



COMMUNITY DEVELOPMENT • 115 Executive Parkway, Suite 400 • Hudson, Ohio 44236 • (330) 342-1790

DATE: July 7, 2016

TO: City of Hudson Planning Commission for July 11, 2016 Meeting

FROM: Greg Hannan, City Planner
Mark Richardson, Community Development Director

SUBJECT: Site Plan Review for 5581 Hudson Industrial Parkway – Universal Screen Arts

ZONING: District 8 – Industrial/Business Park

PC Case No: 2016-18

Project Introduction

Application has been received for a proposed addition to the existing 82,000 square foot Universal Screen Arts facility. The project includes the construction of a 3,928 sf addition at the north façade of the structure and removal of existing gravel surfaces to the rear of the facility. The existing facility contains 20,000 square feet of office space, 62,000 square feet of warehouse space, 228 parking spaces, and was completed in 2003 (PC case 2002-35).

The subject property and adjacent development are located within District 8 Industrial/Business Park. The subject property is located within the interior of Hudson Industrial Park, approximately 1,200 feet south of Terex Road.

The following information is attached to this report.

1. Parking capacity letter from Universal Screen Arts, received June 16, 2016.
2. Preliminary comment letter from Greg Hannan, City Planner, dated June 22, 2016.
3. Letter from Thom Sheridan, City Engineer, dated July 5, 2016.
4. Letter from Shawn Kasson, Fire Marshal, dated June 30, 2016.
5. Aerial photograph view from City of Hudson GIS.
6. Site Plan submittal from David Young Architects received June 13, 2016.

Applicable Zoning District Standards, Section 1205

Staff compared the proposal to zoning district standards and found the proposal to be in compliance with applicable standards. The existing light industrial facility is permitted as a use by right. Sidewalks are required abutting a public street; however, as the proposed addition only represents a 4.8% expansion, this standard has not been applied to the proposed project.

Applicable Zoning Development and Site Plan Standards, Section 1207

Staff compared the proposal to zoning development and site plan standards. We comment on the following:

Tree and Vegetation Protection

Limits of disturbance are noted on the plans.

Wetland/Stream Corridor Protection

Wetlands and a stream corridor are located to the north of the development, outside of the project limits. Staff does not anticipate any impact to applicable setbacks; however, the grading design must be revised to depict a larger portion of the property and demonstrate the grading will not encroach into the existing tree line.

Stormwater Management/Drainage/Erosion

City Engineer Thom Sheridan has issued a preliminary comment letter dated July 5, 2016. Stormwater management will be accommodated within the existing detention basin within the industrial park.

Parking Count

Industrial/manufacturing facilities are required to provide one space for each employee on the shift with the highest number of employees. The applicant has submitted documentation indicating the proposed addition will not increase staffing and that the existing 228 paved spaces accommodate existing parking demands.

The site presently contains a large gravel area to the rear of the building. This surface was installed in 2006, without initial authorization from the City, to meet temporary parking demands. At that time, The City of Hudson requested the property owner comply with the LDC requirements including the need for site plan approval and a paved surface or to remove the installation. As part of the 2016 subject application this area will be largely removed and returned to a grass cover. A 45 foot wide fire access road with 28 parking stalls are proposed to remain adjacent to the east side of the building. The fire access road is acceptable to remain as a gravel surface; however, Section 1207.04(o) of the LDC requires parking areas to contain a paved surface. Staff requests the area contain an asphalt or concrete pavement or the proposed parking stall markings be removed from the plans.

Design Review Committee for District 6 and 8

The architectural design for the proposed addition will be reviewed by the subcommittee for compliance with Section 1207.18(h) with a recommendation forwarded to the Planning Commission.

Hudson Industrial Park Development Agreement:

The former development agreement for Hudson Industrial Park was terminated in 2015 in connection with the development of the adjacent Ramco project per City Council Resolution 2015-41.

Findings:

The staff finds that the application is in substantial compliance with the use, zoning development site plan, and other governmental regulations, and land disturbance and grading review contained in Section 1204.04.

Required PC Action, Chapter 1203.09(g)(3)

The PC shall consider the development application, the staff report, and then take final action. PC shall approve, approve with conditions, or deny the application based on its compliance with the appropriate review standards. All decisions of the Commission shall be based on findings of fact related to the relevant standards of the Code.

Recommendation

Approve the site plan in Case 2016-18 for 5581Hudson Industrial Parkway for Universal Screen Arts, Inc. according to plans received June 13, 2016 with the following conditions:

1. The comments of City Engineer Thom Sheridan must be addressed per the July 5, 2016 correspondence.
2. Staff requests the rear gravel parking area be revised to comply with LDC Section 1207.12(o) by incorporating an asphalt or concrete pavement or removing the parking stalls.
3. The comments of Fire Marshal Shawn Kasson must be addressed per the June 30, 2016 correspondence.
4. Planning Commission accepts the recommendation of the Design Subcommittee for Development in Districts 6 and 8 and approves the project design.
5. The applicant shall install silt fencing and/or polypropylene fencing to mark and protect the approved clearing limits, which shall be maintained by the applicant.
6. Satisfaction of the above conditions prior to scheduling of a preconstruction meeting with City Officials and no clearing or construction of any kind shall commence prior to the issuance of a Zoning Certificate.



