

VAN HALA RESIDENCE

PROGRESS
NOT FOR
CONSTRUCTION

ARCHITECT

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ABBREVIATIONS

ABV	ABOVE	MAX.	MAXIMUM
A/C	AIR CONDITIONING	MECH.	MECHANICAL
AFF	ABOVE FINISHED FLOOR	MANUF.	MANUFACTURER
ALT	ALTERNATE	MIN.	MINIMUM
ADH	ADHESIVE	MISC	MISCELLANEOUS
AHJ	AUTHORITY HAVING JURISDICTION	MO	MASONRY OPENING
ALUM	ALUMINUM	MTD	MOUNTED
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	MTL	METAL
APPROX.	APPROXIMATELY	NOM	NOMINAL
ARCH	ARCHITECT(URAL)	NTS	NOT TO SCALE
ASPH	ASPHALT	O/C	ON CENTER
BD	BOARD	OPN	OPENING
BLDG	BUILDING	PREFAB	PREFABRICATED
BO	BOTTOM OF	PLYWD	PLYWOOD
BRNG	BEARING	P. LAM	PLASTIC LAMINATE
BTM	BOTTOM	PK	PAIR
BTW	BETWEEN	PSI	POUNDS PER SQUARE INCH
CAB	CABINET	PVC	POLYVINYL CHLORIDE
CF	CUBIC FEET	REF	REFERENCE
CIP	CAST IN PLACE	RM	ROOM
CJ	CONTROL JOINT	RO	ROUGH OPENING
CLNG	CEILING	REQ'D	REQUIRED
CLR	CLEAR	SC	SOLID CORE
CMU	CONCRETE MASONRY UNIT	SECT	SECTION
CONC.	CONCRETE	SM	SIMILAR
CO	CLEAN OUT	STRUC	STRUCTURAL
CONT	CONTINUOUS	TYP	TYPICAL
CSK	COUNTERSINK	UNO	UNLESS NOTED OTHERWISE
DBL	DOUBLE	VOC	VOLATILE ORGANIC COMPOUND
DEPT	DEPARTMENT	W/	WITH
DIA	DIAMETER	WWF	WELDED WIRE FABRIC
DIM	DIMENSION		
DN	DOWN		
DR	DOOR		
DS	DOWNSPOUT		
DTL	DETAIL		
DWG	DRAWING		
EA	EACH		
ELEC	ELECTRIC(AL)		
EQ	EQUAL		
EXH	EXHAUST		
EXST.	EXISTING		
EXP	EXPOSED		
EXT	EXTERIOR		
FD	FLOOR DRAIN		
FIN	FOUNDATION		
FIN.	FINISHED		
FLR	FLOOR		
FT	FOOT		
FTG	FOOTING		
FUR	FURRING		
GALV	GALVANIZED		
GA	GAUGE		
GC	GENERAL CONTRACTOR		
GYP. BD.	GYP. BOARD		
GYP	GYP. BOARD		
HC	HOLLOW CORE		
HDWR.	HARDWARE		
HM	HOLLOW METAL		
HVAC	HEATING, VENTILATION, AND AIR CONDITIONING		
HT	HEIGHT		
INSUL	INSULATION		
JST	JOIST		
LAM	LAMINATED		
LF	LINEAR FOOT		
MAS	MASONRY		
MATL	MATERIAL		

SYMBOLS

	DETAIL
	ELEVATION
	SECTION
	INTERIOR ELEVATION

PROJECT GENERAL NOTES

THE CONTRACTOR WILL FURNISH ALL LABOR, MATERIAL, EQUIPMENT, PERMITS, TAXES, AND INSURANCE NECESSARY TO COMPLETE THE WORK INDICATED AND/OR IMPLIED IN THE CONSTRUCTION DOCUMENTS UNLESS NOTED OTHERWISE AND WILL COORDINATE THE WORK RESPONSIBILITIES OF ALL SUBCONTRACTORS. ALL LABOR AND MATERIALS TO CARRY OUT FULLY THE INTENTIONS OF THE PLANS AND SPECIFICATIONS ARE PART OF THE CONTRACT, WHETHER OR NOT SPECIFICALLY DOCUMENTED.

ALL WORK WILL CONFORM TO THE CURRENT OHIO BUILDING, MECHANICAL & PLUMBING CODES, AS WELL AS THE CURRENT NATIONAL BOARD OF FIRE UNDERWRITERS AND ALL OTHER APPLICABLE CITY CODES, LOCAL LAWS, AND AUTHORITIES HAVING JURISDICTION. CODE STANDARDS AND PUBLICATIONS OF PRIVATE AND PUBLIC BODIES MENTIONED WITHIN THE SPECIFICATIONS OR ON THE DRAWINGS, WILL BE CONSIDERED TO BE THOSE IN FORCE AT THE TIME OF THE CONTRACT AWARD.

THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONTROLLED INSPECTIONS AND ANY TECHNICAL TESTING REQUIRED FOR CONTROLLED INSPECTIONS AS STIPULATED BY ALL APPLICABLE CODES.

ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT WILL BE NEW AND FREE OF DEFECTS AND WILL BE SUPPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED, AND CONDITIONED AS DIRECTED BY THE RESPECTIVE MANUFACTURERS, UNLESS SPECIFIED OTHERWISE.

THE CONTRACTOR WILL NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS, CONFLICTS, OR AMBIGUITIES IN AND BETWEEN THE DRAWINGS AND THE SPECIFICATIONS PRIOR TO PROCEEDING WITH THE WORK. IF SUCH NOTICE IS NOT FURNISHED TO THE ARCHITECT, THE CONTRACTOR WILL BE DEEMED TO HAVE INSPECTED THE DRAWINGS AND SPECIFICATIONS AND TO HAVE FOUND THEM IN PROPER FORM FOR EXECUTION.

THE CONTRACTOR REPRESENTS THAT HE HAS HAD ADEQUATE ACCESS TO THE JOB SITE AND BUILDING AREA IN WHICH THE WORK IS TO BE PERFORMED, THAT HE HAS SATISFIED HIMSELF AS TO THE NATURE AND LOCATION OF WORK, INCLUDING ANY OBSTRUCTIONS, SCOPE OF WORK, ACTUAL LEVELS, THE EQUIPMENT AND FACILITIES NEEDED PRELIMINARY TO AND DURING THE EXECUTION OF THE WORK AND ALL OTHER MATTERS, WHICH CAN IN ANY WAY AFFECT THE WORK OR THE COST THEREOF UNDER THIS CONTRACT, AND THAT HE HAS STUDIED THE CONTRACT DOCUMENTS AND ALL OTHER DOCUMENTS PERTAINING TO THE INSTALLATION OF OTHER TRADES WHICH MAY INFLUENCE HIS WORK.

THE CONTRACTOR WILL ASSUME FULL RESPONSIBILITY, INCLUDING RESPONSIBILITY FOR ALL RELATED COSTS FOR ANY AND ALL WORK DONE WITHOUT THE APPROVAL OF THE ARCHITECT IF SUCH WORK IS IN CONFLICT WITH THE CONTRACT, DRAWINGS, OR SPECIFICATIONS.

THE OWNER WILL ESTABLISH THE LIMITS OF THE CONSTRUCTION SITE IN ADDITION TO ANY CONTRACT LIMIT LINES SHOWN IN THE DRAWINGS. THE CONTRACTOR WILL CONTINUE HIS OPERATIONS WITHIN THESE LIMITS, UNLESS UPON WRITTEN REQUEST AND REPLY, A VARIANCE IS AGREED TO BY THE OWNER. THE CONTRACTOR WILL BE RESPONSIBLE FOR TRESPASS ON AND/OR DAMAGE TO OTHER PROPERTY BY ANY OF HIS EMPLOYEES OR HIS SUBCONTRACTOR'S EMPLOYEES.

THE CONTRACTOR WILL BE RESPONSIBLE FOR THE SAFE WORKING CONDITIONS AT THE SITE. THE ARCHITECT AND OWNER WILL NOT BE DEEMED TO HAVE ANY RESPONSIBILITY OR LIABILITY IN CONNECTION HEREWITH.

CONSTRUCTION OPERATIONS WILL NOT INVOLVE INTERRUPTION OF HEATING, WATER, ELECTRICAL, OR OTHER SERVICES TO ANY PORTION OF THE BUILDING OUTSIDE THE LIMITS OF THE CONSTRUCTION SITE DESCRIBED IN NOTE 9.

THE CONTRACTOR WILL BE RESPONSIBLE FOR CORRECTING ANY DEFICIENCIES CAUSED BY DEFECTIVE OR ILL TIMED WORK AT NO ADDITIONAL COST TO THE OWNER.

NO SUBSTITUTIONS ARE PERMITTED EXCEPT WHERE THE TERM "APPROVED EQUAL" APPEARS. ALL SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE ARCHITECT. THE CONTRACTOR IS TO SUBMIT SAMPLES OR CATALOG CUTS OF ALL VISIBLE MATERIALS AND EQUIPMENT FOR THE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.

PROJECT DESCRIPTION:

FAMILY RESIDENCE RENOVATION/ ADDITION. ADDITIONS INCLUDE DORMERS TO FRONT FACADE, FRONT DRIVEWAY EXTENSION AND POOL/ POOL HOUSE IN THE BACK YARD

CITY: HUDSON (DISTRICT 3)
COUNTY: SUMMIT

SQUARE FOOTAGES

FIRST FLOOR FINISHED 160
INTERIOR SPACE (RENO) 160
PORCH - EXTERIOR (ADD) 160
EXTERIOR COVERED AREAS (CABANA - ADD) 390 GSF

SECOND FLOOR FINISHED 125
INTERIOR SPACE (RENO) 105
INTERIOR SPACE (ADD) 20

TOTAL FINISHED SQUARE FOOTAGE 835

DRAWING INDEX

	ISSUE DATE	REVISION DATE
G1.00	COVER SHEET	
G1.01	AREA OF WORK - SITE PHOTOS	
C1.00	SITE PLAN	
A0.01	DEMOLITION PLANS	
A1.01	FLOOR PLANS	
A1.02	POOL HOUSE FLOOR PLAN AND ELEVATIONS	
A1.03	ROOF PLAN	
A2.01	EXTERIOR ELEVATIONS	

