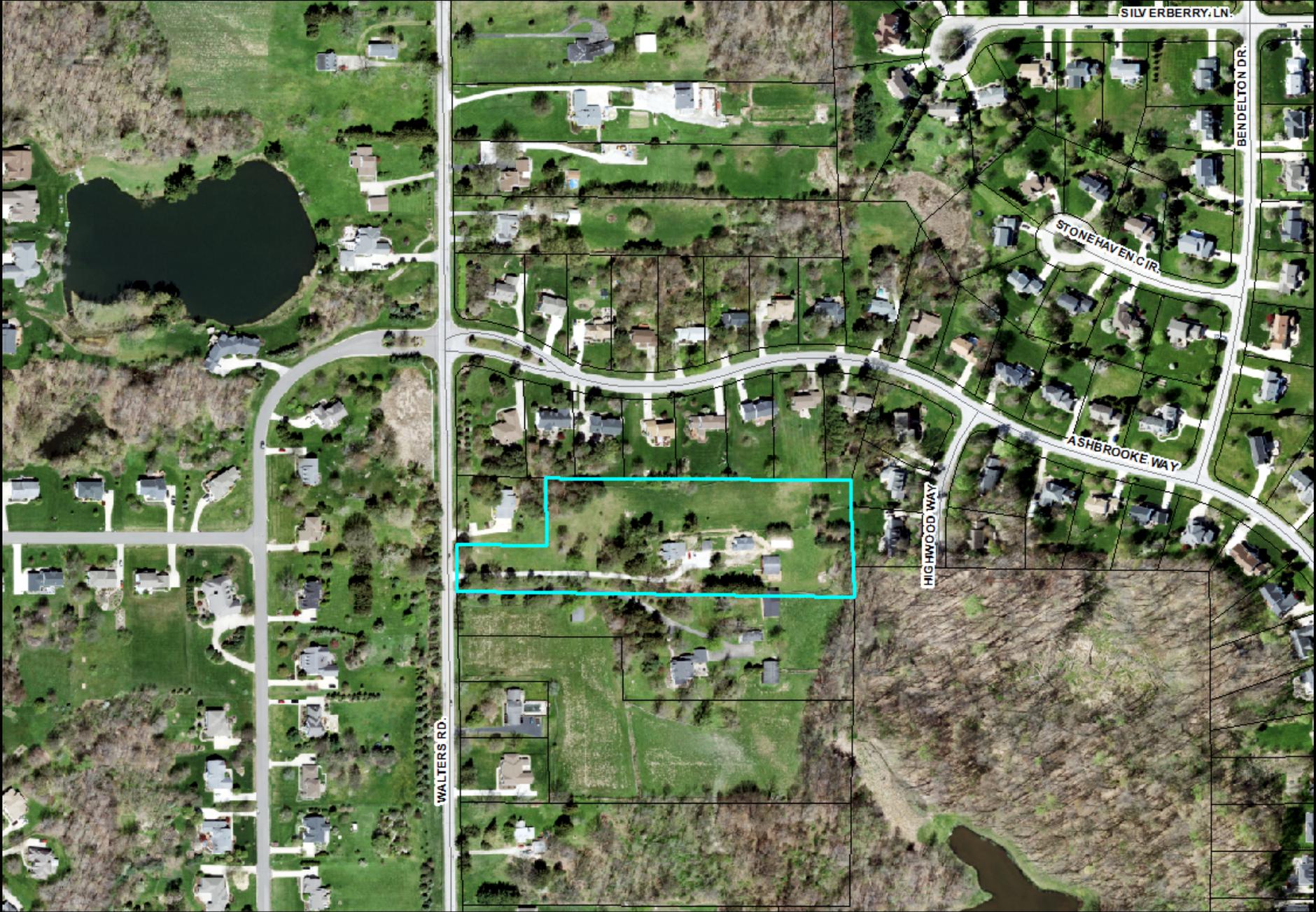
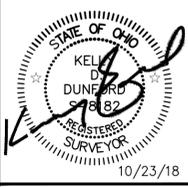


# Aerial Map





# TOPOGRAPHIC SURVEY & SITE PLAN

for  
**The Foster Residence**  
by  
**Alair Homes Hudson**

SITUATED IN THE CITY OF HUDSON, COUNTY OF SUMMIT AND STATE OF OHIO; AND KNOWN AS BEING PART OF ORIGINAL HUDSON TOWNSHIP LOT NO. 91.



0 15 30 60  
**SCALE: 1" = 30'**

**DATUM:**

B.O.B.: 2016 CASEY SURVEY  
VERT: NAVD88

**LEGEND**

- Ex. Contour
- PR. CONTOUR
- Ex. Tree Line
- PR. CLEARING
- PR. SILT FENCE
- PR. GRADE
- Ex. Grade
- PR. DRAINAGE
- TREE TO BE REMOVED
- PR. CONST. ENTRANCE
- Ex. = Existing PR. = PROPOSED
- Ex. San./Strm. MH.
- Ex. Pedestals
- Ex. Hydrant
- Iron Pin Fnd./Set
- Iron Pipe Fnd.
- Mon. Fnd.

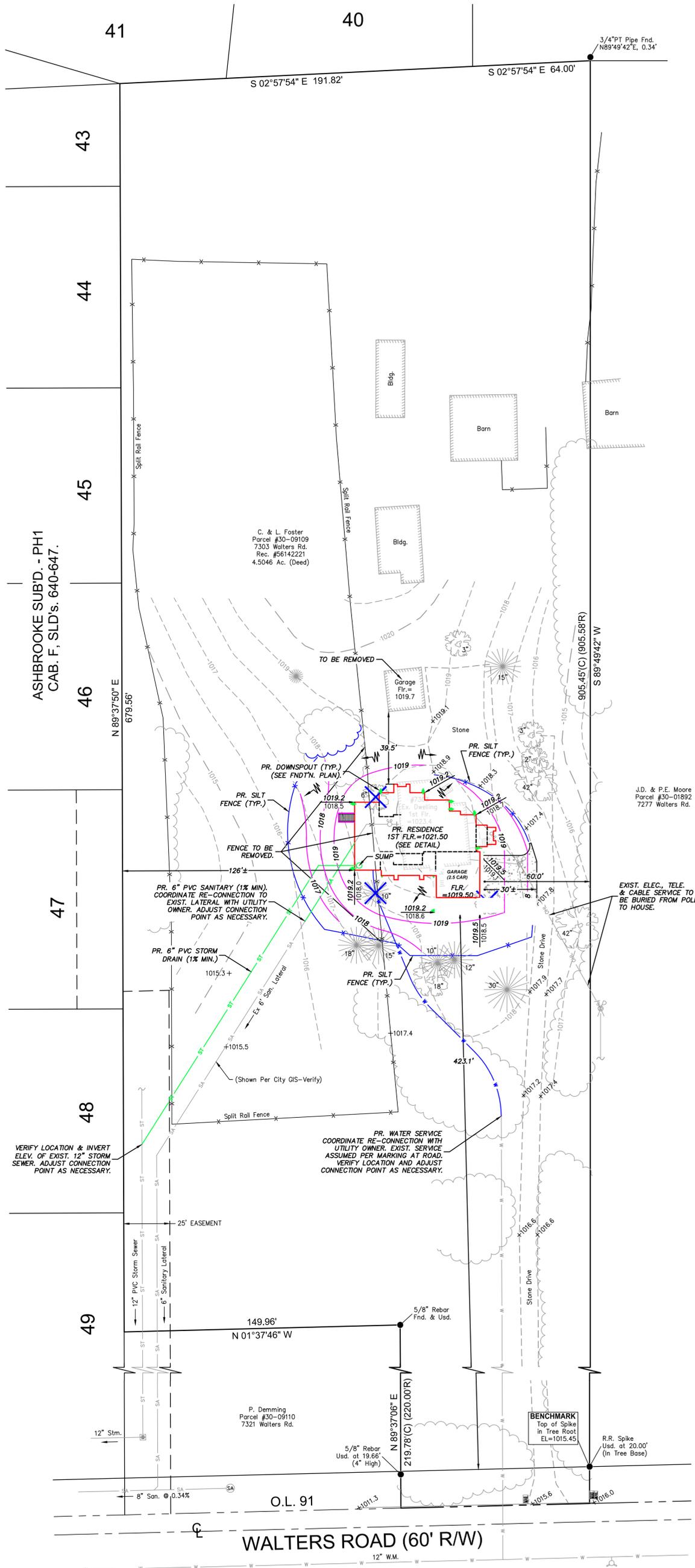
ASHBROOKE SUB'D. - PH1  
CAB. F. SLD's. 640-647.