UNIVERSAL
Screen Arts, Inc.

5581 Hudson Industrial Parkway, Hudson, OH 44236
Cleveland 330.656.3000 | Akron 330.650.5000 | fax 330.650.5235

DATE: June 16, 2016

TO: Greg Hannan, City Planner

FROM: Rodney Tajgiszer, Universal Screen Arts

SUBJECT: Site plan submittal for Universal Screen Arts – Parking Count

In reference to Section 1207: Development and Site Plan Standards, point 4 Parking Count:

Universal Screen Arts Inc., 5581 Hudson Industrial Parkway currently has 228 paved parking spots on the premise. The planned expansion to this building will not affect the current number of parking spots. In review of our "peak" shift need, I have identified the need for 220 parking spots. Thus, I believe us to be in compliance with the referenced section above.

Sincerely,

Rodney Tajgiszer



COMMUNITY DEVELOPMENT • 115 Executive Parkway, Suite 400 • Hudson, Ohio 44236 • (330) 342-1790

June 22, 2016

RE: PC 2016-18-Site Plan Review for 5581 Hudson Industrial Parkway – Universal Screen Arts

Mr. Tajgiszer-

Thank you for your submission of the site plan application for the proposed 3,928 square foot addition at 5581 Hudson Industrial Parkway. The application has been scheduled for the Planning Commission (PC) agenda for the July 11, 2016 meeting. In preparation for such, I am forwarding preliminary comments related to compliance with the Land Development Code (LDC). In addition to these comments, engineering design related comments will be forwarded under separate cover. Our goal is to provide you an opportunity to respond to the below comments by June 30, 2016. We will revise the comments accordingly for the staff report scheduled to be issued on July 6, 2016. Additionally I am available to meet and review the comments at your convenience.

Chapter 1205 – District Regulations

1205.11 District 8:

Use: The existing light industrial facility is permitted as a use by right.

The dimensional standards for lot width, lot frontage, and setbacks are acceptable.

Pedestrian Amenities

Required: Sidewalks are required abutting a public street, along the building façade featuring a customer entrance, and along a building façade abutting a parking area.

Proposed: Sidewalks are required abutting a public street. As the proposed addition only represents a 4.8% expansion, this standard has not been applied to the proposed project.

Section 1207 Zoning Development and Site Plan Standards

The proposed development is subject to compliance with Section 1207.18 Zoning and Development Standards for District 6 and 8

Maximum Impervious Surface

Permitted: 75%
Proposed: Acceptable

Tree and Vegetation Protection

Limits of disturbance are noted on the plans.

Wetland/Stream Corridor Protection

Wetlands and a stream corridor are located to the north of the development, outside of the project limits. Staff does not anticipate any impact to applicable setbacks; however, the grading design must be revised to depict a larger portion of the property and demonstrate the grading will not encroach into the existing tree line.

Stormwater Management/Drainage/Erosion

Stormwater management will be reviewed by the Engineering Department with comments issued under separate cover.

Parking Count

Industrial/manufacturing facilities are required to provide one space for each employee on the shift with the highest number of employees. The applicant has submitted documentation indicating the proposed addition will not increase staffing and that the existing 228 paved spaces accommodate existing parking demands.

The site presently contains a large gravel area to the rear of the building. This surface was installed in 2006, without initial authorization from the City, to meet temporary parking demands. At that time, The City of Hudson requested the property owner comply with the LDC requirements including the need for site plan approval and a paved surface or to remove of the installation. As part of the 2016 subject application this area will be largely removed and returned to a grass cover. A 45 foot wide fire access road with 28 parking stalls are proposed to remain adjacent to the east side of the building. The Fire Access Road is acceptable to remain as a gravel surface; however, Section 1207.04 (o) of the LDC requires parking areas to contain a paved surface. Staff requests the area contain asphalt or concrete pavement or the proposed parking stalls be removed from the plans.

Design Review Committee for District 6 and 8

The architectural design for the proposed addition will be reviewed by the subcommittee for compliance with Section 1207.18(h) with a recommendation forwarded to the Planning Commission. Staff does not anticipate a formal meeting of the subcommittee being necessary due to the small scale of the addition.

Please contact me for any assistance I can provide.

Sincerely,

Gregory P. Hannan, AICP
City Planner

CC: Mark Richardson, Community Development Director
Thom Sheridan, City Engineer

— O H I O —
HUDSON

ENGINEERING • 115 Executive Parkway, Suite 400 • Hudson, Ohio 44236 • (330) 342-1770

Date: July 5, 2016

To: Greg Hannan, City Planner, Community Development

From: Thomas J. Sheridan P.E., P.S, City Engineer.