VAN HALA RESIDENCE - RENOVATION
181 HUDSON STREET, HUDSON, OHIO 44236

PROJECT #: 2109

DATE

ISSUE

SCALE AS NOTED

COVER SHEET

G1.00



SOUTH FACADE - FRONT OF HOUSE - AREA OF WORK



NORTH FACADE - REAR OF HOUSE - AREA OF WORK

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09-14-2021	CITY OF HUDSON REVIEW	

SCALE AS NOTED

AREA OF WORK - SITE
PHOTOS

G1.01

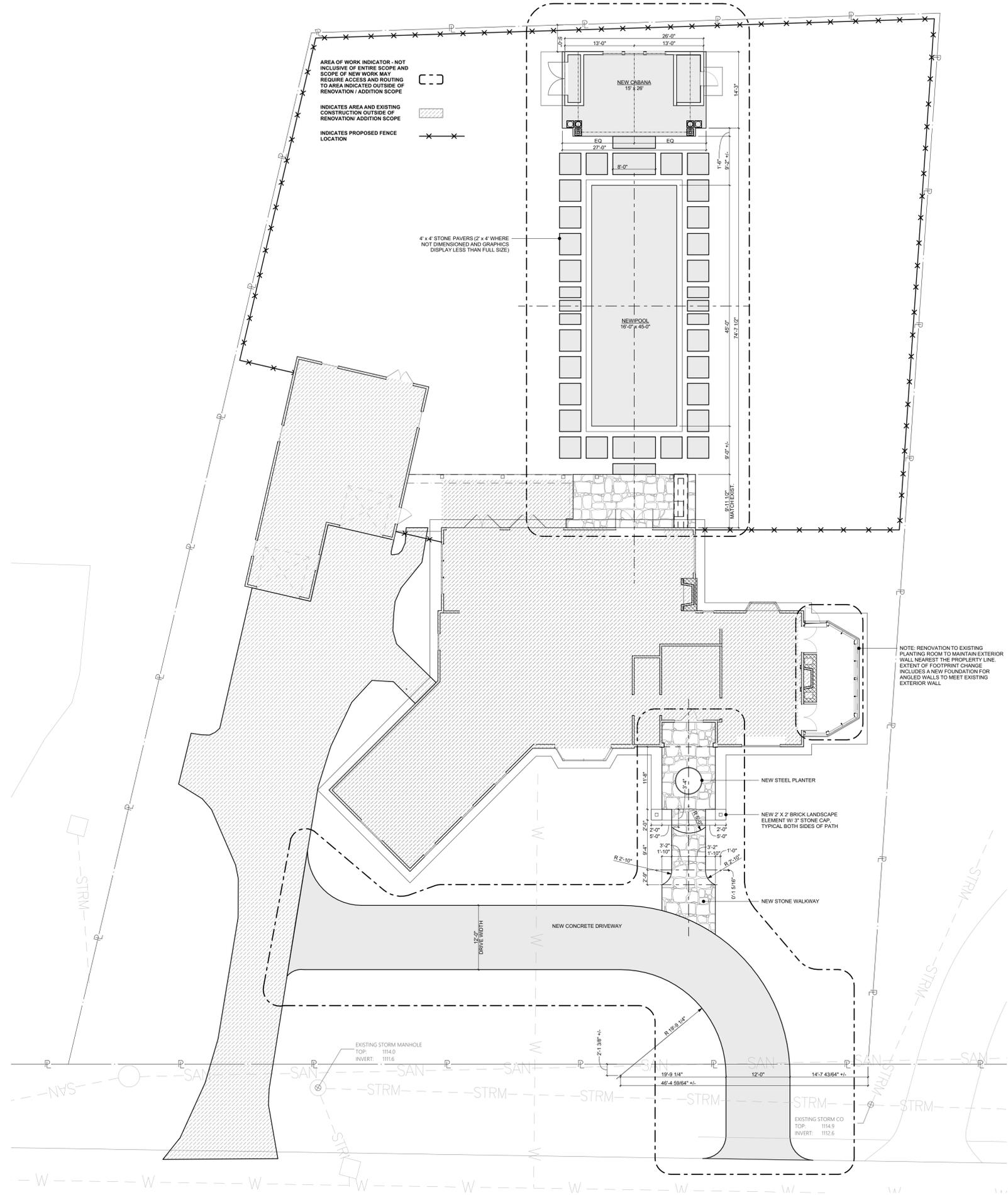
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SITE PLAN

C1.00



AREA OF WORK INDICATOR - NOT INCLUSIVE OF ENTIRE SCOPE AND SCOPE OF NEW WORK MAY REQUIRE ACCESS AND ROUTING TO AREA INDICATED OUTSIDE OF RENOVATION / ADDITION SCOPE