46  
N 89°37'50" E  
679.56'

47

48

49



VERIFY LOCATION & INVERT ELEV. OF EXIST. 12" STORM SEWER. ADJUST CONNECTION POINT AS NECESSARY.

PR. 6" PVC SANITARY (1% MIN.) COORDINATE RE-CONNECTION TO EXIST. LATERAL WITH UTILITY OWNER. ADJUST CONNECTION POINT AS NECESSARY.

PR. 6" PVC STORM DRAIN (1% MIN.)

PR. WATER SERVICE COORDINATE RE-CONNECTION WITH UTILITY OWNER. EXIST. SERVICE ASSUMED PER MARKING AT ROAD. VERIFY LOCATION AND ADJUST CONNECTION POINT AS NECESSARY.

PR. DOWNSPOUT (TYP.) (SEE FNDTN. PLAN).

PR. SILT FENCE (TYP.)

PR. RESIDENCE 1ST FLR = 1021.50 (SEE DETAIL)

PR. GARAGE 2.5 CAR FLR = 1019.50

PR. SILT FENCE (TYP.)

**CONSTRUCTION NOTES:**

1. The contractor must verify all foundation dimensions and proposed grades shown on this plan. Any errors resulting from failure to check or to notify the surveyor of any changes shall not be the responsibility of Apex Land Surveying.
2. All grades shall comply w/corresponding government office.
3. All swales must maintain a minimum slope of 1%.
4. Maintain positive yard drainage away from house.
5. Contractor to notify utilities protection services/ OUPS prior to construction.
6. Contractor shall verify location and depths of existing laterals & verify if proper connections can be made to house. Contact corresponding government office if discrepancies occur.
7. All sewer connections must maintain a minimum slope of 1%.
8. A foundation sump pump is required.
9. Silt fence must surround any excavation areas so that no silt escapes site.
10. There was no search for easements of record, right-of-ways, restrictive covenants, encumbrances, ownership title evidence, or any other facts that a title search may disclose.

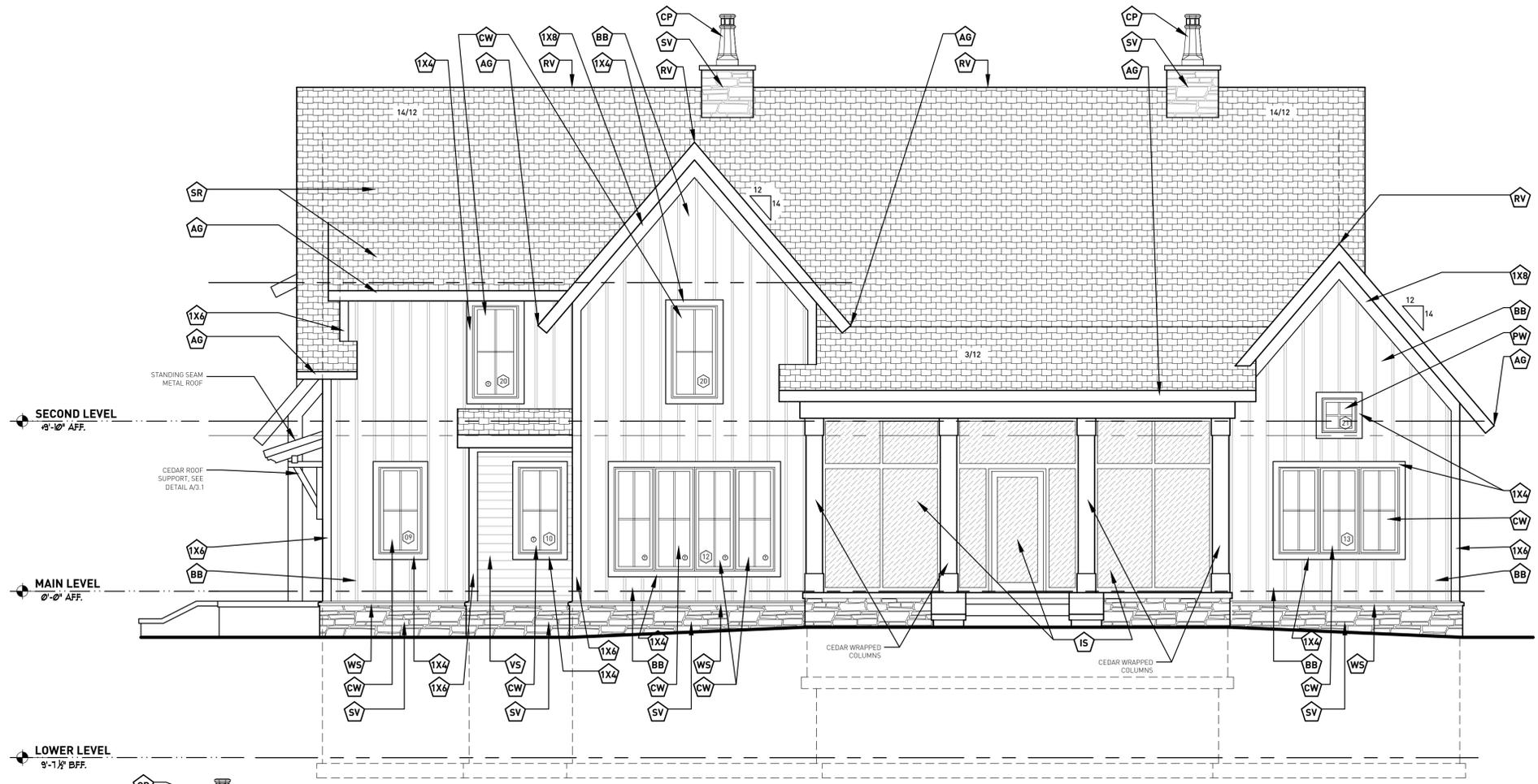


Know what's below.  
Call before you dig.