Re: **Universal Screen Arts Building Expansion**

The City of Hudson Engineering Department has reviewed the plans submitted June 13, 2016.

Note: The City of Hudson Engineering Standards (Engineering Standards) and Land Development Code (LDC) are available online at the City of Hudson Website www.hudson.oh.us under the Engineering Dept. and Community Development Department respectively. The standards are also available in print for a fee. Please contact our office (330-342-1770) if you would like a cost for the printed version.

The City of Hudson Engineering Department has the following review comments that shall be addressed and any necessary revisions resubmitted:

- Provide pre and post impervious surface area on plan sheet per Hudson Engineering Standards Section 1.7.
- Provide the existing depth of the gravel parking area on the plan to be replaced with topsoil. If the gravel is to remain, provide the construction method that will be used to loosen the gravel (tilling, etc..) and allow it to be mixed with the proposed topsoil to reduce its imperviousness.
- Provide the proposed depth of the topsoil (Hudson min. 4" of screened topsoil, no clay backfill). More topsoil may be necessary to cover the gravel for cosmetic purposes.
- Please confirm that no impact to the existing wetland areas on north side of addition will be impacted as part of this project.

If you have any questions, please contact our office.

Sincerely,



Thomas J. Sheridan, P.E., P.S.
Hudson City Engineer

C: T. Calabro
File.



SHAWN KASSON
Fire Marshal

skasson@hudson.oh.us
(330) 342-1869

M E M O R A N D U M

DATE: June 30, 2016
TO: Greg Hannan, City Planner
FROM: Shawn Kasson, Fire Marshal SK
SUBJECT: Universal Screen Arts – 5581 Hudson Industrial Parkway – MPC Case #2016-18

I have reviewed the site plan set for the proposed addition at Universal Screen Arts – 5581 Hudson Industrial Parkway dated June 2016. Upon review I have the following comment:

- Signage stating *Fire Lane – No Parking* must be installed in approved locations to clearly identify the fire apparatus access drive to the proposed addition as a fire lane:
 - East side of fire apparatus access drive
 - Turnaround area at the north end of the fire apparatus access drive

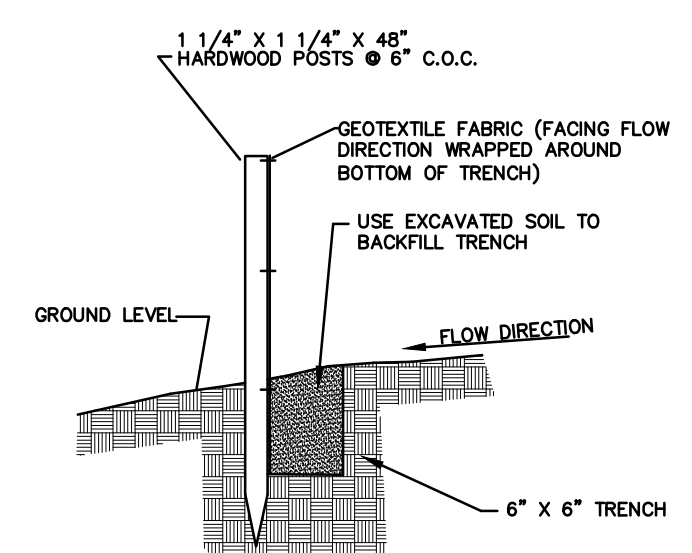
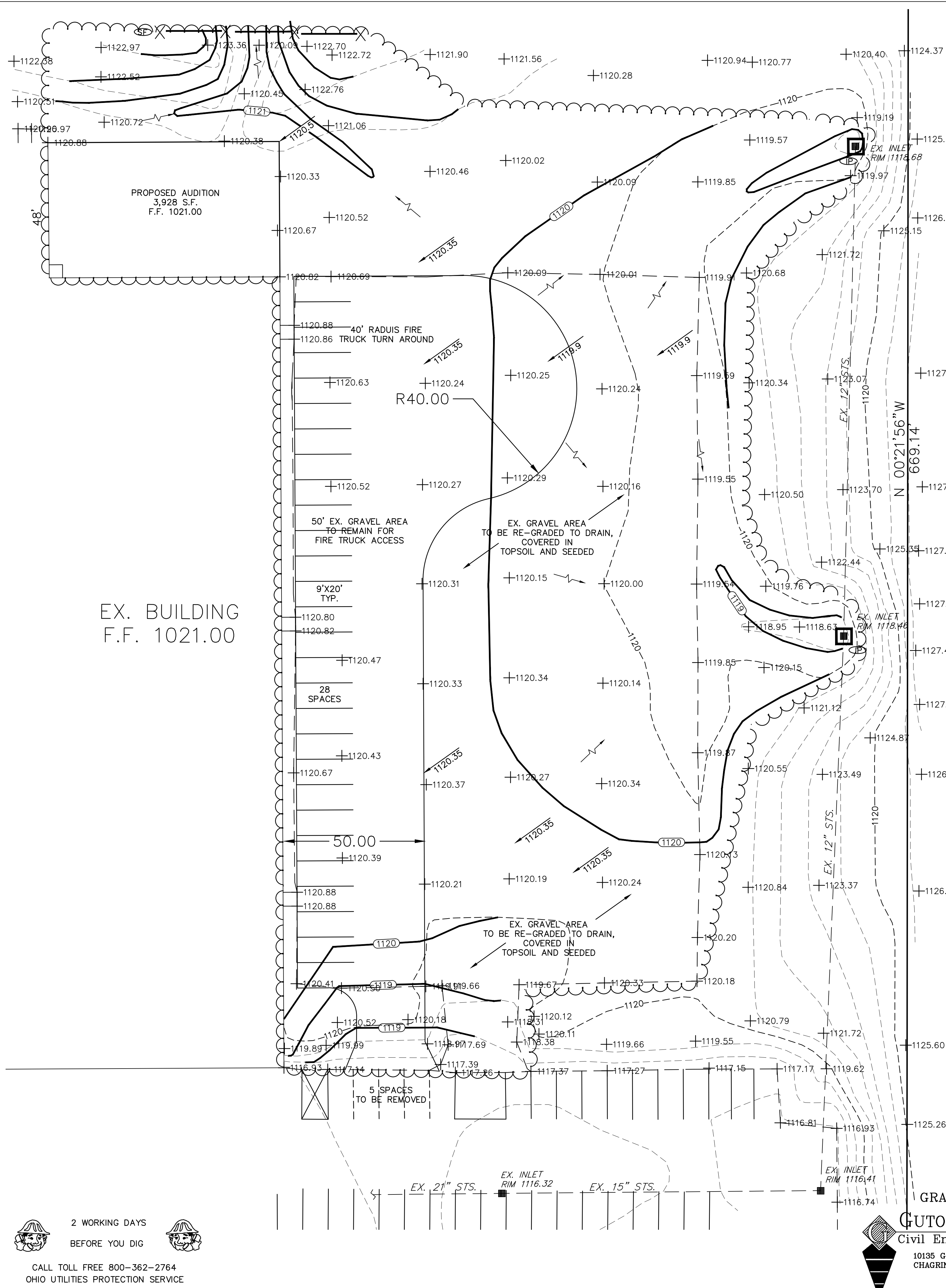
Please contact me with any questions.

