

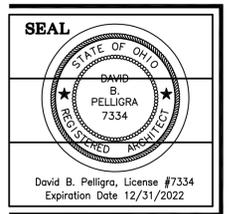
# ADDITION & RENOVATION FOR: MARKWELL GUEST HOUSE

2174 E. STREETSBORO ST. • HUDSON, OHIO

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DATE: 05.27.2022



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**GENERAL NOTES:**

1. TO BE CONSTRUCTED UNDER SUMMIT COUNTY BUILDING INSPECTION. MATERIALS AND CONSTRUCTION OF THIS PROJECT SHALL MEET LOCAL CODES, RESIDENTIAL CODE OF OHIO, OHIO MECHANICAL CODE, OHIO PLUMBING CODE AND NATIONAL ELECTRICAL CODE.
2. PERMITS SHALL BE OBTAINED FOR ALL CONSTRUCTION WORK PRIOR TO CONSTRUCTION FROM GOVERNING DEPARTMENTS AFTER DRAWING 'APPROVALS', ARE RECEIVED BY THE OWNER OR CONTRACTOR.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE REQUIRED TYPE AND NUMBER OF INSPECTIONS AND SHALL NOTIFY OFFICIALS WELL IN ADVANCE OF ALL SUCH INSPECTIONS.
4. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES AND FOR ALL SAFETY PRECAUTIONS USED ON THE SITE.
5. THESE PLANS ARE FOR GENERAL INFORMATION ONLY. ALL CONTRACTORS SHALL FIELD CHECK, VERIFY AND APPROVE ALL DIMENSIONS, LOCATIONS AND CONDITIONS, ETC. IN THEIR SCOPE OF WORK.
6. DO NOT SCALE DRAWINGS, FOLLOW DIMENSIONS AS SHOWN ON PLANS.
7. ANY MATERIAL OR LABOR NEITHER SHOWN ON THE DRAWINGS, NOT SPECIFIED, BUT WHICH IS NECESSARY TO COMPLETE THE WORK OF A SIMILAR NATURE SHALL BE FURNISHED WITHOUT ADDITIONAL COST TO THE OWNER.
8. ALL CONTRACTORS SHALL FOLLOW THE MATERIAL OR EQUIPMENTS RECOMMENDED SPECIFICATIONS, UNLESS NOTED OTHERWISE. ALL WORK SHALL BE PERFORMED IN A FIRST CLASS AND WORKMANLIKE MANNER.
9. ALL CONCRETE SLABS THAT ARE CUT OR REMOVED SHALL BE PROPERLY PATCHED TO MATCH THE EXISTING FINISH FLOOR. ALL WALLS ETC. THAT ARE TO BE REMOVED SHALL BE PROPERLY BRACED SUPPORTING ANY OVERHEAD ASSEMBLY PRIOR TO THE REMOVAL. EXISTING WIRING, HVAC, AND PLUMBING SHALL BE REMOVED OR REROUTED AS NECESSARY.
10. ALL EXISTING ASBESTOS MATERIAL FOUND ON THE JOB SITE SHOULD BE REMOVED AND DISCARDED PER ENVIRONMENTAL PROTECTION AGENCY GUIDELINES BY A LICENSED AND INSURED HAZARDOUS WASTE CONTRACTOR.
11. THE OWNER SHALL FURNISH AND THE CONTRACTOR SHALL INSTALL THE REQUIRED PORTABLE FIRE EXTINGUISHERS AS DIRECTED BY THE LOCAL FIRE DEPARTMENT OFFICIALS. CONTRACTOR SHALL FURNISH PORTABLE FIRE EXT. ON EACH FLOOR LEVEL DURING CONSTRUCTION.
12. THE OWNER'S REPRESENTATIVE SHALL REVIEW AND APPROVE ALL FINISH MATERIALS INCLUDING ARCHITECTURAL, MECHANICAL, ELECTRICAL ETC. PRIOR TO PURCHASE AND INSTALLATION.
13. THE CONTRACTOR SHALL PROVIDE PROOF OF HIS LIABILITY INSURANCE TO THE OWNER PRIOR TO COMMENCEMENT OF THE WORK.
14. THE OWNER SHALL PROVIDE PROPERTY INSURANCE AND ALL RISK INSURANCE COVERING THE ENTIRE PROJECT SCOPE.

**DEMOLITION NOTES:**

1. ALL DEMOLITION AND MATERIAL REMOVAL OPERATIONS SHALL BE CAREFULLY AND SAFELY CARRIED OUT TO ACCOMMODATE FUTURE NEW CONSTRUCTION. THE DEMOLITION CONTRACTOR SHALL BE TOTALLY RESPONSIBLE FOR SAFE PROCEDURES, PRACTICES AND OPERATION. CONTRACTOR SHALL PROVIDE AND LOCATE ALL BARRICADES, WARNING LIGHTS, DANGER SIGNS, OVERHEAD PROTECTION, AND ALL OTHER RELATED SAFETY PRECAUTIONS, TO PROTECT ALL PERSONS AND PROPERTY EITHER DIRECTLY RELATED OR INCIDENTAL TO THE PROJECT, FROM INJURY OR DAMAGE FROM ANY CAUSE.
2. PROTECT ALL STRUCTURAL COMPONENTS AND IN-USE BUILDING SERVICE FROM DAMAGE. PROTECT EXISTING MATERIALS THAT ARE NOT TO BE DEMOLISHED. DO NOT DAMAGE EXISTING MATERIALS DESIGNATED TO BE REUSED. MAKE REQUIRED REPAIRS TO EQUIPMENT FOR PROPER OPERATION.
3. IF EXISTING STRUCTURE APPEARS TO BE IN DANGER OR HAZARDOUS MATERIALS ARE DISCOVERED, CEASE OPERATIONS IMMEDIATELY AND NOTIFY THE CONTRACTOR FOR DIRECTION.
4. PROVIDE WEATHERTIGHT TEMPORARY CONSTRUCTION FOR AREAS OF REMOVED ENTRY DOORS, REMOVED GLAZING AND OTHER AREAS REQUIRED CONSTRUCTION UNDER THE CONTRACT.
5. ALL WALLS, PARTITIONS, FRAMES AND OTHER MATERIALS SHOWN TO BE REMOVED SHALL HAVE NEATLY REMOVED CUT EDGES WHERE THEY WILL BE VISIBLE AFTER NEW CONSTRUCTION IS COMPLETED.
6. ALL DEMOLISHED ITEMS SHALL BE THE PROPERTY OF THE OWNER. ANY ITEMS NOT CLAIMED AND STORED BY THE OWNER SHALL BE DISCARDED BY THE CONTRACTOR.
7. CONTRACTOR SHALL PROVIDE SAFETY AND DUST PROOF BARRIERS FROM ALL PUBLIC OCCUPIED AREAS DURING THE ENTIRE CONSTRUCTION PERIOD.
8. CONTRACTOR SHALL PROPERLY DISPOSE OF ALL DEBRIS DAILY.
9. ALL CONCRETE SLABS THAT ARE CUT OR REMOVED SHALL BE PROPERLY PATCHED TO MATCH EXISTING FINISH FLOOR.
10. ALL DEAD AND ABANDONED MECHANICAL, ELECTRICAL LINES SHALL BE DISCONNECTED AND REMOVED.
11. ALL ABANDONED PLUMBING LINES SHALL BE CAPPED OVER WITH CONCRETE AT FINISH FLOOR.
12. LOCATE ALL EXISTING UTILITIES WITHIN THE PROJECT LIMITS PRIOR TO DEMOLITION. CAPPED UTILITIES SHALL BE ACCURATELY RECORDED.
13. EGRESS WIDTHS AND ACCESS SHALL NOT BE OBSTRUCTED.
14. DO NOT DISABLE OR DISRUPT BUILDING FIRE OR LIFE SAFETY SYSTEMS WITHOUT NOTICE.
15. DO NOT BURN OR BURY MATERIALS ON SITE.

**SITE WORK:**

1. EARTHWORK AND EXCAVATION
  - A. ALL CURING, GRUBBING AND SCALPING SHALL COMPLY WITH ALL LOCAL AND STATE REGULATIONS REGARDING EROSION AND SEDIMENTATION CONTROL.
  - B. ALL SURFACE OBJECTS, ROOTS, DEBRIS AND ALL TREES, STUMPS, GRASS, WEEDS SHALL BE CLEARED FROM THE AREA TO BE GRADED OR FILLED. SUCH ITEMS SHALL BE REMOVED AND THEIR HOLES SHALL BE FILLED WITH SUITABLE MATERIAL.
  - C. ALL TOPSOIL AND ORGANIC SURFICIAL SOILS SHALL BE STRIPPED WITHIN THE LIMITS OF EARTHWORK. TOPSOIL THAT IS SUITABLE FOR USE IN THE FINAL WORK SHALL BE STOCKPILED ON THE SITE AS DIRECTED BY OWNER. ALL OTHER SOILS SHALL BE REMOVED FROM THE SITE.
  - D. PROTECT EXISTING TREES, VEGETATION AND OTHER EXISTING IMPROVEMENTS TO REMAIN IN PLACE. DAMAGED AREAS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION OR AS DIRECTED.
  - E. EXISTING ASPHALT AND CONCRETE PAVEMENT AREAS WITHIN THE LIMITS OF THE NEW CONSTRUCTION SHALL BE COMPLETELY REMOVED AND DISPOSED OF OFF-SITE. EXISTING CLEAN BASE COURSE MAY BE STOCKPILED FOR REUSE IF DESIRED.
  - F. ALL GENERAL SITE GRADING SHALL BE COMPLETED BEFORE WORK IS STARTED ON THE BUILDING FOUNDATIONS.
  - G. PRIOR TO EXCAVATION, LOCATE AND MARK THE EXISTING UNDERGROUND UTILITIES IN THE AREA OF CONSTRUCTION. PROVIDE ADEQUATE MEANS OF PROTECTION DURING EARTHWORK FOR EXISTING UTILITIES TO REMAIN. REPAIR ANY DAMAGED UTILITY OR SITE IMPROVEMENT THAT MAY OCCUR. IF UTILITIES ARE ADJUSTED IN THE FIELD COORDINATE CHANGES WITH ALL OTHER PARTIES.
  - H. PREVENT SURFACE WATER FROM FLOWING INTO EXCAVATIONS OR ADJOINING PROPERTIES. EXISTING WALKS, PARKING AREAS AND STREETS SHALL BE KEPT BROOK CLEAN DAILY, FREE OF ALL DIRT AND DEBRIS FROM THE CONSTRUCTION SITE.
  - I. ADDITIONAL FILL REQUIRED TO RAISE THE GRADE WHICH MAY CONSIST OF ON-SITE SOILS, SHALL BE FREE OF ALL STICKS, DEBRIS, ROOTS, CLUMPS AND SHALL BE DENSE AND DRIED BEFORE RECOMPACTION IN 8 INCH MAXIMUM LAYERS.
  - J. ENGINEERED FILL UNDER SLABS AND PAVEMENT AREA SHALL BE PLACED IN 8 INCH LAYERS OF LOOSE MATERIAL, WITH EACH LAYER BEING COMPACTED TO 98% OF THE MAXIMUM DRY DENSITY PER ASTM D 1557.
  - K. UNLESS SHOWN ON DRAWINGS, ANGLE OF ALL BANKS SHALL NOT EXCEED A SLOPE OF 1:3.
  - L. BOTTOM OF EXCAVATIONS SHALL BE DEWATERED AND PROTECTED FROM FROST. DO NOT PLACE FOUNDATIONS, FOOTINGS OR SLABS ON FROZEN GRADE.
  - M. ALL EXCAVATIONS SHALL BE PROPERLY AND ADEQUATELY SLOPED OR SHORED AND BRACED TO PROTECT THE PROPERTY OF THE OWNER AND THE SAFETY OF THE WORKMEN. ALL SUCH PROTECTION SHALL BE IN ACCORDANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) REQUIREMENTS AND ALL OTHER APPLICABLE CODES AND ORDINANCES.
2. UTILITIES
  - A. TRENCHES FOR UTILITIES SHALL BE MINIMUM 36 INCHES DEEP WITH ADEQUATE WIDTH FOR WORKING, UNLESS NOTED OTHERWISE.
  - B. PIPE BEDDING SHALL BE CLEAN, NATURAL OR PROCESSED BANK RUN GRAVEL, CONFORMING ASTM C33, NO. 67, 100 PASSING A 1" SIEVE, AND RETAINED ON A NO. SIEVE.
  - C. USE CLEAN GRANULAR FILL MATERIAL FREE OF ALL ROCKS, DEBRIS, AND OTHER CONSTRUCTION MATERIAL FOR BACKFILLING ALONG UTILITY EXCAVATIONS TO WITHIN A MINIMUM OF 12" ABOVE THE NEW CONDUIT OR PIPING WITHOUT COMPACTION. COMPACT BACKFILL IN 8" LAYERS USING HEAVY COMPACTION EQUIPMENT OR 4" LAYERS USING HAND-OPERATED TAMPERS.
  - D. NEW UNDERGROUND STORM AND SANITARY LINES SHALL BE INSTALLED WITH MINIMUM OF 24" COVER ABOVE AND PROVIDING A MINIMUM SLOPE OF 1%, UNLESS NOTED OTHERWISE. USE SCHEDULE 40 PVC PIPING UNLESS NOTED.
  - E. VERIFY ALL EXISTING AND NEW UTILITIES WITH LOCAL UTILITY COMPANIES PRIOR TO WORK. SEE THE MECHANICAL AND ELECTRICAL DRAWINGS FOR EACH RESPECTIVE UTILITY OR SERVICE.
  - F. DIRT OR OTHER FOREIGN MATERIAL SHALL BE PREVENTED FROM ENTERING THE PIPE OR PIPE JOINT DURING HANDLING OR LAYING OPERATIONS AND ANY PIPE OR FITTING THAT HAS BEEN INSTALLED WITH DIRT OR FOREIGN MATERIAL IN IT SHALL BE REMOVED, CLEANED AND RELAID.

**FOUNDATION NOTES:**

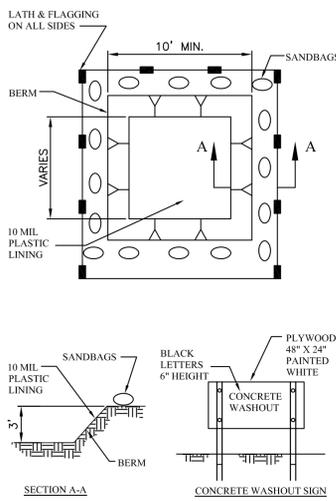
1. ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
2. MAXIMUM DESIGN SOIL PRESSURE - 2500 LBS. SQ. FT. TOP OF ALL EXTERIOR FOOTINGS TO BE MINIMUM 2" - 8" BELOW FINISH FLOOR. ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL. TWO BARS SHALL BE PLACED CONTINUOUS IN BOTTOM OF ALL FOOTINGS. SEE FOUNDATION PLAN FOR BAR SIZES.
3. WHERE FOOTINGS CHANGE ELEVATIONS, STEP FOOTINGS TWO HORIZONTAL TO ONE VERTICAL.
4. FOOTING ELEVATIONS SHOWN ON DRAWINGS ARE TO TOP OF FOOTINGS.
5. ALL REINFORCING BARS TO BE DEFORMED BARS INTERMEDIATE GRADE.
6. ALL DETAILING, FABRICATION AND ERECTION OF REINFORCING BARS SHALL CONFORM WITH ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES (ACI 318-65).

