

Meeting Date:
September 8, 2025

Location:
200 Laurel Lake
Drive

Parcel Numbers
3203045

Request:
Major Site Plan to
construct 7 duplex villa
buildings

Applicant:
Jeffrey Jardine,
Riverstone Survey

Property Owner:
Laurel Lake Retirement
Community LLC

Zoning:
D3- Outer Village
Residential Neighborhood

Case Manager:
Nick Sugar, City Planner

Contents
• Site Plans, 7.18.25
• Assistant City Engineer
Review Letter Dated
9.2.25
• Previous Documents
from the June 9, 2025
Submittal



City of Hudson GIS

Project Background:

The application for Major Site Plan Review was introduced at the June 9, 2025 Planning Commission meeting. The request was tabled at request of the applicant with the Planning Commission's understanding the applicant would make the following modifications:

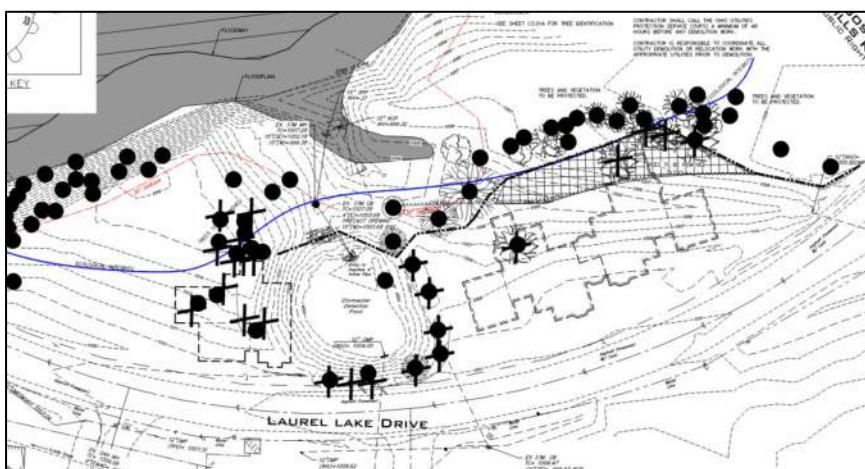
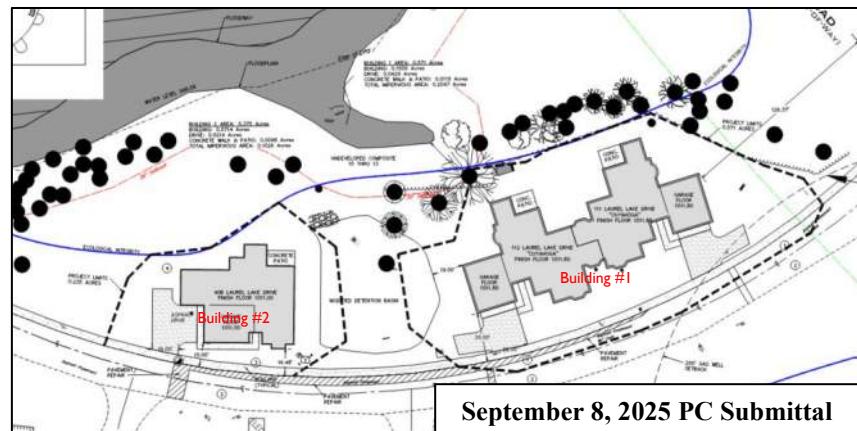
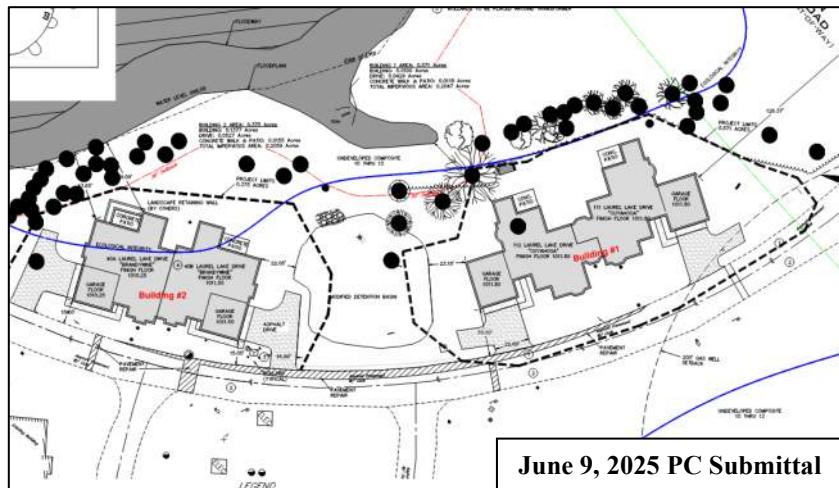
- Revise the site plan to depict five units to align with the previous BZBA Conditional Use decision.
- Revise the site plan so the limits of disturbance do not encroach into the Index of Ecological Integrity (IEI).

The applicant has submitted revised site plans for Planning Commission's consideration. Staff has prepared this addendum to the June 9, 2025 staff report to document the changes and provide comment. For reference, the previous staff report and submittal documents are included in the agenda.

Notable Design Changes and Findings

Staff notes the following:

1. Building #2 has been redesigned back to a single unit; however, the project limits have a minor deviation within the Index of Ecological Integrity and the demolition plan below depicts tree removal within the IEI limits. The applicant should ensure the depicted project limits capture all proposed work.

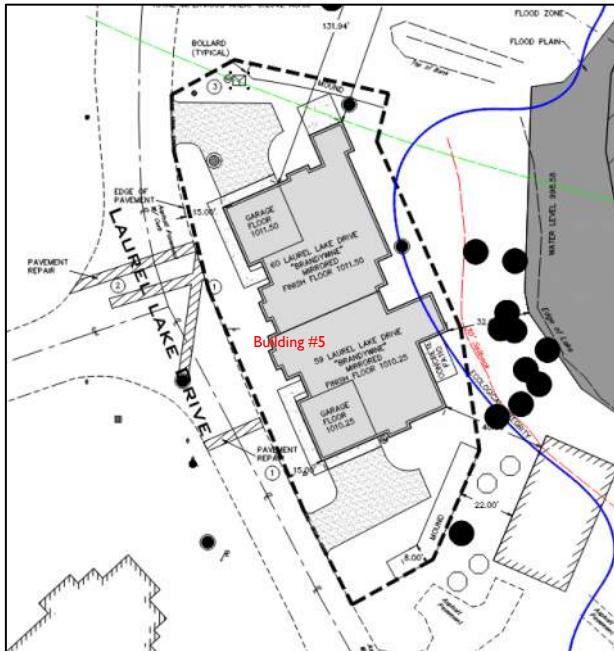


September 8, 2025 PC Submittal
Demolition/ Tree Clearing Plan

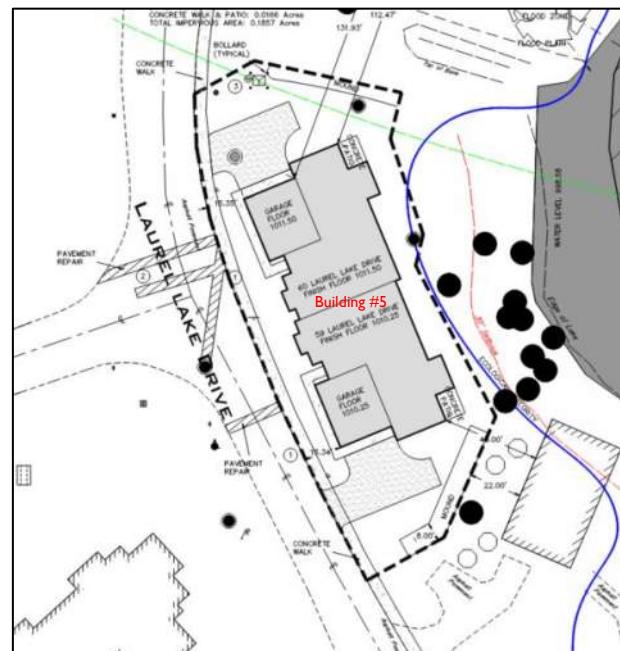


Trees proposed to be
removed within IEI

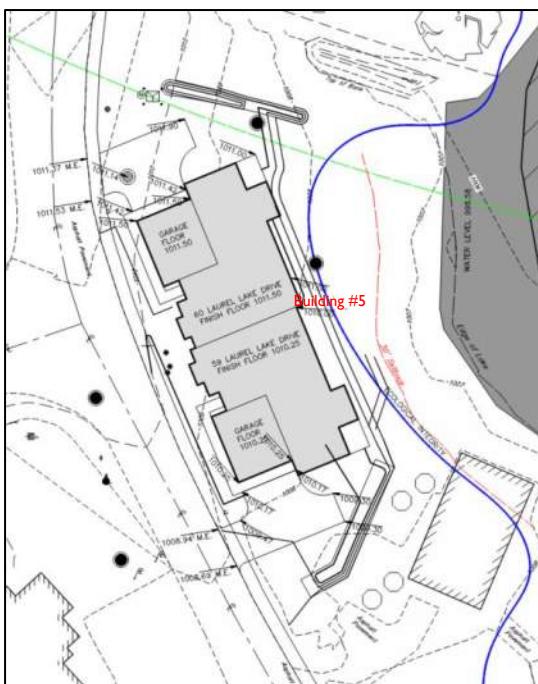
2. Building #5 footprint has been reconfigured to reduce disturbance into the IEI; however, the project limits plan and site grading plan below depict minor disturbance/grading within the IEI limits. Additionally, staff has identified a tree adjacent to the project limits that is noted to be preserved; however, preservation does not seem feasible due to its proximity to the proposed grading and building. Staff suggests revising the site plans to show removal.



June 9, 2025 PC Submittal



September 8, 2025 PC Submittal



September 8, 2025 PC Submittal
Grading Plan



Tree identified near the project limits

Required PC Action

The PC shall consider the development application, the staff report, and then take final action. PC shall approve, approve with conditions, or deny the application based on its compliance with the appropriate review standards. All decisions of the Commission shall be based on findings of fact related to the relevant standards of the Code.

Staff Recommendation

Staff recommends the Planning Commission review the submitted application, staff comments, and testimony from the applicant and public prior to formal action on the request. Staff recommends the Planning Commission consider the following items, updated from the June 9th staff report, as part of any determination on the request:

1. Building #2:
 - a. Project limits and tree removal extend into the Index of Ecological Integrity (IEI).
2. Building #5:
 - a. Project limits and grading extend into the Index of Ecological Integrity (IEI).
 - b. Tree identified adjacent to grading/project limits.
3. Buildings #8 and #9:
 - a. A separate floodplain application is required for review by the City's Floodplain Administrator per Section 1205.14.
 - b. Proposed light pole exceeds the maximum height of 16 ft per Section (e)(1).
4. The Landscaping Plan is required to be revised to verify the minimum bufferyard width of 50 ft is met, requiring four small trees and two large and medium trees every 100 ft. Section 1207.04(k)(1)(A)
5. The comments of Assistant City Engineer David Rapp shall be addressed per the review letter dated September 2, 2025.
6. Design of the buildings would require review from the Architectural and Historic Board of Review.



ENGINEERING • 1140 Terex Road • Hudson, Ohio 44236 • (330) 342-1770

Date: September 02, 2025

To: Nick Sugar, City Planner

CC: Bradley Kosco, P.E., P.S. City Engineer

From: David Rapp, P.E., P.S. Assistant City Engineer

Re: Laurel Lake – Addition of Units
Conditional Use Request
Viewpoint #25-229

The City of Hudson Engineering Department has reviewed the plans submitted and the comments are below. Note: The City of Hudson Engineering Standards (Engineering Standards) and Land Development Code (LDC) are available online at the City of Hudson Website www.hudson.oh.us under the Engineering Dept. and Community Development Department respectively. The standards are also available in print for a fee. Please contact our office (330-342-1776) if you would like a cost for the printed version.

The City of Hudson Engineering Department has the following comments:

Items of concern:

1. Building 5 (Units 59 and 60) opposite the intersection of the driveways
This building location will require the following:
 - a. Realignment of the storm sewer piping requires storm sewer calculations and is required to confirm adding 4 bends and reducing the pipe slope will not change the capacity of the storm system.
 - b. The new location has been modified with a 15' setback and no relocation of pavement. The location is acceptable.
 - c. Units 59 and 60 do have sideload garages.
 - d. The plan shall follow Chapter 1419 of the City of Hudson Engineering Standards for Infrastructure Construction for all Stormwater Management. Revised calculations for the pond alteration shall be submitted and will be needed to determine the volume and direction of flow at each unit location.
2. Building 2
 - a. This unit has been redesigned as a single unit.
 - b. The building has a 15' setback with sideload garage and is acceptable.
 - c. The new unit location has an impact of the existing detention pond but access around the pond for maintenance will be provided.
 - d. The plan shall follow Chapter 1419 of the City of Hudson Engineering Standards for Infrastructure Construction for all

Stormwater Management. Revised calculations for the pond alteration shall be submitted and will **be** needed to determine **the** volume and direction of flow at each unit location.

- e. The grading behind Unit 2 is pitched towards the house. A small retaining wall may be required along with a cutoff swale installed to direct the water away from the house.
3. Building 1 (Units 111 and 112) have minimal changes.
 - a. The location of the building requires piping in of an existing ditch, shown on the plans. The pipe has adequate size and slope.
 - b. Units 111 and 112 shall direct stormwater into the existing pond when practical.
 - c. The plan shall follow Chapter 1419 of the City of Hudson Engineering Standards for Infrastructure Construction for all Stormwater Management. Revised calculations for the pond alteration shall be submitted and will be needed to determine the volume and direction of flow at each unit location. The plan shall follow Chapter 1419 of the City of Hudson Engineering Standards for Infrastructure Construction for all Stormwater Management. Revised calculations for the pond alteration shall be submitted and will be needed to determine the volume and direction of flow at each unit location.
4. A 10' access to the detention pond exists around the pond and is acceptable.

Please contact me with any questions.

Sincerely,



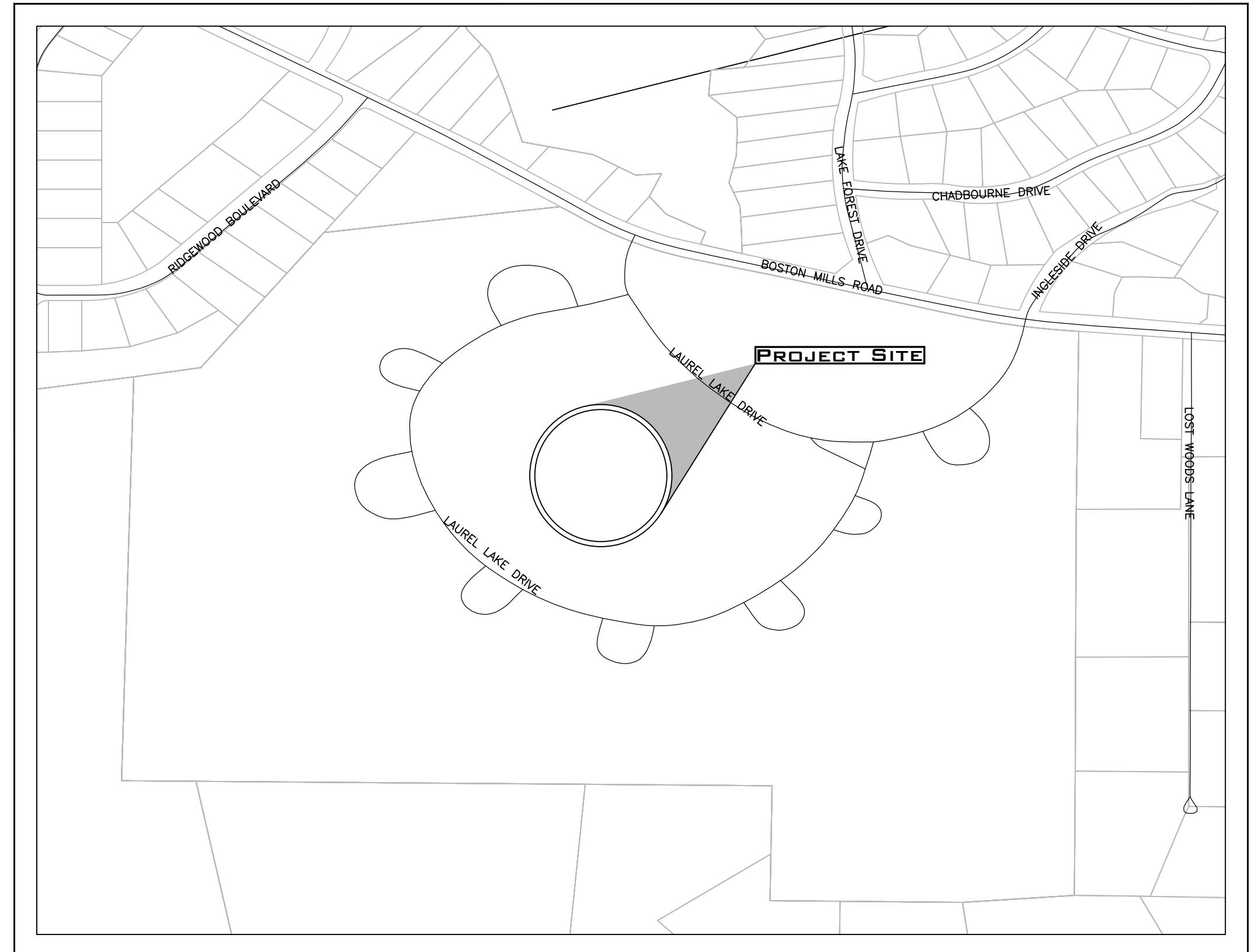
David Rapp, P.E., P.S.
Assistant City Engineer
1140 Terex Road, Hudson, OH 44236
Ph: 330-342-1776

IMPROVEMENT PLANS FOR LAUREL LAKE VILLA ADDITIONAL BUILDINGS 1, 2 & 5

THE CITY OF HUDSON, COUNTY OF
SUMMIT AND STATE OF OHIO

INDEX TO DRAWINGS

TITLE PAGE	C 1.01
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SCHEMATIC PLAN	C 2.02
BUILDINGS 1 & 2	C 3.01, C 3.01A-C 2.04
BUILDING 5	C 6.01-C 6.04
SWPPP	C 9.01



VICINITY MAP
SCALE: 1" = 400'

DAVID PIETRANTONE P.E. #61756



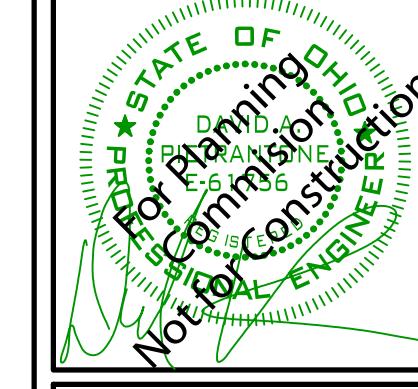
7/18/25
DATE

PREPARED FOR:

LAUREL LAKE
200 LAUREL LAKE DRIVE
HUDSON, OHIO 44236



C 1.01



RIVERSTONE

LAND SURVEYING - ENGINEERING - DESIGN
380 LAKEFRONT AVENUE - SUITE 100
DELAWARE, OH 43018 - FAX: (740) 491-9640
PHONE: (740) 491-9640 - WWW.RIVERSTONESURVEY.COM

2023-186

PLAN REVISIONS:
5/12/2025
TREE INVENTORY
7/18/2025
PC RESUBMISSION

PAGE REVISIONS:
10/11/2024
FIRE COMMENTS

ISSUED FOR:
PC APPLICATION
3/17/25
NOT FOR CONSTRUCTION

LAUREL LAKE VILLA
200 LAUREL LAKE DRIVE

TITLE PAGE



GENERAL NOTES:

TOTAL AREA 141.9 ACRES
TOTAL IMPERVIOUS AREA: 23.18 ACRES
IMPERVIOUS COVERAGE: 16.3%

PARCEL NUMBER 3203045
LAUREL LAKE RETIREMENT COMMUNITY INC.
ZONED: OUTER VILLAGE
RESIDENTIAL NEIGHBORHOOD



RIVERSTONE

LAND SURVEYING - ENGINEERING - DESIGN
3800 LAKESIDE AVENUE - SUITE 100
CLEVELAND - OHIO - 44114
PHONE: (216) 491-2000 FAX: (216) 491-9640
www.riverstonesurvey.com

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LAUREL LAKE VILLA
200 LAUREL LAKE DRIVE

EXISTING CONDITIONS

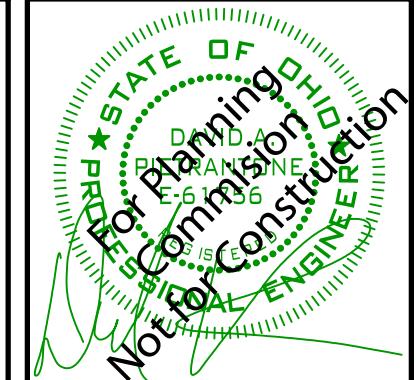
The logo for Ohio Utilities Protection Service. It features the company name in blue text at the top, followed by a large, stylized 'Call 811' in blue and green, with a hand-drawn style outline. Below this, the slogan 'before you dig' is written in a smaller, green, cursive font.