City of Hudson, OH

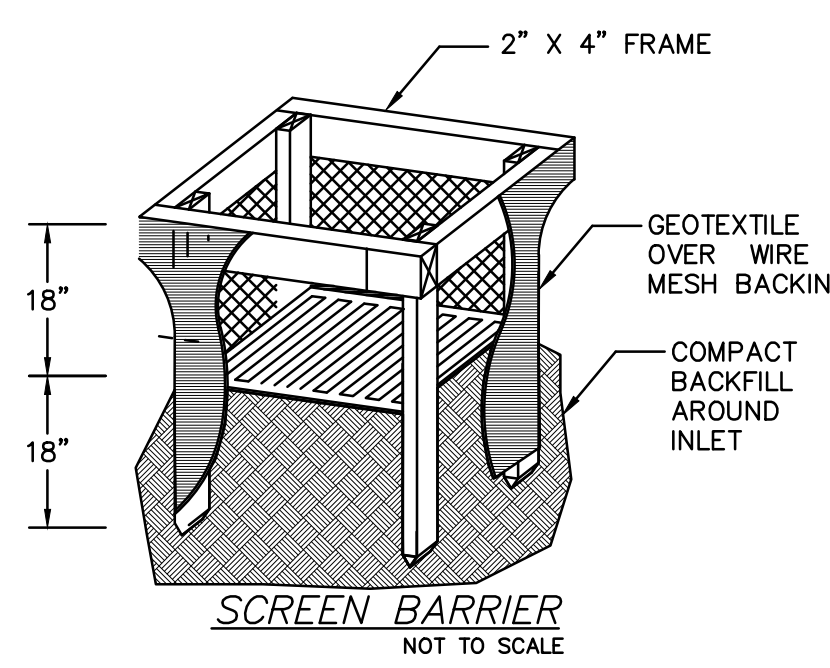


Disclaimer: Map and parcel data are believed to be accurate, but accuracy is not guaranteed. This is not a legal document and should not be substituted for a title search, appraisal, survey, or for zoning verification.

