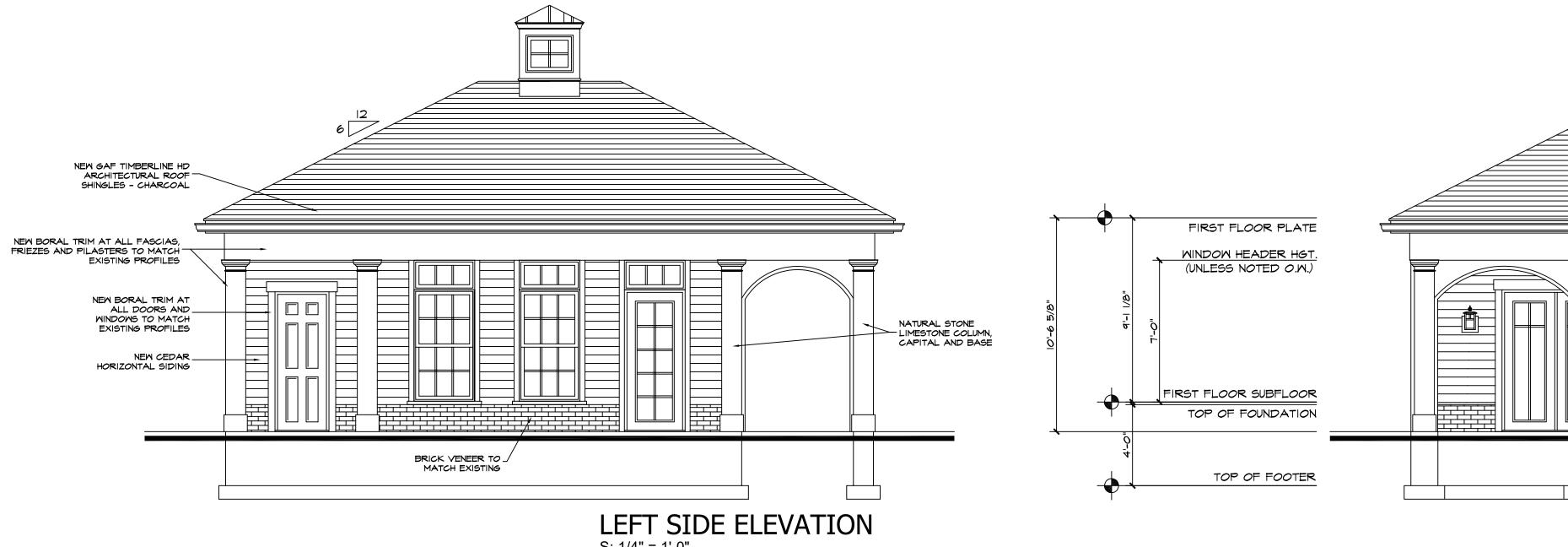






E CONTACT: J. KAPELA DESIGNS & CONST. 4302 John Avenue Cleveland, Ohio 44113 216-465-2123 www.jkapela.com Ш \mathbf{O} Ζ SIDE Щ Ш AN Ω \square 0R MOORHE/ Ó Ш FIRST DATE 2023-12-07 LAYOUT EXISTING 2024-03-04 AHRB SUBMISSION 3-29-24 COPYRIGHT 2024 ALL DESIGNS & DRAWINGS APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF J. KAPELA CONSTRUCTION, LLC AND OWNED SOLELY BY J. KAPELA CONSTRUCTION, LLC REGARDLESS OF THEM BEING PAID FOR BY THE CLIENT OR BUILDER. THE DESIGNS, DRAWINGS AND / OR PLANS MAY NOT BE COPIED, DISCLOSED, CONSIGNED OR SOLD TO ANOTHER BUILDER, DESIGNER, ENGINEER, ARCHITECT OR PERSON WITHOUT THE WRITTEN CONSENT OF J. KAPELA CONSTRCTION, LLC. JOB # 2023-45 P101