OGPUPS



C2.0

SURVEY NOTE: SURVEY, BOUNDARY AND UTILITY INFORMATION COMPLETED BY
CT CONSULTANTS AND WAS PROVIDED TO THE RIVERSTONE COMPANY FOR
USE. THE ENGINEER IS NOT RESPONSIBLE FOR MISSING OR INCOMPLETE
INFORMATION. THE ENGINEER RECOMMENDS CONTRACTOR VISIT SITE PRIOR TO
CONSTRUCTION. CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS
AND UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY
ENGINEER AND OWNER OF ANY DISCREPANCIES IMMEDIATELY UPON DISCOVER



GENERAL NOTES:

TOTAL AREA 141.9 ACRES
TOTAL IMPERVIOUS AREA: 23.93 ACRES
IMPERVIOUS COVERAGE: 16.9%

This site plan illustrates the layout of the Laurel Lake Retirement Community Inc. property. The plan shows various building footprints, roads, and utility setbacks. Key features include:

- Buildings:** Shaded gray areas representing building footprints.
- Roads:** Labeled roads include **LAUREL LAKE DRIVE** and **BOSTON MILLS ROAD (A PUBLIC RIGHT-OF-WAY)**.
- Utilities:** Utility setbacks are indicated by green lines and labels: **LAUREL LAKE TANK BATTERY**, **LAUREL LAKE GAS WELL #2** (with a 100' setback), **LAUREL LAKE GAS WELL #1** (with a 100' setback), and **LAUREL LAKE GAS WELL #3** (with a 200' setback).
- Parcel Information:** PARCEL NUMBER 3203045 is assigned to the property.
- Survey Notes:** Survey, boundary, and utility information was provided to the Riverstone CT Consultants and is the responsibility of the engineer. Contractors are advised to verify location and utilities prior to construction.

Dimensions shown on the plan include:

- 100' GAS WELL SETBACK
- 200' GAS WELL TANK BATTERY SETBACK
- 200' GAS WELL TANK BATTERY SETBACK
- 42.05'
- 73.39'
- 33.88'
- 29.97'
- 104.6'

References to other sheets:

- SEE SHEET C6.0X
- SEE SHEET C3.0X
- SEE SHEET C5.0X
- SEE SHEET C7.0X
- SEE SHEET C4.0X

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GRAPHIC SCALE

20 0 10 20

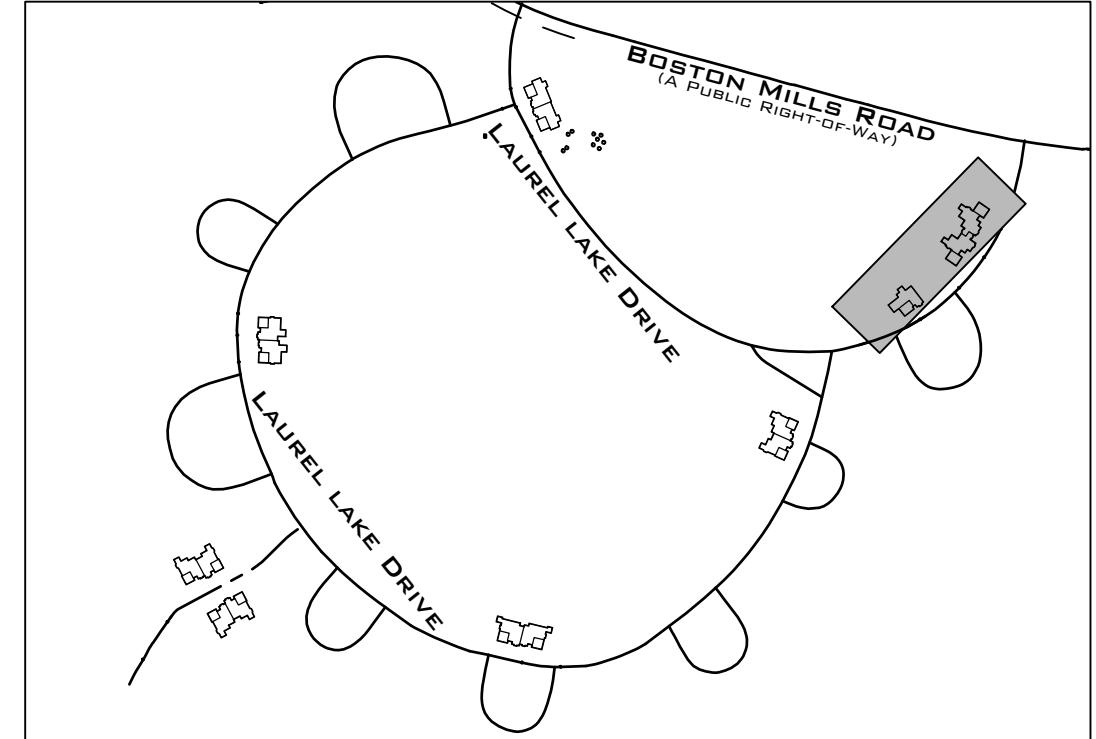
(IN FEET)

4 in. long = 20 ft.

The logo for Ohio Utilities Protection Service. It features the company name in blue text at the top, followed by a large, stylized green 'Call 811' with a shovel icon. Below this, the slogan 'before you dig' is written in green.

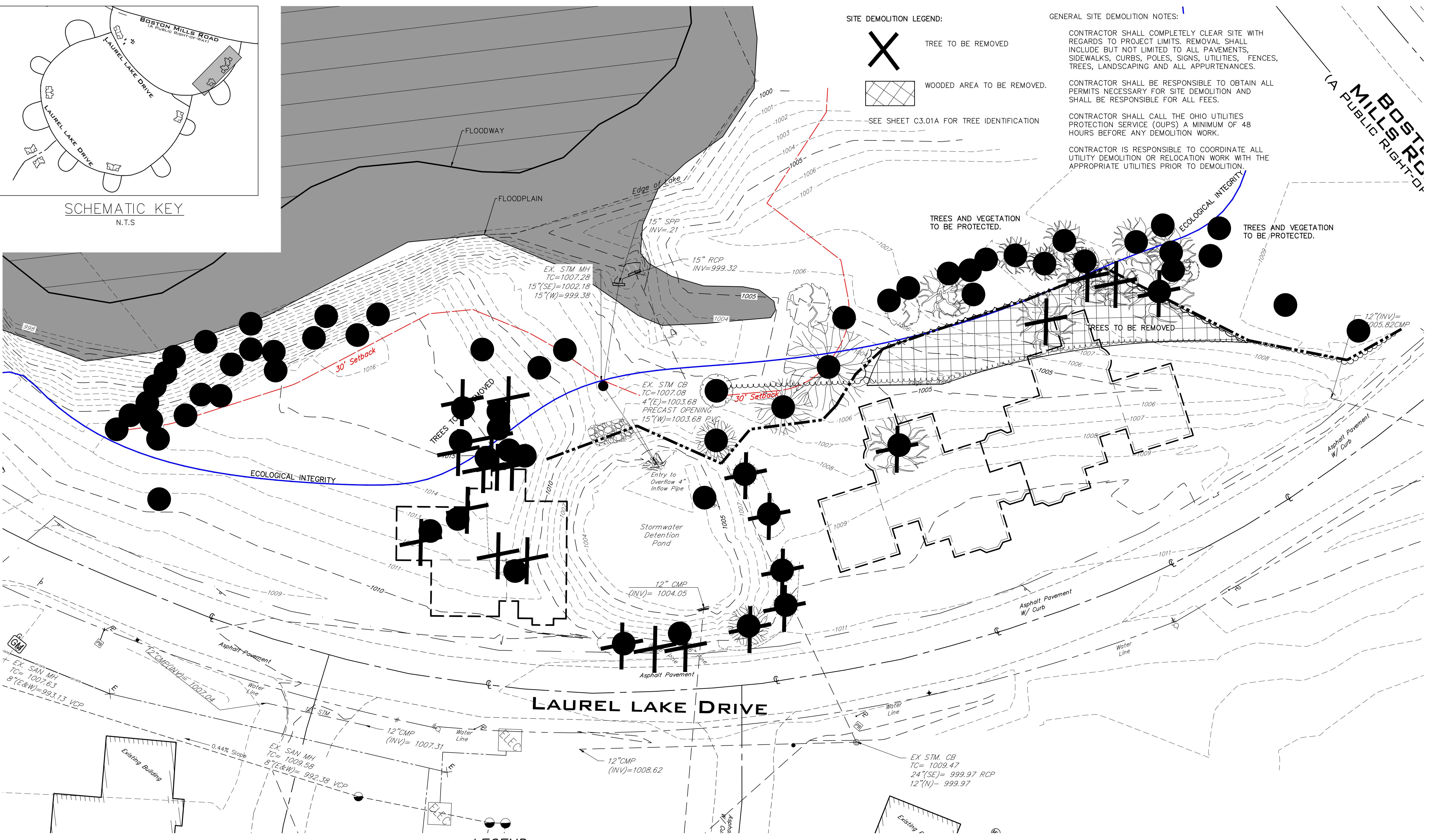
OGPUPS

C2.01

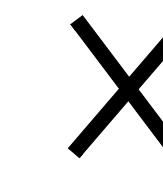


SCHEMATIC KEY

N.T.S



SITE DEMOLITION LEGEND:



TREE TO BE REMOVED



WOODED AREA TO BE REMOVED.

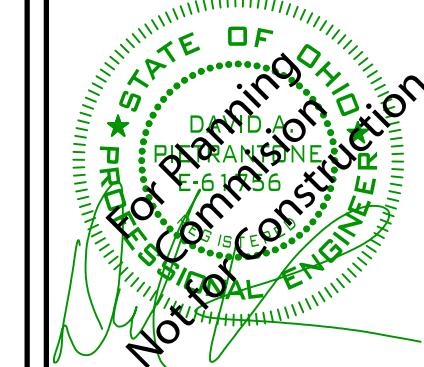
GENERAL SITE DEMOLITION NOTES:

CONTRACTOR SHALL COMPLETELY CLEAR SITE WITH REGARDS TO PROJECT LIMITS. REMOVAL SHALL INCLUDE BUT NOT LIMITED TO ALL PAVEMENTS, SIDEWALKS, CURBS, POLES, SIGNS, UTILITIES, FENCES, TREES, LANDSCAPING AND ALL APPURTENANCES.

CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL PERMITS NECESSARY FOR SITE DEMOLITION AND SHALL BE RESPONSIBLE FOR ALL FEES.

CONTRACTOR SHALL CALL THE OHIO UTILITIES PROTECTION SERVICE (OUPS) A MINIMUM OF 48 HOURS BEFORE ANY DEMOLITION WORK.

CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL UTILITY DEMOLITION OR RELOCATION WORK WITH THE APPROPRIATE UTILITIES PRIOR TO DEMOLITION.



A PUBLIC
MILL
BOSTON
ROSS
RIGHT-OF-WAY

RIVERSTONE

LAND SURVEYING - ENGINEERING - DESIGN
3800 DEERWOOD AVENUE - SUITE 100
PHONE: (216) 450-0040 FAX: (216) 450-9540
WWW.RIVERSTONESURVEY.COM

2023-186

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TREE INVENTORY
7/18/2023
PC RESUBMISSION

PAGE REVISIONS:

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3/17/25
NOT FOR CONSTRUCTION

LAUREL LAKE VILLA DRIVE

SITE DEMOLITION PLAN - BUILDING 1&2

200 LAUREL LAKE DRIVE

SITE DEMOLITION PLAN

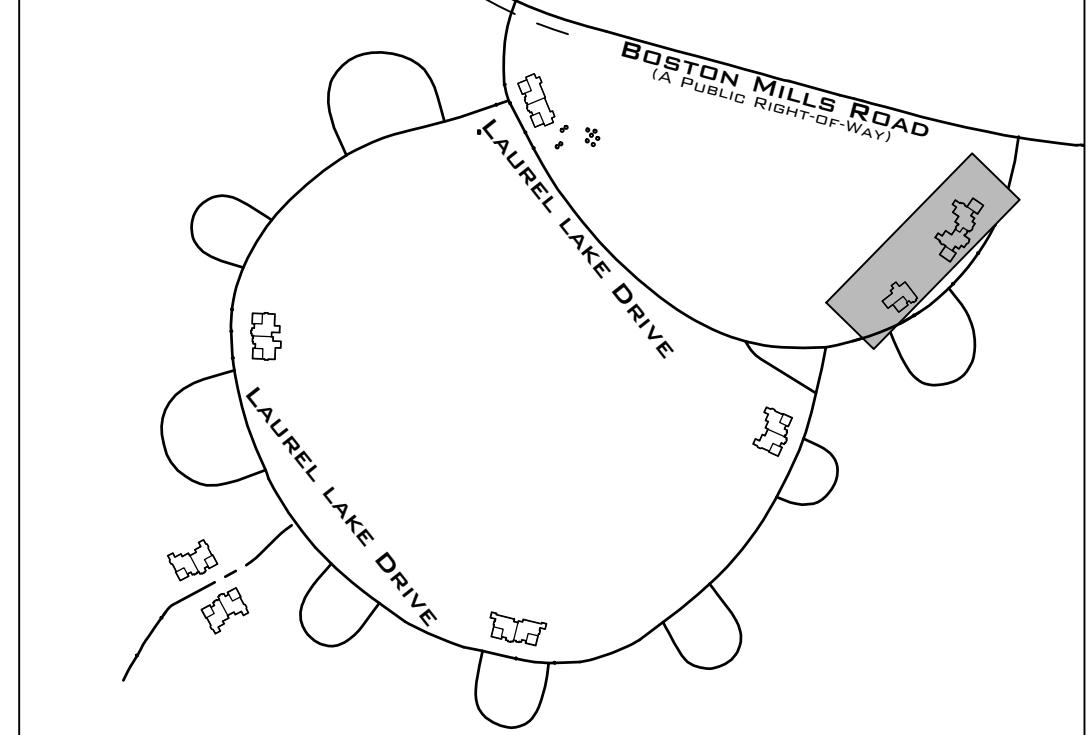
Ohio Utilities Protection Service
Call 811
before you dig

OGPUPS
Ohio Oil & Gas Producers Underground Protection Service
Call 614/715-2984 or 811