Map Scale
1 inch = 200 feet
6/16/2016



SILT FENCE DETAIL
(TYPICAL CROSS SECTION)



SCREEN BARRIER
NOT TO SCALE

- SILT FENCE NOTES:**
- SILT FENCE SHALL CONFORM TO THE FOLLOWING:
 - CONSTRUCT BEFORE UPSLOPE LAND DISTURBANCE BEGINS AS CLOSE TO THE CONTOUR AS POSSIBLE.
 - CONSTRUCT EACH END UPSLOPE TO HIGHER ELEVATION.
 - ANY VEGETATION REMOVED WITH 5' UPSLOPE OF FENCE SHALL BE REESTABLISHED WITHIN 7 DAYS.
 - MINIMUM HEIGHT - 16" ABOVE ORIGINAL GRADE.
 - INSTALL IN 6" DEEP X 4" WIDE UNIFORM TRENCH. PLACE WITH DOWNSLOPE SIDE OF STAKES ON GEOTEXTILE WITH 8" CLOTH BELOW GRADE. BACKFILL AND COMPACT TRENCH.
 - STAPLE FILTER MATERIAL TO STAKES AND EXTEND INTO TRENCH.
 - OVERLAP SEAMS OF FENCE SECTIONS WITH END STAKES BEFORE DRIVING INTO GROUND.
 - FENCE POSTS SHALL BE 2X2 HARDWOOD, 32" LONG (MIN) AT 10' SPACINGS (MAX).
 - BACKFILL AND COMPACT THE EXCAVATED FILL. J. SILT FENCE SHALL MEET:
 - 1. GRAB TENSILE STRENGTH - 90 LB. (MIN) (ASTM D 1682)
 - 2. MULLEN BURST STRENGTH - 190 PSI. (MIN) (ASTM D 3786)
 - 3. SLURRY FLOW RATE - 0.3 GAL./MIN./SQ FT (MAX)
 - 4. EQUIVALENT OPENING SIZE - 40-80 (US STD. SEIVE CW-02215)
 - 5. ULTRAVIOLET RADIATION STABILITY - 90

- EROSION CONTROL NOTES:**
- SEE THIS DRAWING FOR SILT FENCE DETAILS & NOTES
 - THE CONTRACTOR SHALL TAKE CORRECTIVE ACTIONS REGARDING THE MAINTENANCE OF ALL POLLUTION PREVENTION PRACTICES. EROSION CONTROL MUST BE INSPECTED ONCE EVERY SEVEN DAYS OR WITHIN 24 HOURS OF 0.5" OR GREATER RAINFALL. CONTROL PRACTICES SHALL BE REPAIRED WITHIN 3 DAYS
 - ALL PROPOSED SLOPES 3-1 OR GREATER SHALL RECEIVE JUTE OR EXCELSIOR MATTING PER ORLD.
 - OTHER EROSION AND SEDIMENT CONTROL ITEMS MAY BE NECESSARY DUE TO ENVIRONMENTAL CONDITIONS AND MAY BE REQUIRED AT THE DISCRETION OF THE GAUGA SOIL AND WATER CONSERVATION DISTRICT OR ITS REPRESENTATIVES.
 - ALL SEEDING AND MULCHING SHALL BE COMPLETED PER ORLD UNLESS OTHERWISE DIRECTED BY THE ENGINEER
 - MINIMIZE OFF-SITE TRACKING OF SEDIMENTS BY VEHICLES BY MAKING USE OF GRAVEL CONSTRUCTION ENTRANCES AND REGULARLY SCHEDULED SWEEPING/GOOD HOUSEKEEPING.
 - BUILDER IS RESPONSIBLE FOR EROSION CONTROL ON INDIVIDUAL LOT.
 - NO SOLID OR LIQUID WASTE SHALL BE DISCHARGED INTO STORM WATER RUNOFF.
 - DISTURBED AREAS WHICH WILL REMAIN UNWORKED FOR A PERIOD OF 21 DAYS OR MORE SHALL BE STABILIZED WITH SEEDING AND MULCHING WITHIN 7 DAYS OF EARTHMOVING.
 - ALL EROSION AND SEDIMENT CONTROL PRACTICES MUST CONFORM TO THE SPECIFICATIONS OF RAINWATER AND LAND DEVELOPMENT, OHIO'S STANDARDS FOR STORMWATER MANAGEMENT, LAND DEVELOPMENT, AND URBAN STREAM PREVENTION (ORLD).
 - CONTRACTOR MUST INSTALL COMBINATION BARRIERS AND SILT FENCE PRIOR TO INITIAL EARTH DISTURBANCE (TOP SOIL REMOVAL, GRUBBING, ETC.) BARRIER LOCATIONS MAY REQUIRE MODIFICATION AFTER ON-SITE EVALUATION BY DISTRICT STAFF, WHICH WILL BE DOCUMENTED IN INSPECTION REPORTS TO THE CITY.
 - SOIL STOCKPILES RESULTING FROM EXCAVATION REQUIRE EITHER A SEDIMENT BARRIER AROUND THE BASE OF THE PILE OR OTHER BARRIERS ON SITE (SECTION 3.04C) MUST CONTAIN RUNOFF.
 - THE CONTRACTOR MUST USE A STABILIZED CONSTRUCTION ENTRANCE AND MUST LIMIT SEDIMENT TRACKING INTO STREETS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR CONTAINING ALL SILT ON-SITE. DAMAGE DUE TO OFF-SITE/DOWNSTREAM SILTATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - EROSION CONTROL BLANKETS WITH MATTING WILL BE USED ON DITCHES GREATER THAN 1.5% AND ALL OTHER SLOPES GREATER THAN 6:16. NO SEDIMENT LADEN DISCHARGES ARE PERMITTED TO SURFACE WATER. PUMPING OF TRENCHES OR GROUND WATER CONTAINING SEDIMENT MUST PASS THROUGH THE SEDIMENT SETTLING POND.