**CONCRETE NOTES:**

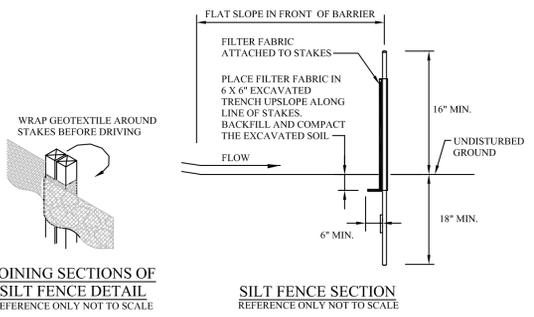
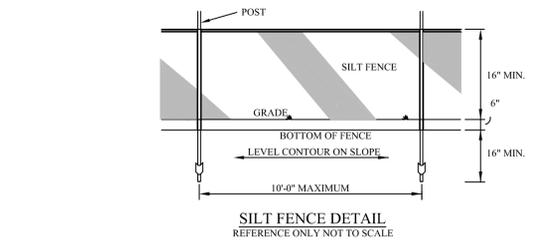
1. ALL CONCRETE WORK SHALL BE IN COMPLIANCE WITH THE AMERICAN CONCRETE INSTITUTE, INCLUDING: FORMWORK, PLACEMENT, REINFORCEMENT, AND FINISHES.
2. ALL CONCRETE FORMWORK SHALL BE STRAIGHT, FREE OF DISTORTION AND DEFECTS. FORMS SHALL REMAIN HORIZONTAL AND VERTICAL ALIGNMENT UNTIL REMOVAL OF SUCH.
3. ALL EXTERIOR CONCRETE TO BE 3500 PSI AT 28 DAYS, AIR ENTRAINED, 6 BAGS. USE LIGHT BROOM FINISH ON EXTERIOR SLABS, WALKS, DRIVES, AND PARKING AREAS.
4. CONCRETE SHALL BE COMPOSED OF PORTLAND CEMENT, FINE AGGREGATE, COURSE AGGREGATE, WATER AND AIR ENTRAINING AGENT, AS REQUIRED. ALL CONCRETE SHALL HAVE WATER/CEMENT RATIOS CORRESPONDING CEMENT FACTORS SUFFICIENT TO MEET STRENGTH AND WORKABILITY REQUIREMENTS.
5. USE OF CALCIUM CHLORIDE AND WATER REDUCER MIXTURES ARE PROHIBITED.
6. ALL EXTERIOR CONCRETE SHALL BE TREATED WITH AN ANTI-SPLALLING TREATMENT ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS. ALL EXPOSED CONCRETE AREAS INSIDE OF BUILDINGS TO HAVE A DUSTPROOF SEALER PROVIDED PER MANUFACTURER'S INSTRUCTIONS. USE A TROUPEL FINISH ON INTERIOR SLABS.
6. ALL CONCRETE SLABS SHALL BE SAW CUT AS SOON AS POSSIBLE FOLLOWING THE PATTERNS AS SET FORTH IN THE DRAWINGS. SAW CUT LARGE AREAS INTO A MAXIMUM OF 100 SF/CONTROL JOINT. USE AN EDGING TOOL ON THE PERIMETER OF ALL CONCRETE WALKS.
7. FIRE CAST CONCRETE PLANK FLOOR SYSTEM FOR MEZZANINE TO BE PROPERLY INSTALLED STRICTLY FOLLOWING MANUFACTURER'S GUIDELINES.

**MASONRY NOTES:**

1. CONCRETE MASONRY UNITS SHALL MEET ASTM C90 STANDARD FOR HOLLOW LOAD BEARING MASONRY UNITS. ASTM C145 LOAD BEARING MASONRY UNITS.
2. MORTAR FOR UNIT MASONRY SHALL COMPLY WITH ASTM C-210-80A. MORTAR FOR REINFORCED MASONRY SHALL COMPLY WITH ASTM C-476-80.
3. FIRE RATED MASONRY SHALL COMPLY WITH REQUIREMENTS FOR MATERIALS AND INSTALLATION ESTABLISHED BY THE AMERICAN INSURANCE ASSOCIATION.
4. ALL MASONRY SHALL HAVE AN ULTIMATE COMPRESSIVE STRENGTH OF 3000 PSI WITH ULTIMATE DESIGN OF 1500 PSI.
5. USE TYPE #8 MORTAR FOR EXTERIOR WORK. USE TYPE #1 MORTAR FOR STRUCTURAL APPLICATIONS.
6. GROUT SHALL BE HIGH STRENGTH, NON SHRINK.
7. LAY OUT WALLS IN ADVANCE FOR ACCURATE SPACING. AVOID THE USE OF LESS-THAN-HALF SIZE UNITS AT CORNERS OR WHEREVER POSSIBLE.
8. CALCIUM CHLORIDE OR ADMIXTURES CONTAINING, SHALL NOT BE USED IN MORTAR OR GROUT.
9. CONCRETE MASONRY SHALL BE PROTECTED AGAINST WETTING PRIOR TO USE.
10. MASONRY UNITS SHALL BE LAID WITH ALL HEAD AND BED JOINTS FULL. DO NOT ADJUST MASONRY UNITS WHEN MORTAR HAS BEGUN TO SET.
11. MASONRY ACCESSORIES SHALL BE CORROSION RESISTANT WITH A MINIMUM OF 5/8" MORTAR COVERAGE.
12. INSTALL HORIZONTAL JOINT REINFORCING IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS, UNLESS NOTED OTHERWISE. PLACE REINFORCEMENT AT 16" O.C. VERTICAL. REINFORCEMENT IS TO BE PLACED OVER ALL OPENINGS, AND EXTEND 48" ON EACH SIDE OF OPENING. ALL REINFORCING SHALL BE LAPPEDED 6" MINIMUM. STOP REINFORCING AT ALL CONTROL JOINTS.
13. CONTRACTOR TO PROTECT PARTIALLY COMPLETED MASONRY AGAINST WEATHER WHEN WORK IS NOT IN PROGRESS.
14. WALLS BELOW GRADE SHALL BE THOROUGHLY SET AND BRACED PRIOR TO BACKFILLING.
15. REFERENCE STANDARD, "SPECIFICATION FOR DESIGN AND CONSTRUCTION OF CONCRETE MASONRY" BY NATIONAL CONCRETE MASONRY ASSOCIATION.



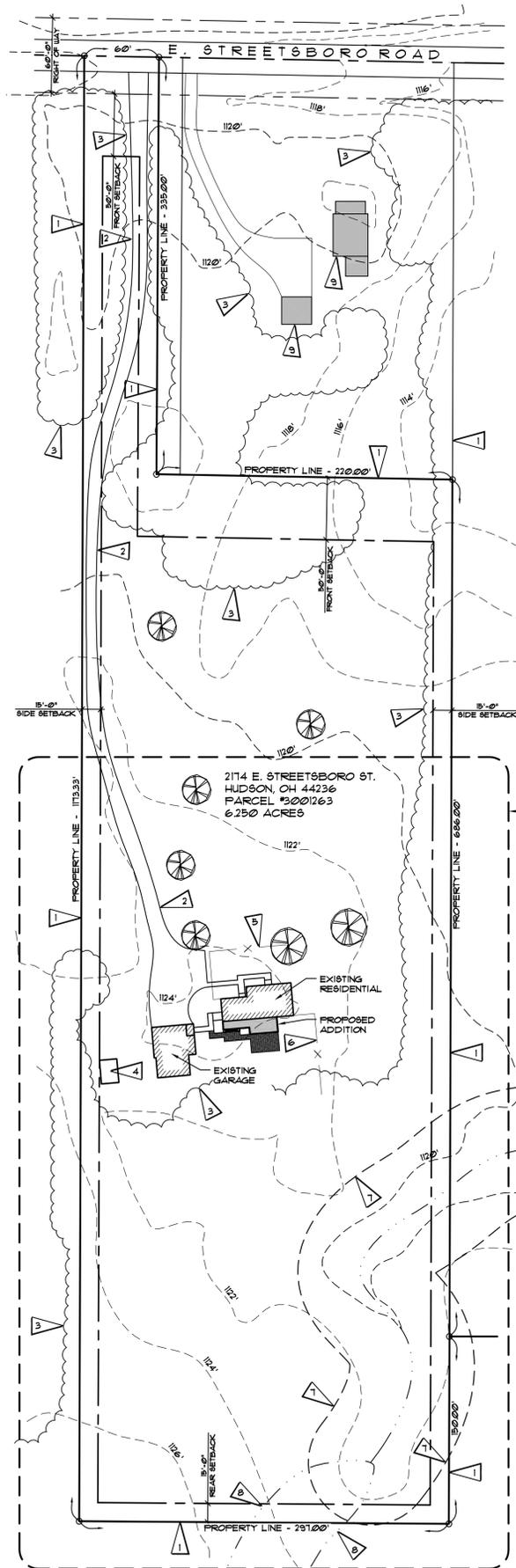
1. TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE LOCATED A MINIMUM OF 50 FT FROM STORM DRAIN INLETS, OPEN DRAINAGE FACILITIES, AND WATERCOURSES. FACILITY SHALL BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR ACCESS AREAS TO PREVENT DISTURBANCE OR TRACKING.
2. TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE CONSTRUCTED AS SHOWN ON THE DETAIL WITH A MINIMUM LENGTH AND MINIMUM WIDTH OF 10'.
3. LATH AND FLAGGING SHALL BE COMMERCIAL TYPE. PLASTIC LINING MATERIAL SHALL BE A MINIMUM OF 10 MIL POLYETHYLENE SHEETING AND SHALL BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.
4. A SIGN SHALL BE INSTALLED ADJACENT TO WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
5. TEMPORARY CONCRETE WASHOUT FACILITIES SHALL HAVE A TEMPORARY PIT OR BERMED AREAS OF SUFFICIENT VOLUME TO COMPLETELY CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT PROCEDURES.
6. WASHOUT OF CONCRETE TRUCKS SHALL BE PERFORMED IN DESIGNATED AREAS ONLY.
7. ONLY CONCRETE FROM MIXER TRUCK CHUTES SHOULD BE WASHED INTO CONCRETE WASHOUT.
8. CONCRETE WASHOUT FROM CONCRETE PUMPER TRUCKS AND DISCHARGED INTO DESIGNATED WASHOUT AREA OR PROPERLY DISPOSED OF OFFSITE.
9. CONCRETE WASTES SHALL BE ALLOWED TO HARDEN THEN BROKEN UP, REMOVED, AND PROPERLY DISPOSED OF IN ACCORDANCE WITH LOCAL REGULATION ON A REGULAR BASIS.
10. WHEN TEMPORARY WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR THE WORK, THE HARDENED CONCRETE SHALL BE REMOVED AND DISPOSED OF. MATERIALS USED TO CONSTRUCT THE WASHOUT FACILITIES SHALL BE REMOVED FROM THE SITE OF THE WORK AND DISPOSED OF.



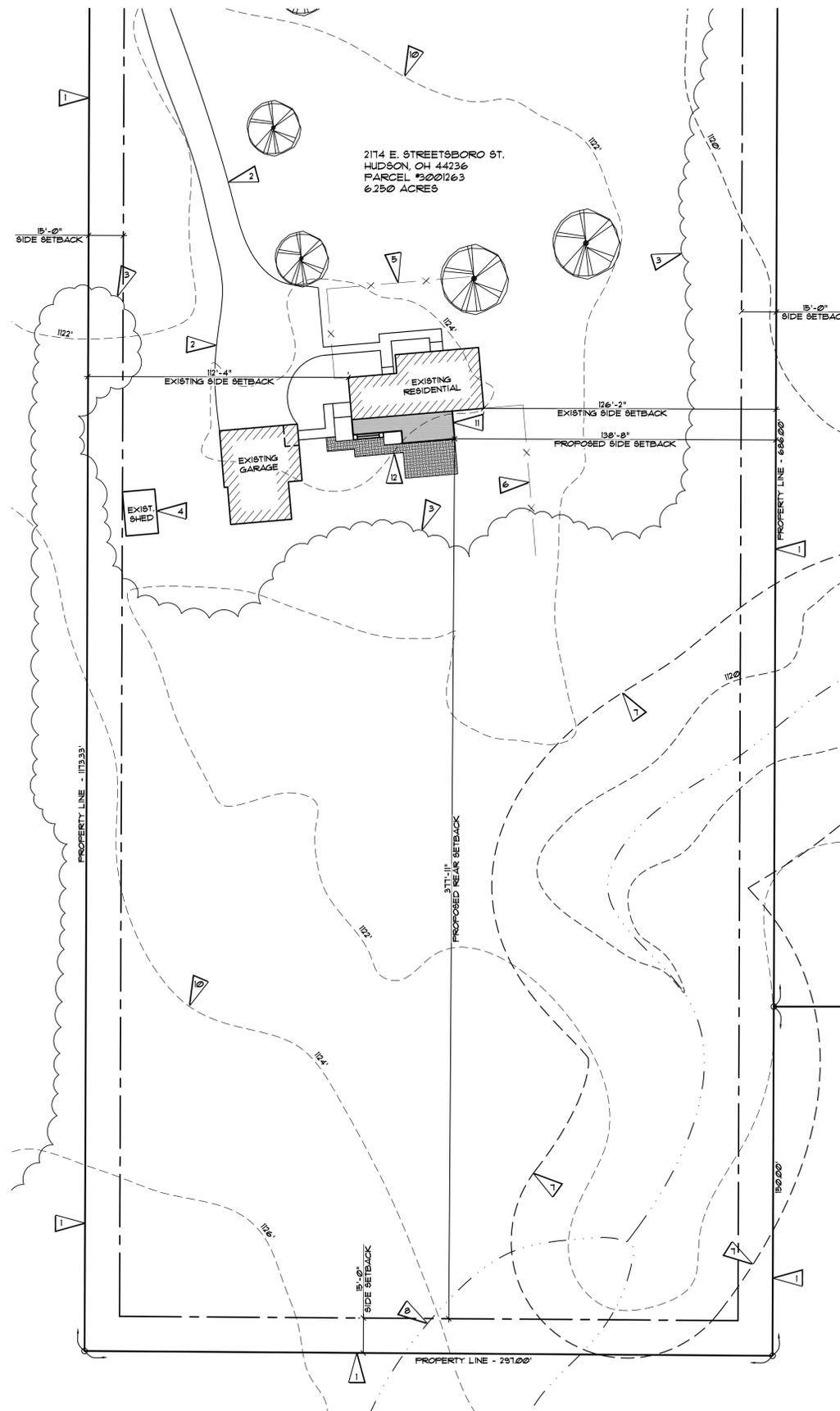
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**PROJECT**  
**RENOVATION & ADDITION:**  
**MARKWELL GUEST HOUSE**  
2174 E. STREETSBORO ST. HUDSON, OH 44286  
**DRAWING**  
**PROPOSED FLOOR PLANS**

**PROJECT NO.**  
**21100**  
**SHEET NO.**  
**CVR**



NORTH PROPOSED:  
**SITE PLAN**  
 SCALE: 1" = 60'-0"



NORTH PROPOSED:  
**ENLARGED SITE PLAN**  
 SCALE: 1" = 30'-0"

**ZONING NOTES:**

ZONING DISTRICT: DISTRICT 3 OUTER VILLAGE  
 RESIDENTIAL NEIGHBORHOOD

SETBACKS:  
 FRONT YARD = 50'-0" MIN.