INDICATES AREA AND EXISTING CONSTRUCTION OUTSIDE OF RENOVATION / ADDITION SCOPE

INDICATES PROPOSED FENCE LOCATION

4' x 4' STONE PAVERS (2' x 4' WHERE NOT DIMENSIONED AND GRAPHICS DISPLAY LESS THAN FULL SIZE)

NOTE: RENOVATION TO EXISTING PLANTING ROOM TO MAINTAIN EXTERIOR WALL NEAREST THE PROPERTY LINE. EXTENT OF FOOTPRINT CHANGE INCLUDES A NEW FOUNDATION FOR ANGLED WALLS TO MEET EXISTING EXTERIOR WALL

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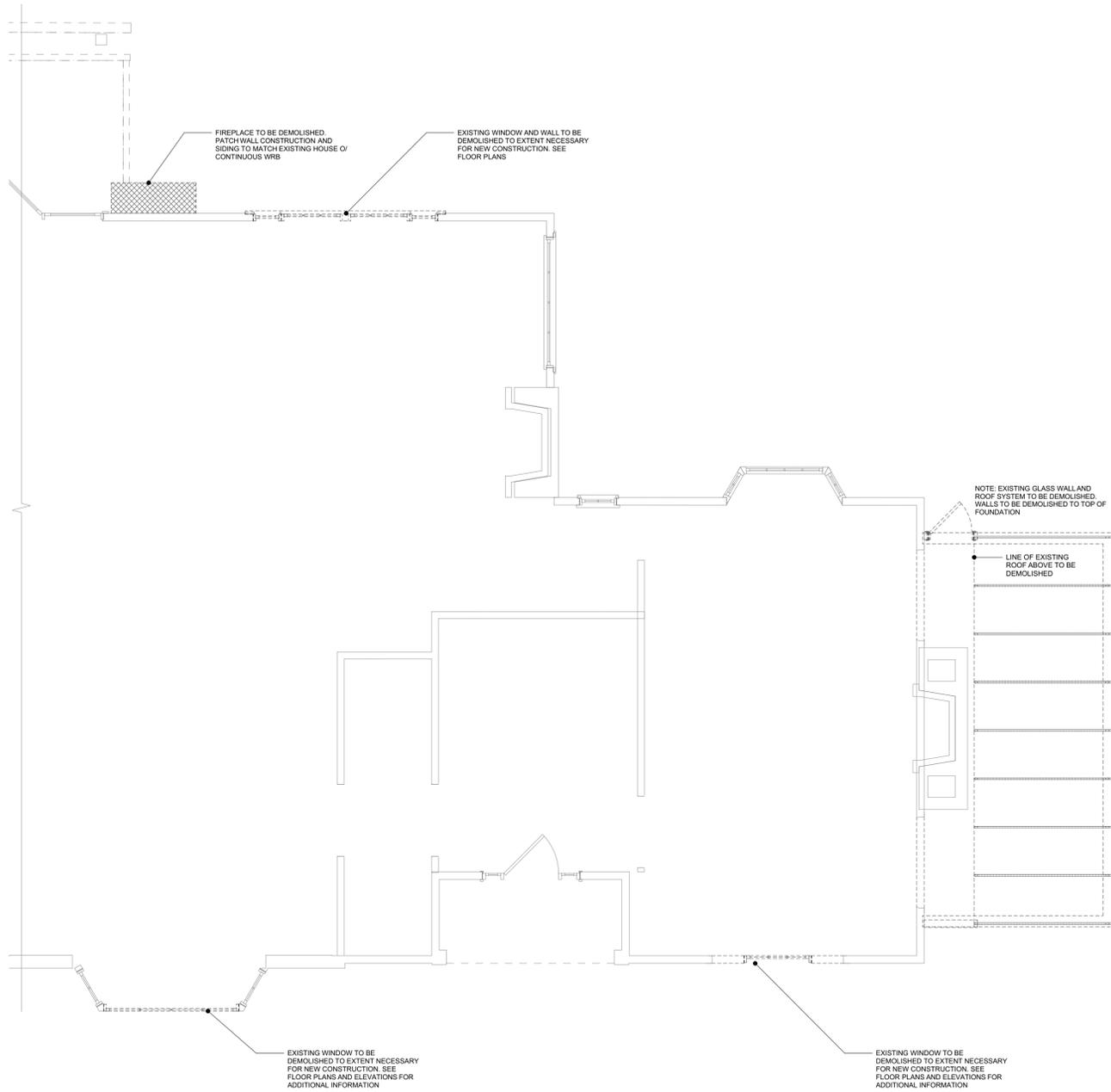
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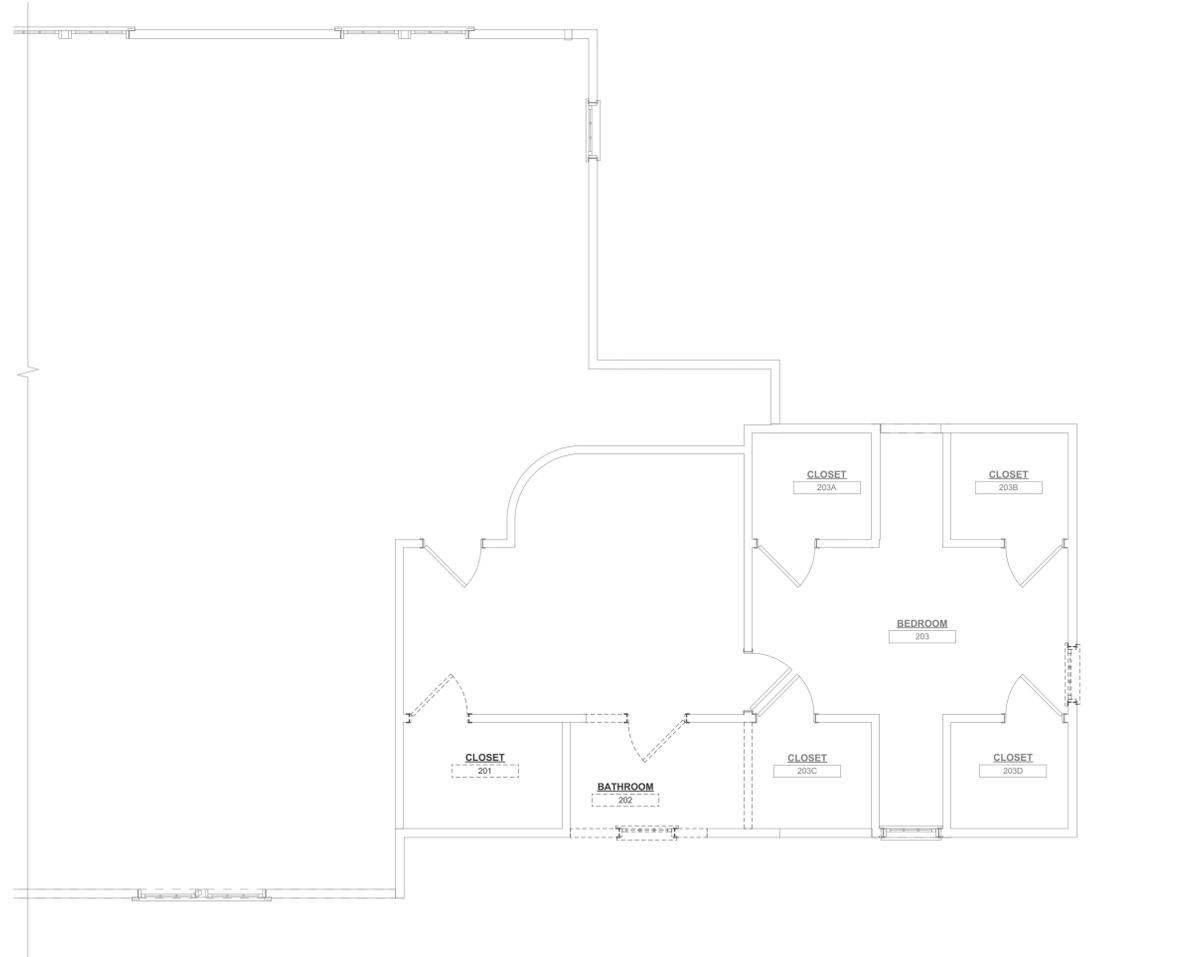
DEMOLITION PLANS