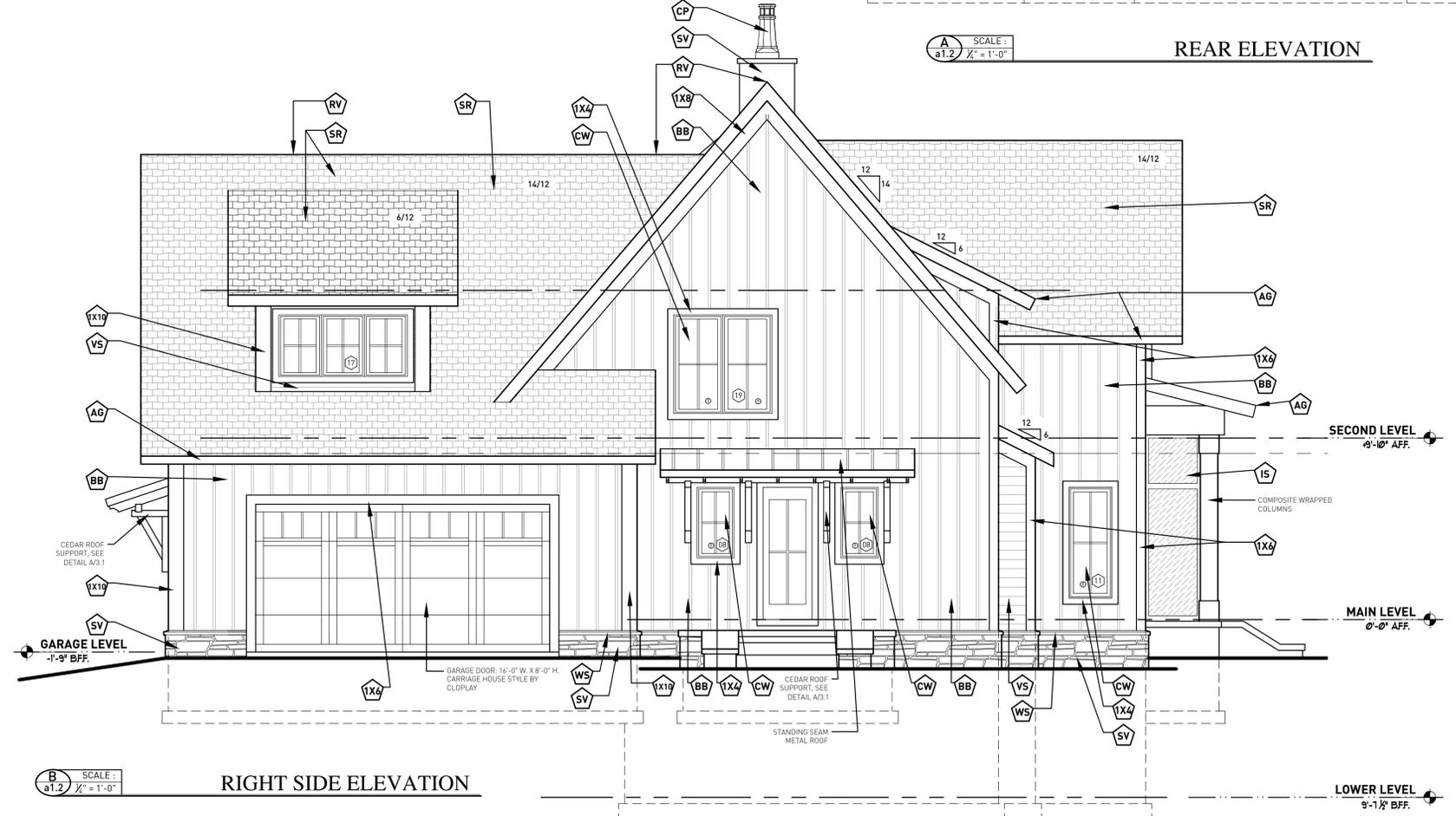
SURVEYED BY:  
**PEX LAND SURVEYING**  
KELLY D. DUNFORD, P.S. 8182  
2858 FULMER DR., SILVER LAKE, OH  
(330) 928-7750  
ps8182@sbcglobal.net  
www.apexlandsurveying.com

|                            |                   |
|----------------------------|-------------------|
| TITLE: TOPO & SITE PLAN    | DATE: SEPT. 2018  |
| CLIENT: ALAIR HOMES HUDSON | PROJ.: 2018083    |
| SCALE: 1" = 30'            | FILE: 2018083.dwg |
| DRAWN BY: KDD              | CHECKED BY: KDD   |
| CREW: KDD                  |                   |
| SHEET SIZE: 17" X 22"      | SHEET: 1 OF 1     |