SIDE YARD:  
 PRINCIPAL BUILDING = 15'-0"  
 ACCESSORY STRUCTURE = 15'-0"

REAR YARD:  
 PRINCIPAL BUILDING = 15'-0"  
 ACCESSORY GARAGE = 15'-0"

MAXIMUM STRUCTURE HEIGHT = 35'-0"  
 MAXIMUM IMPERVIOUS SURFACE COVERAGE:  
 SINGLE FAMILY = 40%

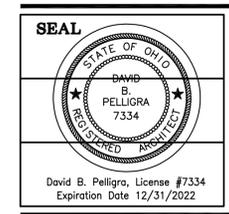
**FLAG NOTES:**

1	EXISTING PROPERTY LINE
2	APPROXIMATE EDGE OF EXISTING PAVEMENT
3	APPROXIMATE LINE OF EXISTING TREES
4	EXISTING SHED STRUCTURE
5	APPROXIMATE LOCATION EXISTING WOOD SPLIT-RAIL FENCE
6	APPROXIMATE LOCATION EXISTING WOOD PRIVACY FENCE
7	EDGE OF EXISTING 50' RIPARIAN SETBACK
8	APPROXIMATE EDGE OF EXISTING WETLANDS AREA
9	EXISTING RESIDENCE AND GARAGE STRUCTURE ON NEIGHBORING PROPERTY
10	EXISTING TOPOGRAPHY FROM SUMMIT COUNTY AERIAL (TO BE VERIFIED)
11	PROPOSED ADDITION SHOWN HATCHED
12	PROPOSED NEW PATIO



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REVISIONS  
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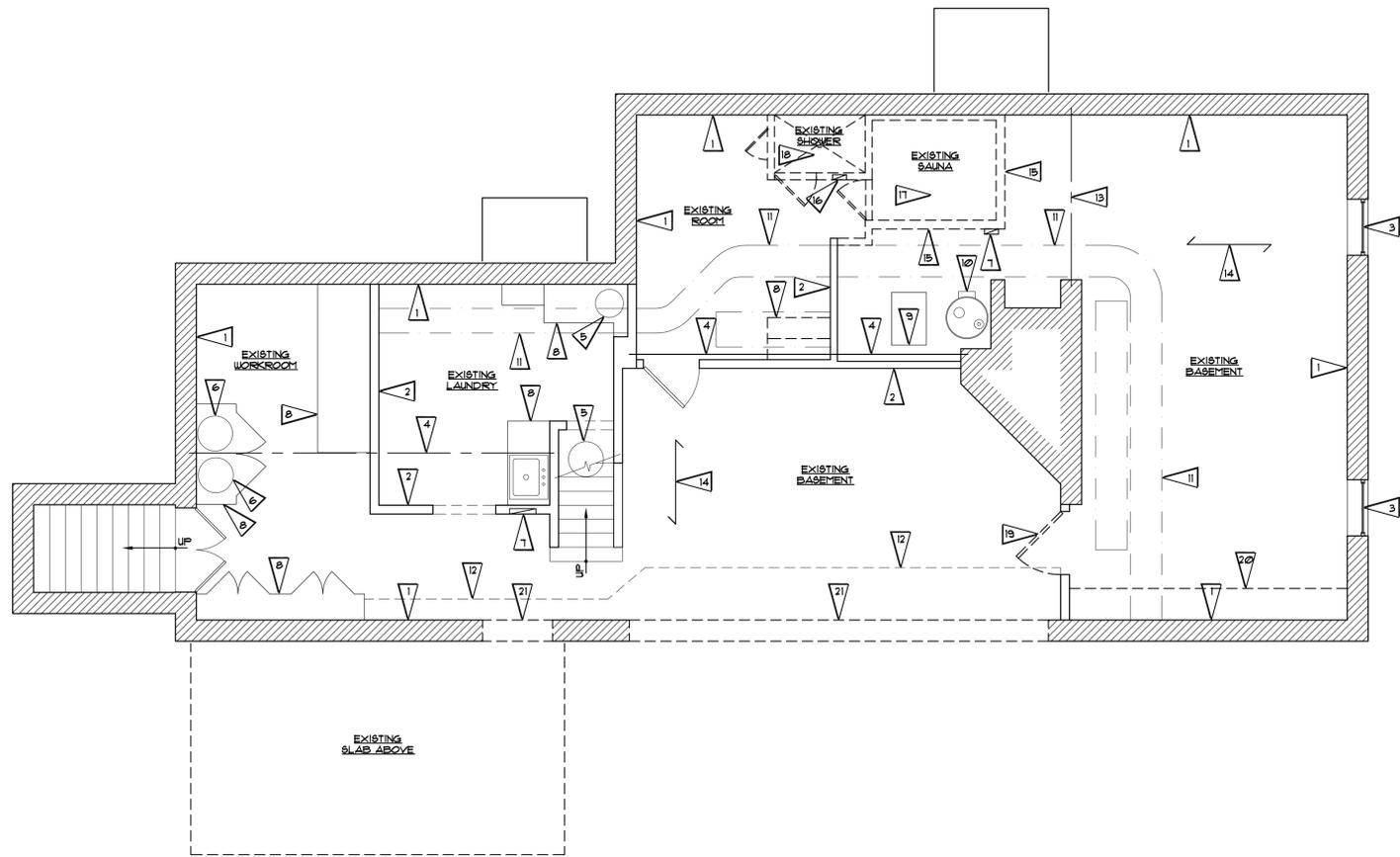
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PROJECT  
**RENOVATION & ADDITION**  
 MARKWELL GUEST HOUSE  
 2174 E. STREETSBORO ST. HUDSON, OHIO 44236

DRAWING  
**PROPOSED SITE PLAN**

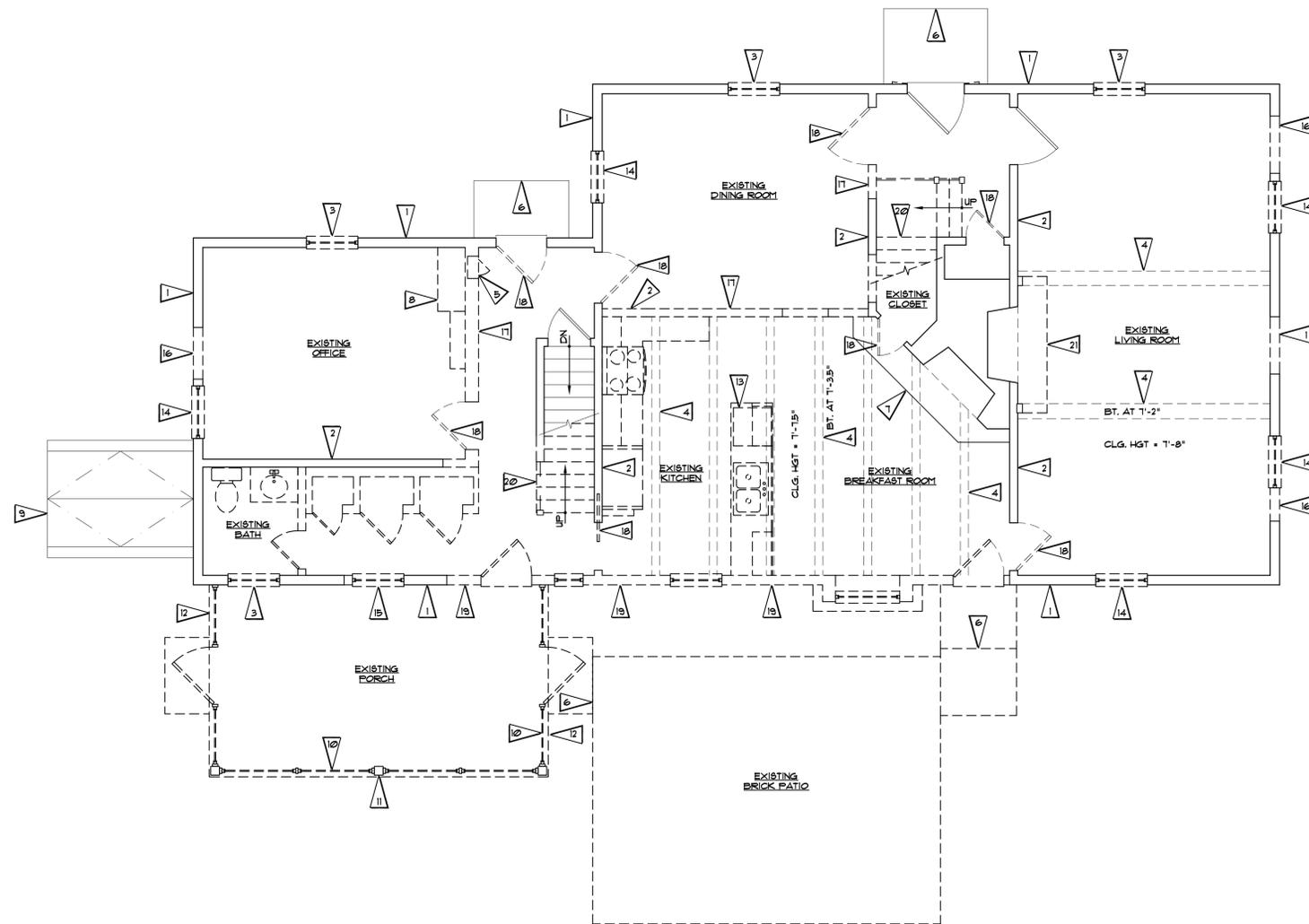
PROJECT NO.  
**21100**

SHEET NO.  
**C-1**



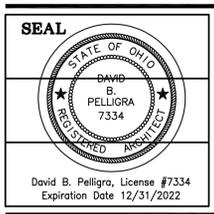
**BASEMENT DEMOLITION PLAN**  
SCALE: 1/4" = 1'-0"

1	EXISTING EXTERIOR CONCRETE BLOCK WALL ASSEMBLY	12	EXISTING PAINTED GYP. BD. SOFFIT ABOVE
2	EXISTING INTERIOR WALL ASSEMBLY	13	EXISTING WOOD BEAM (INSET INTO FLOOR FRAMING)
3	EXISTING EXTERIOR WINDOW, TYPICAL	14	EXISTING FLOOR JOISTS ABOVE
4	EXISTING STEEL BEAM ABOVE (8"x8.25")	15	REMOVE EXISTING INTERIOR WALLS SHOWN DASHED
5	EXISTING SUMP PUMP	16	REMOVE EXISTING ELECTRICAL PANEL, ABANDON AND REMOVE EXISTING SUPPLY WIRES BACK TO MAIN PANEL
6	EXISTING WATER TANKS AND EQUIPMENT	17	REMOVE EXISTING SAUNA AND ALL RELATED EQUIPMENT
7	EXISTING ELECTRICAL PANELS	18	REMOVE EXISTING SHOWER SURROUND AND PROPERLY ABANDON AND CAP ALL PLUMBING LINES NOT NEEDED FOR NEW WORK
8	EXISTING CABINETRY AND COUNTERS	19	REMOVE EXISTING DOOR AND DOOR FRAME SHOWN DASHED
9	EXISTING FURNACE	20	REMOVE EXISTING SHELVING SHOWN DASHED
10	EXISTING HOT WATER TANK	21	REMOVE EXISTING CONCRETE BLOCK WALL SHOWN SHADED.
11	EXISTING EXPOSED DUCTWORK ABOVE		



**FIRST FLOOR DEMOLITION PLAN**  
SCALE: 1/4" = 1'-0"

1	EXISTING EXTERIOR WOOD STUD WALL ASSEMBLY, EXTERIOR SIDING TO BE REMOVED AND SHEATHING PREPARE FOR NEW EXTERIOR FINISH SYSTEM	12	EDGE OF EXISTING RAISED BRICK PORCH FLOOR TO BE REMOVED
2	EXISTING INTERIOR WALL ASSEMBLY	13	EXISTING KITCHEN COUNTERS, CABINETS AND ANY RELATED ITEMS FOR BE REMOVED SHOWN DASHED
3	EXISTING EXTERIOR WINDOW TO BE REMOVED AND REPLACED WITH NEW, SEE EXTERIOR ELEVATIONS	14	EXISTING EXTERIOR WINDOW TO BE REMOVED EXISTING OPENING INFILLED, SEE FLOOR PLAN
4	EXISTING WOOD BEAM ABOVE TO REMAIN	15	EXISTING EXTERIOR WINDOW TO BE REMOVED AND PORTION OF EXISTING WALL STRUCTURE FOR NEW DOOR OPENING
5	EXISTING LAUNDRY CHUTE TO BE ELIMINATED	16	REMOVE PORTION OF EXISTING WALL ASSEMBLY FOR NEW WINDOW OPENING, SEE FLOOR PLAN
6	EXISTING STONE LANDING TO REMAIN	17	REMOVE PORTION OF EXISTING INTERIOR WALL ASSEMBLY SHOWN DASHED
7	EXISTING BRICK HEARTH TO REMAIN	18	REMOVE EXISTING DOOR AND DOOR FRAME SHOWN DASHED
8	EXISTING CABINETRY AND BOOKCASES TO BE REMOVED SHOWN DASHED	19	REMOVE FIRST FLOOR PORTION OF EXISTING EXTERIOR WALL ASSEMBLY SHOWN DASHED. SEE FLOOR PLAN FOR NEW SUPPORT STRUCTURE
9	EXISTING SLOPED WOOD DOORS TO BASEMENT TO REMAIN	20	REMOVE EXISTING STAIR STRUCTURE SHOWN DASHED. SEE FLOOR PLAN FOR NEW WORK.
10	ENTIRE EXISTING PORCH STRUCTURE TO BE REMOVED SHOWN DASHED AND AREA PREPARE FOR NEW WORK	21	REMOVE EXISTING MASONRY HEARTH SHOWN DASHED
11	EXISTING PAINTED 6x6 WOOD POST TO BE REMOVED, TYPICAL OF 3		

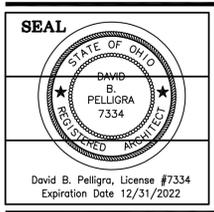


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**PROJECT**  
RENOVATION & ADDITION:  
MARKWELL GUEST HOUSE  
2174 E. STREETBORO ST. HUDSON, OH 44286  
**DRAWING**  
DEMOLITION PLANS