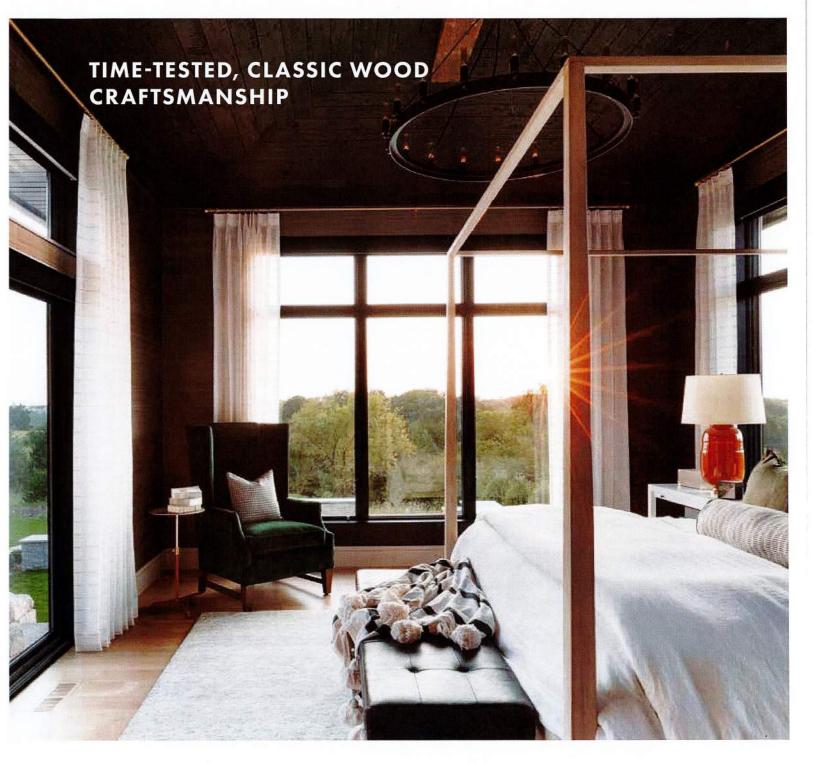








400 SERIES





EXTERIOR & INTERIOR OPTIONS

Our Perma-Shield[®] exterior cladding system, a time-tested Andersen innovation, offers low maintenance and durability while also providing an attractive appearance. The interiors of all 400 Series windows and patio doors are available in unfinished staingrade pine or with a long-lasting, low-maintenance white finish. Select windows are also available with a dark bronze or black finish. 400 Series Woodwright[®] windows and Frenchwood[®] patio doors are also available with unfinished maple or oak interiors.



*Visit andersenwindows.com/warranty for details.

**Some products are not available in all colors or wood species. See your Andersen supplier for details.

†Products with dark bronze and black interiors have matching exteriors.

Printing limitations prevent exact replication of colors and finishes. See your Andersen supplier for actual color and finish samples.

GRILLE OPTIONS

A variety of grille patterns, widths and configurations fit any architectural style and help you create your vision. When remodeling or replacing, they play an important role in preserving the style of your home which is why we also offer custom patterns.





FULL DIVIDED LIGHT

Permanently applied to the interior and exterior of your window with a spacer between the glass.

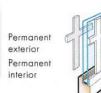
Grille Bar Widths



1 /4*

Cross section of grilles showing standard widths and profiles. Additional patterns available, see your Andersen supplier for details.





Permanent exterior Removable interior

2 1/4"

SIMULATED DIVIDED LIGHT

Permanent grilles on the exterior and interior with no spacer between the glass. We also offer permanent exterior grilles with removable interior grilles.

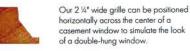




Finelight[™] Grilles-Betweenthe-Glass^{*}

CONVENIENT CLEANING OPTIONS

Removable interior grilles come off for easy cleaning. Finelight™ grilles-between-the-glass are installed between the glass panes and feature a contoured ¾" or 1" profile.



INSECT SCREEN OPTIONS

Choose our TruScene® insect screen for a beautifully unobstructed view with 400 Series windows. TruScene insect screens provide more than 50% greater clarity than conventional Andersen insect screens and let in 25% more fresh air;" all while keeping out unwanted small insects.

Conventional aluminum insect screens are also available for 400 Series windows. 400 Series patio doors are available with conventional fiberglass insect screens.



COMPARISON CHART

Use the quick reference chart below to decide which Andersen® 400 Series products best fit your project needs.

		WINDOWS								PATIO DOORS		
FEATURES		Woodwrighte Double-Hung Full-Frame	Woodwright Double-Hung Insert							Frenchwoods Gliding Frenchwood Hinged Inswing		
Low-Main	ntenance Exteriors											
	White	•				•						
	Canvas		•				•	•				
	Sandtone	•		•			•	•			•	
	Terratone	•				٠	•	•		•	•	
	Dark Bronze	•		•	•			•	•			
	Forest Green		•	•			•	•			•	
	Black	•	•		•		•	•				
Interiors												
	Pine	•		•	•	•	•	•	•	•		
	Maple		•							•	•	
CALLS IN THE	Oak	•									•	
	White	•			•	•	•	•	•	•		
	Sandtone											
	Dark Bronze				•		•		•			
	Black				•		•	•	•			
Easy Clea	aning											
Tilt-to-Cle	ean Sash	•	•	•								
Grilles &	Blinds	- In contraction of the							- 1			
Full Divide	ed Light		•		•		•	•	•			
Simulated Divided Light		•	•		•	•		•	•			
Finelight [™] Grilles-Between-the-Glass		•	•	•	•			•	•			
Removable Interior Grilles		•		•			•	•	•	•	•	
Blinds-Between-the-Glass										•	•	
AN 1222 NO 1224	formance Glass Additional gla	ss options are ava	ilable. See p	age 8 for deta	ails. For patio	doors, all glas	is options are	tempered.				
Low-E4®	and the second		•			•	•	•	•	•	•	
Low-E4 SmartSun [™]		•	•						•			
Low-E4 Sun			•		•	•	•		•		•	
Low-E4 PassiveSun			•		•				•		•	
Clear Dual-Pane								•				
HeatLock® Coating							•				•	
	ance Option		1			1.00		and the se				
	tch® Protection	PG upgrade						•				
Glass Sp						11						
Stainless		•			•			•		•	•	
Black or		0							•			
Standard						L						
Minimum	and the second se	1'-9 %"	1'-4 1/2"	1'-9 5/8"	1'-9 ¼"	Fits	1'-5"	2'-0 1/8"	2"-11 1/4"	4'-11 1/4"	2'-6 1/8	
Maximun		3'-9 %*	3'-9 %	3'-9 5/8"	3'-8 %	Narroline	2'-11 15/16"	5'-11 %	5'-11 1/4"	15'-9"	8'-11 1/8	
Minimum		3'-0%"	2'-3 ¾"	3'-0 %"	3'-0 %"	double-hung windows	2'-0 1/8"	1'-5"	1'-10 1/4"	6'-7 1/2"	6'-7 1/2"	
Maximun		6'-4 7/8"	6'-5"	7'-8 %	7'-6%"	made after 1967	5'-11 %"	4"-0"	4'-11 1/4"	7'-11 1/2"	7'-11 1/2'	
MUXIMUN	Sizes	0-478	•	•	0 /8		5 11/0			•	0	