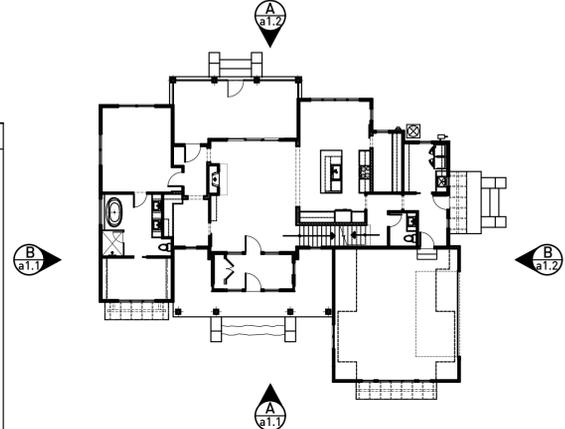


SCALE: 1/8" = 1'-0"  
**REAR ELEVATION**



SCALE: 1/8" = 1'-0"  
**RIGHT SIDE ELEVATION**

SCALE: 1/8" = 1'-0"  
**KEY FLOOR PLAN**



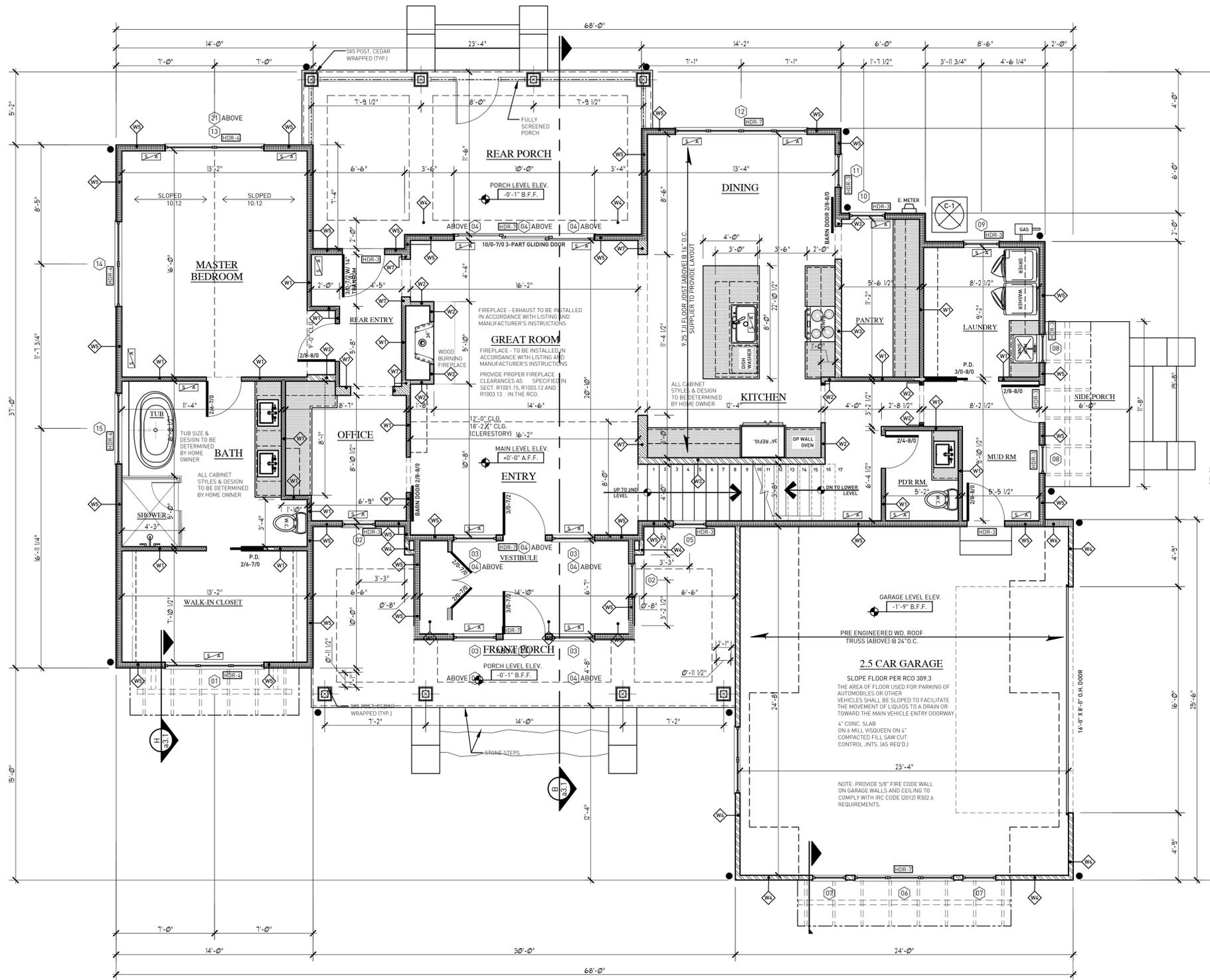
- ELEVATION NOTES**
- ELEVATIONS SHOWN GRAPHICALLY INDICATE BASEMENT FOUNDATION CONDITIONS.
  - ALL ROOF SADDLES TO BE PLYWOOD SHEATHED W/ BUILDING PAPER AND SHINGLES.
  - CONTINUOUS RIDGE VENTS TO BE BAFFLED TO PREVENT BACK FLOW
  - ALL EXTERIOR WOOD TO BE PRIMED BEFORE INSTALLATION
  - ALL WINDOW GRILLS TO MATCH ELEVATIONS
  - CONTRACTOR TO PROVIDE PROPER FLASHING AT ALL EXTERIOR DOORS & WINDOWS
  - PROVIDE ROOF SADDLE TO DRAIN AWAY FROM BACK SIDE OF CHIMNEY - PROVIDE ALL PROPER FLASHING
- ① DENOTES GLAZING TO BE TEMPERED

**EXTERIOR FINISH LEGEND**

| NO. | DESCRIPTION  | HATCH PATTERN            |
|-----|--|--------------------------|
| SR  | SHINGLE ROOFING; BASIS OF DESIGN, CERTAINTEE 30 YEAR ARCHITECTURAL ASPHALT SHINGLES ON 15# FELT W/ ICE AND WATER SHIELD AS REQUIRED; ASSEMBLY TO BE INSTALLED PER MFG. REQUIREMENTS COLOR & STYLE SUBMITTED TO BE DETERMINED | [Shingle Hatch]          |
| SV  | STONE VENEER; CULTURED STONE VENEER, DUTCH QUALITY STONE ELKWOOD TUSCAN RIDGE  | [Stone Veneer Hatch]     |
| VS  | VINYL SIDING: 6" SMOOTH HORIZONTAL COMPOSITE COLOR T.B.D.  | [Vinyl Siding Hatch]     |
| BB  | VINYL SIDING: 8" BOARD AND BATTEN COMPOSITE SIDING COLOR T.B.D.  | [Board and Batten Hatch] |
| IS  | INSECT SCREEN: CUSTOM INSECT SCREEN VERIFY STYLE W/ HOME OWNER   | [Insect Screen Hatch]    |
| CP  | CHIMNEY POT: COPPER CHIMNEY POT "JACK ARNOLD"  | [Chimney Pot Hatch]      |

**EXTERIOR FINISH LEGEND**

| NO.  | DESCRIPTION   |
|------|---|
| CW   | CASEMENT WINDOW: JELDWEN CASEMENT WINDOW; GRILLE PATTERN TO MATCH ELEVATION. COLOR: CHESTNUT BRONZE |
| PW   | PICTURE WINDOW: JELDWEN PICTURE WINDOW; GRILLE PATTERN TO MATCH ELEVATION. COLOR: CHESTNUT BRONZE   |
| WS   | WATERTABLE SILL: WATERTABLE SILL 233 1/2" (L) X 3" (H) X 2 1/2" (D) - COLOR: TAN                    |
| RV   | RIDGE VENT: CONTINUOUS RIDGE VENTS TO BE BAFFLED TO PREVENT BACK FLOW                               |
| AG   | ALUMINUM GUTTERS: AND DOWN SPOUTS TO MATCH FASCIA AND SOFFIT COLOR                                  |
| 1X4  | 1 X 4 BD.COMPOSITE OR EQUAL COLOR TO MATCH WINDOWS SASH   |
| 1X6  | 1 X 6 BD.COMPOSITE OR EQUAL COLOR TO MATCH WINDOWS SASH   |
| 1X8  | 1 X 8 BD.COMPOSITE OR EQUAL COLOR TO MATCH WINDOW SASH  |
| 1X10 | 1 X 10 BD.COMPOSITE OR EQUAL COLOR TO MATCH WINDOW SASH   |



**MAIN LEVEL FLOOR PLAN**

**FLOOR PLAN NOTES**

- GARAGE SPACE SHALL BE SEPARATED FROM LIVING AREA & ATTIC BY 1/2" GYPSUM APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ROOMS ABOVE BY 5/8" TYPE X GYPSUM (COMPLY W/ RCO R309.2)
- PROVIDE BATHROOM EXHAUST FANS WITH A MINIMUM VENTILATION RATE OF 50 CFM. EXHAUST FANS TO BE VENTED DIRECTLY TO THE OUTSIDE (COMPLY W/ RCO R303.3)
- INDEPENDENT METAL DRYER VENT SYSTEM W/ DAMPER TO BE INSTALLED. SYSTEM TO VENT MOISTURE DIRECTLY OUTDOORS (COMPLY W/ RCO M150.1)
- ALL SLEEPING ROOMS MUST CONTAIN AN OPERABLE WINDOW OR DOOR WHICH WILL PROVIDE A MEANS OF EMERGENCY EGRESS W/ A MIN. 5.7 S.F. CLEAR OPENING IS S.F. AT GRADE FLOOR (24" MIN. CLEAR HGT. / 20" MIN. CLEAR WIDTH) (COMPLY W/ RCO R301)
- FUEL-BURNING EQUIPMENT SHALL BE PROVIDED W/ A SUPPLY OF AIR FOR FUEL COMBUSTION, DRAFT HOOD DILUTION, AND VENTILATION OF THE SPACE IN WHICH THE EQUIPMENT IS INSTALLED (COMPLY W/ RCO)
- ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" DRYWALL (COMPLY W/ RCO R311.2.2)
- MINIMUM HEADROOM @ STAIRS SHALL BE 6'-8" MEASURED VERTICALLY FROM THE TREAD NOSING OR FROM THE FLOOR SURFACE OR LANDING PLATFORM. (COMPLY W/ RCO R311.5.2)
- HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRS WITH 4 OR MORE RISERS. HANDRAILS WILL BE LOCATED 34" TO 38" MEASURED VERTICALLY FROM TREAD NOSING. HAND GRIP CROSS SECTION DIMENSION SHALL NOT EXCEED 2 1/4". (COMPLY W/ RCO R311)
- GUARDRAILS (MIN. 36" HIGH) SHALL BE PROVIDED ON PORCHES, BALCONIES AND RAISED FLOORS MORE THAN 30" ABOVE FLOOR OR GRADE. OPEN STAIRS SHALL HAVE GUARDRAILS (MIN. 36" HIGH) GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES OR MORE IN DIAMETER. (COMPLY W/ RCO R302)
- PROVIDE PROPER FIREPLACE CLEARANCES AS SPECIFIED IN SECT. R1001.15, R1003.12 AND R1003.13 IN THE RCO.
- LIGHT FIXTURES IN CLOSETS (INCANDESCENT AND FLUORESCENT) SHALL BE ENCLOSED (COMPLY W/ RCO)
- PROVIDE PROPER THICKNESS AND SPANS OF SHEATHING FOR ROOFS AND SUBFLOORS (COMPLY W/ RCO R503)
- ROOF VENTS TO MEET 1-150 VENT AREA RATIO (COMPLY W/ RCO R806)
- AN ATTIC ACCESS (22" x 30" MIN) SHALL BE PROVIDED TO ANY ATTIC HAVING 30" OF CLEAR HEIGHT (COMPLY W/ RCO R807)
- PROVIDE MINIMUM (2) 2X10'S W/ 1/2" PLYWOOD FLITCH PLATE AT ALL EXTERIOR WALL OPENINGS AND INTERIOR BEARING WALL OPENINGS UNLESS OTHERWISE NOTED
- PROVIDE MINIMUM OF (3) 2X4'S AT EACH END OF ALL BEAMS AND GIRDER TRUSSES UNLESS OTHERWISE NOTED. ALL SUCH CONCENTRATED LOADS SHALL BE TRANSFERRED TO FOUNDATION VIA BEAMS, POST AND / OR SOLID BLOCKING