**PROJECT NO.**  
21100  
**SHEET NO.**  
A-1

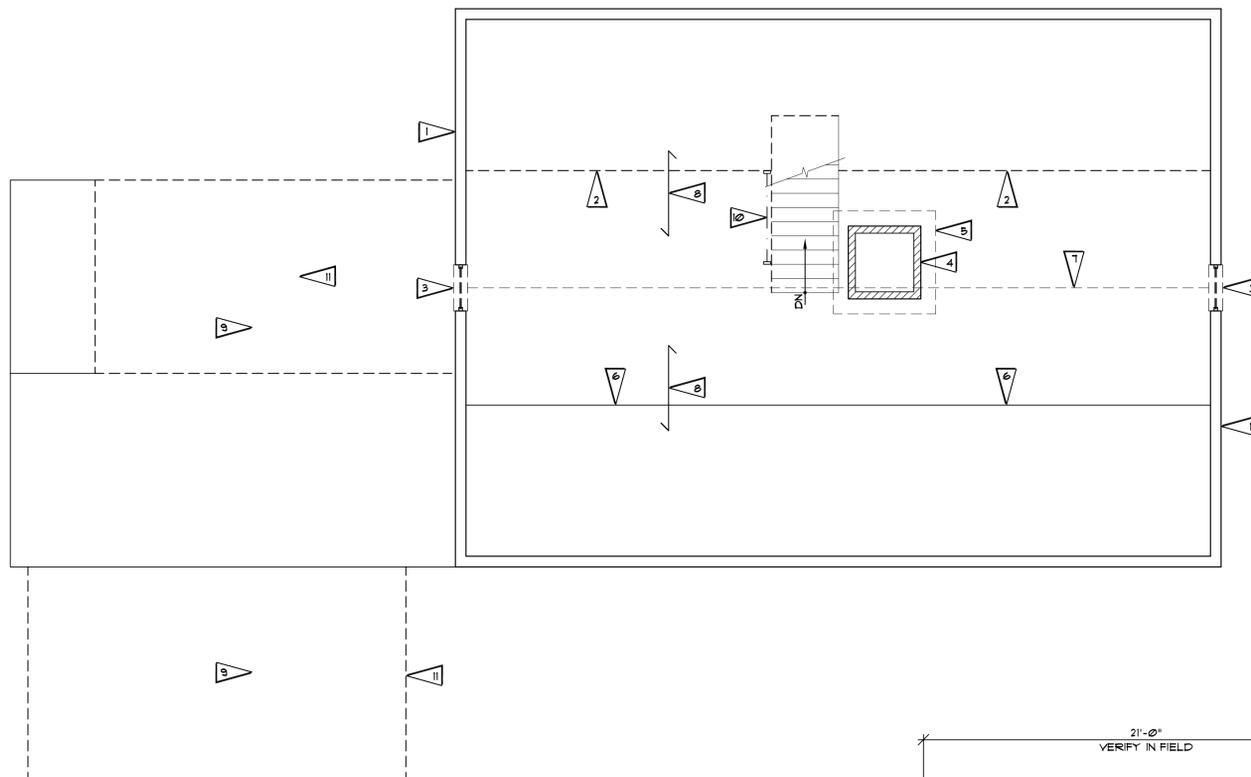


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**PROJECT**  
**RENOVATION & ADDITION:**  
 MARKWELL GUEST HOUSE  
 2174 E. STREETBORO ST. HUDSON, OH 44286  
**DRAWING**  
**DEMOLITION PLANS**

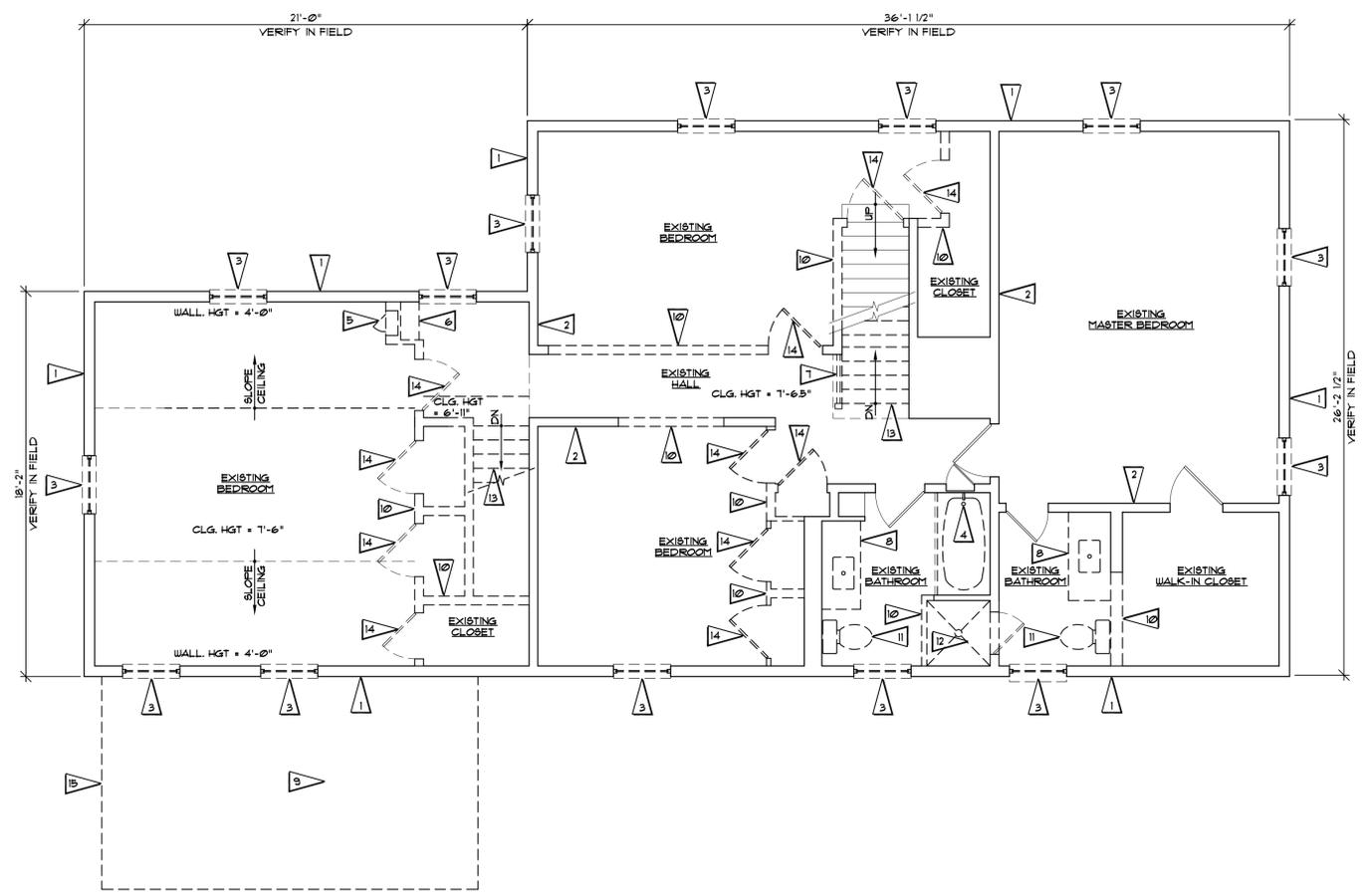
**PROJECT NO.**  
 21100  
**SHEET NO.**  
 A-2



**ATTIC FLOOR PLAN  
 FLAG NOTE SCHEDULE**

1	EXISTING EXTERIOR WOOD STUD WALL ASSEMBLY, EXTERIOR SIDING TO BE REMOVED AND SHEATHING PREPARE FOR NEW EXTERIOR FINISH SYSTEM
2	EXISTING PARTIAL HEIGHT FLYWOOD WALL TO BE REMOVED SHOWN DASHED
3	EXISTING EXTERIOR WINDOW TO BE REMOVED AND REPLACED WITH NEW, SEE EXTERIOR ELEVATIONS
4	EXISTING EXPOSED BRICK CHIMNEY
5	EXISTING EXPOSED BRICK CHIMNEY ABOVE SHOWN DASHED
6	EXISTING FLOOR LEVEL CHANGE
7	EXISTING ROOF RIDGE ABOVE - 1'-9.5" AFF
8	EXISTING 2X6 ROOF RAFTERS ABOVE
9	EXISTING ASPHALT SHINGLE ROOF BELOW TO BE REMOVED
10	EXISTING WOOD RAILING TO BE REMOVED
11	REMOVE PORTION OF EXISTING ROOF STRUCTURE FOR NEW DORMER, SEE EXTERIOR ELEVATIONS
12	OUTLINE OF SCREENED PORCH SPACE BELOW

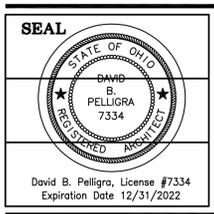
**NORTH** ATTIC LEVEL  
**DEMOLITION PLAN**  
 SCALE: 1/4" = 1'-0"



**SECOND FLOOR DEMOLITION PLAN  
 FLAG NOTE SCHEDULE**

1	EXISTING EXTERIOR WOOD STUD WALL ASSEMBLY, EXTERIOR SIDING TO BE REMOVED AND SHEATHING PREPARE FOR NEW EXTERIOR FINISH SYSTEM	10	EXISTING INTERIOR WALL TO BE REMOVED SHOWN DASHED
2	EXISTING INTERIOR WALL ASSEMBLY	11	REMOVE EXISTING PLUMBING FIXTURE SHOWN DASHED
3	EXISTING EXTERIOR WINDOW TO BE REMOVED AND REPLACED WITH NEW, SEE EXTERIOR ELEVATIONS, TYPICAL	12	REMOVE EXISTING SHOWER SURROUND AND ALL RELATED PLUMBING AND ITEMS. ABANDON AND CAP ALL PLUMBING NO LONGER NEEDED BACK TO MAIN.
4	EXISTING TUB/ SHOWER UNIT WITH TILE SURROUND TO BE REMOVED	13	REMOVE EXISTING STAIR STRUCTURE SHOWN DASHED
5	EXISTING LAUNDRY CHUTE TO BE REMOVED	14	REMOVE EXISTING DOOR AND DOOR FRAME SHOWN DASHED
6	EXISTING BOOKSHELVES TO BE REMOVED	15	OUTLINE OF SCREENED PORCH SPACE BELOW
7	EXISTING PAINTED WOOD RAILING TO BE REMOVED		
8	EXISTING VANITY CABINET TO BE REMOVED		
9	EXISTING ASPHALT SHINGLE ROOF BELOW TO BE REMOVED SHOWN DASHED		

**NORTH** SECOND FLOOR  
**DEMOLITION PLAN**  
 SCALE: 1/4" = 1'-0"



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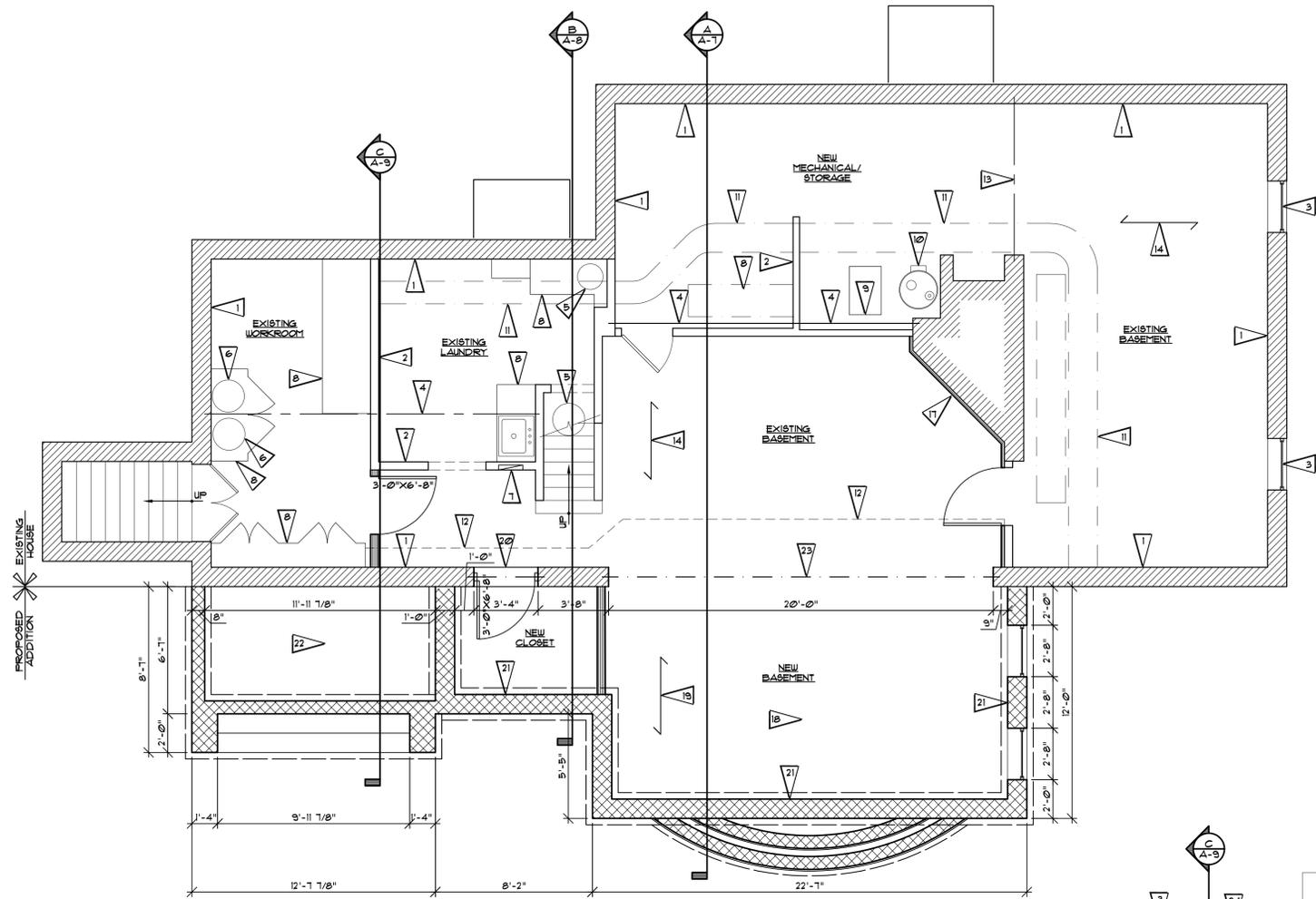
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**PROJECT**  
**RENOVATION & ADDITION:**  
 MARKWELL GUEST HOUSE  
 2174 E. STREETBORO ST. HUDSON, OH 44286  
**DRAWING**  
**PROPOSED FLOOR PLANS**