A0.01



1 FIRST FLOOR DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



2 SECOND FLOOR DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

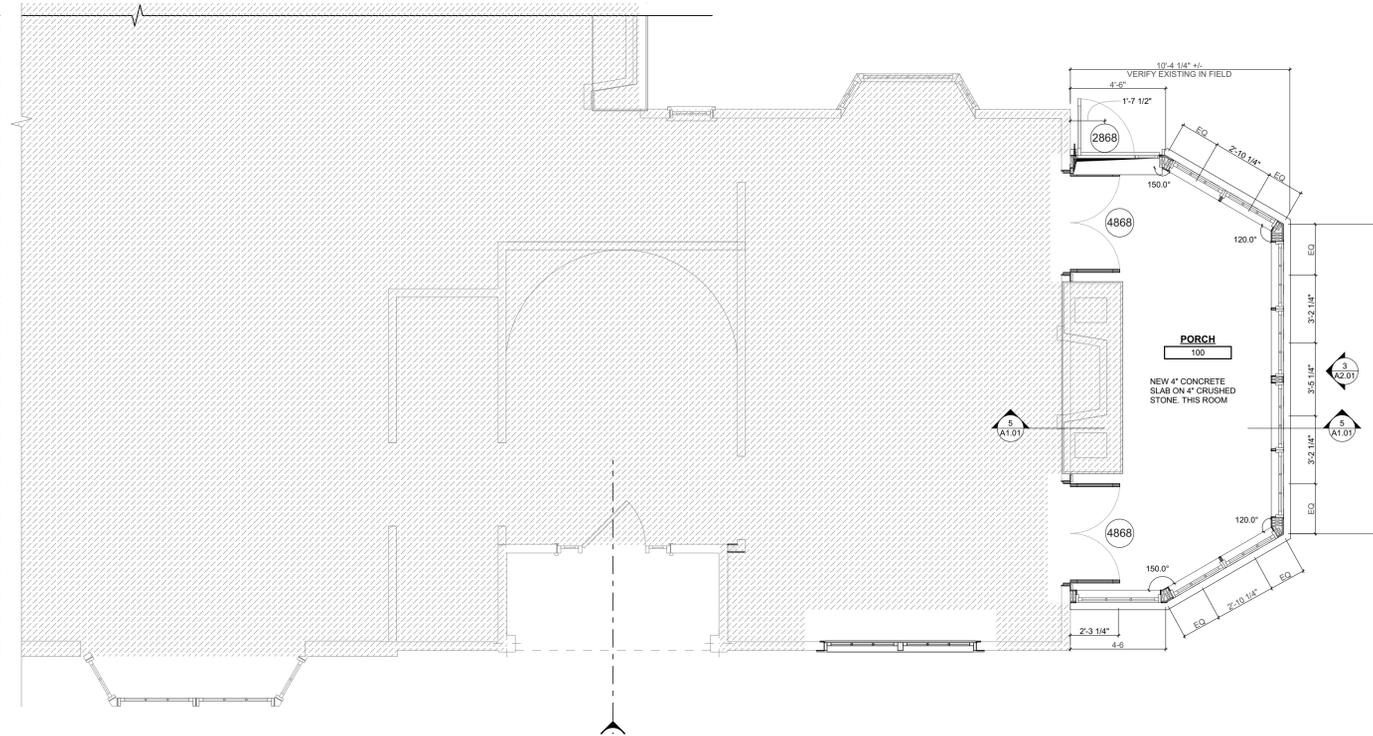


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SCALE AS NOTED

FLOOR PLANS

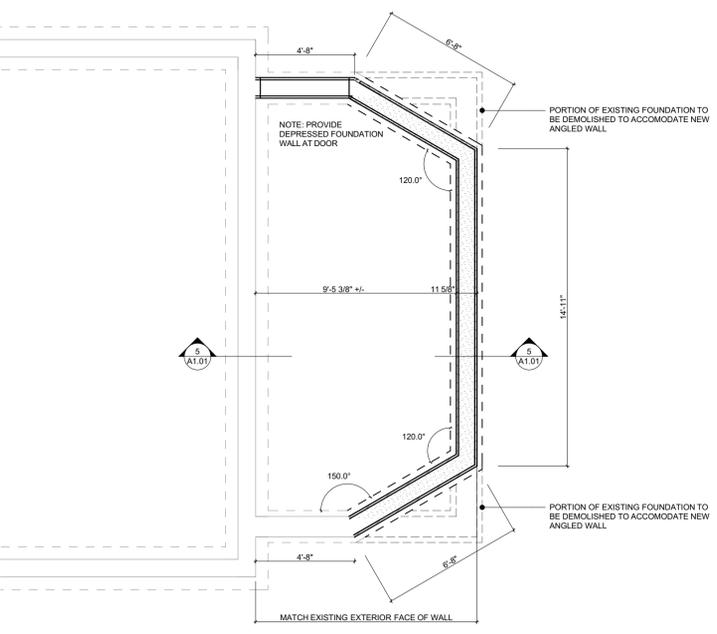
A1.01



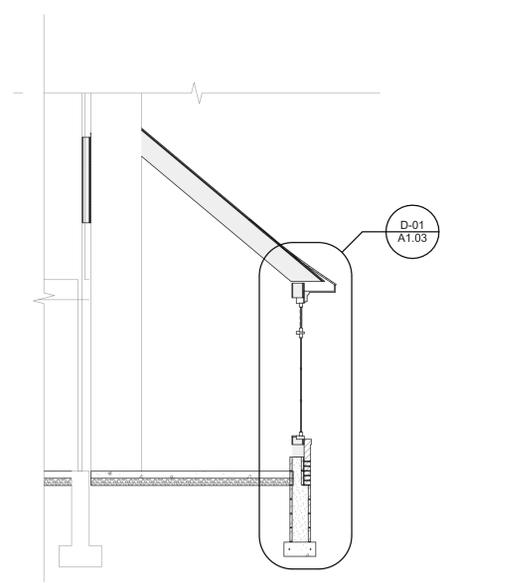
1 PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