**BEAM/HEADER SCHED.**

| SYM. | DESCRIPTION                       | REMARKS |
|------|-----------------------------------|---------|
| HD-1 | (2) 2X4'S W/ (1) 1/2" WD. FLITCH  |         |
| HD-2 | (2) 2X6'S W/ (1) 1/2" WD. FLITCH  |         |
| HD-3 | (2) 2X8'S W/ (1) 1/2" WD. FLITCH  |         |
| HD-4 | (2) 2X10'S W/ (1) 1/2" WD. FLITCH |         |
| HD-5 | (2) 2X12'S W/ (1) 1/2" WD. FLITCH |         |
| HD-6 | (2) 1 1/2" X 9 1/2" LVL'S         |         |
| HD-7 | (2) 1 1/2" X 11 1/2" LVL'S        |         |
| HD-8 | (2) 1 1/2" X 14 LVL'S             |         |

**WALL TYPE LEGEND**

| NO. | WALL TYPE DESCRIPTION  |
|-----|--|
| 1   | INTERIOR 2X4 WALL: 1/2" GYP. BOARD ON BOTH SIDES OF 2X4 WD. STUDS @ 16" O.C. W/ R-13 SOUND INSULATION                                    |
| 2   | INTERIOR 2X4 WALL: 1/2" GYP. BOARD ON BOTH SIDES OF 2X4 WD. STUDS @ 16" O.C.   |
| 3   | INTERIOR 2X6 WALL: 1/2" GYP. BOARD ON BOTH SIDES OF 2X4 WD. STUDS @ 16" O.C. W/ R-13 SOUND INSULATION                                    |
| 4   | EXTERIOR 2X4 WALL: 1/2" OSB BOARD ON EXTERIOR SIDE OF 2X4 WD. STUDS @ 16" O.C. W/ 1/2" GYP. BOARD ON INTERIOR SIDE W/ R-15 INSULATION    |
| 5   | EXTERIOR ZIP WALL: 1 1/2" ZIP SYSTEM ON EXTERIOR SIDE OF 2X4 WD. STUDS @ 16" O.C. W/ 1/2" GYP. BOARD ON INTERIOR SIDE W/ R-15 INSULATION |
| 6   | EXTERIOR 2X6 WALL: 1/2" OSB BOARD ON EXTERIOR SIDE OF 2X4 WD. STUDS @ 16" O.C. W/ 1/2" GYP. BOARD ON INTERIOR SIDE W/ R-15 INSULATION    |
| 7   | INTERIOR 2X8 WALL: 1/2" GYP. BOARD ON BOTH SIDES OF 2X8 WD. STUDS @ 16" O.C. W/ R-13 SOUND INSULATION                                    |

**COLUMN SCHEDULE**

|                  |
|------------------|
| (3) 2X4'S        |
| (4) 2X4'S        |
| (2) 2X6'S        |
| (3) 2X6'S        |
| (4) 2X8'S        |
| (1) 4X4 P.T. WD. |
| (1) 6X6 P.T. WD. |

**S.F. AREA TABULATION**

| AREA                   | SQ. FT.    | LIVABLE  |
|------------------------|------------|----------|
| SECOND LEVEL LIVABLE : | 794 s.f.   | LIVABLE  |
| MAIN LEVEL LIVABLE :   | 1815 s.f.  |          |
| LOWER LEVEL LIVABLE :  | XXX s.f.   |          |
| TOTAL LIVABLE :        | 2,600 s.f. |          |
| 3 CAR GARAGE :         | 793 s.f.   | NON LIV. |
| PATIO :                | XXX s.f.   |          |

LIVABLE AREA CALCULATIONS ARE MADE FROM THE OUTSIDE FACE OF EXTERIOR WALLS. STAIRWELLS AND FIREPLACE AREAS ARE INCLUDED

NON LIVABLE AREAS- GARAGES, VERANDA, DECKS, PATIOS, AND EXTERIOR PORCHES AREAS

**PROJECT DESIGNER:**  
**fidei architecture inc.**  
 24644 Twin Creeks  
 Akron, Ohio 44321  
 Phone: (330) 267-3132

Like us on Facebook  
**houzz** **fideiarch.com**

This drawing and design are the property of the Fidei Architecture LLC. This drawing is loaned to you subject to the condition that it shall not be reproduced, copied, loaned or otherwise disposed of directly or indirectly. It shall not be used to furnish any information for the making of drawings, prints or apparatus, or parts thereof, except where otherwise specifically provided for by contract agreement with Fidei Architecture LLC.