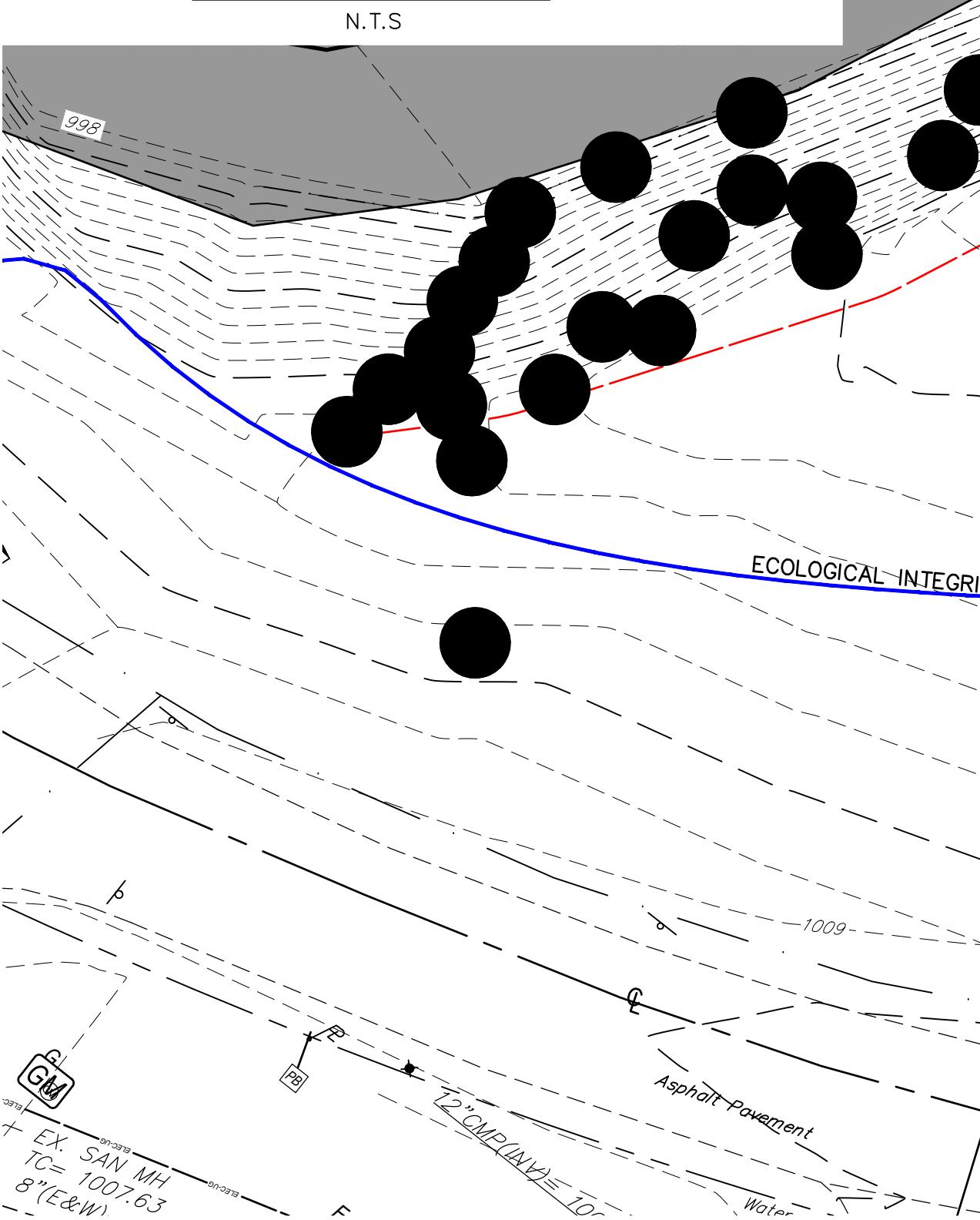
C3.01

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PROPOSED	EXISTING	LEGEND
M = Monument Box Found	Spot Elevation Tag	Ac. Acres
○ = Iron Pin or Pipe Found	Ex. Parcel Line	Adj. Adjacent
● = 5/8" Iron Pin Set and Capped Riverstone Company	Original Sublot Line	Asp. Asphalt
+	Centerline	B.F. Basement Floor
⊕ = P.K. Nail	Property Line	Calc./C. Curb Curb
○ = Gas Meter	Right-of-way Line	CB Catch Basin
△ = Gas Valve	Easement Line	C.C.M.R. Cuyahoga County
□ = Utility Pole	Railroad Tracks	Map Records
□ = Light Pole	Electric Line	C.L.F. Chain-link Fence
□ = Guy Anchor & Line	Gas Line	Clr. Clears
□ = Telephone Box	Sanitary	Conn. Concrete
□ = Electric Box	Combination Sewer	D.H. Drill Hole
□ = Cable Box	Storm Sewer	D.I.W. Ductile Iron Water Main
○ = Bollard	Waterline	Fence Line (Wooden)
		Fence Line (Chain-Link)
		Guardrail
		Acres
		L.C.A. Limited Common Area
		Adj. M. Measured
		Asp. MH. Manhole
		B.F. Obs. Observed
		Calc./C. Pg. Page
		CB P.P.N. Property Parcel Number
		C.C.M.R. Rec./R. Record
		Map Records Centerline
		C.L.F. R/W. Right-of-way
		Clr. San. Sanitary
		Conn. S.F. Square Feet
		D.H. S/L. Sublot
		D.I.W. Stm. Storm
		Fence Line (Wooden) T.B.M. Temporary Bench Mark
		Fence Line (Chain-Link) To Be Removed
		Guardrail Tele
		Acres T.F. Telephone
		Conn. Top Footer
		D.H. Vol. Volume
		D.I.W. Wat. Water
		Fence Line (Wooden)
		Fence Line (Chain-Link)
		Guardrail
		Acres
		L.C.A.
		Adj. M.
		Asp. MH.
		B.F. Obs.
		Calc./C. Pg.
		CB P.P.N.
		C.C.M.R. Rec./R.
		Map Records Centerline
		C.L.F. R/W.
		Clr. San.
		Conn. S.F.
		D.H. S/L.
		D.I.W. Stm.
		Fence Line (Wooden) T.B.M.
		Fence Line (Chain-Link) To Be Removed
		Guardrail Tele
		Acres Top Footer
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		Adj. Wat.
		Asp. Fence Line (Wooden)
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		Calc./C. Guardrail
		CB Acres
		C.C.M.R. L.C.A.
		Map Records Adj. M.
		C.L.F. Asp. MH.
		Clr. B.F. Obs.
		Conn. Calc./C. Pg.
		D.H. CB P.P.N.
		D.I.W. C.C.M.R. Rec./R.
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		Guardrail Clr. San.
		Acres Conn. S.F.
		L.C.A. D.H. S/L.
		Adj. D.I.W. Stm.
		Asp. Fence Line (Wooden) T.B.M.
		B.F. Fence Line (Chain-Link) To Be Removed
		Calc./C. Guardrail Tele
		CB Acres Top Footer
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		Map Records Adj. Wat.
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		Clr. B.F. Fence Line (Chain-Link)
		Conn. Calc./C. Guardrail
		D.H. CB Acres
		D.I.W. C.C.M.R. L.C.A.
		Fence Line (Wooden) Map Records Adj. M.
		Fence Line (Chain-Link) C.L.F. Asp. MH.
		Guardrail Clr. B.F. Obs.
		Acres Conn. Calc./C. Pg.
		L.C.A. D.H. CB P.P.N.
		Adj. Fence Line (Wooden) C.C.M.R. Rec./R.
		Asp. Fence Line (Chain-Link) Map Records Centerline
		B.F. Guardrail C.L.F. R/W.
		Calc./C. Acres Clr. San.
		CB Conn. S.F.
		C.C.M.R. D.H. S/L.
		Map Records D.I.W. Stm.
		C.L.F. Fence Line (Wooden) T.B.M.
		Clr. Fence Line (Chain-Link) To Be Removed
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		Asp. Fence Line (Chain-Link) Map Records Adj. M.
		B.F. Guardrail C.L.F. Asp. MH.
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		C.C.M.R. D.H. CB P.P.N.
		Map Records D.I.W. C.C.M.R. Rec./R.
		C.L.F. Fence Line (Wooden) Map Records Centerline
		Clr. Fence Line (Chain-Link) C.L.F. R/W.
		Conn. Guardrail Acres Clr. San.
		D.H. Fence Line (Wooden) S.F.
		D.I.W. Fence Line (Chain-Link) S/L.
		Fence Line (Wooden) Conn. S/L.
		Fence Line (Chain-Link) D.H. Stm.
		Guardrail Acres T.B.M.
		Acres Conn. Fence Line (Wooden) To Be Removed
		L.C.A. D.I.W. Fence Line (Chain-Link) Tele
		Adj. Fence Line (Wooden) Top Footer
		Asp. Fence Line (Chain-Link) Vol. Volume
		B.F. Guardrail Wat.
		Calc./C. Acres Conn. Fence Line (Wooden)
		CB Conn. Fence Line (Chain-Link) D.H. Stm.
		C.C.M.R. Conn. Fence Line (Wooden) T.B.M.
		Map Records Conn. Fence Line (Chain-Link) To Be Removed
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		Asp. Conn. Fence Line (Wooden) Conn. Fence Line (Chain-Link)
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		Calc./C. Conn. Fence Line (Wooden) Conn. Fence Line (Chain-Link)
		CB Conn. Fence Line (Chain-Link) Conn. Fence Line (Wooden)
		C.C.M.R. Conn. Fence Line (Wooden) Conn. Fence Line (Chain-Link)
		Map Records Conn. Fence Line (Chain-Link) Conn. Fence Line (Wooden)
		C.L.F. Conn. Fence Line (Wooden) Conn. Fence Line (Chain-Link)
		Clr. Conn. Fence Line (Chain-Link) Conn. Fence Line (Wooden)
		Conn. Conn. Fence Line (Wooden) Conn. Fence Line (Chain-Link)
		D.H. Conn. Fence Line (Chain-Link) Conn. Fence Line (Wooden)
		D.I.W. Conn. Fence Line (Wooden) Conn. Fence Line (Chain-Link)
		Fence Line (Wooden) Conn. Fence Line (Chain-Link) Conn. Fence Line (Wooden)
		Fence Line (Chain-Link) Conn. Fence Line (Wooden) Conn. Fence Line (Chain-Link)
		Guardrail Conn. Fence Line (Wooden) Conn. Fence Line (Chain-Link)
		Acres Conn. Fence Line (Chain-Link) Conn. Fence Line (Wooden)
		L.C.A. Conn. Fence Line (Wooden) Conn. Fence Line (Chain-Link)
		Adj. Conn. Fence Line (Chain-Link) Conn. Fence Line (Wooden)
		Asp. Conn. Fence Line (Wooden) Conn. Fence Line (Chain-Link)
		B.F. Conn. Fence Line (Chain-Link) Conn. Fence Line (Wooden)
		Calc./C. Conn. Fence Line (Wooden) Conn. Fence Line (Chain-Link)
		CB Conn. Fence Line (Chain-Link) Conn. Fence Line (Wooden)
		C.C.M.R. Conn. Fence Line (Wooden) Conn. Fence Line (Chain-Link)
		Map Records Conn. Fence Line (Chain-Link) Conn. Fence Line (Wooden)
		C.L.F. Conn. Fence Line (Wooden) Conn. Fence Line (Chain-Link)
		Clr. Conn. Fence Line (Chain-Link) Conn. Fence Line (Wooden)
		Conn. Conn. Fence Line (Wooden) Conn. Fence Line (Chain-Link)
		D.H. Conn. Fence Line (Chain-Link) Conn. Fence Line (Wooden)
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		Guardrail Conn. Fence Line (Wooden) Conn. Fence Line (Chain-Link)
		Acres Conn. Fence Line (Chain-Link) Conn. Fence Line (Wooden)
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		Asp. Conn. Fence Line (Wooden) Conn. Fence Line (Chain-Link)
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		CB Conn. Fence Line (Chain-Link) Conn. Fence Line (Wooden)
		C.C.M.R. Conn. Fence Line (Wooden) Conn. Fence Line (Chain-Link)
		Map Records Conn. Fence Line (Chain-Link) Conn. Fence Line (Wooden)
		C.L.F. Conn. Fence Line (Wooden) Conn. Fence Line (Chain-Link)
		Clr. Conn. Fence Line (Chain-Link) Conn. Fence Line (Wooden)
		Conn. Conn. Fence Line (Wooden) Conn. Fence Line (Chain-Link)
		D.H. Conn. Fence Line (Chain-Link) Conn. Fence Line (Wooden)
		D.I.W. Conn. Fence Line (Wooden) Conn. Fence Line (Chain-Link)
		Fence Line (Wooden) Conn. Fence Line (Chain-Link) Conn. Fence Line (Wooden)
		Fence Line (Chain-Link) Conn. Fence Line (Wooden) Conn. Fence Line (Chain-Link)
		Guardrail



SCHEMATIC KEY

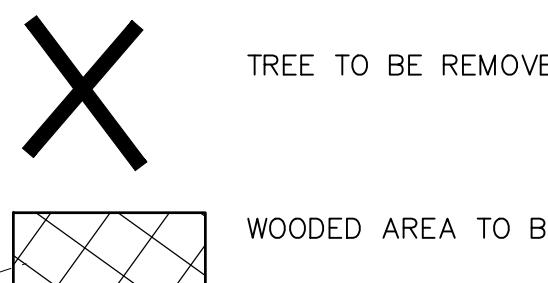


1	red maple	<i>Acer rubrum</i>	6		Good
2	black cherry	<i>Prunus serotina</i>	13	2	Fair
3	silver maple	<i>Acer saccharum</i>	14		Fair
4	black cherry	<i>Prunus serotina</i>	10		Fair
5	black cherry	<i>Prunus serotina</i>	10		Fair
6	Norway maple	<i>Acer platanoides</i>	11		Fair
7	black cherry	<i>Prunus serotina</i>	16		Fair
8	red maple	<i>Acer rubrum</i>	11		Fair
9	red maple	<i>Acer rubrum</i>	10		Fair
10	red maple	<i>Acer rubrum</i>	14		Fair
11	bird cherry	<i>Prunus avium</i>	7		Fair
12	red maple	<i>Acer rubrum</i>	12		Fair
13	sugar maple	<i>Acer saccharum</i>	18		Fair
14	red maple	<i>Acer rubrum</i>	18		Fair
15	red maple	<i>Acer rubrum</i>	13		Fair
16	northern red oak	<i>Quercus rubra</i>	11		Poor
17	red maple	<i>Acer rubrum</i>	16,17	2	Fair
18	red maple	<i>Acer rubrum</i>	7,7,6,5	4	Fair
19	bird cherry	<i>Prunus avium</i>	7		Fair
20	red maple	<i>Acer rubrum</i>	8		Fair
21	American elm	<i>Ulmus americana</i>	7		Fair
22	red maple	<i>Acer rubrum</i>	14		Fair
23	red maple	<i>Acer rubrum</i>	11,15,9	3	Fair
24	bigtooth aspen	<i>Populus grandidentata</i>	13		Fair
25	bigtooth aspen	<i>Populus grandidentata</i>	10		Fair
26	sugar maple	<i>Acer saccharum</i>	20		Fair
27	white fir	<i>Abies concolor</i>	7		Good
28	red maple	<i>Acer rubrum</i>	24		Poor
29	bigtooth aspen	<i>Populus grandidentata</i>	11		Fair
30	bird cherry	<i>Prunus avium</i>	10		Fair
31	bigtooth aspen	<i>Populus grandidentata</i>	8		Fair
32	American beech	<i>Fagus grandifolia</i>	11		Fair
33	American beech	<i>Fagus grandifolia</i>	11		Fair

34	American beech	<i>Fagus grandifolia</i>	11		Fair
35	bigtooth aspen	<i>Populus grandidentata</i>	11		Fair
36	bigtooth aspen	<i>Populus grandidentata</i>	7		Fair
37	American basswood	<i>Tilia americana</i>	12		Fair
38	bigtooth aspen	<i>Populus grandidentata</i>	6		Fair
39	American beech	<i>Fagus grandifolia</i>	16		Fair
40	bitternut hickory	<i>Carya cordiformis</i>	13		Fair
41	northern red oak	<i>Quercus rubra</i>	21		Fair
42	bald cypress	<i>Taxodium distichum</i>	7		Good
43	northern red oak	<i>Quercus rubra</i>	11		Good
44	northern red oak	<i>Quercus rubra</i>	21		Fair
45	black cherry	<i>Prunus serotina</i>	17		Fair
46	northern red oak	<i>Quercus rubra</i>	18		Good
47	northern red oak	<i>Quercus rubra</i>	14		Fair
48	northern red oak	<i>Quercus rubra</i>	23		Fair
49	northern red oak	<i>Quercus rubra</i>	10		Good
50	northern red oak	<i>Quercus rubra</i>	15		Fair
51	northern red oak	<i>Quercus rubra</i>	15		Fair
52	northern red oak	<i>Quercus rubra</i>	24		Good
53	northern red oak	<i>Quercus rubra</i>	40		Fair
54	American basswood	<i>Tilia americana</i>	8,15,8	3	Fair
55	northern red oak	<i>Quercus rubra</i>	20		Fair
56	white oak	<i>Quercus alba</i>	18		Good
57	American basswood	<i>Tilia americana</i>	12,11,10	3	Poor
58	northern red oak	<i>Quercus rubra</i>	25		Fair
59	northern red oak	<i>Quercus rubra</i>	33		Good
60	northern red oak	<i>Quercus rubra</i>	21		Fair
61	northern red oak	<i>Quercus rubra</i>	21		Good
62	American beech	<i>Fagus grandifolia</i>	11		Fair
63	American beech	<i>Fagus grandifolia</i>	16		Fair
64	American basswood	<i>Tilia americana</i>	13		Fair
65	black cherry	<i>Prunus serotina</i>	18		Fair
66	flowering crabapple	<i>Malus sylvestris</i>	9		Fair

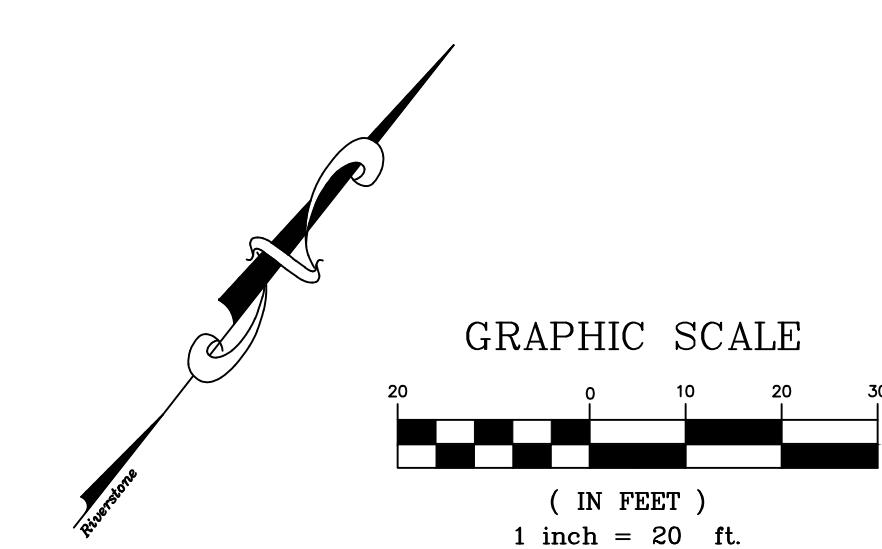
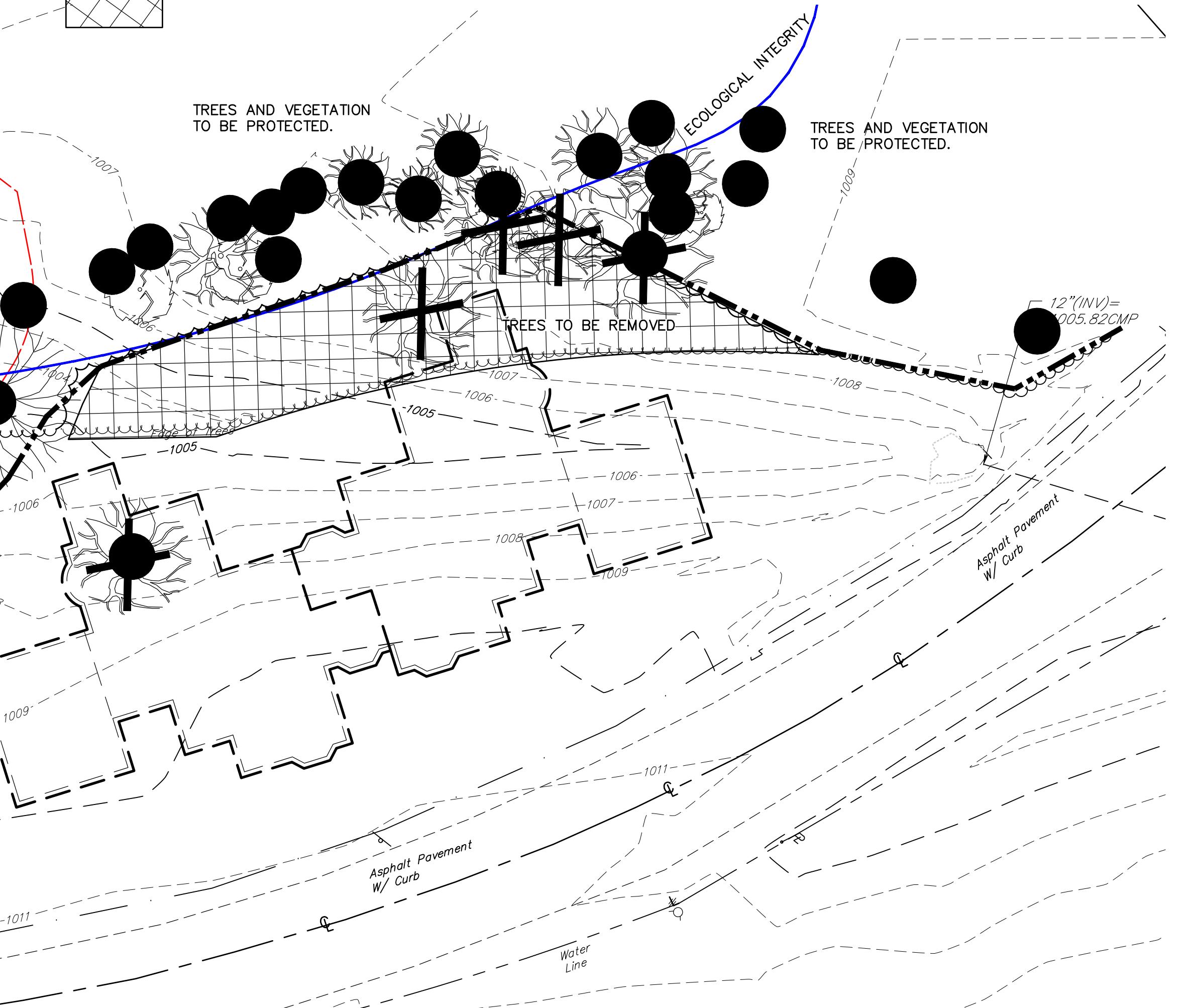
67	sweetgum	<i>Liquidambar styraciflua</i>	20		Good
68	red maple	<i>Acer rubrum</i>	14		Fair
69	white fir	<i>Abies concolor</i>	7		Good
70	white oak	<i>Quercus alba</i>	11		Fair
71	white oak	<i>Quercus alba</i>	16		Fair
72	white oak	<i>Quercus alba</i>	11		Fair
73	white oak	<i>Quercus alba</i>	16		Fair
74	white oak	<i>Quercus alba</i>	13		Fair
75	white oak	<i>Quercus alba</i>	16		Fair
76	white oak	<i>Quercus alba</i>	27		Fair
77	white oak	<i>Quercus alba</i>	20		Fair
78	white oak	<i>Quercus alba</i>	18		Fair
79	white oak	<i>Quercus alba</i>	17		Fair
80	white oak	<i>Quercus alba</i>	11		Fair
81	white oak	<i>Quercus alba</i>	11		Fair
82	white oak	<i>Quercus alba</i>	19		Fair
83	white oak	<i>Quercus alba</i>	12		Fair
84	white oak	<i>Quercus alba</i>	11		Fair
85	white oak	<i>Quercus alba</i>	15		Fair
86	white oak	<i>Quercus alba</i>	15		Fair
87	white oak	<i>Quercus alba</i>	18		Fair
88	white oak	<i>Quercus alba</i>	23		Good
89	white oak	<i>Quercus alba</i>	12		Fair
90	white oak	<i>Quercus alba</i>	16		Fair
91	white oak	<i>Quercus alba</i>	10		Fair
92	white oak	<i>Quercus alba</i>	6,23	2	Fair
93	white oak	<i>Quercus alba</i>	13		Fair
94	black cherry	<i>Prunus serotina</i>	8,12	2	Fair
95	northern red oak	<i>Quercus rubra</i>	15		Fair

SITE DEMOLITION LEGEND:



TREES AND VEGETATION TO BE PROTECTED.