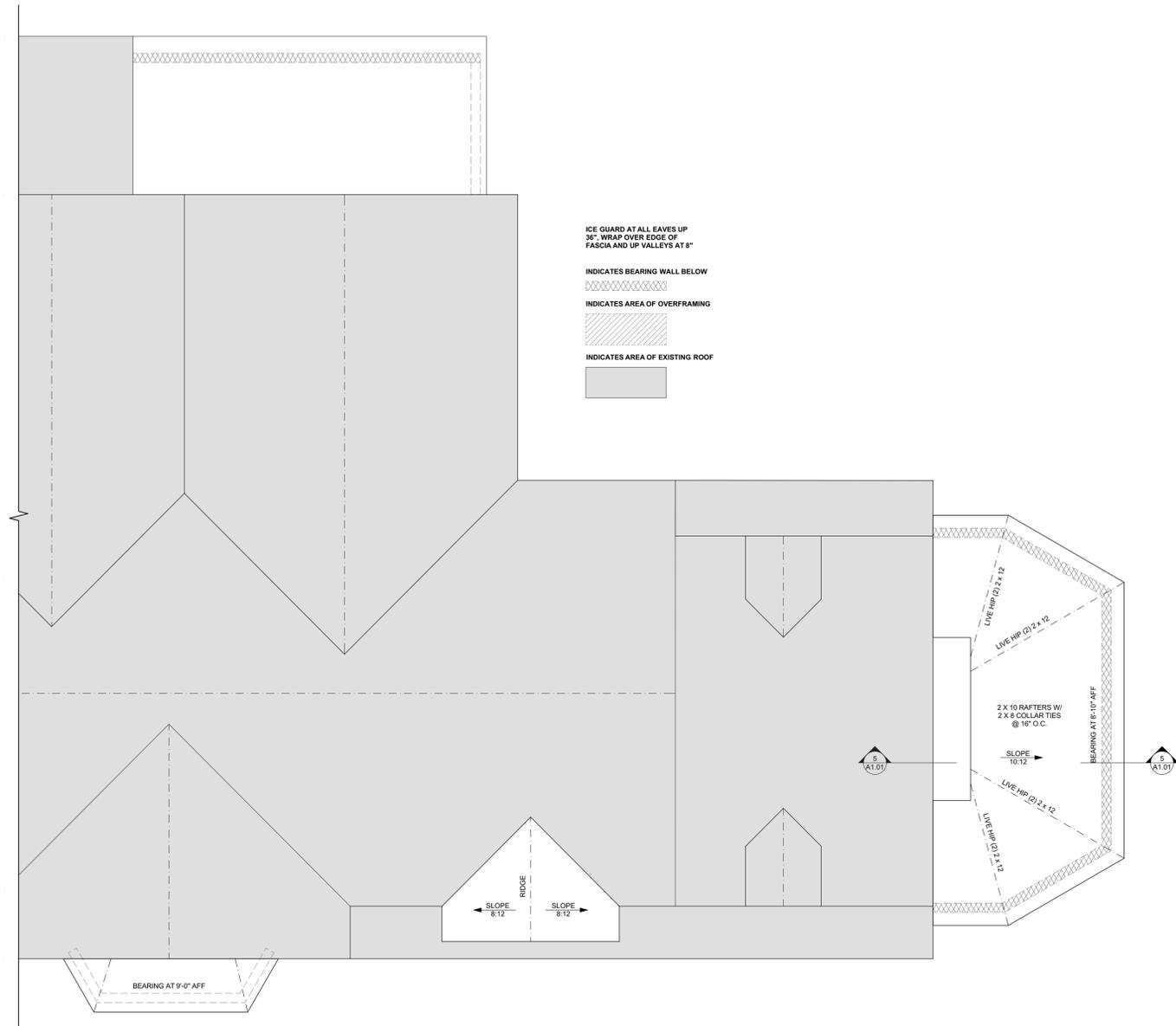
2 PARTIAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



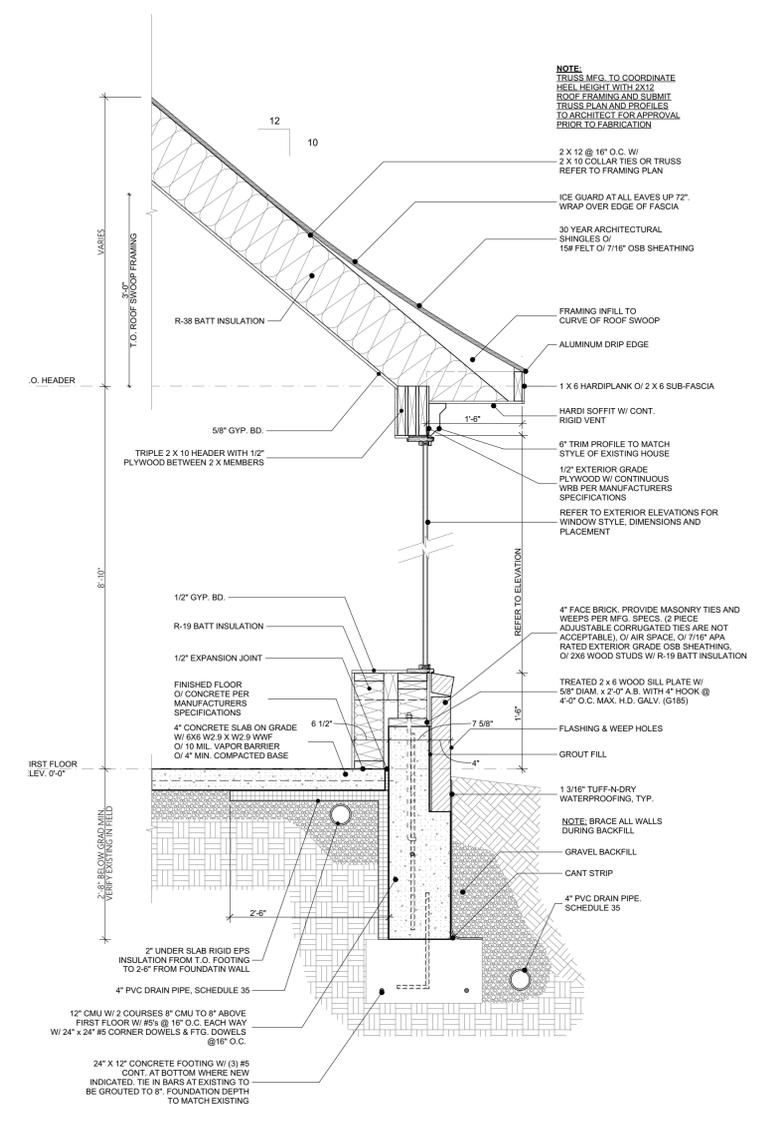
4 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