**PROJECT CONTRACTOR:**  
 10 W Streetsboro St  
 Suite 201, Hudson, OH  
 44236



**PROJECT LOCATION:**  
 7303 WALTERS RD  
 HUDSON, OHIO, 44236

New Residence for:  
**Foster**

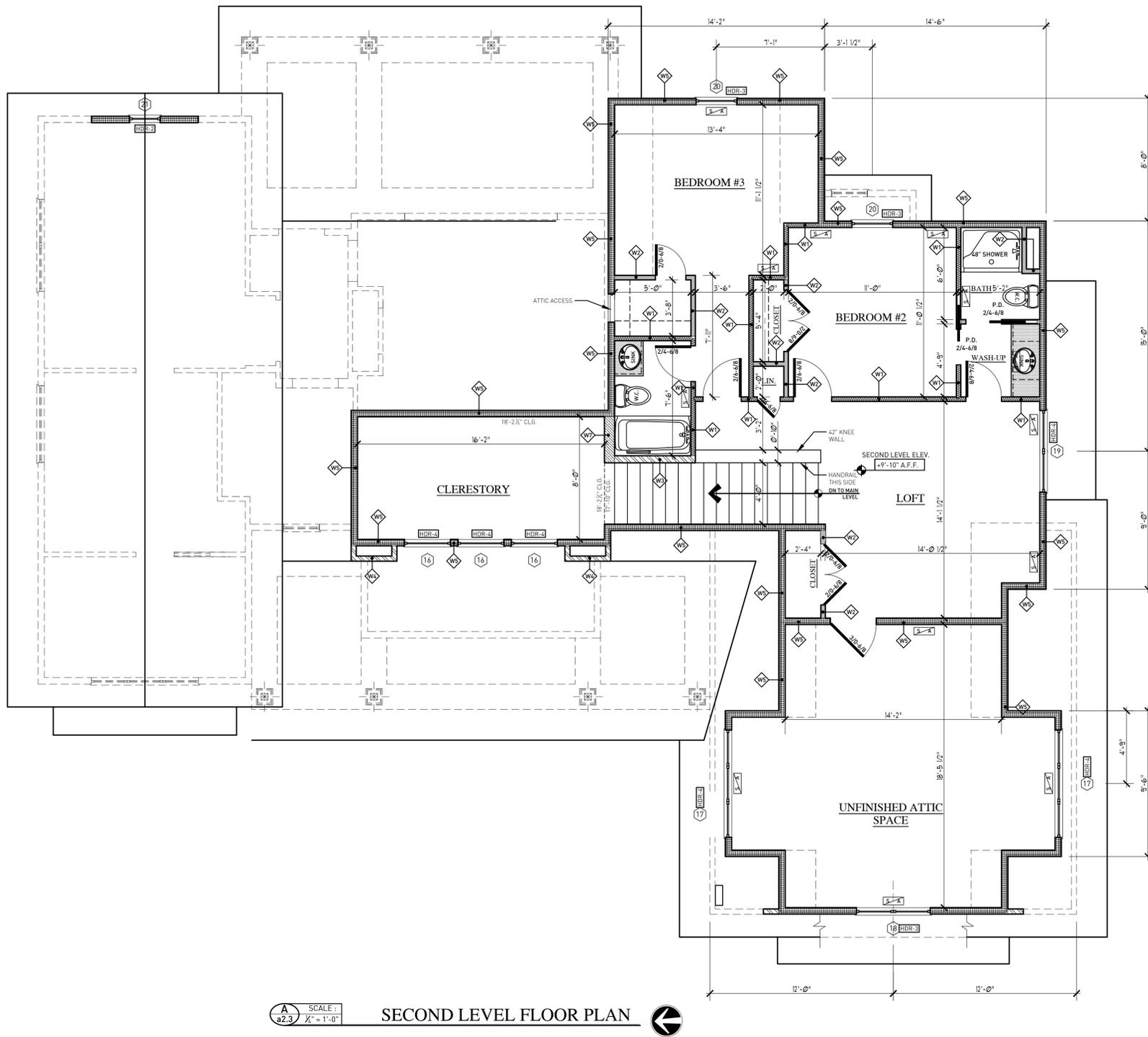
**PRINT RECORD:**  
 09-19-2018-SD 100%  
 10-08-2018-DD 100%  
 10-17-2018-CD PRELIM  
 10-19-2018 FOR PERMIT  
 11-20-2018 ARB - REVISION

**JOB NUMBER:**  
**CD 1837**

RELEASED FOR REVIEW ONLY  
 RELEASED FOR PERMIT

**SHEET DESCRIPTION:**  
**MAIN LEVEL FLOOR PLAN**

SHEET No.  
**a2.3**



SCALE: 1/8" = 1'-0"

SECOND LEVEL FLOOR PLAN



FLOOR PLAN NOTES

- GARAGE SPACE SHALL BE SEPARATED FROM LIVING AREA & ATTIC BY 1/2" GYPSUM APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ROOMS ABOVE BY 5/8" TYPE X GYPSUM (COMPLY W/ RCO R309.2)
- PROVIDE BATHROOM EXHAUST FANS WITH A MINIMUM VENTILATION RATE OF 50 CFM. EXHAUST FANS TO BE VENTED DIRECTLY TO THE OUTSIDE (COMPLY W/ RCO R303.3)
- INDEPENDENT METAL DRYER VENT SYSTEM W/ DAMPER TO BE INSTALLED. SYSTEM TO VENT MOISTURE DIRECTLY OUTDOORS (COMPLY W/ RCO M1501.1)
- ALL SLEEPING ROOMS MUST CONTAIN AN OPERABLE WINDOW OR DOOR WHICH WILL PROVIDE A MEANS OF EMERGENCY EGRESS W/ A MIN. 5.7 S.F. CLEAR OPENING IS S.F. AT GRADE FLOOR (24" MIN. CLEAR HGT. / 20" MIN. CLEAR WIDTH) (COMPLY W/ RCO R301)
- FUEL-BURNING EQUIPMENT SHALL BE PROVIDED W/ A SUPPLY OF AIR FOR FUEL COMBUSTION, DRAFT HOOD DILUTION, AND VENTILATION OF THE SPACE IN WHICH THE EQUIPMENT IS INSTALLED (COMPLY W/ RCO)
- ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" DRYWALL (COMPLY W/ RCO R311.2.2)
- MINIMUM HEADROOM @ STAIRS SHALL BE 6'-8" MEASURED VERTICALLY FROM THE TREAD NOSING OR FROM THE FLOOR SURFACE OR LANDING PLATFORM (COMPLY W/ RCO R311.5.2)
- HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRS WITH 4 OR MORE RISERS. HANDRAILS WILL BE LOCATED 34" TO 38" MEASURED VERTICALLY FROM TREAD NOSING. HAND GRIP CROSS SECTION DIMENSION SHALL NOT EXCEED 2 1/4". (COMPLY W/ RCO R311)
- GUARDRAILS (MIN. 36" HIGH) SHALL BE PROVIDED ON PORCHES, BALCONIES AND RAISED FLOORS MORE THAN 30" ABOVE FLOOR OR GRADE. OPEN STAIRS SHALL HAVE GUARDRAILS (MIN. 34" HIGH) GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES OR MORE IN DIAMETER. (COMPLY W/ RCO R312)
- PROVIDE PROPER FIREPLACE CLEARANCES AS SPECIFIED IN SECT. R1001.15, R1003.12 AND R1003.13 IN THE RCO.
- LIGHT FIXTURES IN CLOSETS (INCANDESCENT AND FLUORESCENT) SHALL BE ENCLOSED (COMPLY W/ RCO)
- PROVIDE PROPER THICKNESS AND SPANS OF SHEATHING FOR ROOFS AND SUBFLOORS (COMPLY W/ RCO R503)
- ROOF VENTS TO MEET 1-150 VENT AREA RATIO (COMPLY W/ RCO R806)
- AN ATTIC ACCESS (22" x 30" MIN) SHALL BE PROVIDED TO ANY ATTIC HAVING 30" OF CLEAR HEIGHT (COMPLY W/ RCO R807)
- PROVIDE MINIMUM (2) 2X10'S W/ 1/2" PLYWOOD FLITCH PLATE AT ALL EXTERIOR BEARING WALL OPENINGS AND INTERIOR BEARING WALL OPENINGS UNLESS OTHERWISE NOTED
- PROVIDE MINIMUM OF (3) 2X4'S AT EACH END OF ALL BEAMS AND GIRDER TRUSSES UNLESS OTHERWISE NOTED. ALL SUCH CONCENTRATED LOADS SHALL BE TRANSFERRED TO FOUNDATION VIA BEAMS, POST AND / OR SOLID BLOCKING