TREES AND VEGETATION TO BE PROTECTED.



GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.

LAUREL LAKE VILLA DRIVE
200 LAUREL LAKE DRIVE

SITE DEMOLITION PLAN TREE - BUILDING 1 & 2

Call 811
before you dig

OGPUPS

Ohio Oil & Gas Producers Underground Protection Service
Call 614/715-2984 or 811

C3.01A

RIVERSTONE
LAND SURVEYING - ENGINEERING - DESIGN
3800 LAKEFRONT AVENUE - SUITE 100
DELAWARE, OH 43018
PHONE: (216) 450-0000 FAX: (216) 450-9640
WWW.RIVERSTONESURVEY.COM

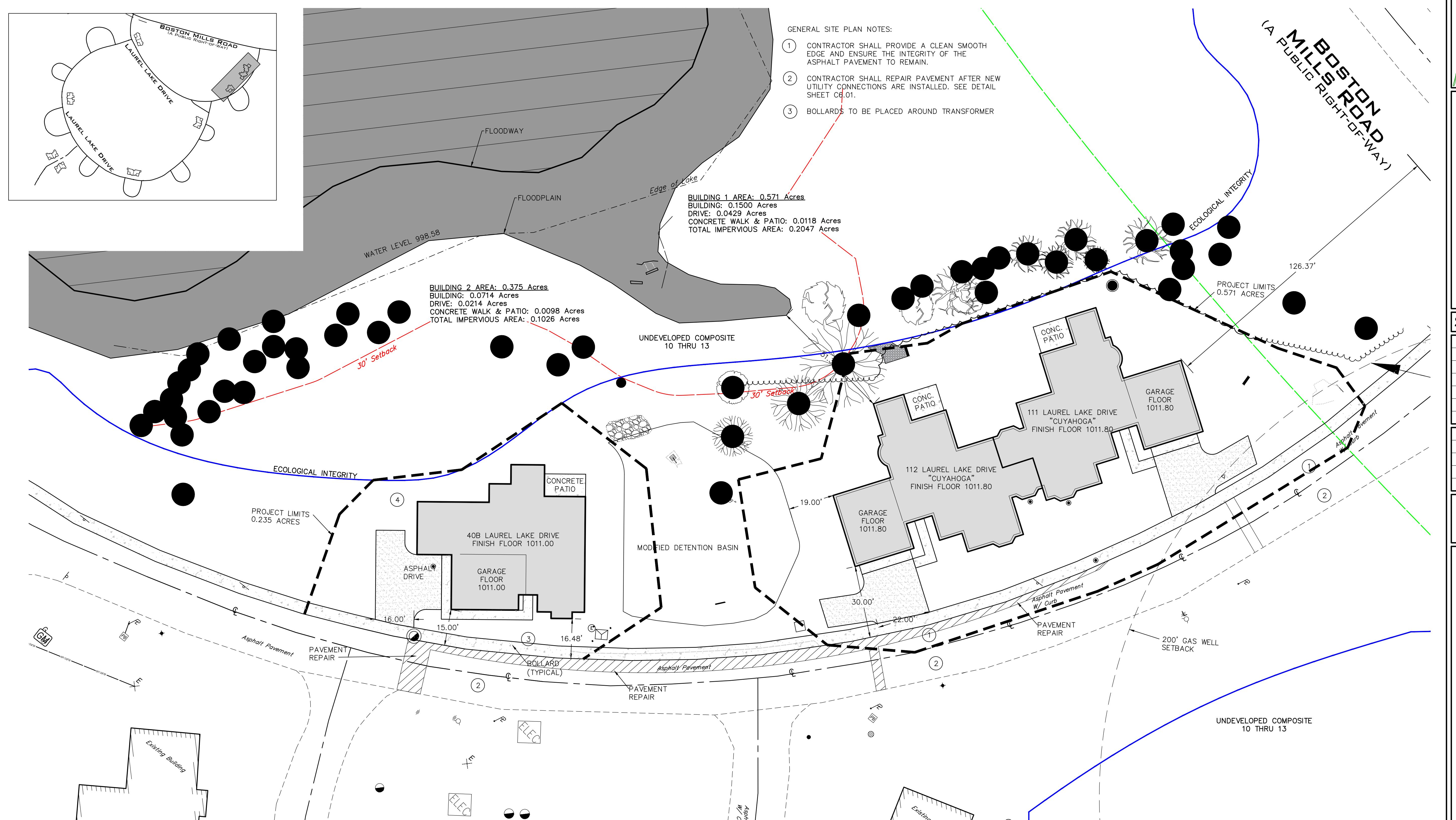
2023-186

PLAN REVISIONS:
5/12/2025
TREE INVENTORY
7/18/2025
PC RESUBMISSION

PAGE REVISIONS:

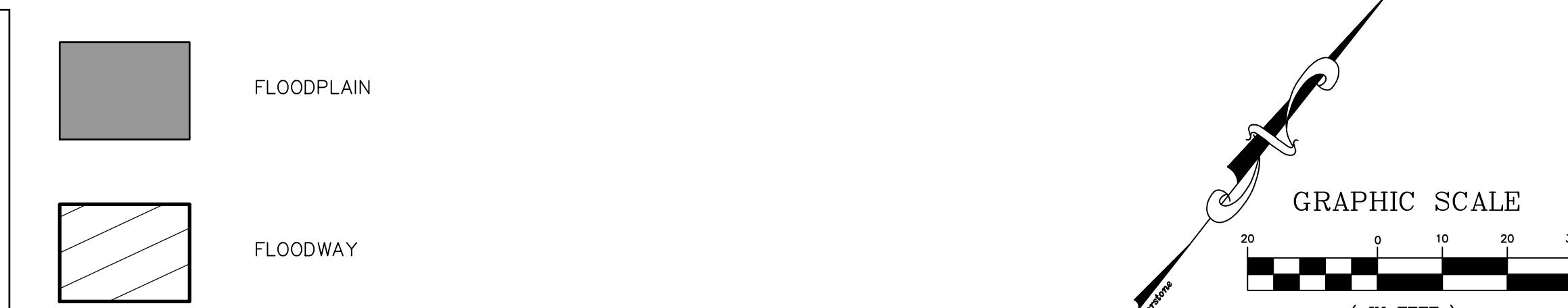
ISSUED FOR:
PC APPLICATION
3/17/25
NOT FOR CONSTRUCTION

Ohio State Planning Commission
1200 DECONSTRUCTION
1200 DECONSTRUCTION
1200 DECONSTRUCTION



SURVEY NOTE: SURVEY, BOUNDARY AND UTILITY INFORMATION COMPLETED BY CT CONSULTANTS AND WAS PROVIDED TO THE RIVERSTONE COMPANY FOR USE. THE ENGINEER IS NOT RESPONSIBLE FOR MISSING OR INCOMPLETE INFORMATION. THE ENGINEER RECOMMENDS CONTRACTOR VISIT SITE PRIOR TO CONSTRUCTION. CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS AND UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER AND OWNER OF ANY DISCREPANCIES IMMEDIATELY UPON DISCOVERY.

M = Monument Box Found	Existing = Spot Elevation Tag	PROPOSED	Ex. Parcel line	Ac.	Acres	L.C.A.	Limited Common Area
O = Iron Pin or Pipe Found			Original Sublot Line	Adj.	Adjacent	Meas./M.	Measured
● = 5/8" Iron Pin Set and			Original Lot Line	Asp.	Asphalt	MH	Manhole
Capped Riverstone Company			Centerline	B.F.	Basement Floor	Obs.	Observed
Dudley PS6747			Property Line	Calc./C.	Calculated	Pg.	Page
◆ = P.K. Nail			Right-of-way Line	CB	Catch Basin	P.P.N.	Permanent Parcel Num
(G) = Gas Meter	○ = Hydrant		Easement Line	C.C.M.R.	Cuyahoga County	P.L.	Property Line
△ = Gas Valve	⊗ = Water Service Valve		Railroad Tracks	Map Records	Map Records	Rec./R.	Record
P = Utility Pole	 = Water Valve		Electric Line	¢	Centerline	R/W	Right-of-way
L = Light Pole	W = Water Meter		Gas Line	C.L.F.	Chain-link Fence	San.	Sanitary
← = Guy Anchor & Line	△ = Reducer		Sanitary/Combination Sewer	Clr.	Clears	S.F.	Square Feet
TEL = Telephone Box	● = Storm Manhole		Storm Sewer	Conc.	Concrete	S/L	Sublot
ELEC = Electric Box	○ = Sanitary Manhole		Waterline	Conn.	Connection	Stm.	Storm
CABLE = Cable Box	— = Curb Inlet		Fence Line (Wooden)	D.H.	Drill Hole	T.B.M.	Temporary Bench M
○ = Bollard	■ = Catch Basin		Fence Line (Chain-Link)	D.I.W.M.	Ductile Iron Water Main	TBR	To Be Removed
	○ = Round Curb Inlet		Guardrail	Elec	Electric	Tele	Telephone
	○ = Cleanout/Test Tee			Encr.	Encroaches	T.F.	Top Footer
				Ex.	Existing	Vol.	Volume
				F.F.	Finished Floor	Wat	Water



A circular stamp with a green border. Inside, a five-pointed star is positioned above the text 'STATE OF OHIO'. Below the star, the word 'DIVISION' is written in a smaller circle. The text 'FOR PLANNING' is on the left, 'FOR COMMISSIONING' is on the right, and 'NOT FOR CONSTRUCTION' is at the bottom. The entire stamp is rendered in a light green color.

RIVERSTONE

LAND SURVEYING - ENGINEERING - DESIGN
3800 LAKESIDE AVENUE - SUITE 100
CLEVELAND - OHIO - 44114
PHONE: (216) 491-2000 FAX: (216) 491-9640
WWW.RIVERSTONESURVEY.COM

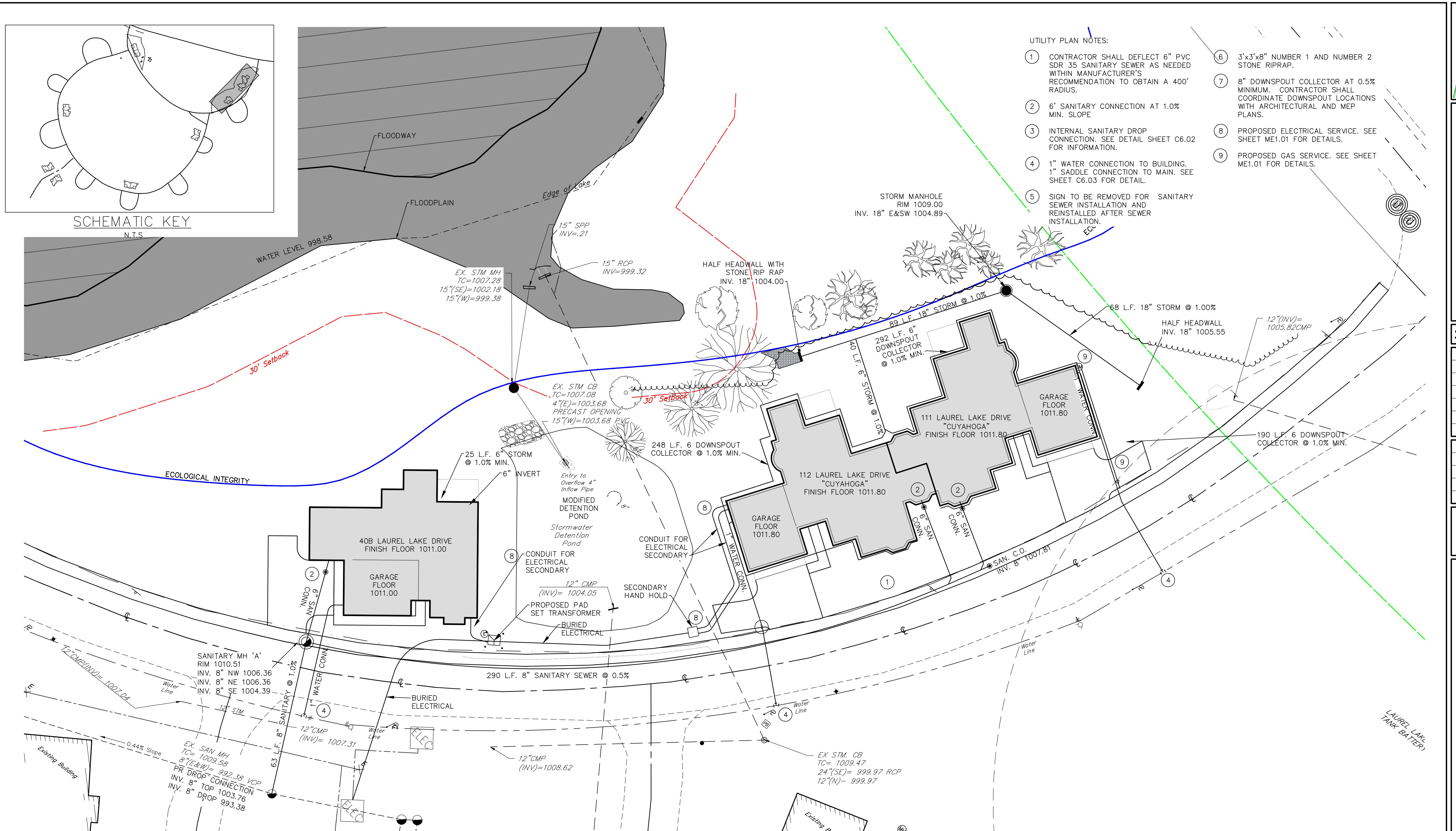
2023-186

PLAN REVISIONS:
5/12/2025
TREE INVENTORY
7/18/2025
PC RESUBMISSION

AUREL LAKE VILLA LAUREL LAKE DRIVE

The logo for Ohio Utilities Protection Service. It features the company name in blue text at the top, followed by a large, stylized 'Call 811' in blue and green, with a hand-drawn style outline. Below this, the slogan 'before you dig' is written in a smaller, green, cursive font.

C3.02



SURVEY NOTE: SURVEY, BOUNDARY AND UTILITY INFORMATION COMPLETED BY CT CONSULTANTS AND WAS PROVIDED TO THE RIVERSTONE COMPANY FOR USE. THE ENGINEER IS NOT RESPONSIBLE FOR MISSING OR INCOMPLETE INFORMATION. THE ENGINEER RECOMMENDS CONTRACTOR VISIT SITE PRIOR TO CONSTRUCTION. CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS AND UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER AND OWNER OF ANY DISCREPANCIES IMMEDIATELY UPON DISCOVERY.

M = Monument Box Found
O = Iron Pin or Pipe Found
● = 5/8" Iron Pin Set and
 Capped Riverstone Company
 Dudley PS6747
+ = P.K. Nail
(G) = Gas Meter
△ = Gas Valve
P = Utility Pole
L = Light Pole
←→ = Guy Anchor & Line
 = Telephone Box
 = Electric Box
 = Cable Box
● = Bollard

PROPOSED = Existing
 = Hydrant
 = Water S
 = Water V
 = Water M
 = Reducer
 = Storm M
 = Sanitary
 = Curb Inh
 = Catch B
 = Round C
 = Cleanou

levation Tag	Ex. Parcel line	_____
	Original Sublot Line	_____
	Original Lot Line	_____
	Centerline	_____
ervice Valve	Property Line	_____
alve	Right-of-way Line	R/W
eter	Easement Line	_____
	Railroad Tracks	_____
	Electric Line	_____
	Gas Line	_____
Manhole	Sanitary/Combination Sewer	_____
Manhole	Storm Sewer	_____
et	Waterline	_____
Basin	Fence Line (Wooden)	_____
Curb Inlet	Fence Line (Chain-Link)	_____
t/Test Tee	Guardrail	_____

Ac.	Acres	L.C.A.	Limited
Adj.	Adjacent	Meas./M.	Measured
Asp.	Asphalt	MH	Manhole
B.F.	Basement Floor	Obs.	Observed
Calc./C.	Calculated	Pg.	Page
CB	Catch Basin	P.P.N.	Permanent Parcel
C.C.M.R.	Cuyahoga County Map Records	P	Property Line
CL	Centerline	Rec./R.	Record
C.L.F.	Chain-link Fence	R/W	Right-of-way
Clr.	Clears	San.	Sanitary
Conc.	Concrete	S.F.	Square Feet
Conn.	Connection	S/L	Sublot
D.H.	Drill Hole	Stm.	Storm
D.I.W.M.	Ductile Iron Water Main	T.B.M.	Temporary Benc
Elec	Electric	TBR	To Be Removed
Encr.	Encroaches	Tele	Telephone
Ex.	Existing	T.F.	Top Footer
FF	Finished Floor	Vol.	Volume
		Wat.	Water

Area
Number
h Mark

GRAPHIC SCALE

20 0 10 20

(IN FEET)

1 inch = 20 ft.

The logo for the Ohio Utilities Protection Service. It features the text "Ohio Utilities Protection Service" in a blue, sans-serif font at the top. Below it is a large, stylized graphic of the number "811" in green and blue, with a yellow "D" on the right. The bottom part of the graphic contains the text "before you dig" in a green, sans-serif font.