TEMPORARY SEEDING & MULCHING (SEED MIX NO. 1):
 TEMPORARY SEEDING SHALL BE APPLIED WITHIN SEVEN (7) DAYS ON ALL BARE AREAS THAT WILL NOT BE DISTURBED FOR 21 DAYS.
 -PERENNIAL RYE GRASS 2 LBS./1000 S.F.
 -COMMERCIAL FERTILIZER SHALL BE (12-12-12) AND CONFORM TO ORLD 10 LBS./1000 S.F.
 -MULCH & STRAW 2 TONS/ACRE

ALL TEMPORARY SEEDING ITEMS & PROCEDURES SHALL CONFORM TO ORLD UNLESS OTHERWISE DIRECTED BY CITY ENGINEER.

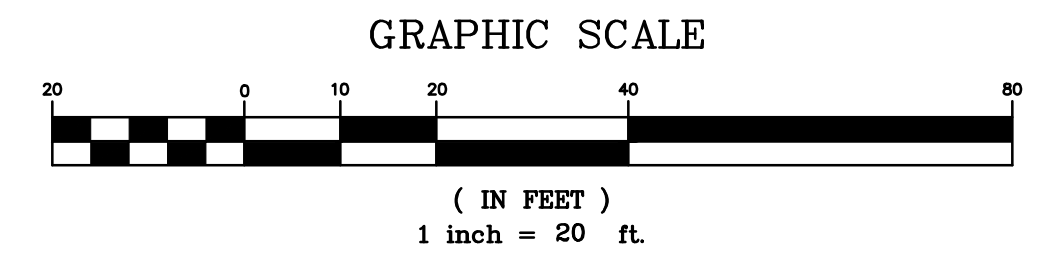
| AREA REQUIRING TEMPORARY STABILIZATION | TIME FRAME TO APPLY EROSION CONTROLS |
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| ANY DISTURBED AREA WITHIN 50 FEET OF A WATERCOURSE AND NOT AT FINAL GRADE. | WITHIN 2 DAYS OF THE MOST RECENT DISTURBANCE, IF THAT AREA WILL REMAIN IDLE FOR MORE THAN 21 DAYS. |
| FOR ALL CONSTRUCTION ACTIVITIES, ANY DISTURBED AREA, INCLUDING SOIL STOCKPILES, THAT WILL BE DORMANT FOR MORE THAN 21 DAYS BUT LESS THAN ONE YEAR, AND NOT WITHIN 50 FEET OF A WATERCOURSE. | WITHIN 7 DAYS OF OF THE MOST RECENT DISTURBANCE WITHIN THAT AREA. |
| DISTURBED AREAS THAT WILL BE IDLE OVER THE WINTER. | PRIOR TO NOVEMBER 1. |

NOTE: WHERE VEGETATIVE STABILIZATION TECHNIQUES MAY CAUSE STRUCTURAL INSTABILITY OR OTHERWISE UNOBTAINABLE, ALTERNATIVE STABILIZATION TECHNIQUES MUST BE EMPLOYED. THESE TECHNIQUES MAY INCLUDE MULCHING, EROSION MATTING, OR PLACEMENT OF STONE.

PERMANENT SEEDING AND MULCHING (SEED MIX NO. 2):
 SEDIMENT CONTROL SHALL BE ACCOMPLISHED BY SEEDING AND MULCHING IMMEDIATELY UPON COMPLETION OF EXCAVATION OR FILL AND FINISHED GRADING IN ACCORDANCE WITH ORLD OR AS DIRECTED BY THE CITY ENGINEER. THE FOLLOWING MIXTURES SHALL BE USED FOR SEEDING IN ACCORDANCE WITH ORLD:
 KENTUCKY BLUEGRASS-40%
 CREEPING RED FESCUE-40% 3LBS./1000 S.F.
 PERENNIAL RYEGRASS-20%
 FERTILIZER 12 LBS./1000 S.F. (12-12-12)
 MULCH/STRAW 2 TONS/ACRE

RESTORATION OF ALL DISTURBED AREAS SHALL IMMEDIATELY FOLLOW EXCAVATION AND GRADING OPERATIONS. DELAY IN RESTORATION SHALL NECESSITATE TEMPORARY EROSION CONTROL MEASURES APPROVED BY THE ENGINEER AND AT THE CONTRACTOR'S COST.