BEAM/HEADER SCHED.

| SYM. | DESCRIPTION                       | REMARKS |
|------|-----------------------------------|---------|
| DR31 | (2) 2X4'S W/ (1) 1/2" WD. FLITCH  |         |
| DR32 | (2) 2X6'S W/ (1) 1/2" WD. FLITCH  |         |
| DR33 | (2) 2X8'S W/ (1) 1/2" WD. FLITCH  |         |
| DR34 | (2) 2X10'S W/ (1) 1/2" WD. FLITCH |         |
| DR35 | (2) 2X12'S W/ (1) 1/2" WD. FLITCH |         |
| DR36 | (2) 1 1/2" X 9 1/2" LVL'S         |         |
| DR37 | (2) 1 1/2" X 11 1/2" LVL'S        |         |
| DR38 | (2) 1 1/2" X 14 LVL'S             |         |

COLUMN SCHEDULE

|                 |
|-----------------|
| 3) 2X4'S        |
| 4) 2X4'S        |
| 2) 2X6'S        |
| 3) 2X6'S        |
| 4) 2X8'S        |
| 1) 4X4 P.T. WD. |
| 1) 6X6 P.T. WD. |

HVAC LEGEND

WALL TYPE LEGEND

| SYM. | DESCRIPTION   |
|------|---|
| W1   | INTERIOR 2X4 WALL: 1/2" GYP. BOARD ON BOTH SIDES OF 2X4 WD. STUDS @ 16" O.C. W/R-13 SOUND INSULATION                                    |
| W2   | INTERIOR 2X4 WALL: 1/2" GYP. BOARD ON BOTH SIDES OF 2X4 WD. STUDS @ 16" O.C.  |
| W3   | INTERIOR 2X6 WALL: 1/2" GYP. BOARD ON BOTH SIDES OF 2X4 WD. STUDS @ 16" O.C. W/R-13 SOUND INSULATION                                    |
| W4   | EXTERIOR 2X4 WALL: 1/2" OSB BOARD ON EXTERIOR SIDE OF 2X4 WD. STUDS @ 16" O.C. W/ 1/2" GYP. BOARD ON INTERIOR SIDE W/R-15 INSULATION    |
| W5   | EXTERIOR ZIP WALL: 1 1/2" ZIP SYSTEM ON EXTERIOR SIDE OF 2X4 WD. STUDS @ 16" O.C. W/ 1/2" GYP. BOARD ON INTERIOR SIDE W/R-15 INSULATION |
| W6   | EXTERIOR 2X6 WALL: 1/2" OSB BOARD ON EXTERIOR SIDE OF 2X4 WD. STUDS @ 16" O.C. W/ 1/2" GYP. BOARD ON INTERIOR SIDE W/R-15 INSULATION    |
| W7   | INTERIOR 2X8 WALL: 1/2" GYP. BOARD ON BOTH SIDES OF 2X8 WD. STUDS @ 16" O.C. W/R-13 SOUND INSULATION                                    |

S.F. AREA TABULATION

| AREA                   | SQ. FT.    | LIVABLE  |
|------------------------|------------|----------|
| SECOND LEVEL LIVABLE : | 794 s.f.   | LIVABLE  |
| MAIN LEVEL LIVABLE :   | 1815 s.f.  |          |
| LOWER LEVEL LIVABLE :  | XXX s.f.   |          |
| TOTAL LIVABLE :        | 2,600 s.f. |          |
| 3 CAR GARAGE :         | 793 s.f.   | NON LIV. |
| PATIO:                 | XXX s.f.   |          |

LIVABLE AREA CALCULATIONS ARE MADE FROM THE OUTSIDE FACE OF EXTERIOR WALLS. STAIRWELLS AND FIREPLACE AREAS ARE INCLUDED

NON LIVABLE AREAS- GARAGES, VERANDA, DECKS, PATIOS, AND EXTERIOR PORCHES AREAS

PROJECT DESIGNER:  
**fidei** architecture llc  
 24644 Twin Creeks  
 Akron, Ohio 44321  
 Phone: (330) 267-3132

houzz Like us on Facebook  
 fideiarch.com

This drawing and design are the property of the Fidei Architecture LLC. This drawing is loaned to you subject to the condition that it shall not be reproduced, copied, loaned or otherwise disposed of directly or indirectly. It shall not be used to furnish any information for the making of drawings, prints or apparatus, or parts thereof, except where otherwise specifically provided for by contract agreement with Fidei Architecture LLC.

PROJECT CONTRACTOR:  
 10 W Streetsboro St  
 Suite 201, Hudson, OH  
 44236



PROJECT LOCATION:  
 7303 WALTERS RD  
 HUDSON, OHIO, 44236

New Residence for :  
**Foster**

PRINT RECORD:  
 09-19-2018-SD 100%  
 10-08-2018-DD 100%  
 10-13-2018-CD PRELIM  
 10-19-2018 FOR PERMIT  
 11-20-2018 ARB - REVISION