OGPUPS



C3.03

2023-186

PLAN REVISIONS:
5/12/2025
TREE INVENTORY
7/18/2025
PC RESUBMISSION

PAGE REVISIONS:

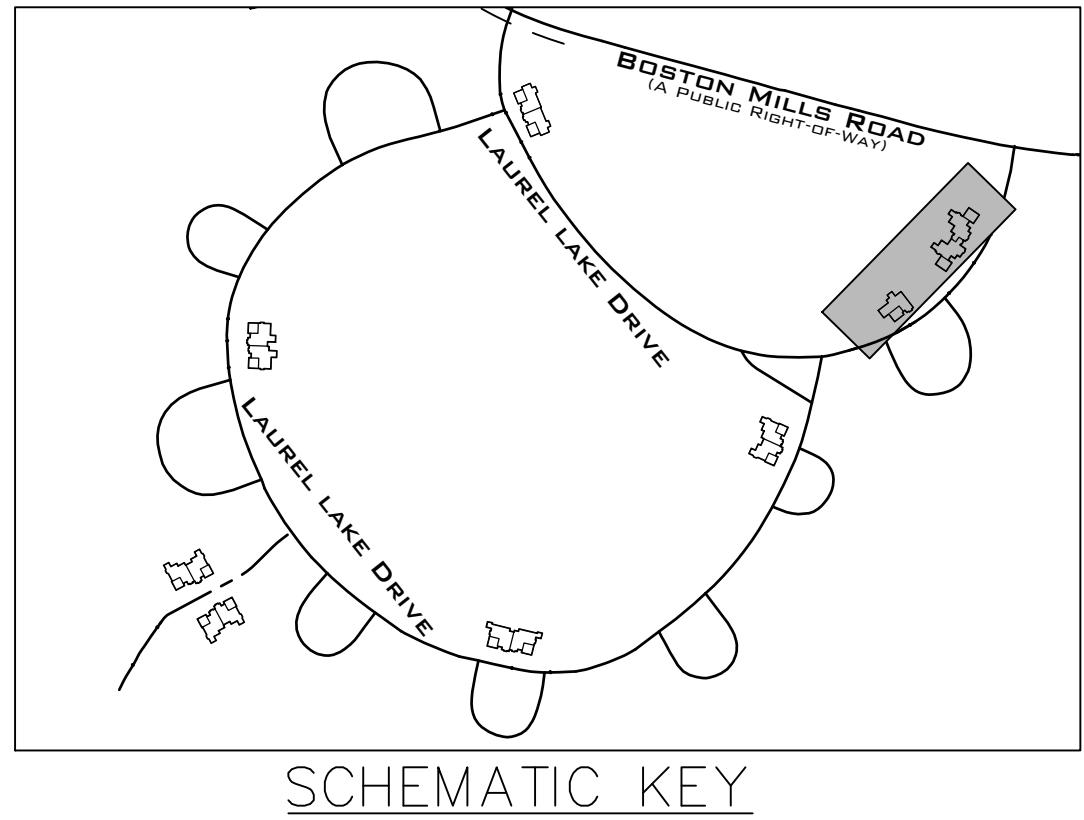
ISSUED FOR:
PC APPLICATION
3/17/25
NOT FOR CONSTRUCTION

LAUREL LAKE VILLA
200 LAUREL LAKE DRIVE

The logo for the Ohio Utilities Protection Service. It features the text "Ohio Utilities Protection Service" in blue at the top, followed by a large, stylized "Call 811" in green. Below this, the text "before you dig" is written in a smaller, green, cursive font. A green outline of the state of Ohio is visible behind the text.

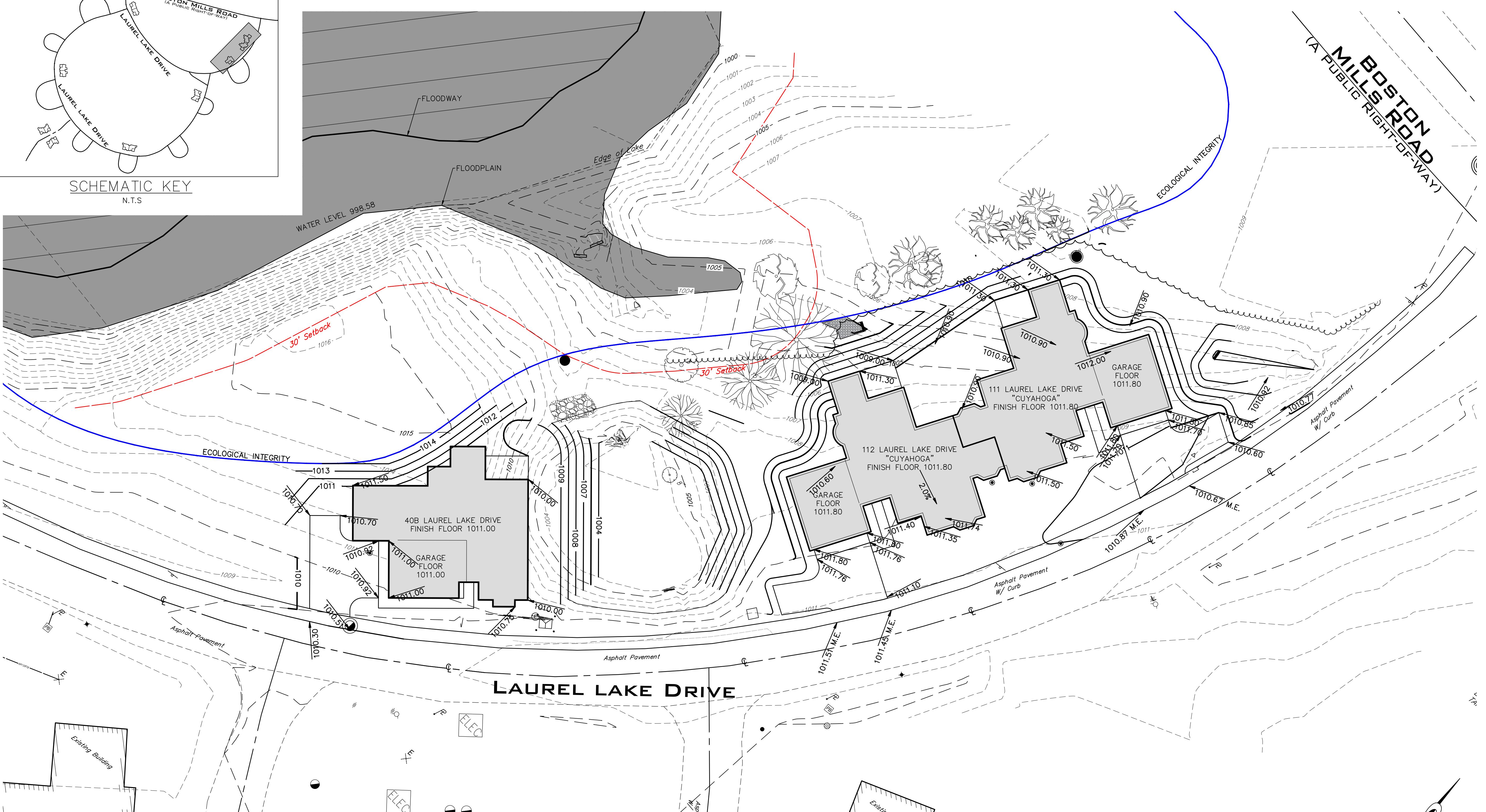
OGPUPS

C3.03



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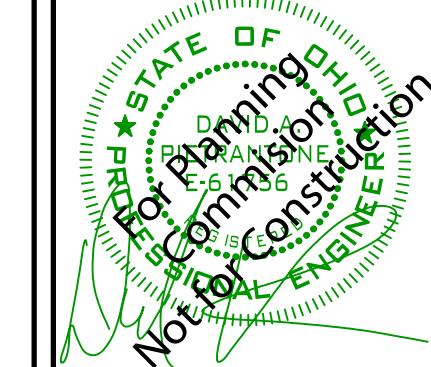
N.T.S



LEGEND

PROPOSED	Existing	
Monument Box Found	Spot Elevation Tag	
Iron Pin or Pipe Found		
5/8" Iron Pin Set and Capped Riverstone Company Dudley PS6747		
P.K. Nail		
Gas Meter		
Gas Valve		
Utility Pole		
Light Pole		
Guy Anchor & Line		
Telephone Box		
Electric Box		
Cable Box		
Boulder		
Monument Box Found	Hydrant	
Iron Pin or Pipe Found	Water Service Valve	
5/8" Iron Pin Set and Capped Riverstone Company Dudley PS6747	Water Valve	
P.K. Nail	Reducer	
Gas Meter	Water Meter	
Gas Valve		
Utility Pole		
Light Pole		
Guy Anchor & Line		
Telephone Box		
Electric Box		
Cable Box		
Boulder		
Ex. Parcel Line		
Original Sublot Line		
Original Lot Line		
Property Line		
Centerline		
Right-of-way Line		
Easement Line		
Railroad Tracks		
Electric Line		
Gas Line		
Sanitary/Combination Sewer		
Storm Sewer		
Waterline		
Fence Line (Wooden)		
Fence Line (Chain-Link)		
Guardrail		
Ac. Acres	L.C.A. Limited Common Area	
Adj. Adjacent	Meas. M. Measured	
Asp. Asphalt	MH. Manhole	
B.F. Basement Floor	Obs. Observed	
Calc./C. Calculated	Pg. Page	
CB Catch Basin	P.P.N. Permanent Parcel Number	
C.C.M.R. Cuyahoga County Map Records	P. Record	
C. Centerline	R/W. Right-of-way	
C.L.F. Chain-link Fence	San. Sanitary	
Clrs. Clears	S.F. Square Feet	
Conn. Concrete	S/L. Sublot	
D.H. Drill Hole	Stm. Storm	
D.I.W.M. Ductile Iron Water Main	T.B.M. Temporary Bench Mark	
Elec. Electric	To Be Removed	
Enr. Encroaches	Tel. Telephone	
Ex. Existing	T.F. Top Footer	
F.F. Finished Floor	Vol. Volume	
	Wat. Water	

SURVEY NOTE: SURVEY, BOUNDARY AND UTILITY INFORMATION COMPLETED BY CT CONSULTANTS AND WAS PROVIDED TO THE RIVERSTONE COMPANY FOR USE. THE ENGINEER IS NOT RESPONSIBLE FOR MISSING OR INCOMPLETE INFORMATION. THE ENGINEER RECOMMENDS CONTRACTOR VISIT SITE PRIOR TO CONSTRUCTION. CONTRACTOR SHALL VERIFY LOCATIONS, ELEVATIONS AND UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER AND OWNER OF ANY DISCREPANCIES IMMEDIATELY UPON DISCOVERY.



2023-186

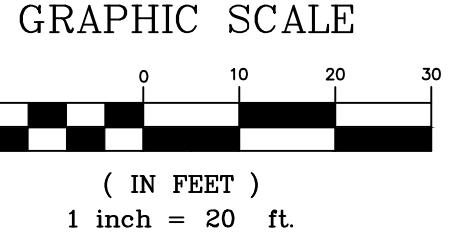
PLAN REVISIONS:
5/12/2025
TREE INVENTORY
7/18/2025
PC RESUBMISSION

PAGE REVISIONS:

ISSUED FOR:
PC APPLICATION
3/17/25
NOT FOR CONSTRUCTION

LAUREL LAKE VILLA
200 LAUREL LAKE DRIVE

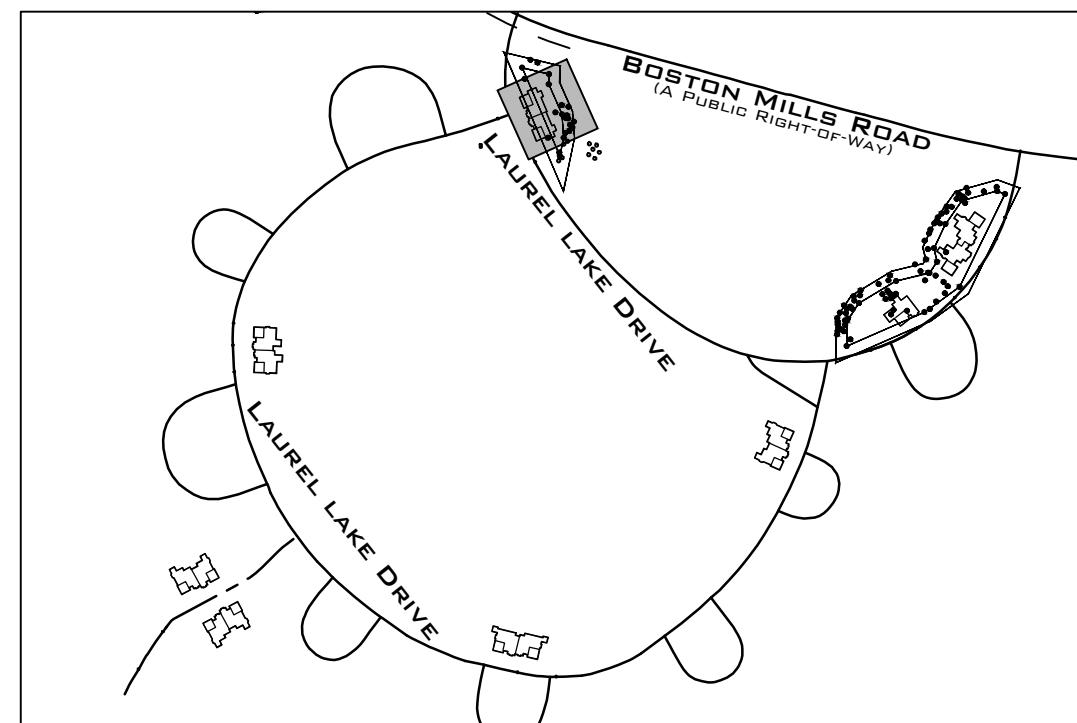
GRADING PLAN - BUILDING 1 & 2



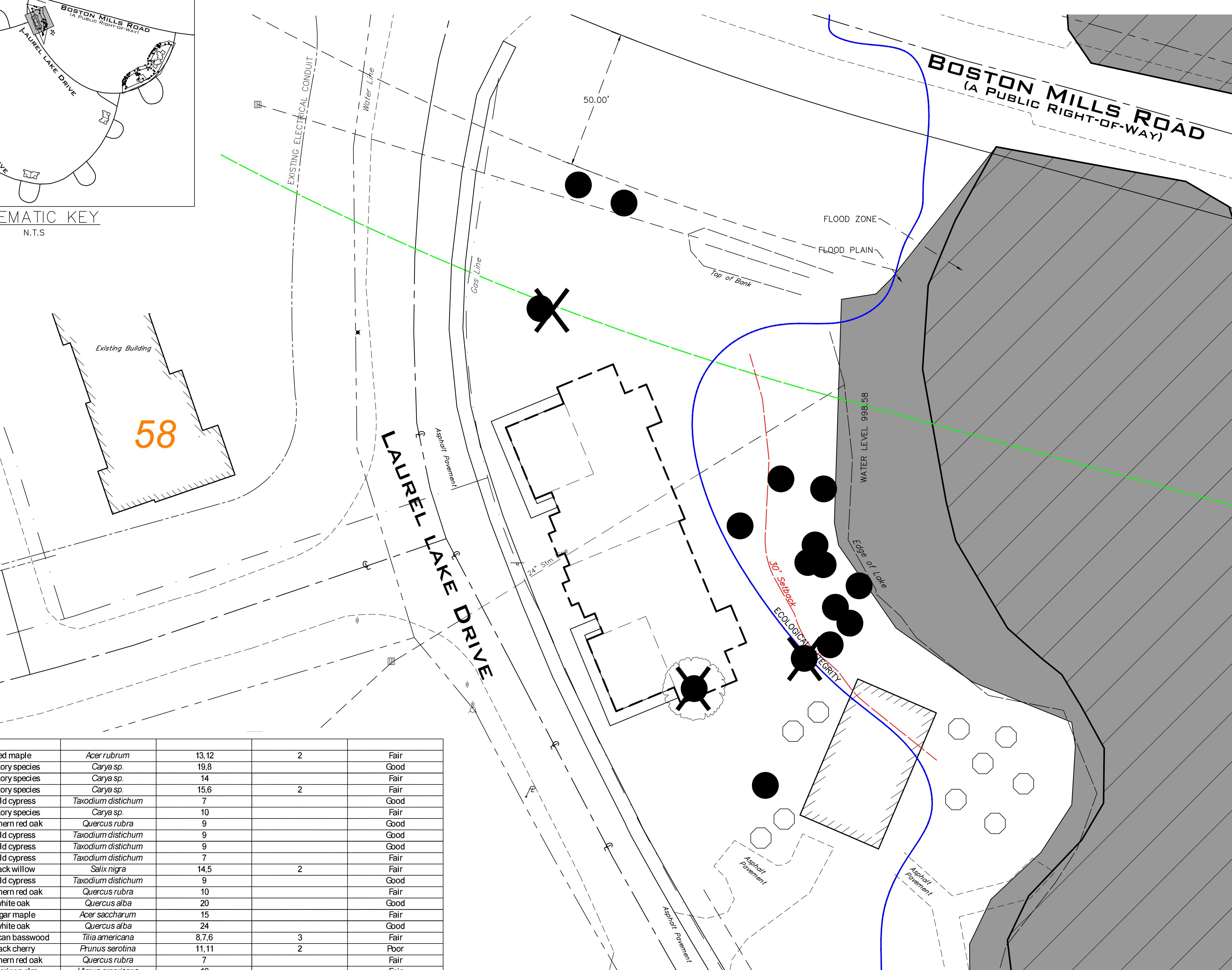
(IN FEET)
1 inch = 20 ft.



C3.04

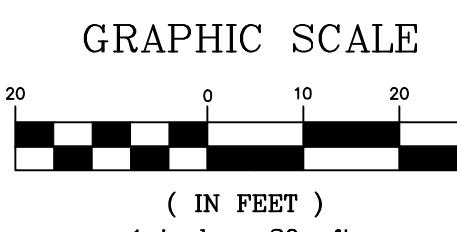


SCHEMATIC KEY
N.T.S.



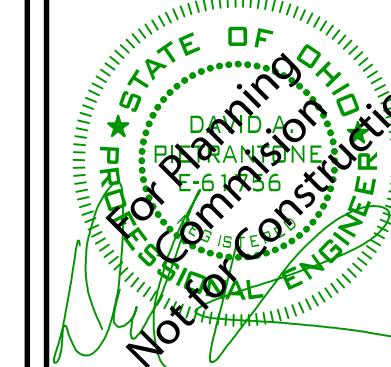
1	red maple	<i>Acer rubrum</i>	13,12	2	Fair
2	hickory species	<i>Carya sp.</i>	19.8		Good
3	hickory species	<i>Carya sp.</i>	14		Fair
4	hickory species	<i>Carya sp.</i>	15.6	2	Fair
5	bald cypress	<i>Taxodium distichum</i>	7		Good
6	hickory species	<i>Carya sp.</i>	10		Fair
7	northern red oak	<i>Quercus rubra</i>	9		Good
8	bald cypress	<i>Taxodium distichum</i>	9		Good
9	bald cypress	<i>Taxodium distichum</i>	9		Good
10	bald cypress	<i>Taxodium distichum</i>	7		Fair
11	black willow	<i>Salix nigra</i>	14.5	2	Fair
12	bald cypress	<i>Taxodium distichum</i>	9		Good
13	northern red oak	<i>Quercus rubra</i>	10		Good
14	white oak	<i>Quercus alba</i>	20		Good
15	sugar maple	<i>Acer saccharum</i>	15		Fair
16	white oak	<i>Quercus alba</i>	24		Good
17	American basswood	<i>Tilia americana</i>	8.7,6	3	Fair
18	black cherry	<i>Prunus serotina</i>	11,11	2	Poor
19	northern red oak	<i>Quercus rubra</i>	7		Fair
20	American elm	<i>Ulmus americana</i>	10		Fair
21	northern red oak	<i>Quercus rubra</i>	15		Poor
22	American elm	<i>Ulmus americana</i>	6		Fair
23	American elm	<i>Ulmus americana</i>	15		Fair
24	red maple	<i>Acer rubrum</i>	6.9,8,7	4	Fair
25	black cherry	<i>Prunus serotina</i>	12		Poor
26	silver maple	<i>Acer saccharinum</i>	18		Fair
27	American elm	<i>Ulmus americana</i>	6		Fair
28	American basswood	<i>Tilia americana</i>	12		Fair
29	red maple	<i>Acer rubrum</i>	9		Fair
30	black cherry	<i>Prunus serotina</i>	10		Fair

SURVEY NOTE: SURVEY, BOUNDARY AND UTILITY INFORMATION COMPLETED BY CT CONSULTANTS AND WAS PROVIDED TO THE RIVERSTONE COMPANY FOR USE. THE ENGINEER IS NOT RESPONSIBLE FOR MISSING OR INCOMPLETE INFORMATION. THE ENGINEER RECOMMENDS CONTRACTOR VISIT SITE PRIOR TO CONSTRUCTION. CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS AND UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER AND OWNER OF ANY DISCREPANCIES IMMEDIATELY UPON DISCOVERY.



GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.

C6.01



RIVERSTONE
LAND SURVEYING - ENGINEERING - DESIGN
3800 LAKEFRONT AVENUE, SUITE 100
PHONE: (216) 450-0000 FAX: (216) 491-9640
WWW.RIVERSTONESURVEY.COM

2023-186

PLAN REVISIONS:
5/12/2025
TREE INVENTORY
7/18/2025
PC RESUBMISSION

PAGE REVISIONS:
ISSUED FOR:
PC APPLICATION
3/17/25
NOT FOR CONSTRUCTION

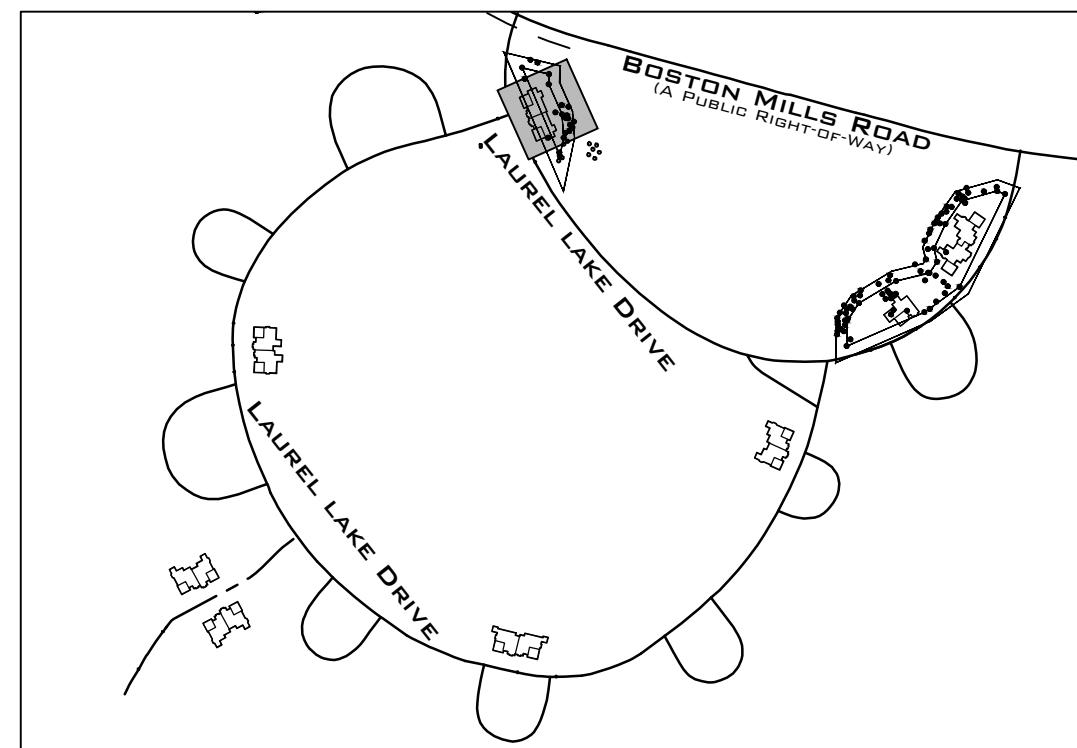
LAUREL LAKE VILLA DRIVE
200 LAUREL LAKE DRIVE
SITE DEMOLITION PLAN - BUILDING 5

■	Monument Box Found	PROPOSED	Spot Elevation Tag
○	Iron Pin or Pipe Found		
●	5/8" Iron Pin Set and Copper Riverstone Company Dingley PS6747		
⊕	P.K. Nail		
◎	Gas Meter		
△	Gas Valve		
□	Utility Valve		
○	Utility Pole		
○	Light Pole		
○	Survey Anchor & Line		
○	Telephone Box		
○	Electric Box		
○	Cable Box		
○	Bollard		
○	Cleanout / Test Tee		
○			
Ex. Parcel line			
Original Sublot Line			
Original Lot Line			
Centerline			
Property Line			
Right-of-way Line			
Easement Line			
Railroad Tracks			
Electric Line	Existing	PROPOSED	
Gas Line	○	△	
Sanitary/Combination Sewer	—	—	
Storm Sewer	—	—	
Waterline	—	—	
Fence Line (Wooden)	—	—	
Fence Line (Chain-Link)	—	—	
Guardrail	—	—	
Ac.	Acres	L.C.A.	Limited Common Area
Adj.	Adjustment	L.F.	Linear Feet
A.F.N.	Attala's File Number	M.	Match Existing
Asp.	Asphalt	Mess./M.	Measured
B.F.	Basement Floor	MH.	Manhole
BW.	Bottom of Wall	Obs.	Observed
Calc./C.	Calculated	Pg.	Page
CB.	Catch Basin	P.P.N.	Permanent Parcel
C.C.M.	Cuyahoga County Map	Prop.	Proposed
CB.	Catch Basin	Rec./R.	Reclaimed
Records		R/W.	Right-of-way
C.L.F.	Chain-Link Fence	San.	Sanitary
Cir.	Circles	S.F.	Square Feet
C.O.	Clean Out	S/L.	Sublot
Comb.	Combination	Stm.	Storm
Conn.	Concrete	T.B.M.	Temporary Bench Mark
D.H.	Drill Hole	T.C.	To Be Removed
D.I.W.M.	Ductile Iron Water	T.C.	Top of curb
Electric	Electric	Tele.	Telephone
Elev.	Elevation	T.F.	Top of Footer
Enr.	Encroaches	T.T.	Top Test Tee
Ex.	Existing	TW.	Top of Wall
F.F.	Finished Floor	Typ.	Typical
GUT	Gutter	Vol.	Volume
Inv.	Invert	Wat.	Water

Ohio Utilities Protection Service
Call 811
before you dig

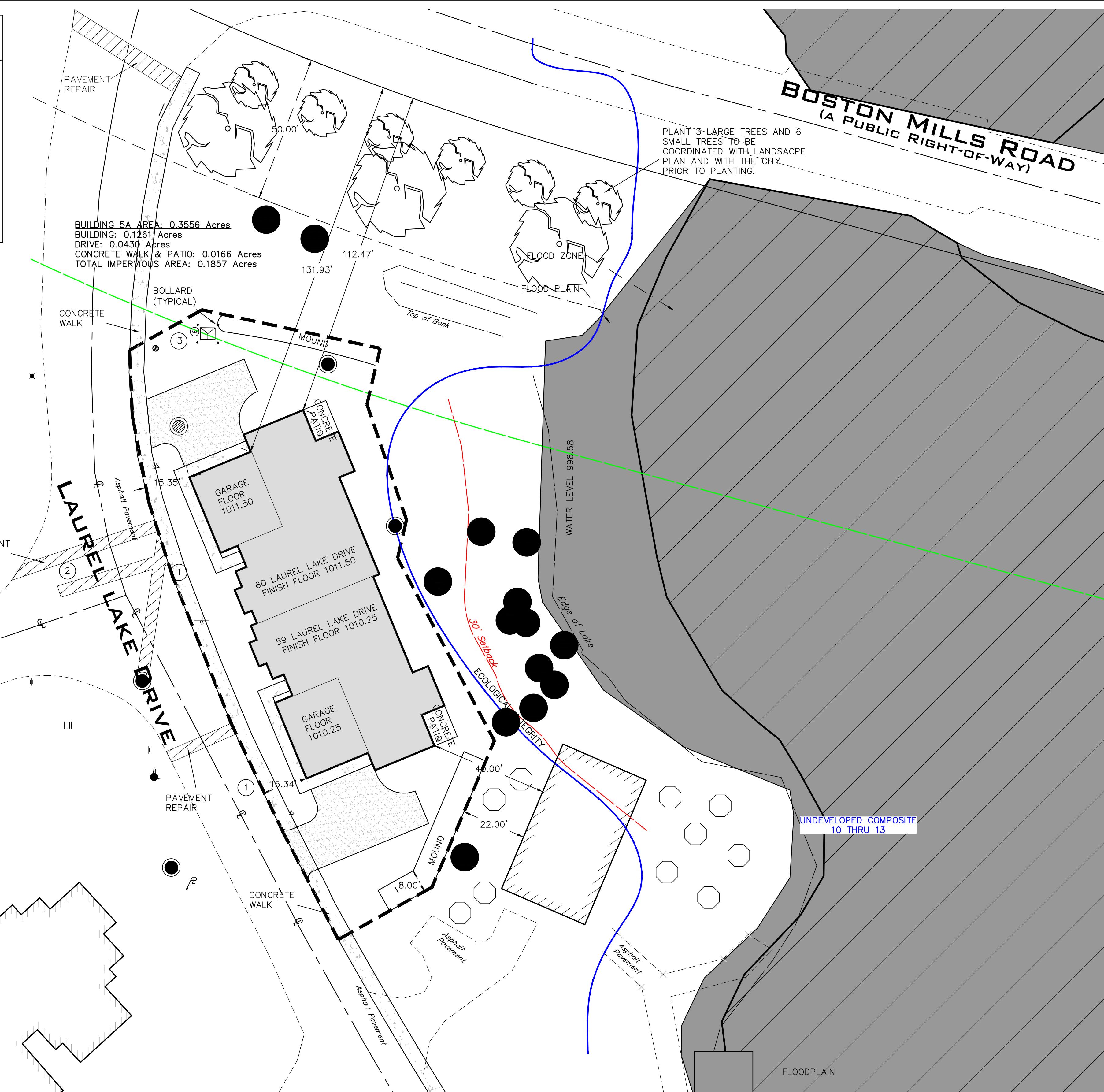
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Call 614/715-9984 or 811

RIVERSTONE



SCHEMATIC KEY
N.T.S.

58



GENERAL SITE PLAN NOTES:

1. CONTRACTOR SHALL PROVIDE A CLEAN SMOOTH EDGE AND ENSURE THE INTEGRITY OF THE ASPHALT PAVEMENT TO REMAIN.
2. CONTRACTOR SHALL REPAIR PAVEMENT AFTER NEW UTILITY CONNECTIONS ARE INSTALLED. SEE DETAIL SHEET C6.01.
3. BOLLARDS TO BE PLACED AROUND TRANSFORMER

LAUREL LAKE VILLA DRIVE

200 LAUREL LAKE DRIVE

SITE PLAN - BUILDING 5

2023-186

PLAN REVISIONS:

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7/18/2025
PC RESUBMISSION

PAGE REVISIONS:

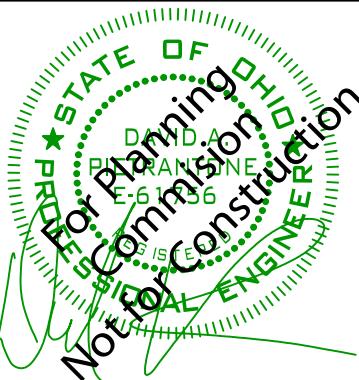
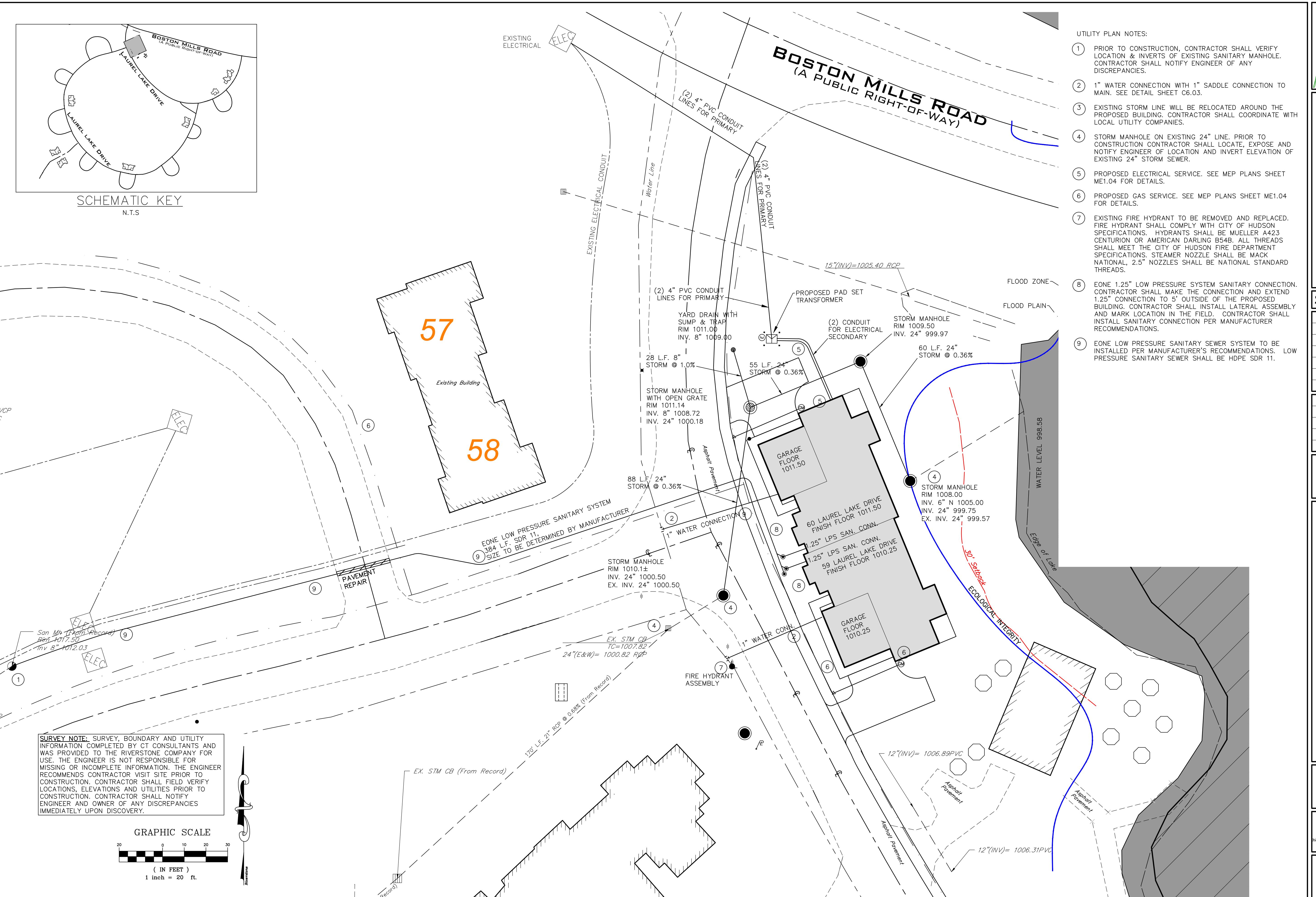
ISSUED FOR:

PC APPLICATION
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C6.02



RIVERSTONE
LAND SURVEYING - ENGINEERING - DESIGN
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WWW.RIVERSTONESURVEY.COM

2023-186

PLAN REVISIONS:
5/12/2025
TREE INVENTORY
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PC RESUBMISSION

PAGE REVISIONS:

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LAUREL LAKE VILLA
200 LAUREL LAKE DRIVE

Ohio Utilities Protection Service
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OGPUPS