**PROJECT NO.**  
 21100  
**SHEET NO.**  
 A-3

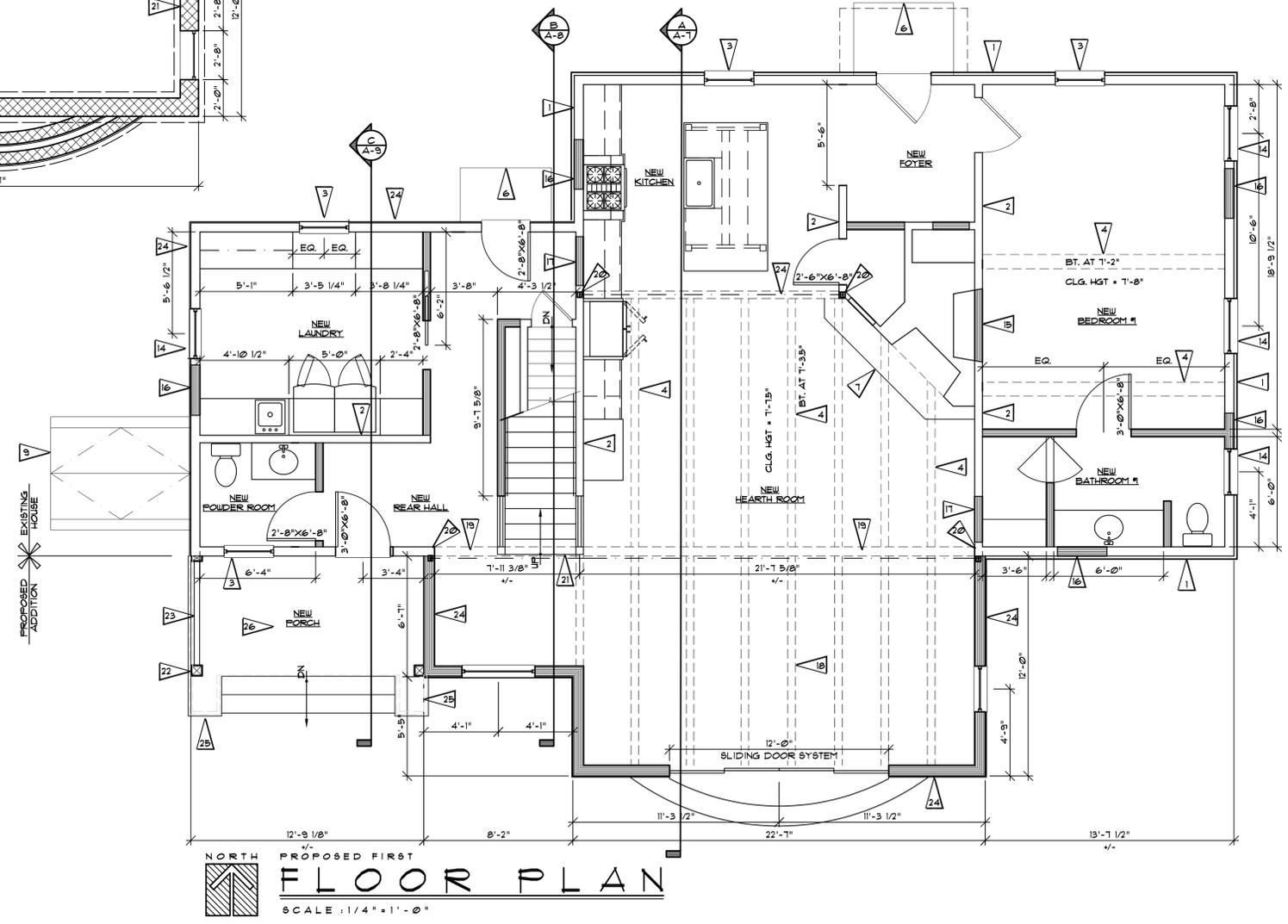
BASEMENT PLAN FLAG NOTE SCHEDULE			
1	EXISTING EXTERIOR CONCRETE BLOCK WALL ASSEMBLY	13	EXISTING WOOD BEAM (INSET INTO FLOOR FRAMING)
2	EXISTING INTERIOR WALL ASSEMBLY	14	EXISTING FLOOR JOISTS ABOVE
3	EXISTING EXTERIOR WINDOW, TYPICAL	15	NEW 1/2" GYP. BD. OVER 2X4 WOOD STUDS AT 16" O.C. MAINTAIN 1/2" MIN. AIR GAP BETWEEN NEW FRAMING AND EXISTING CMU. INSTALL 2" RIGID WALL INSULATION.
4	EXISTING STEEL BEAM ABOVE (8"X8.25")	16	NEW PAINTED WOOD SHELVING
5	EXISTING SUMP PUMP	17	NEW SHIPLAP PANELING OVER 2X WOOD FURRING SECURED TO EXISTING CMU WALL
6	EXISTING WATER TANKS AND EQUIPMENT	18	4" CONCRETE FLOOR THIS AREA
7	EXISTING ELECTRICAL PANELS	19	NEW 2X10'S FLOOR FLOOR JOISTS AT 16" O.C. ABOVE BEAR ALONG THIS FORMER EXTERIOR WALL
8	EXISTING CABINETRY AND COUNTERS	20	NEW 32" X 40" ACCESS DOOR
9	EXISTING FURNACE	21	NEW 12" CONCRETE BLOCK FOUNDATION WALLS, TYP.
10	EXISTING HOT WATER TANK	22	NEW SLAB ON GRADE ABOVE
11	EXISTING EXPOSED DUCTWORK ABOVE	23	NEW STEEL BEAM
12	EXISTING PAINTED GYP. BD. SOFFIT ABOVE	24	NEW 2X8'S FLOOR FLOOR JOISTS AT 16" O.C. ABOVE BEAR ALONG THIS FORMER INTERIOR WALL

SYMBOLS LEGEND	
	ROOM NAME AND NUMBER
	ELEVATION - LETTER AND SHEET
	FLAG NOTE - SEE SCHEDULE THIS SHEET
	WALL TYPE - SEE SCHEDULE THIS SHEET
	DOOR AND DOOR NUMBER - SEE DOOR SCHEDULE SHEET X-X

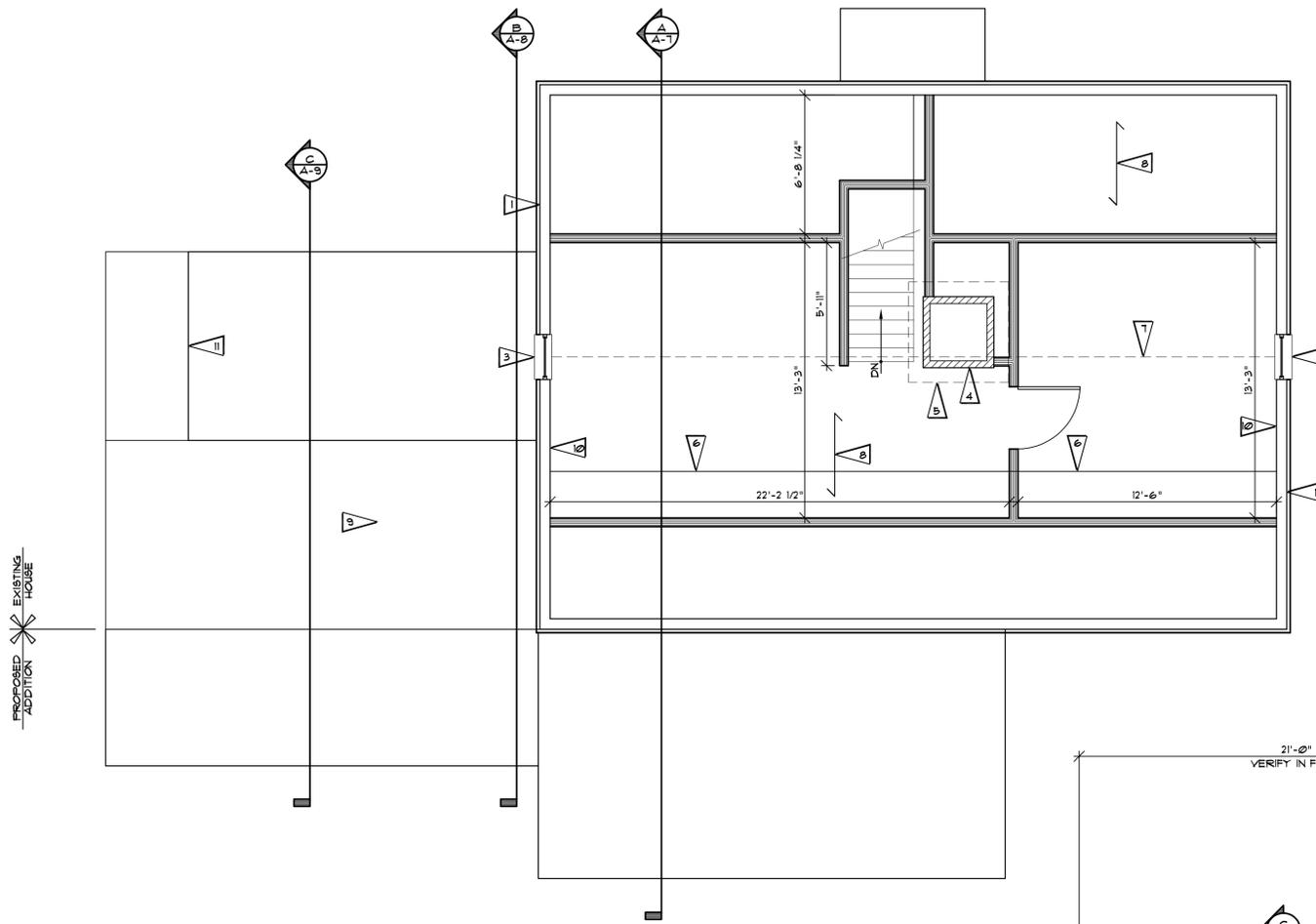


**PROPOSED BASEMENT FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

FIRST FLOOR PLAN FLAG NOTE SCHEDULE			
1	NEW STONE VENEER OVER EXISTING EXTERIOR WOOD STUD WALL ASSEMBLY	14	NEW WINDOW OPENING, SEE EXTERIOR ELEVATIONS
2	EXISTING INTERIOR WALL ASSEMBLY	15	INFILL EXISTING CHIMNEY FIREPLACE OPENING, SEAL EXISTING FLUE AS REQUIRED
3	NEW REPLACEMENT EXTERIOR WINDOW IN EXISTING OPENING, TYPICAL	16	INFILL EXISTING WINDOW OPENING WITH MATCHING FRAMING. PROVIDE FLUSH SURFACES ON BOTH SIDES
4	EXISTING WOOD BEAM ABOVE	17	INFILL EXISTING DOOR OPENING WITH MATCHING FRAMING. PROVIDE FLUSH SURFACES ON BOTH SIDES
5	EXISTING LAUNDRY CHUTE	18	NEW DECORATIVE WOOD BEAMS ABOVE TO MATCH EXISTING
6	EXISTING STONE LANDING	19	NEW WOOD BEAM WITH STEEL FLITCH, SEE FRAMING PLAN
7	EXISTING BRICK HEARTH	20	NEW STRUCTURAL SUPPORT COLUMN, PROVIDE SOLID BEARING DOWN TO FOUNDATION WALL
8	EXISTING CABINETRY AND BOOKCASES	21	NEW WOOD STAIR STRUCTURE UP TO SECOND FLOOR, SEE SECTION
9	EXISTING SLOPED WOOD DOORS TO BASEMENT	22	NEW 1X WRAPPED 6X6 TREATED WOOD COLUMN
10	EXISTING SINGLE PANEL GLASS WINDOW SYSTEM, TYPICAL AT EXISTING PORCH	23	WOOD RAILING
11	EXISTING PAINTED 6X6 WOOD POST, TYPICAL OF 3	24	NEW SIDING (SEE EXTERIOR ELEVATIONS) OVER TYVEK HOUSE WRAP OVER 1/2" PLYWOOD SHEATHING OVER 2X6 WOOD STUDS AT 16" O.C. WITH BATT INSULATION AND 1/2" GYP. BD. ON INTERIOR SIDE
12	EDGE OF EXISTING RAISED BRICK PORCH FLOOR	25	NEW MASONRY PLANTER
13	EXISTING DISHWASHER LOCATION	26	NEW CONCRETE PORCH SLAB



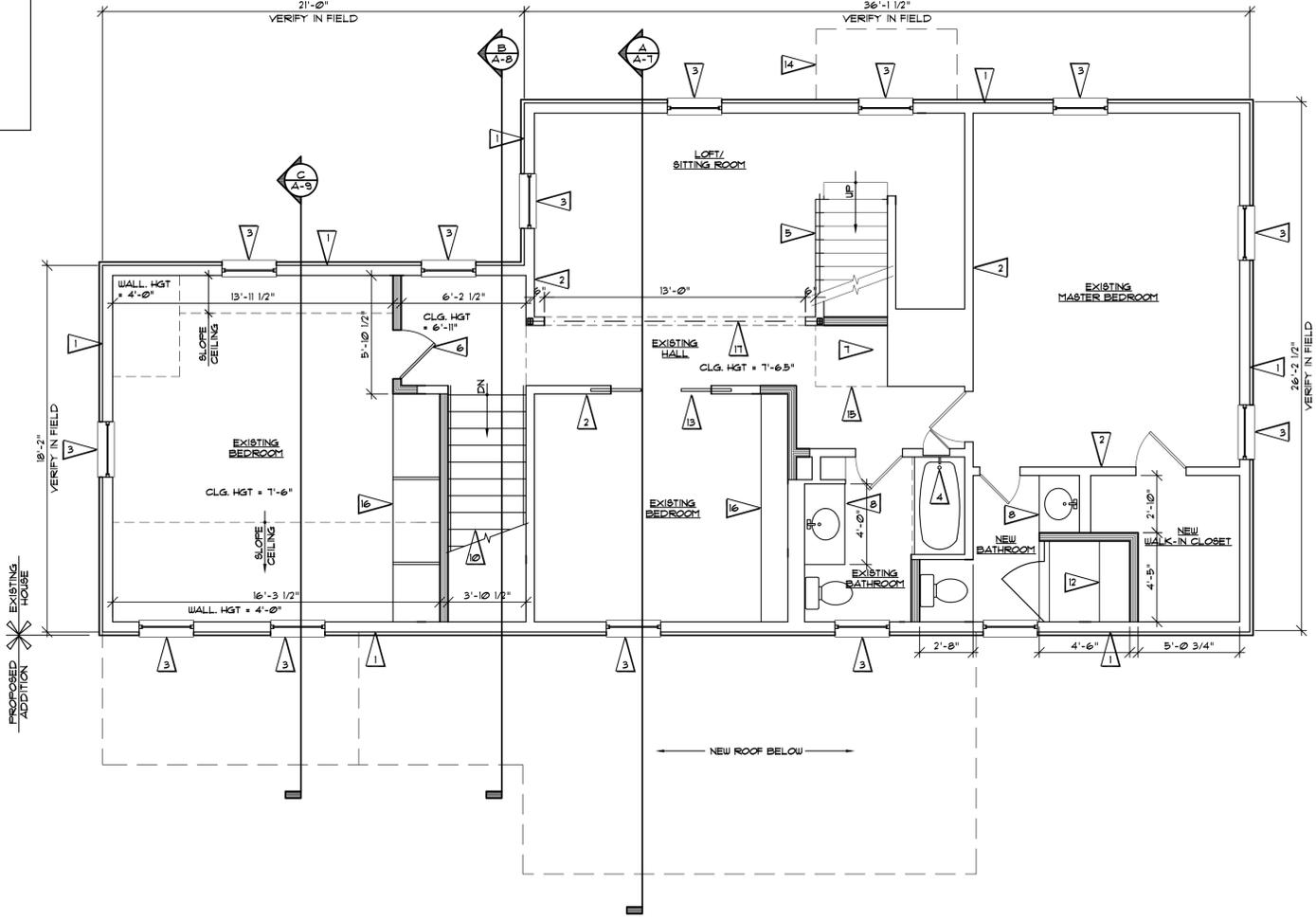
**PROPOSED FIRST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"



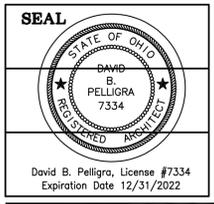
ATTIC FLOOR PLAN FLAG NOTE SCHEDULE	
1	NEW STONE VENEER OVER EXISTING EXTERIOR WOOD STUD WALL ASSEMBLY
2	NEW REPLACEMENT EXTERIOR WINDOW IN EXISTING OPENING, TYPICAL
3	EXISTING EXPOSED BRICK CHIMNEY
4	EXISTING EXPOSED BRICK CHIMNEY ABOVE SHOWN DASHED
5	EXISTING FLOOR LEVEL CHANGE
6	EXISTING ROOF RIDGE ABOVE - T'-95" AFF
7	EXISTING ROOF RAFTERS
8	EXISTING ROOF BELOW
9	INSULATE AND INSTALL 1/2" GYP. BD. OVER EXISTING WOOD FRAMED EXTERIOR WALL
10	NEW DORMER ROOF, SEE EXTERIOR ELEVATIONS

NORTH  
 PROPOSED ATTIC  
**FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