5 2109 - SECTION - PLANTING ROOM
SCALE: 1/4" = 1'-0"



1 ROOF PLAN - MAIN HOUSE
SCALE: 1/4" = 1'-0"



2 2109 - DETAIL - PLANTING ROOM WALL
SCALE: 3/4" = 1'-0"

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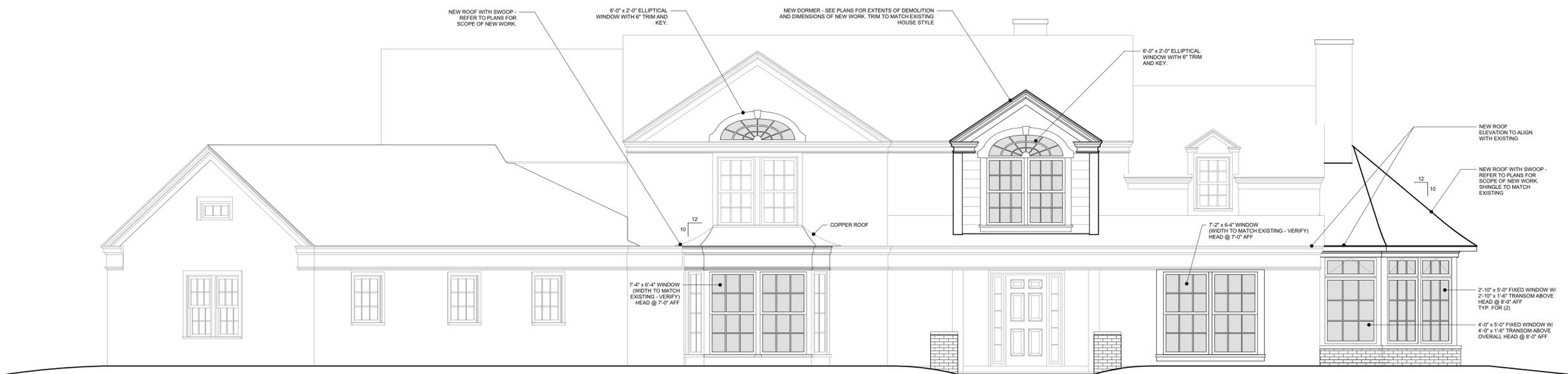
ROOF PLAN

A1.03

PROJECT #:	2169
DATE	ISSUE
09-14-2021	CITY OF HUDSON REVIEW

SCALE AS NOTED

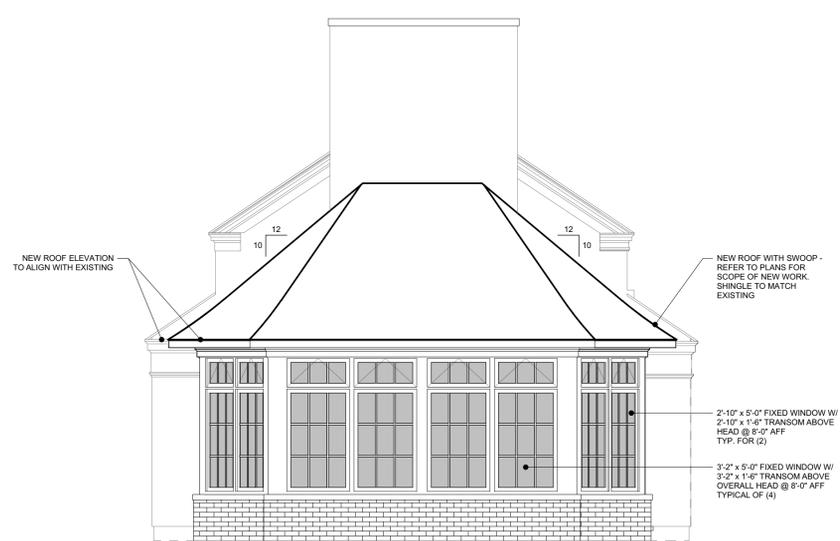
EXTERIOR
ELEVATIONS



1 SOUTH ELEVATION - FRONT OF HOUSE
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION - BACK OF HOUSE
SCALE: 1/4" = 1'-0"



3 EAST ELEVATION - SIDE OF HOUSE
SCALE: 1/4" = 1'-0"