Ohio Oil & Gas Producers Underground Protection Service

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C6.03

2023-186

PLAN REVISIONS:
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TREE INVENTORY
7/18/2023
PC RESUBMISSION

PAGE REVISIONS:
9/7/2023
PRE APPLICATION MEETING

ISSUED FOR:
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3/17/25
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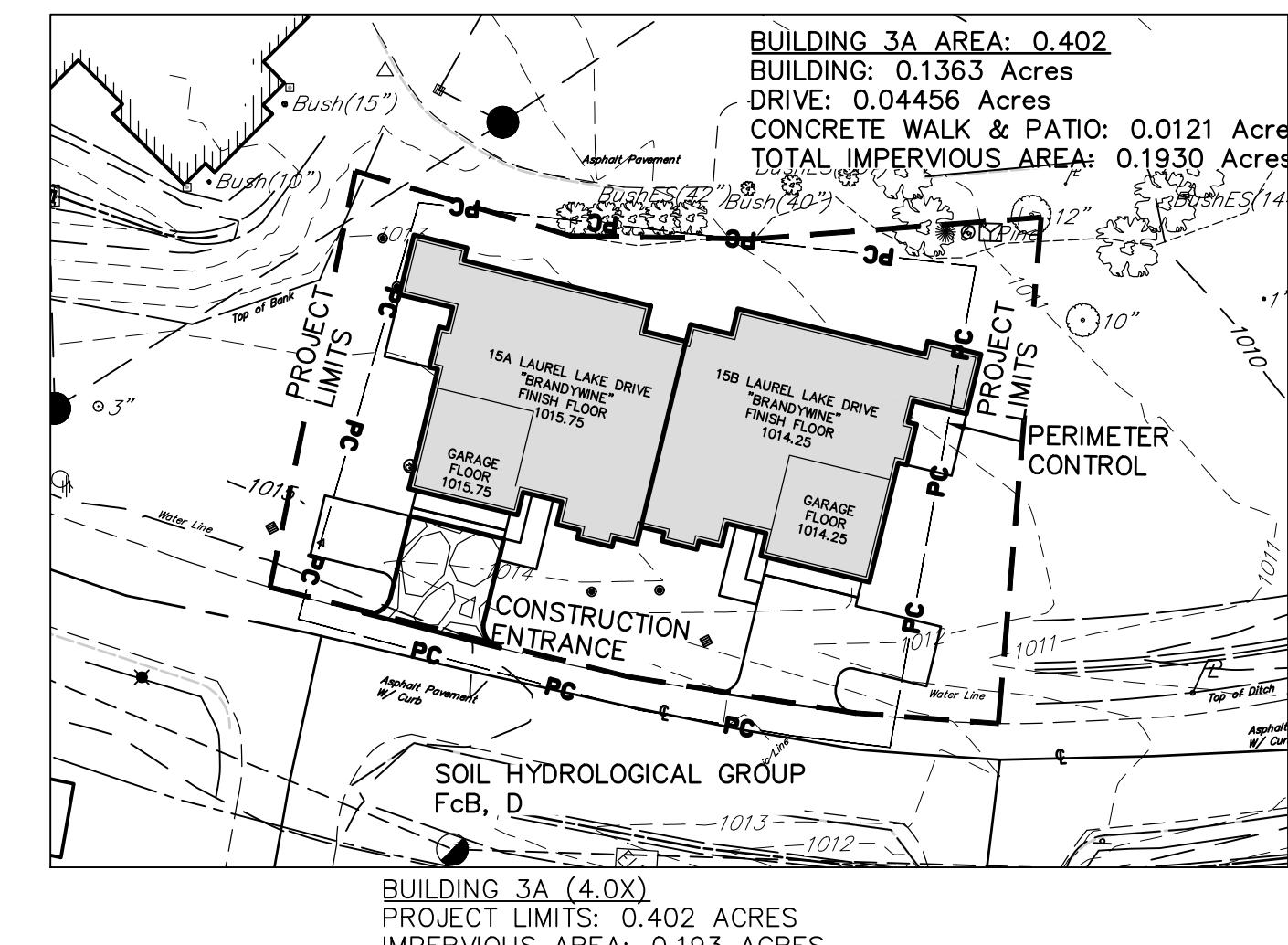
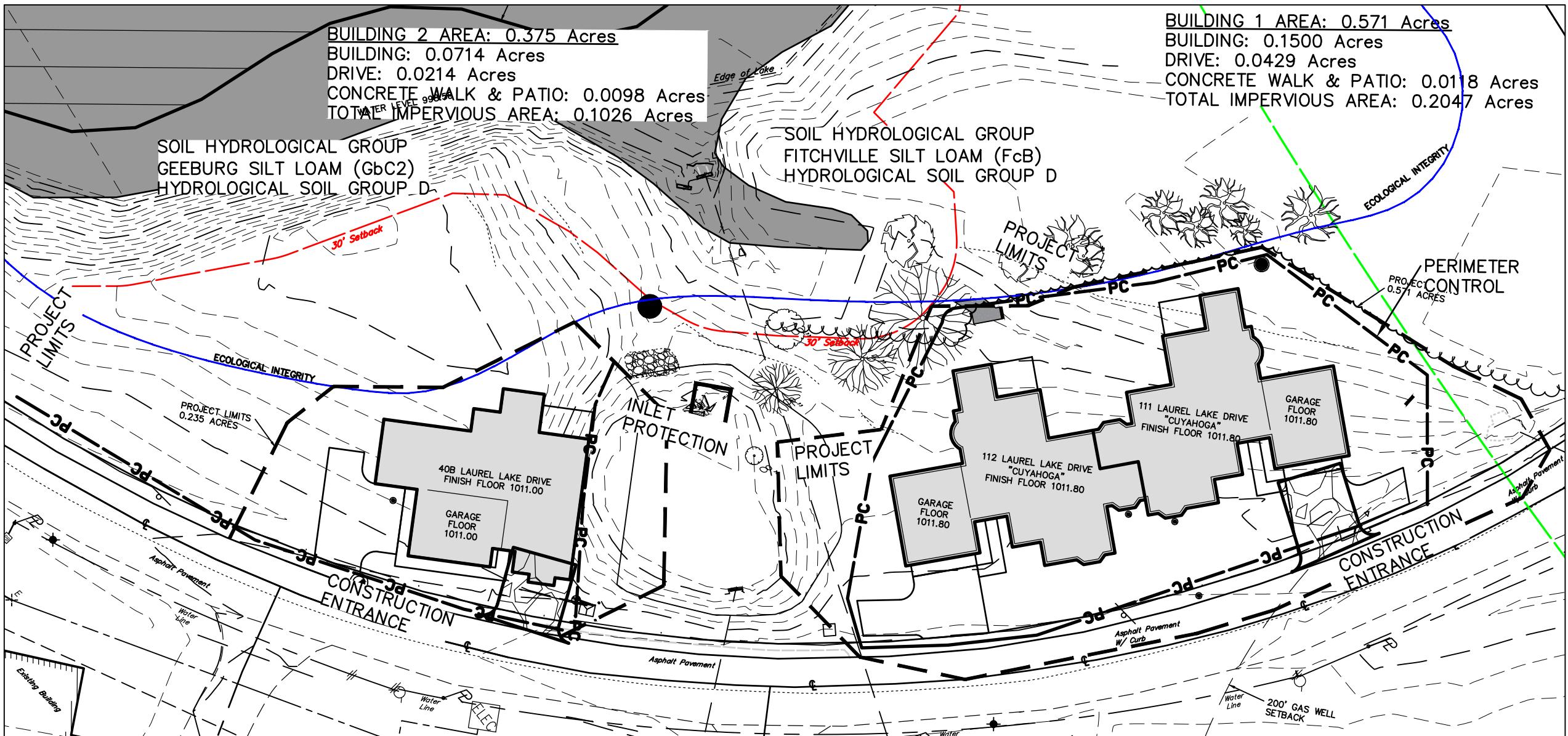
LAUREL LAKE VILLA DRIVE
200 LAUREL LAKE DRIVE

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Call 811
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OGPUS

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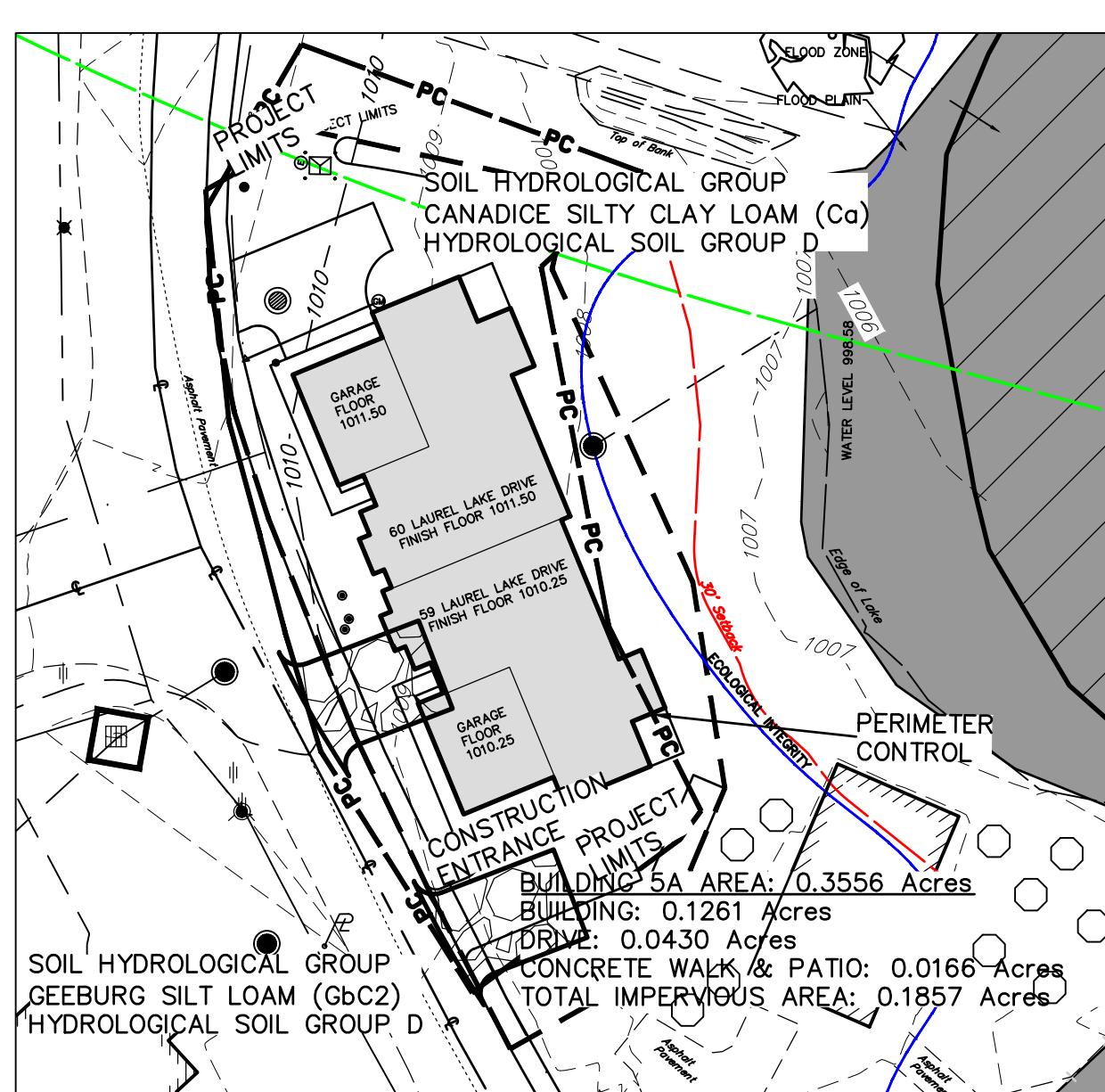
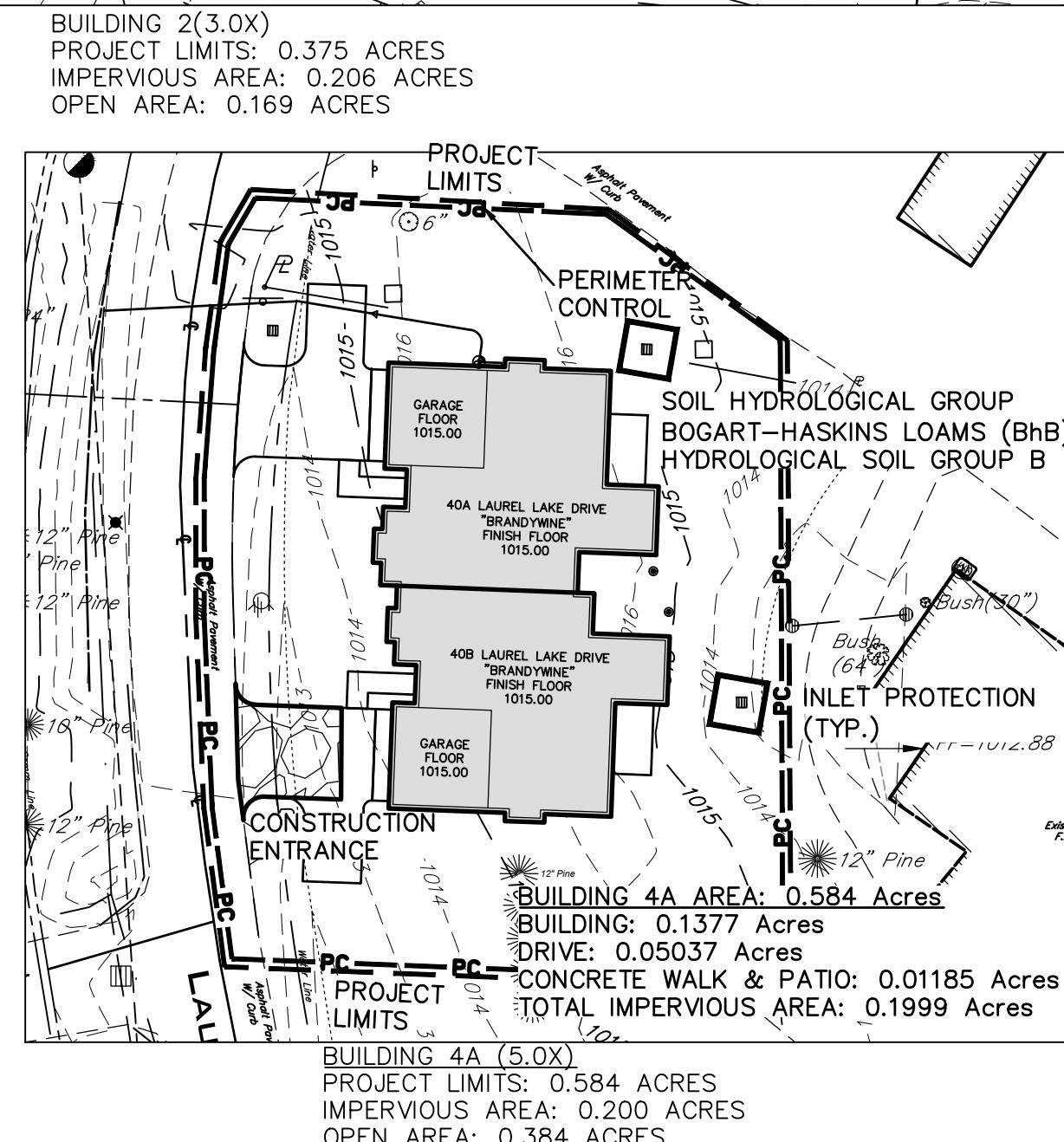
C9.01



GENERAL SWPPP NOTES:
TOTAL LOT AREA = 141.9 ACRES
DISTURBED AREA = 4.37 ACRES
LOCATION OF WASTE STORAGE AND DISPOSAL SHOWN ON THE PLANS SHALL BE VERIFIED BY CONTRACTOR. LOCATION MAY BE CHANGED AND THE SWPPP AMENDED.
A COPY OF THE SWPPP AND ALL ADDENDUM TO THE SWPPP SHALL BE KEPT ON SITE AT ALL TIMES.
ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED AS PER PLAN. ALL PRACTICES MUST BE MAINTAINED AND FUNCTIONAL DURING CONSTRUCTION ACTIVITIES.
EROSION CONTROL BLANKETS WITH MATTING SHALL BE USED ON SLOPES GREATER THAN 6%
EXCESS SEDIMENT SHALL BE REMOVED FROM THE TEMPORARY SEDIMENT BASIN WHEN THE SEDIMENT OCCUPIES 40% OF THE SEDIMENT STORAGE ZONE.
ONCE THE SITE HAS BEEN STABILIZED AND PROPER AUTHORIZATION HAS BEEN OBTAINED, CONSTRUCTION BMP'S MAY BE REMOVED.

CONSTRUCTION SCHEDULE

1. INSTALL TEMPORARY STONE CONSTRUCTION ENTRANCE.
2. INSTALL PERIMETER CONTROL.
3. CLEAR AND GRUB WITHIN CONSTRUCTION LIMITS.
4. STRIP TOPSOIL.
5. MASS GRADE AND APPLY SOIL STABILIZATION AS REQUIRED.
6. INSTALL UTILITIES.
7. INSTALL INLET PROTECTION ON NEW CATCH BASINS.
8. INSTALL BUILDING FOUNDATION.
9. PAVE.
10. AFTER PROPER AUTHORIZATION HAS BEEN OBTAINED BY THE GOVERNING AGENCY, REMOVE EROSION AND/OR SEDIMENT BMP'S.



SITE DATA: THE PROJECT IS LOCATED ON LAUREL LAKE DRIVE IN THE CITY OF HUDSON. THE ENTIRE AREA OF THE SITE IS APPROXIMATELY 141.9 ACRES. THE PROJECT LIMITS IS APPROXIMATELY 4.37 ACRES. EXISTING STORM WATER ON SITE IS COLLECTED INTO DRAINAGE SYSTEM BEFORE BEING DEPOSITED INTO A DETENTION BASIN OR DIRECTLY INTO ONE OF TWO LAKES ON SITE. DETENTION BASINS ON SITE DEPOSIT INTO LAKES. THE LARGER OF THE TWO LAKES - LAUREL LAKE FLOWS INTO PINE LAKE OFF SITE.

PRE CONSTRUCTION WEIGHTED C VALUE (PROJECT LIMITS)
Surface C Area CxArea
Woods (Fair) 0.41 0.18 0.0738
Impervious 0.96 0.36 0.1344
Open (Fair) 0.57 3.57 2.0349
Total 4.11 2.2431
Weighted C = 2.2431 / 4.11 = 0.546

PRE CONSTRUCTION % IMPERVIOUSNESS (PROJECT LIMITS)
0.36 / 4.11 = 8.8%

PRE CONSTRUCTION % IMPERVIOUSNESS (TOTAL SITE)
23.18 / 141.9 = 16.3%

SOILS: THE NATIONAL RESOURCE CONSERVATION SERVICE WEB SOIL SURVEY OF SUMMIT COUNTY IDENTIFIES THE SOILS ON SITE AS SUCH:

BUILDING 1 - GEEBURG SILT LOAM (Gbc2), HSG D
BUILDING 2 - FITCHVILLE SILT LOAM (FcB), HSG D
BUILDING 3A - FITCHVILLE SILT LOAM (FcB), HSG D
BUILDING 4A - BOGART-HASKINS LOAMS (BhB), HSG D
BUILDING 5 - CANADICE SILTY CLAY LOAM (Co), HSG D
BUILDING 8 - BOGART-HASKINS LOAMS (BhB), HSG B
BUILDING 9 - CANADEA SILT LOAM (CcB), HSG D
BOGART-HASKINS LOAMS (BhB), HSG B

CONSTRUCTION ACTIVITY: CONSTRUCTION ACTIVITY WILL INCLUDE THE CLEARING AND GRUBBING OF THE PROJECT LIMITS SITE AND THE CONSTRUCTION OF PROPOSED BUILDINGS. CONSTRUCTION WILL ALSO INCLUDE THE INSTALLATION OF NEW UTILITY CONNECTIONS AND STORM SEWER SYSTEM THAT DEPOSITS STORM SEWER WATER INTO LAUREL LAKE. EACH BUILDING WILL EITHER DEPOSIT DIRECTLY INTO THE LAKE, DEPOSIT INTO THE LOCAL SYSTEM WHICH EVENTUALLY DEPOSITS INTO THE LAKE, OR DEPOSIT INTO A LOCAL DETENTION SYSTEM WHICH WILL DEPOSIT INTO THE LAKE.

POST CONSTRUCTION WEIGHTED C VALUE
Surface C Area CxArea
Bld Site 0.90 1.2983 1.1685
Road 0.90 0.2655 0.2390
Open (Fair) 0.57 2.5462 1.4513
Total 4.11 2.8588
Weighted C = 2.8588 / 4.11 = 0.70

POST CONSTRUCTION % IMPERVIOUSNESS
1.5638 / 4.11 = 0.380 = 38.0%

POST CONSTRUCTION % IMPERVIOUSNESS (TOTAL SITE)
24.38 / 141.9 = 17.2%

FUTURE STORM WATER: FUTURE STORM WATER WILL BE COLLECTED IN STORM SEWERS ON SITE. BUILDINGS 1,2 AND 5A WILL BE DISCHARGED DIRECTLY TO LAKE FOREST. LAKE FOREST HAS A DRAINAGE AREA OF APPROXIMATELY 3,200 ACRES. THE TOTAL IMPERVIOUS AREA DRaining TO THE LAKE IS LESS THAN 5% OF THE TOTAL DRAINAGE AREA, THEREFORE WATER QUALITY DOES NOT NEED TO BE INCLUDED. BUILDING 4A DRAINS TO A SMALL DETENTION BASIN TO REDUCE THE PEAK FLOW FROM THE UNIT BEFORE BEING DISCHARGED INTO A STORM SEWER ON SITE. THIS ALSO DRAINS TO LAKE FOREST. BUILDING 3A, 8 AND 9 DRAIN TO THE LAUREL LAKE BEHIND THE DEVELOPMENT. LAUREL LAKE HAS A DRAINAGE AREA OF APPROXIMATELY 46 ACRES. THE INCREASE IN IMPERVIOUS AREA DRaining TO THE LAKE IS LESS THAN 5% OF THE TOTAL DRAINAGE AREA AND THEREFORE WATER QUALITY IS NOT REQUIRED.

NOTICE OF INTENT (NOI) & NOTICE OF TERMINATION (NOT):
PRIOR TO THE START OF CONSTRUCTION ACTIVITIES, A NOTICE OF INTENT (NOI) SHALL BE FILED BY THE OWNER WITH THE OHIO EPA. CONSTRUCTION ACTIVITIES WILL COMPLY IN WITH CITY OF HUDSON CODIFIED ORDINANCE AND ODEA CONSTRUCTION GENERAL PERMIT #0HCO0005. ONCE CONSTRUCTION IS COMPLETE AND THE SITE HAS BEEN STABILIZED THE DEVELOPER SHALL SUBMIT A NOTICE OF TERMINATION (NOT) WITH THE OHIO EPA.

NOI PERMIT #

CONSTRUCTION:

START: WINTER 2023 - COMPLETION: SPRING 2024

SWPPP CHANGES & AMENDMENTS: ALL CHANGES AND AMENDMENTS TO THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE APPROVED BY DAVID A. PIETRANTONE P.E., THE RIVERSTONE COMPANY.