SECOND FLOOR PLAN FLAG NOTE SCHEDULE	
1	NEW STONE VENEER AND WOOD SIDING OVER EXISTING EXTERIOR WOOD STUD WALL ASSEMBLY, SEE EXTERIOR ELEVATIONS
2	EXISTING INTERIOR WALL ASSEMBLY
3	NEW REPLACEMENT EXTERIOR WINDOW IN EXISTING OPENING, TYPICAL
4	NEW TUB/SHOWER UNIT WITH TILE SURROUND
5	NEW WIDEN STAIRS UP TO ATTIC
6	NEW WOOD WOOD DOOR TO MATCH EXISTING
7	INFILL SECOND FLOOR OPENING FROM REMOVED STAIRS. ALIGN FINISH SURFACES
8	NEW VANITY CABINET
9	NEW ROOF STRUCTURE BELOW
10	NEW WOOD STAIRS FROM FIRST FLOOR
11	NEW CABINETS, SEE INTERIOR ELEVATIONS
12	NEW TILE SHOWER WITH TILE BENCH
13	PAIR OF NEW 2'-6" X 6'-8" GLASS POCKET DOORS
14	NEW CANOPY STRUCTURE OVER EXISTING FRONT DOOR
15	SLOPED CEILING TO REMAIN (BOTTOM OF EXISTING STAIR STRUCTURE)
16	NEW CABINETRY/MILLWORK BY OTHERS
17	NEW BEAM, SEE FRAMING PLAN



NORTH  
 PROPOSED SECOND  
**FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"



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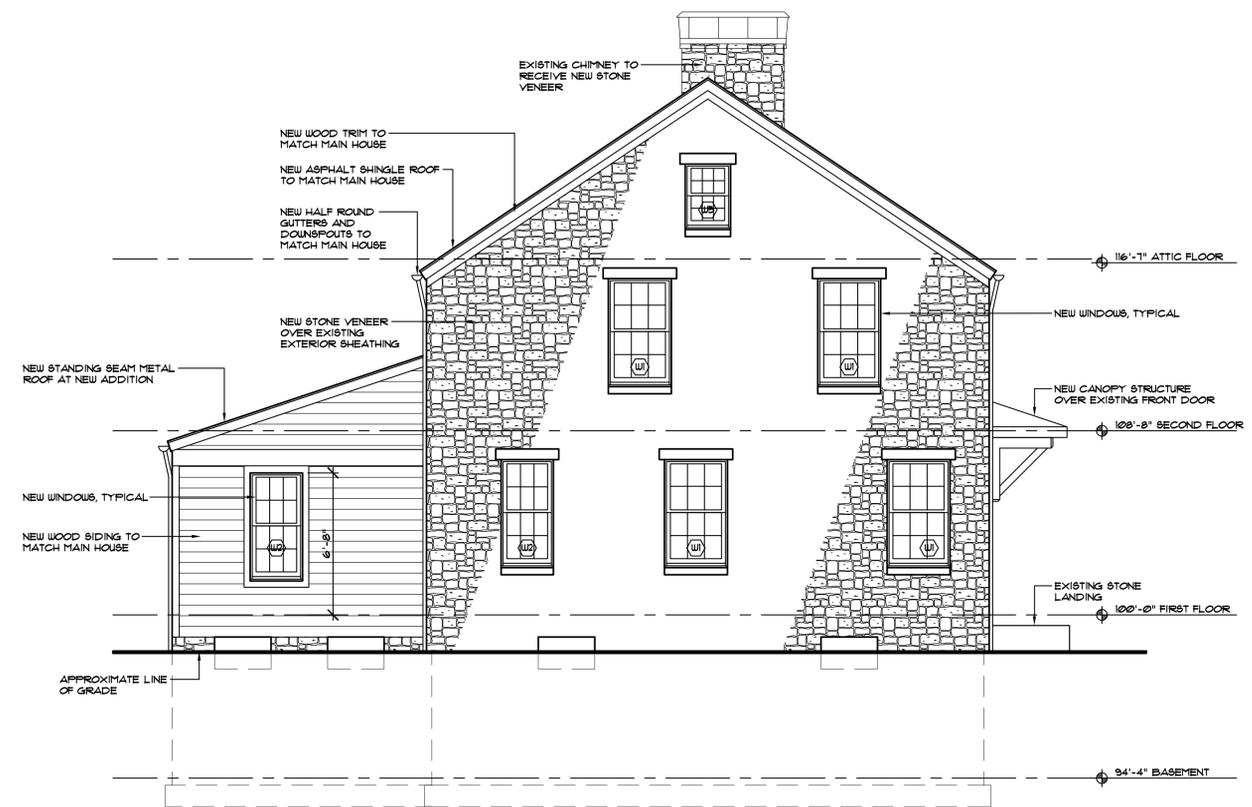
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**PROJECT**  
**RENOVATION & ADDITION:**  
 MARKWELL GUEST HOUSE  
 2174 E. STREETBORO ST. HUDSON, OH 44286  
**DRAWING**  
**PROPOSED FLOOR PLANS**

**PROJECT NO.**  
 21100  
**SHEET NO.**  
 A-4



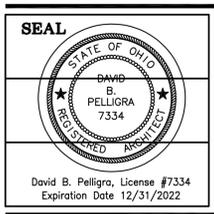
PROPOSED  
**NORTH ELEVATION**  
 SCALE : 1/4" = 1'-0"



PROPOSED  
**EAST ELEVATION**  
 SCALE : 1/4" = 1'-0"

WINDOW SCHEDULE					
MARK	MODEL NUMBER	UNIT DIMENSIONS	EGRESS UNIT	WINDOW TYPE	REMARKS
(U)	TU210410	2'-11 5/8" X 5'-0 7/8"	O	DOUBLE HUNG	
(U)	TU24410	2'-5 5/8" X 5'-0 7/8"		DOUBLE HUNG	
(U)	TU26410	2'-7 5/8" X 5'-0 7/8"		DOUBLE HUNG	
(U)	TU2646	2'-7 5/8" X 4'-8 7/8"		DOUBLE HUNG	
(U)	TU20210	2'-1 5/8" X 3'-0 7/8"		DOUBLE HUNG	
(U)	CX135	2'-15" X 3'-4 13/16"	O	CASEMENT	
(U)	DHP31046	3'-11 5/16" X 4'-8 7/8"		PICTURE	
(U)	AR281	2'-7 5/8" X 1'-5"		AWNING	
(U)	A21	2'-0 1/8" X 2'-0 1/8"		AWNING	

NOTES:  
 1. BASIS OF WINDOW TYPES = ANDERSON 400 SERIES WINDOWS.



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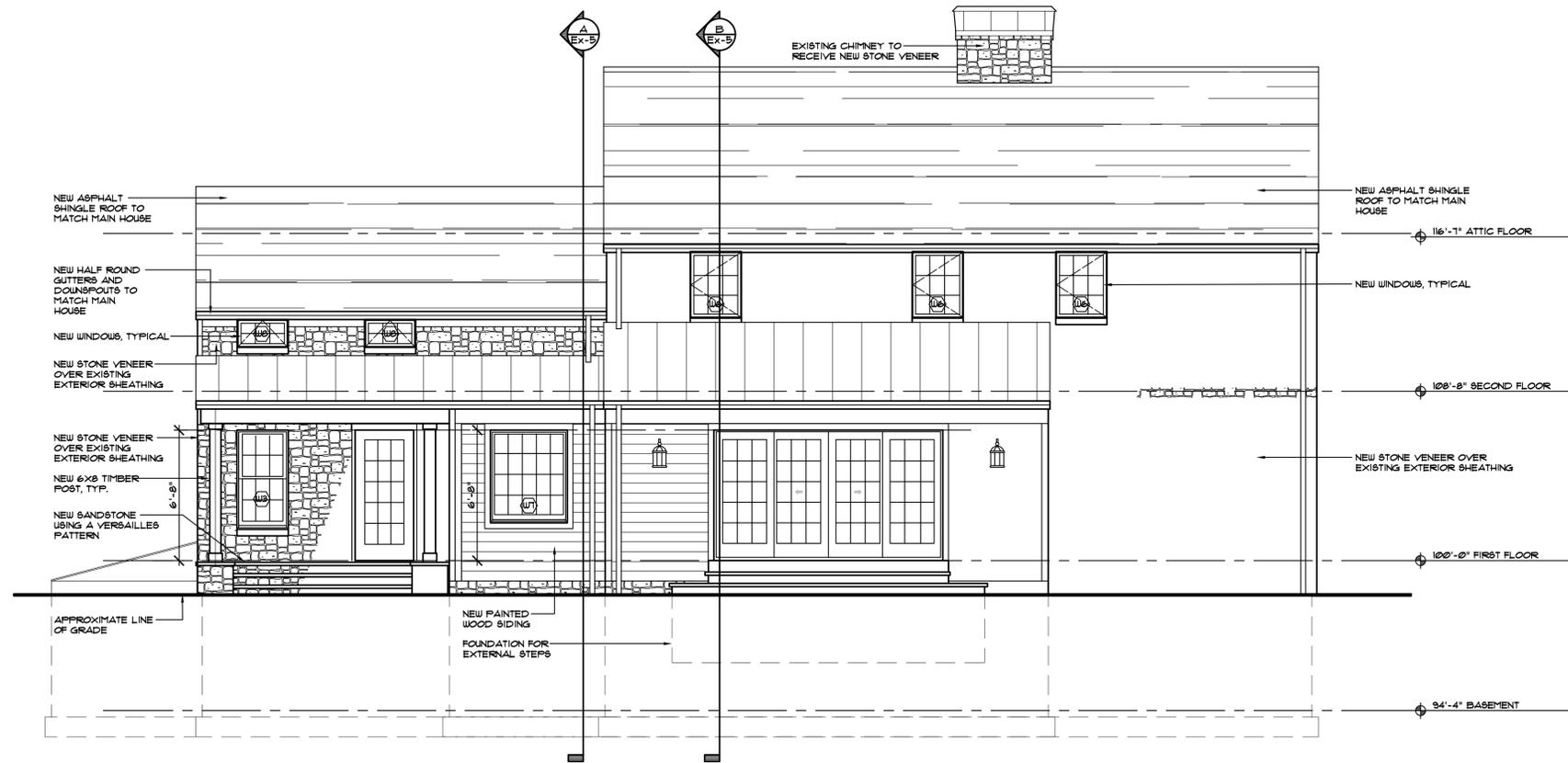
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**PROJECT**  
**RENOVATION & ADDITION:**  
 MARKWELL GUEST HOUSE  
 2174 E. STREETBORO ST. HUDSON, OH 44286

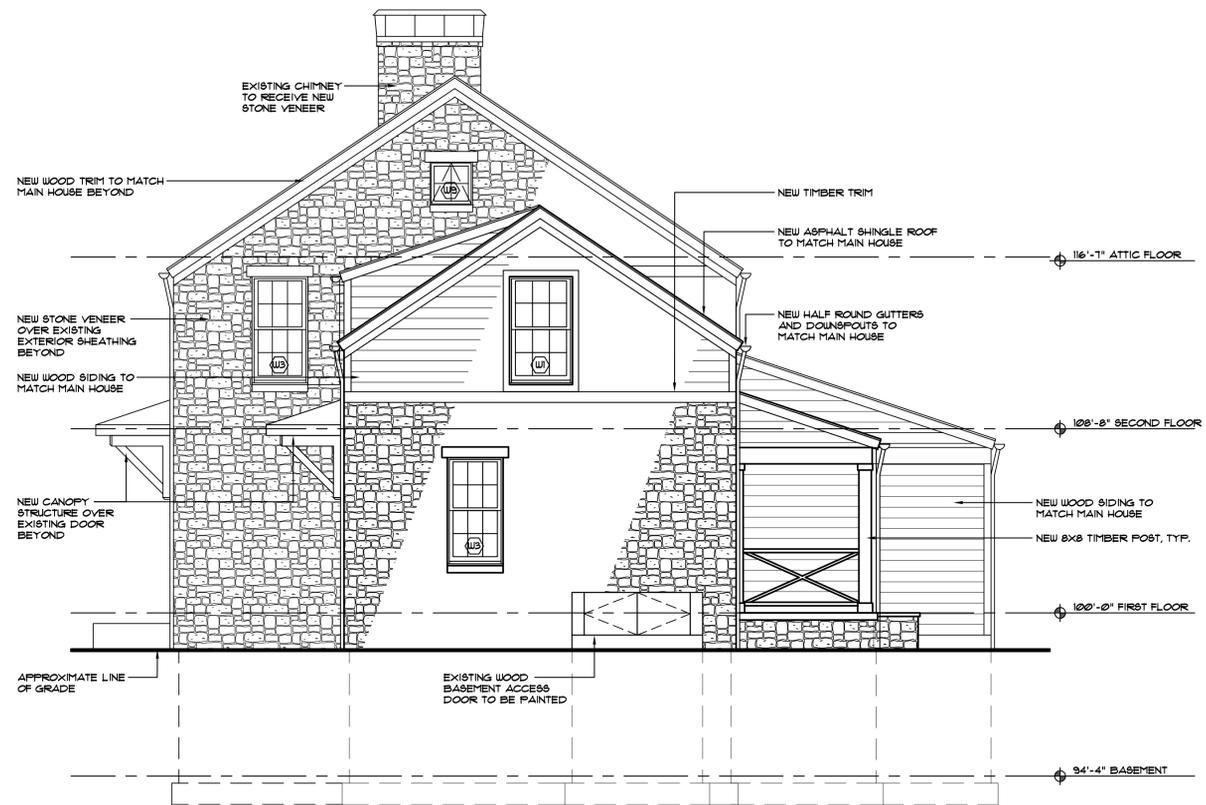
**DRAWING**  
**PROPOSED ELEVATIONS**

**PROJECT NO.**  
 21100

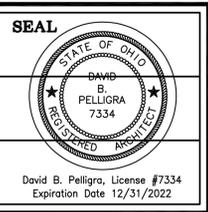
**SHEET NO.**  
 A-5



PROPOSED  
 SOUTH ELEVATION  
 SCALE : 1/4" = 1'-0"



PROPOSED  
 WEST ELEVATION  
 SCALE : 1/4" = 1'-0"



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PROJECT  
**RENOVATION & ADDITION:**  
 MARKWELL GUEST HOUSE  
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 DRAWING  
**PROPOSED ELEVATIONS**