JOB NUMBER:  
**CD 1837**

RELEASED FOR REVIEW ONLY  
 RELEASED FOR PERMIT

SHEET DESCRIPTION:  
**SECOND LEVEL FLOOR PLAN**

SHEET No.  
**a2.5**

View From Street

Trees to remain

430 feet



View of 7275 Walters Road  
from southern property line



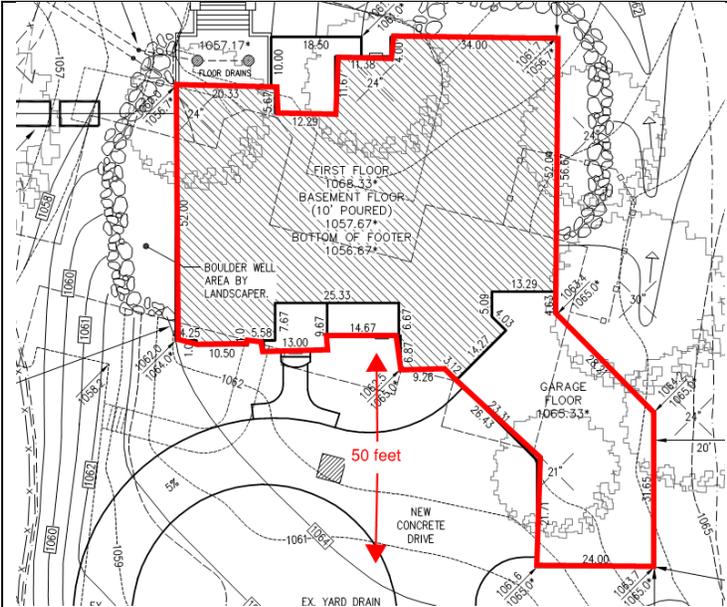
Looking south from  
proposed home



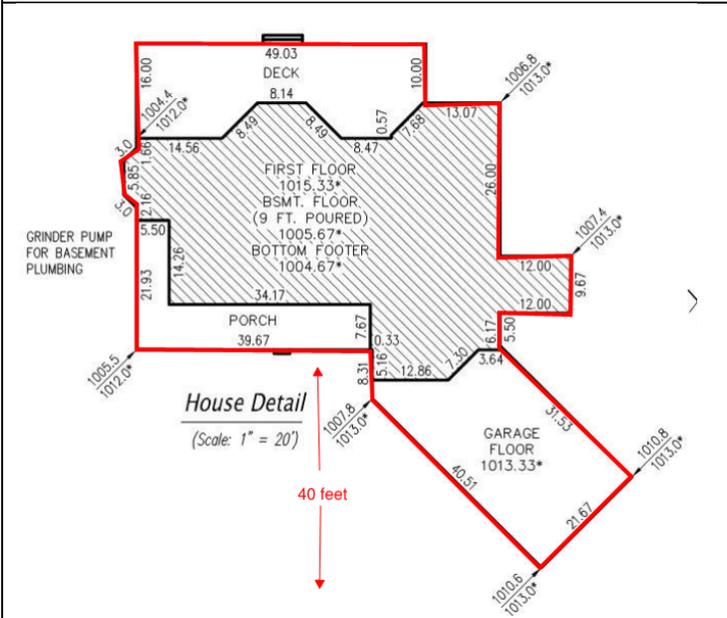
Looking north from  
proposed home



# Comparison Study



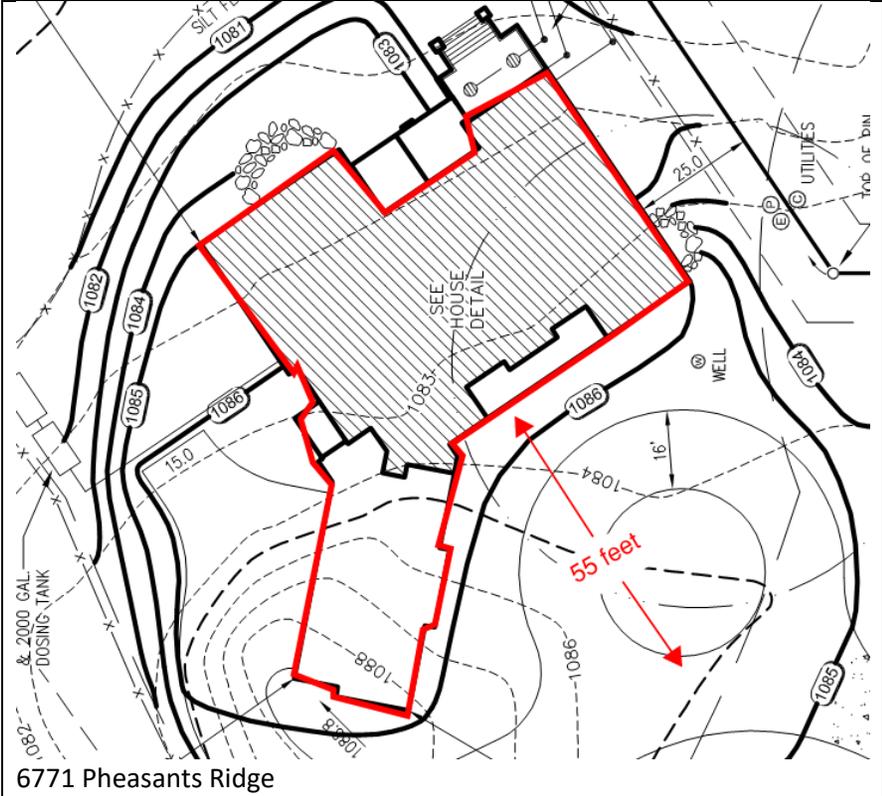
1808 Hines Hill

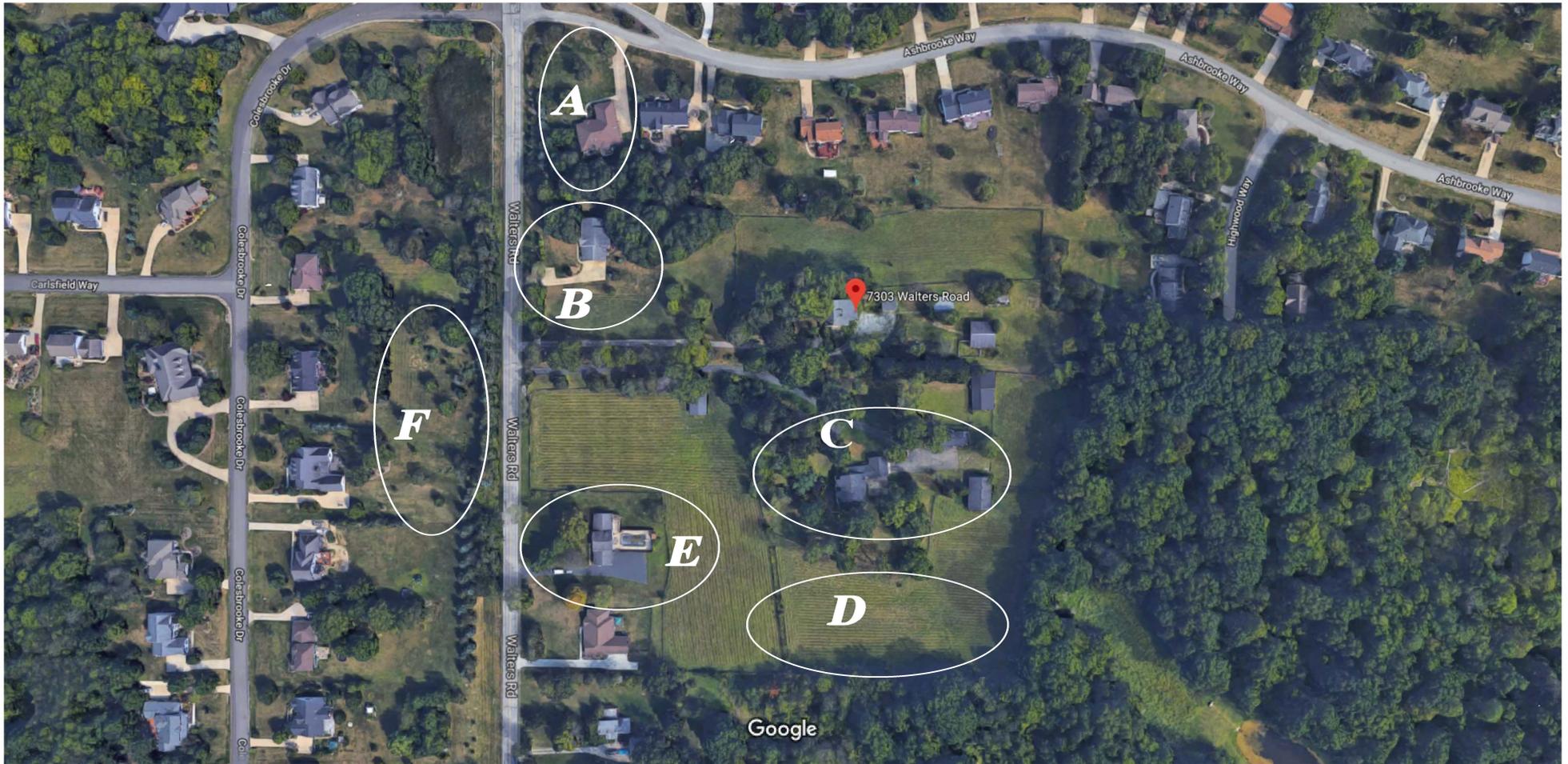


7275 Walters Road



# Comparison Study





**A. 672 Ashbrook**

**D. 7275 Walters**

**B. 7321 Walters**

**E. 7273 Walters**

**C. 7277 Walters**

**F. View across street (no homes)**



**Photo A – 672 Ashbrook**



**Photo B – 7321 Walters**



**Photo C – 7277 Walters**



**Photo D – 7275 Walters**



**Photo E – 7273 Walters**



**Photo F – View across the street (no homes)**