| AREA REQUIRING PERMANENT STABILIZATION | TIME FRAME TO APPLY EROSION CONTROLS |
|--|--|
| ANY AREA THAT WILL LIE DORMANT FOR ONE YEAR OR MORE. | WITHIN 7 DAYS OF THE MOST RECENT DISTURBANCE WITHIN THAT AREA. |
| ANY AREA WITHIN 50 FEET OF A WATERCOURSE AND AT FINAL GRADE. | WITHIN 2 DAYS OF REACHING FINAL GRADE. |
| ANY AREA AT FINAL GRADE. | WITHIN 7 DAYS OF REACHING FINAL GRADE WITHIN THAT AREA. |



| LEGEND | SITE DATA |
|---------------------------|------------------------------|
| LIMITS OF DISTURBANCE | AREA OF BUILDING = 3,928 SF. |
| SILT CONTROL FENCE (SF) | ALLOWABLE LOT COVERAGE = 60% |
| SCREEN BARRIER (SB) | PROPOSED LOT COVERAGE = 45% |
| | EXISTING LOT COVERAGE = 44% |

NOTE: EROSION MEASURES ARE NOT SHOWN TO SCALE

GRADING PLAN PREPARED BY:
GUTOSKEY & ASSOCIATES INC.
 Civil Engineers, Surveyors and Land Planners
 10135 GOTTSCHALK PKWY, SUITE 4 Tel (440) 543-6900
 CHAGRIN FALLS, OHIO 44023 Fax (440) 543-7176

2 WORKING DAYS BEFORE YOU DIG
 CALL TOLL FREE 800-362-2764
 OHIO UTILITIES PROTECTION SERVICE

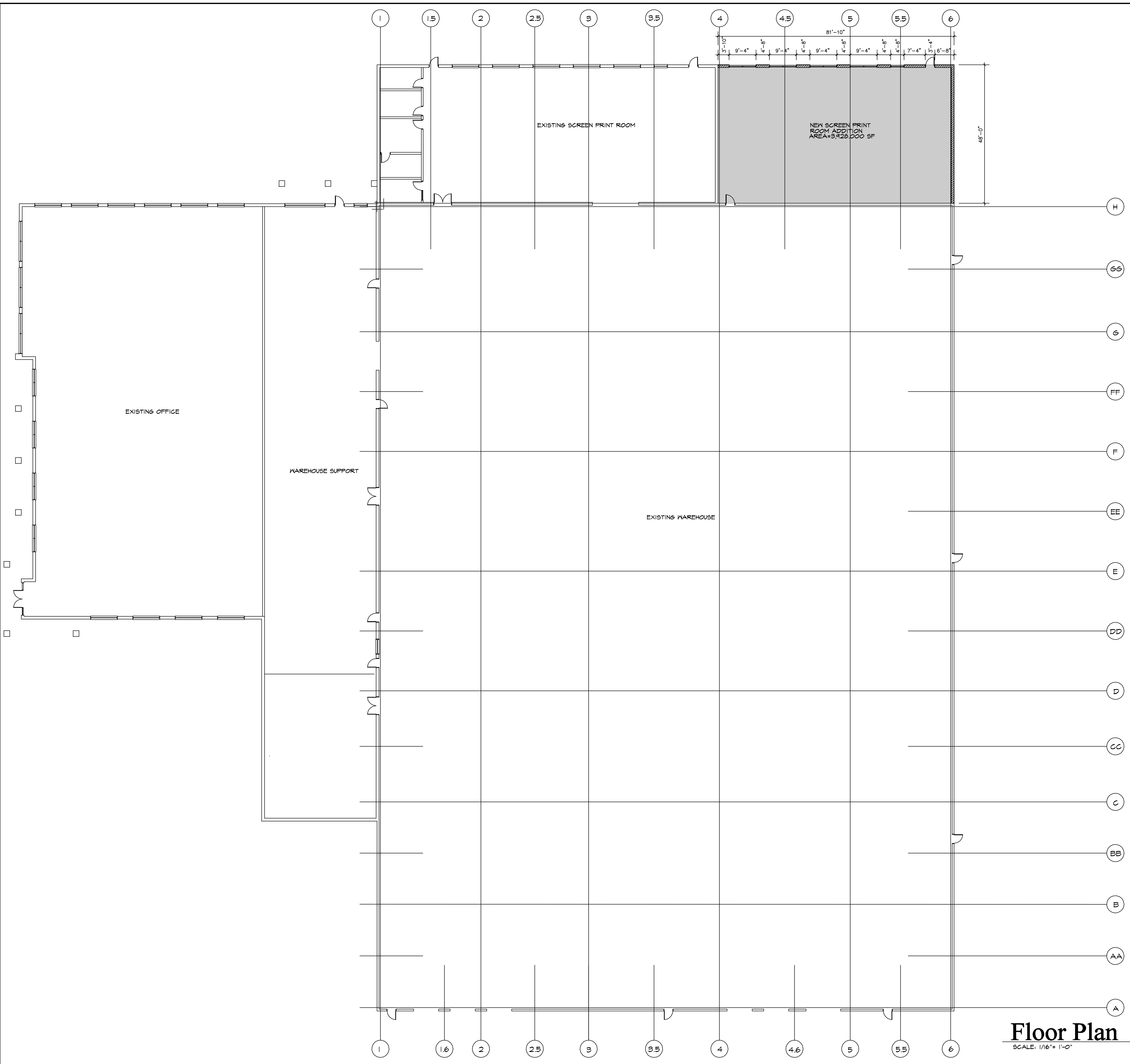
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2016 Screen Print Expansion for UNIVERSAL SCREEN ARTS
 Hudson, Ohio