PROJECT NO.  
 21100  
 SHEET NO.  
 A-6

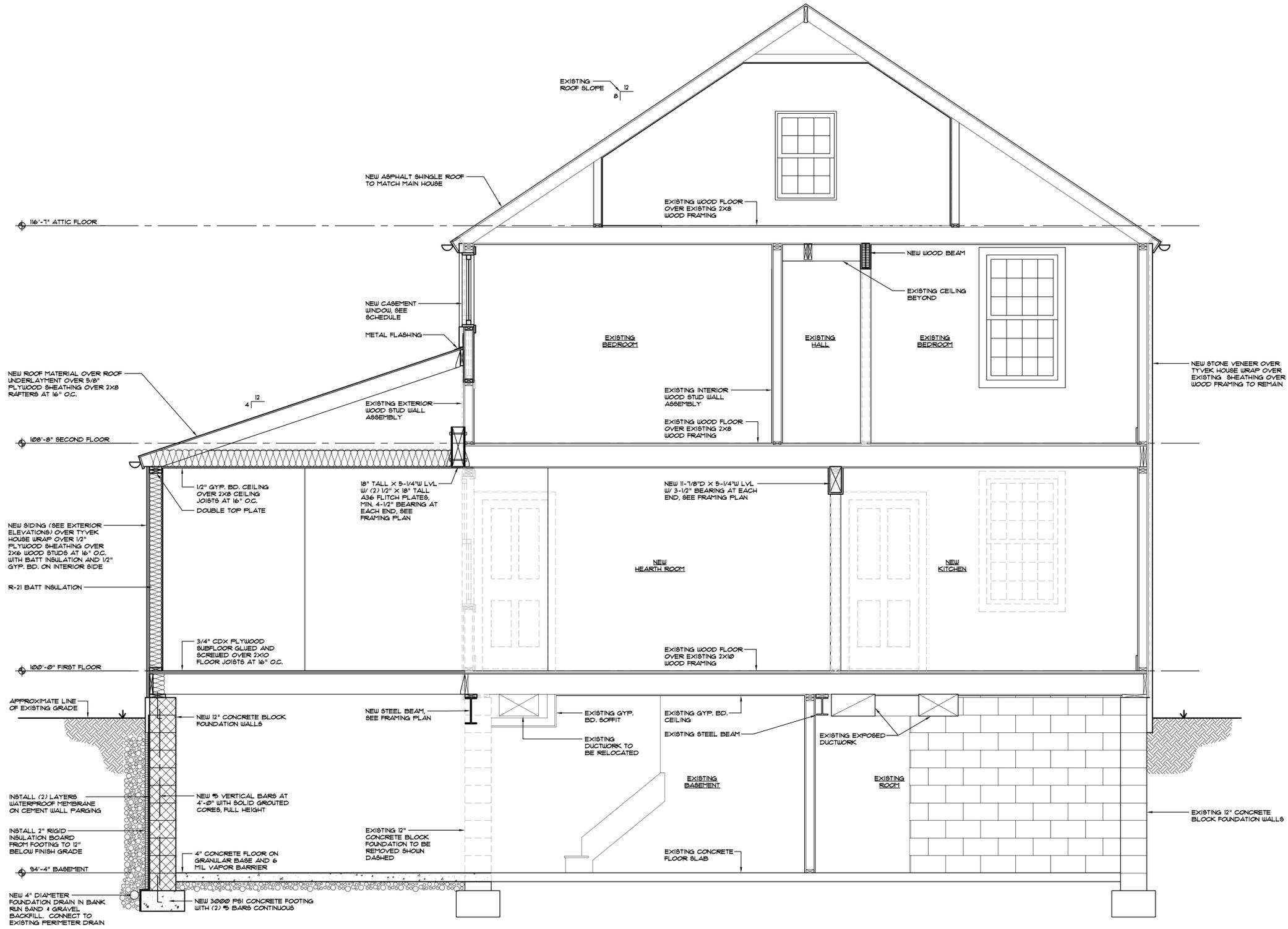


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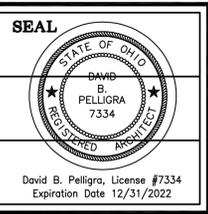
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**PROJECT**  
**RENOVATION & ADDITION:**  
 MARKWELL GUEST HOUSE  
 2174 E. STREETBORO ST. HUDSON, OH 44286  
**DRAWING**  
**BUILDING SECTION**

**PROJECT NO.**  
 21100  
**SHEET NO.**  
 A-7



PROPOSED  
**BUILDING SECTION**  
 SCALE: 1/2" = 1'-0"

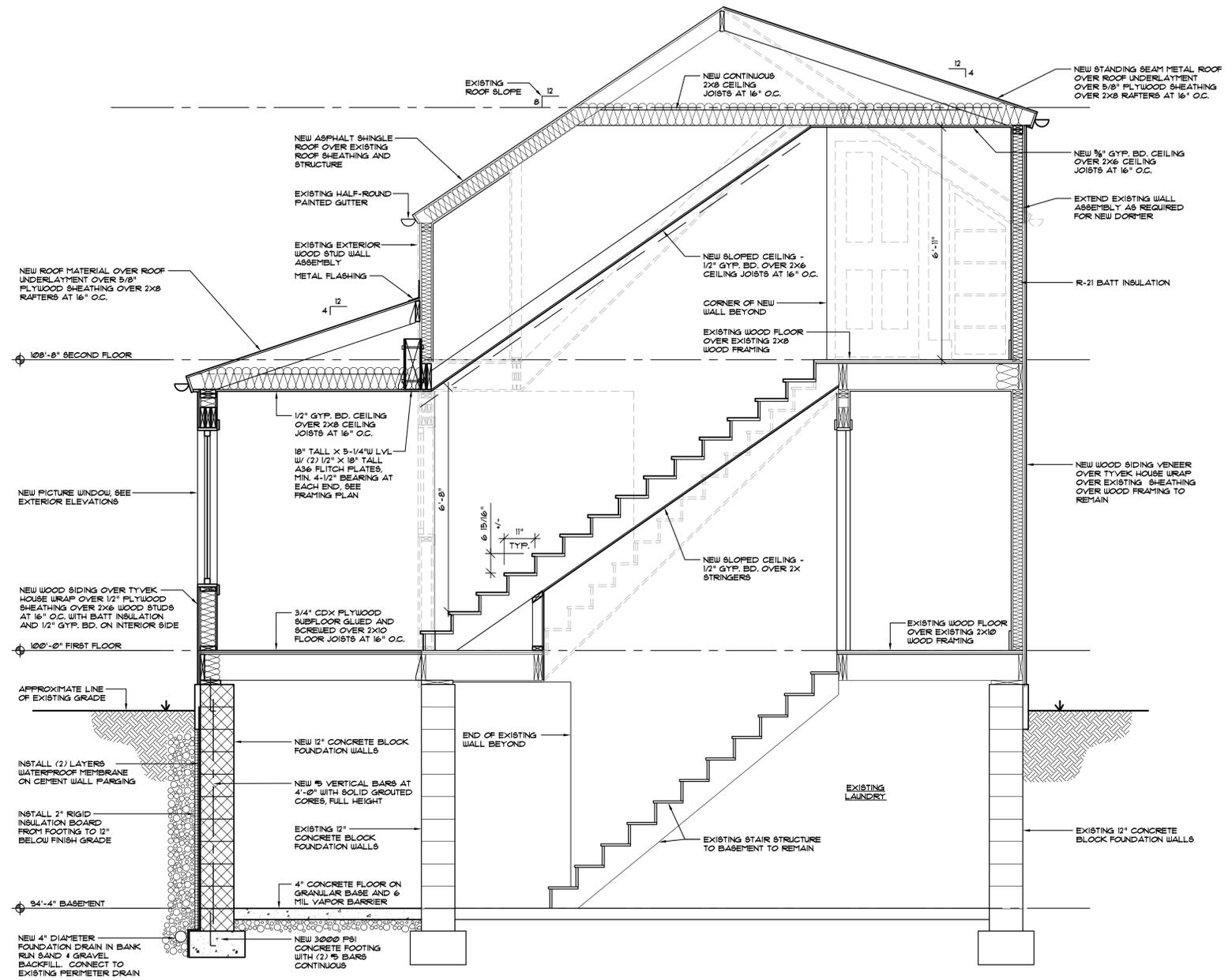


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**PROJECT**  
**RENOVATION & ADDITION:**  
 MARKWELL GUEST HOUSE  
 2174 E. STREETBORO ST. HUDSON, OH 44286  
**DRAWING**  
**BUILDING SECTION**

**PROJECT NO.**  
 21100  
**SHEET NO.**  
 A-8



**PROPOSED**  
**B BUILDING SECTION**  
 SCALE: 1/2" = 1'-0"

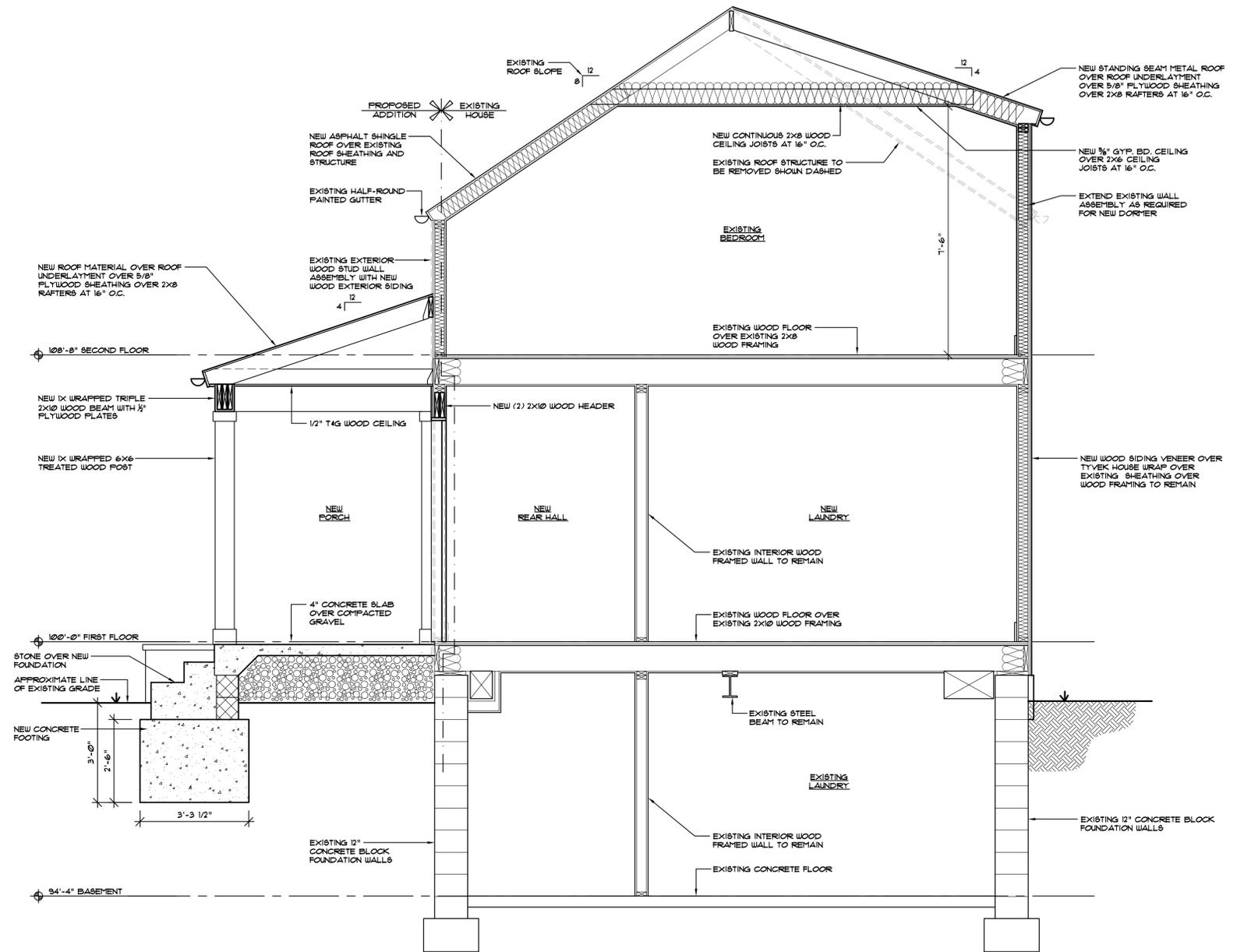


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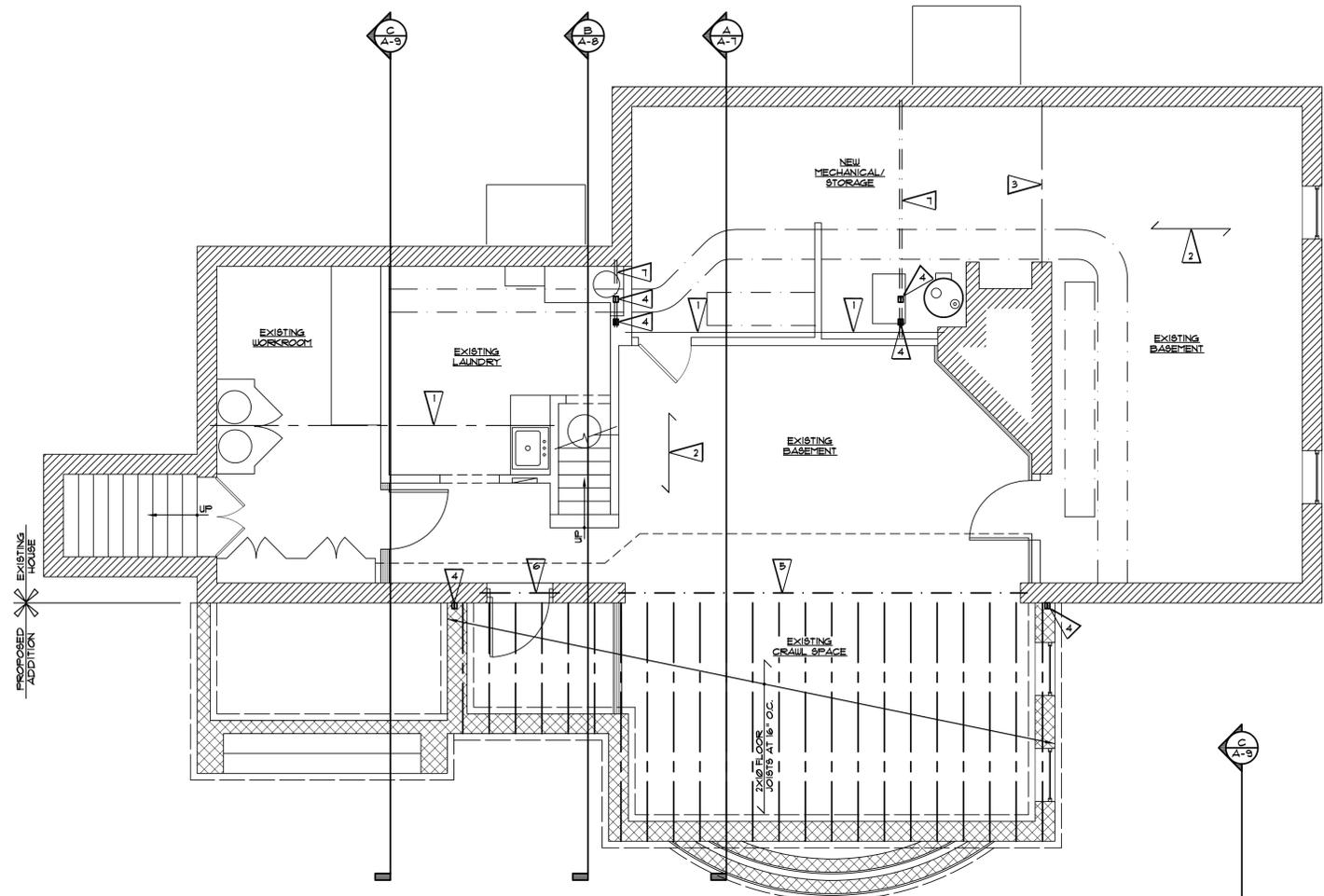
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**PROJECT**  
**RENOVATION & ADDITION:**  
 MARKWELL GUEST HOUSE  
 2174 E. STREETBORO ST. HUDSON, OH 44286  
**DRAWING**  
**BUILDING SECTION**

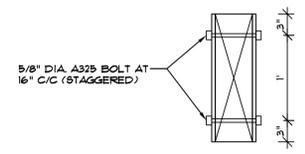
**PROJECT NO.**  
 21100  
**SHEET NO.**  
 A-9



PROPOSED  
**C BUILDING SECTION**  
 A-9 SCALE: 1/2" = 1'-0"



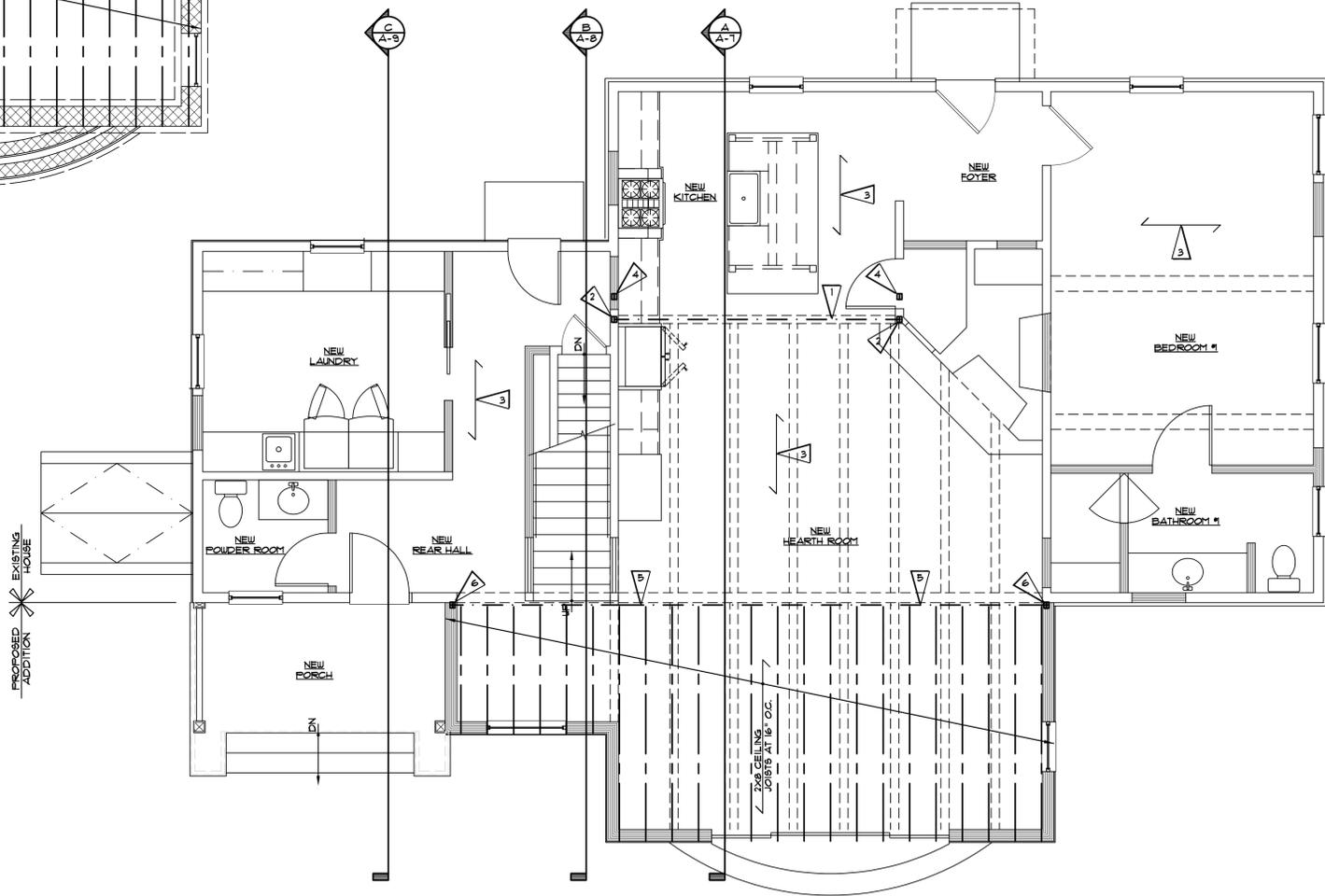
NORTH  
**PROPOSED FIRST FLOOR FRAMING PLAN**  
 SCALE: 1/4" = 1'-0"



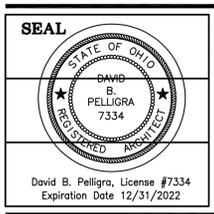
FIRST FLOOR FRAMING PLAN FLAG NOTE SCHEDULE	
1	NEW 11'-7/8" D X 5'-1/4" W LVL W 21280 FT-LB. MOMENT CAPACITY W/ 3-1/2" BEARING AT EACH END
2	NEW 4X4 WOOD POSTS, PROVIDE SOLID BEARING DOWN TO STRUCTURE BELOW
3	EXISTING SECOND FLOOR JOISTS ABOVE
4	BEARING POINT LOAD FROM ABOVE, PROVIDE SOLID BEARING IN EXISTING WALL STRUCTURE
5	18" TALL X 5'-14" W LVL W 59283 FT - LB MOMENT CAPACITY W/ (2) 1/2" X 18" TALL A36 FLITCH PLATES, MIN. 4-1/2" BEARING AT EACH END, OR VERSA LAM 2 IE-312 @ 24" D X 5'-1/4" W, OR MC18X51.9
6	NEW 6X6 WOOD POSTS OR 3" DIA. SCH. 40 PIPE COLUMN W/ 1/2" PLATE CAP & 4 BASE (TYP. OF 2), PROVIDE SOLID BEARING DOWN TO STRUCTURE BELOW

BASEMENT PLAN FLAG NOTE SCHEDULE	
1	EXISTING STEEL BEAM ABOVE (8"X5.25")
2	EXISTING FLOOR JOISTS ABOVE
3	EXISTING WOOD BEAM (INSET INTO FLOOR FRAMING)
4	BEARING POINT LOAD FROM ABOVE
5	NEW W10X33 OR 12X26 STEEL BEAM WITH 6" BEARING ON SOLID MASONRY AT EACH END (FOR Δ = 1/360 - TOTAL LOAD) (DL+10 PSF, LL+60 PSF)
6	NEW STEEL LINTEL
7	PROVIDE (2) NEW FLOOR JOISTS AT BEARING LOCATION FROM ABOVE

SYMBOLS LEGEND	
ROOM [116]	- ROOM NAME AND NUMBER
X-A-X	- ELEVATION - LETTER AND SHEET
▽	- FLAG NOTE - SEE SCHEDULE THIS SHEET
⊥	- WALL TYPE - SEE SCHEDULE THIS SHEET
⊕	- DOOR AND DOOR NUMBER - SEE DOOR SCHEDULE SHEET X-X



NORTH  
**PROPOSED FIRST FLOOR CEILING FRAMING PLAN**  
 SCALE: 1/4" = 1'-0"

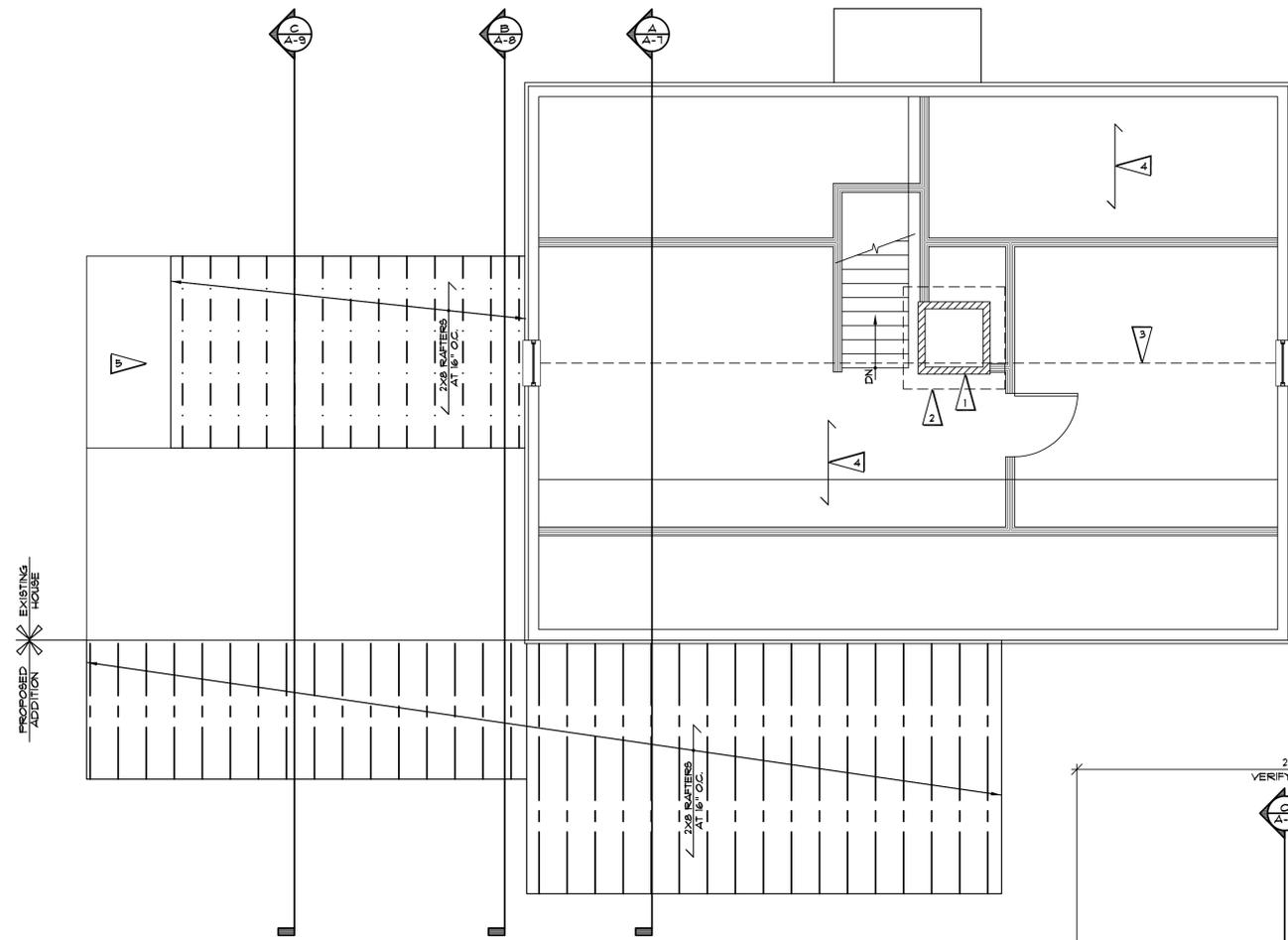


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 MARKWELL GUEST HOUSE  
 2174 E. STREETBORO ST. HUDSON, OH 44286  
**DRAWING**  
**PROPOSED FRAMING PLANS**

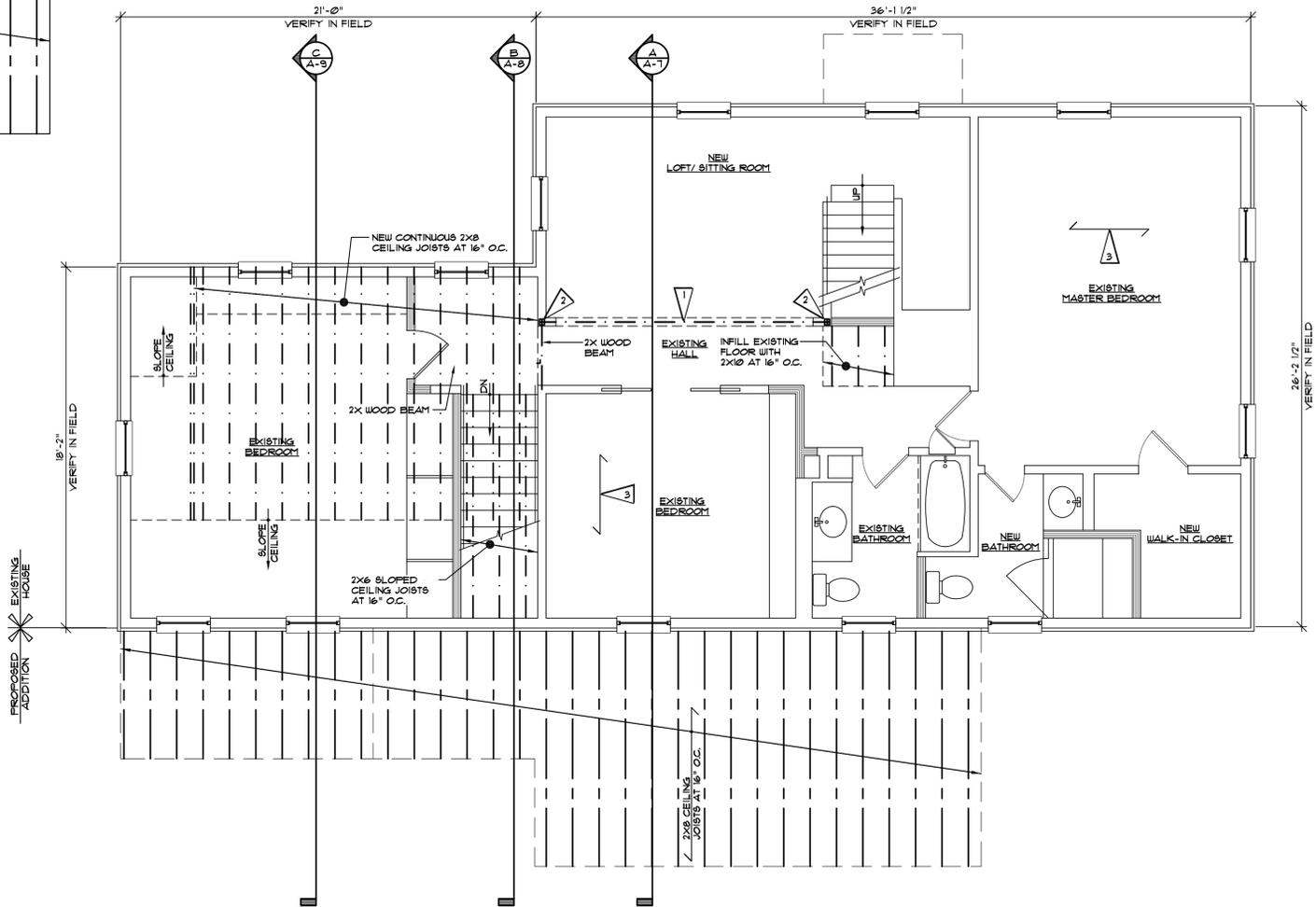
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**SHEET NO.**  
 S-1



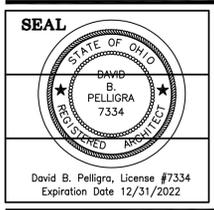
ATTIC FRAMING PLAN FLAG NOTE SCHEDULE	
1	EXISTING EXPOSED BRICK CHIMNEY
2	EXISTING EXPOSED BRICK CHIMNEY ABOVE SHOWN DASHED
3	EXISTING ROOF RIDGE ABOVE - 1'-9.5" AFF
4	EXISTING ROOF RAFTERS
5	EXISTING ROOF STRUCTURE BELOW TO REMAIN

NORTH  
PROPOSED ATTIC / ROOF  
**FRAMING PLAN**  
SCALE : 1/4" = 1'-0"

SECOND FLOOR FRAMING PLAN FLAG NOTE SCHEDULE	
1	NEW 11-7/8" D X 5-1/4" W LVL W/ 3-1/2" BEARING AT EACH END
2	NEW STRUCTURAL SUPPORT COLUMN PROVIDE SOLID BEARING DOWN TO STRUCTURE BELOW
3	EXISTING FLOOR JOISTS ABOVE



NORTH  
PROPOSED SECOND FLOOR  
**FRAMING PLAN**  
SCALE : 1/4" = 1'-0"



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 REVISIONS DATE 05.27.2022

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**PROJECT**  
**RENOVATION & ADDITION:**  
 MARKWELL GUEST HOUSE  
 2174 E. STREETBORO ST. HUDSON, OH 44286  
**DRAWING**  
**PROPOSED FRAMING PLANS**

**PROJECT NO.**  
 21100  
**SHEET NO.**  
 S-2