David Young / Architects
 32443 S. Burr Oak Drive
 Solon, Ohio 44139
 Tel. 330-656-2662, Fax 440-498-8160

DRAWN BY:GA
 CHECKED BY:JG
 SCALE:1"= 20'-0"
 DATE: JUNE, 2016
 DRAWING NO.
C-1



Floor Plan
SCALE: 1/16" = 1'-0"

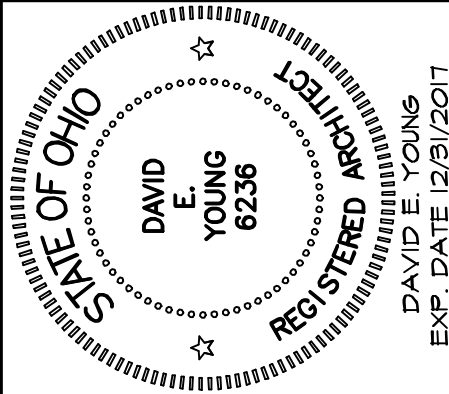
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**2016 Screen Print Expansion for
UNIVERSAL SCREEN ARTS**
Hudson, Ohio

David Young / Architects
32443 S. Burr Oak Drive
Solon, Ohio 44139
Tel. 330-656-2662, Fax 440-498-8160

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| CHECKED BY: DY |
| SCALE: 1/16" = 1'-0" |
| DATE: 1 MAY 2016 |
| DRAWING NO. A-1 |

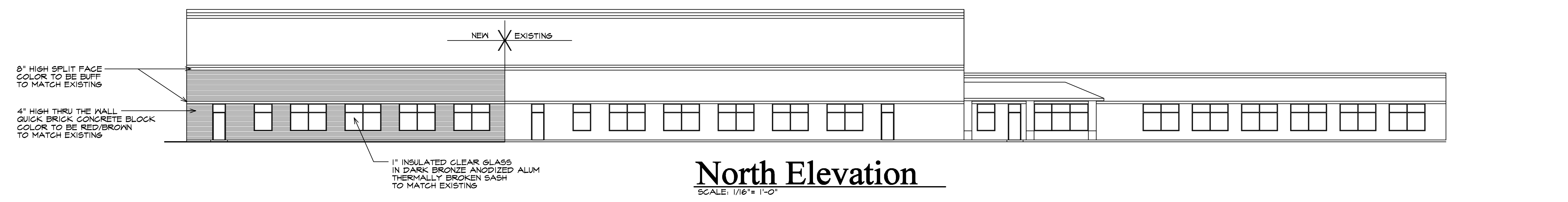
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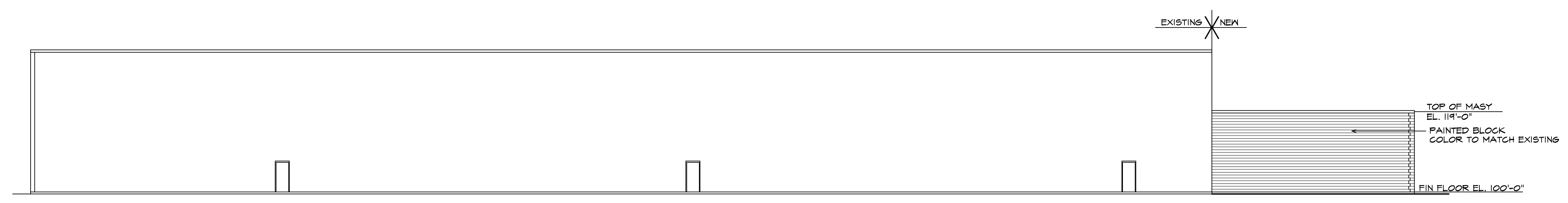
**2016 Screen Print Expansion for
UNIVERSAL SCREEN ARTS**
Hudson, Ohio

David Young / Architects
32443 S. Burr Oak Drive
Solon, Ohio 44139
Tel. 330-656-2662, Fax 440-498-8160

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| DRAWN BY: DY |
| CHECKED BY: DY |
| SCALE: 1/16" = 1'-0" |
| DATE: 1 MAY 2016 |
| DRAWING NO. A-2 |



North Elevation
SCALE: 1/16" = 1'-0"



East Elevation
SCALE: 1/16" = 1'-0"