PREPARED FOR & OWNER:

LAUREL LAKE RETIREMENT COMMUNITY
ANDREW LOVANO
PH: 330-655-1400

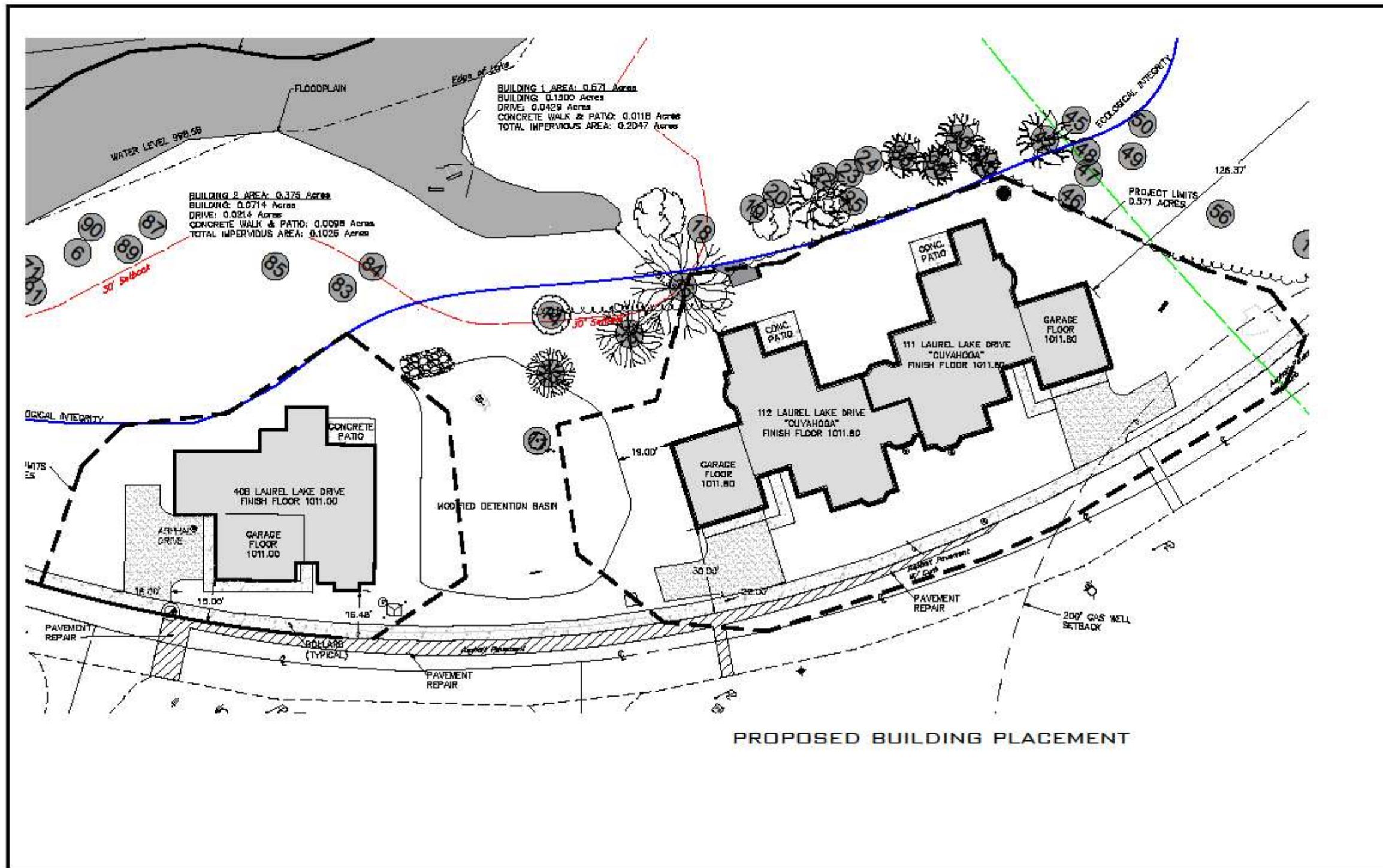
THE RIVERSTONE COMPANY
3800 LAKESIDE AVENUE, SUITE 100
CLEVELAND, OHIO 44114
PHONE: (216) 491-2000

SWPPP LEGEND
PERIMETER CONTROL: SILT FENCE OR COMPOST FILLED FILTER SOCK
CONSTRUCTION LIMITS
SOIL TYPE
CONSTRUCTION ENTRANCE
CONCRETE WASHOUT
INLET PROTECTION

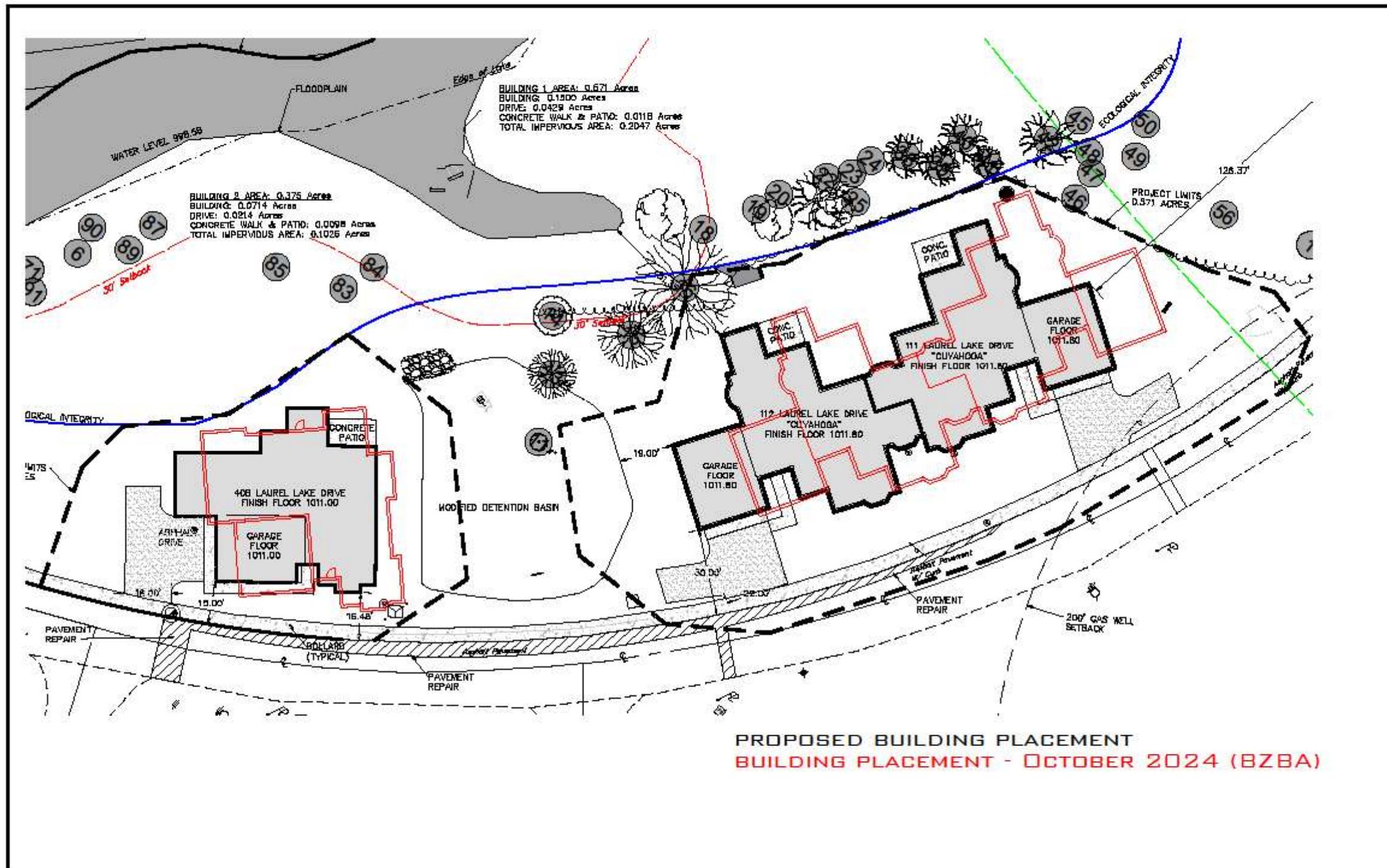
GRAPHIC SCALE
(IN FEET)
1 inch = 40 ft

Laurel Lake
200 Laurel Lake Drive
Buildings 1, 2 and 5
Hudson Planning Commission
September 8, 2025

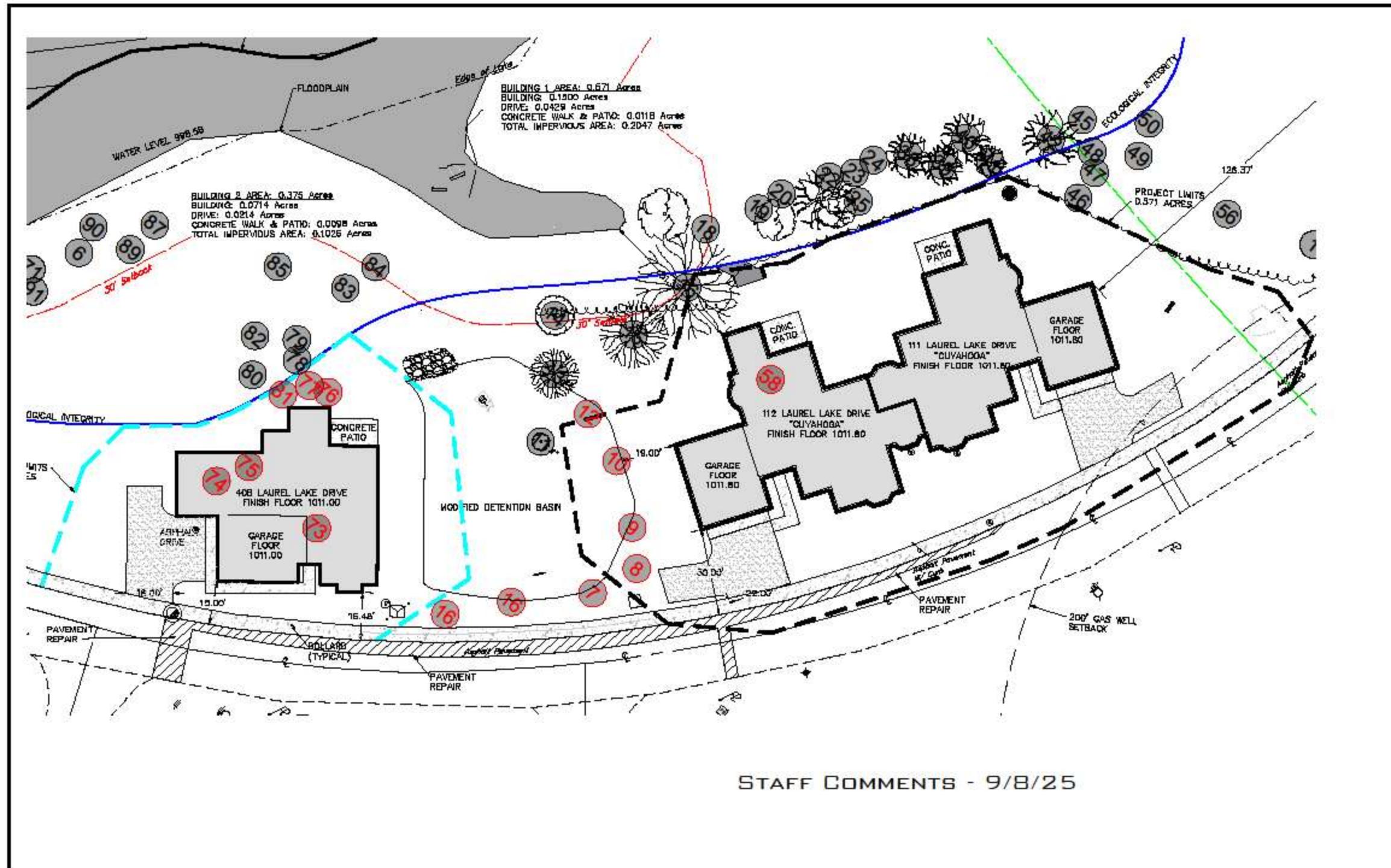
Site Plan – Building 1 & 2



Overlay – Buildings 1 & 2



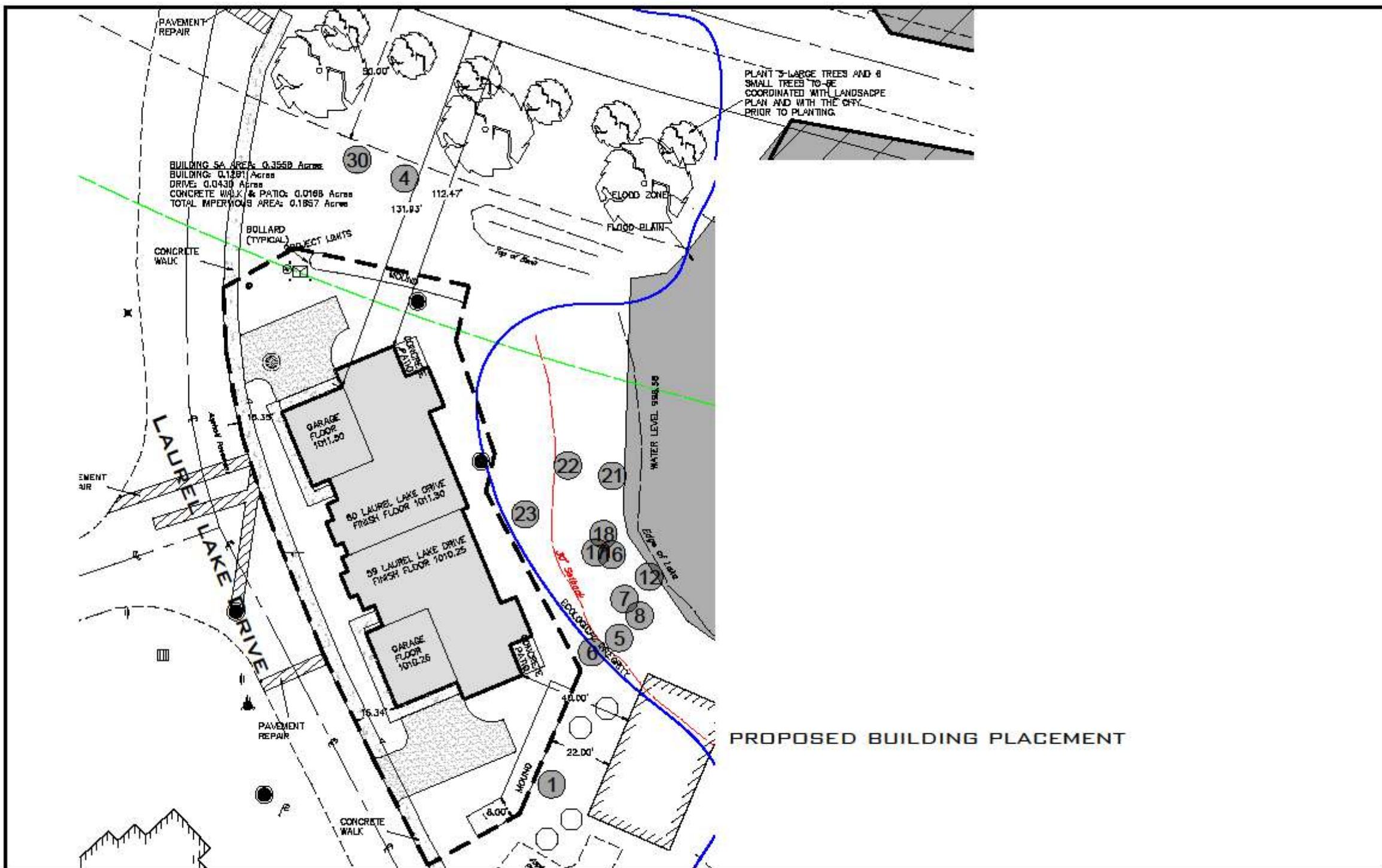
Staff Comments – Buildings 1 & 2



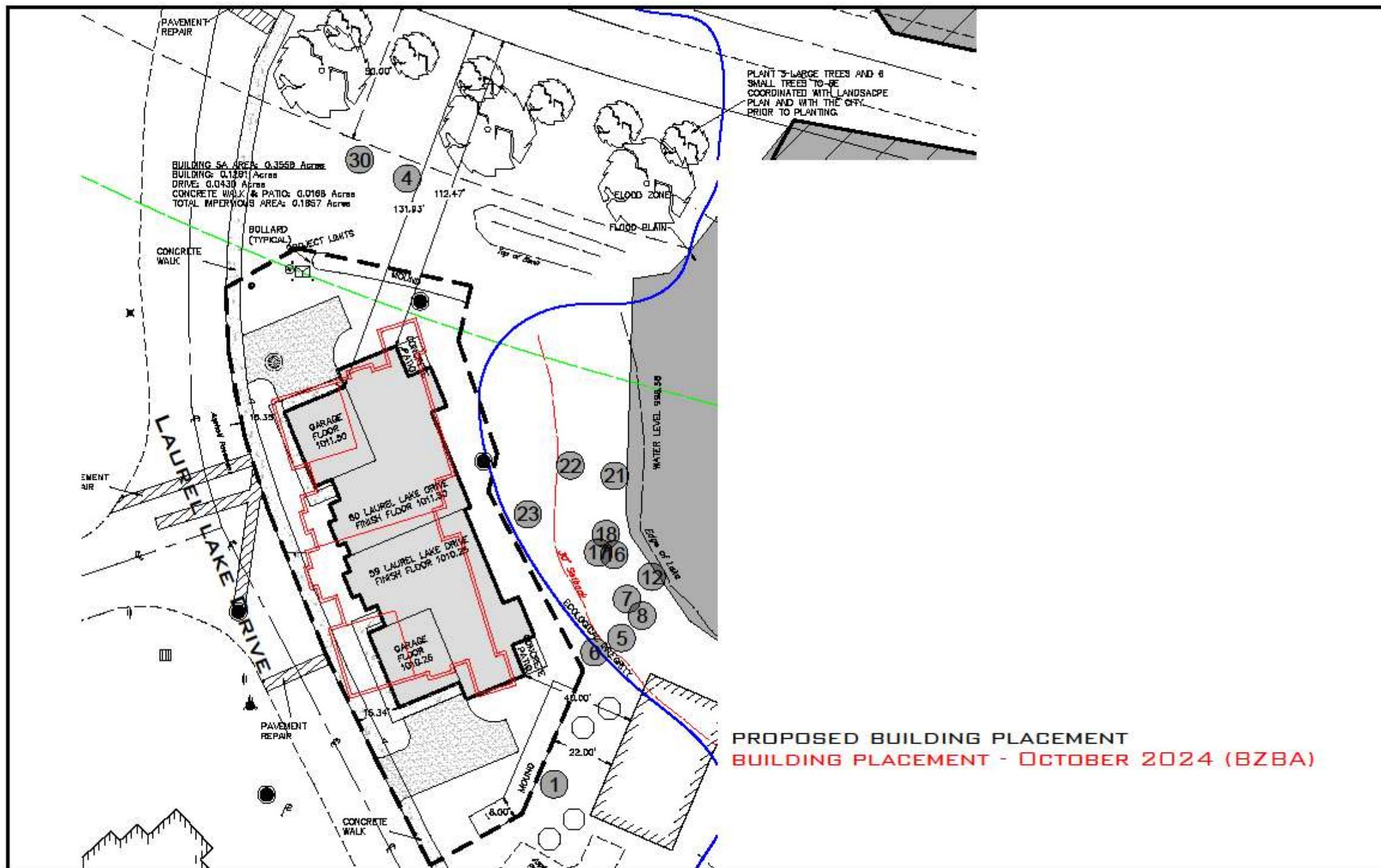
Pictures of Building 2 Site



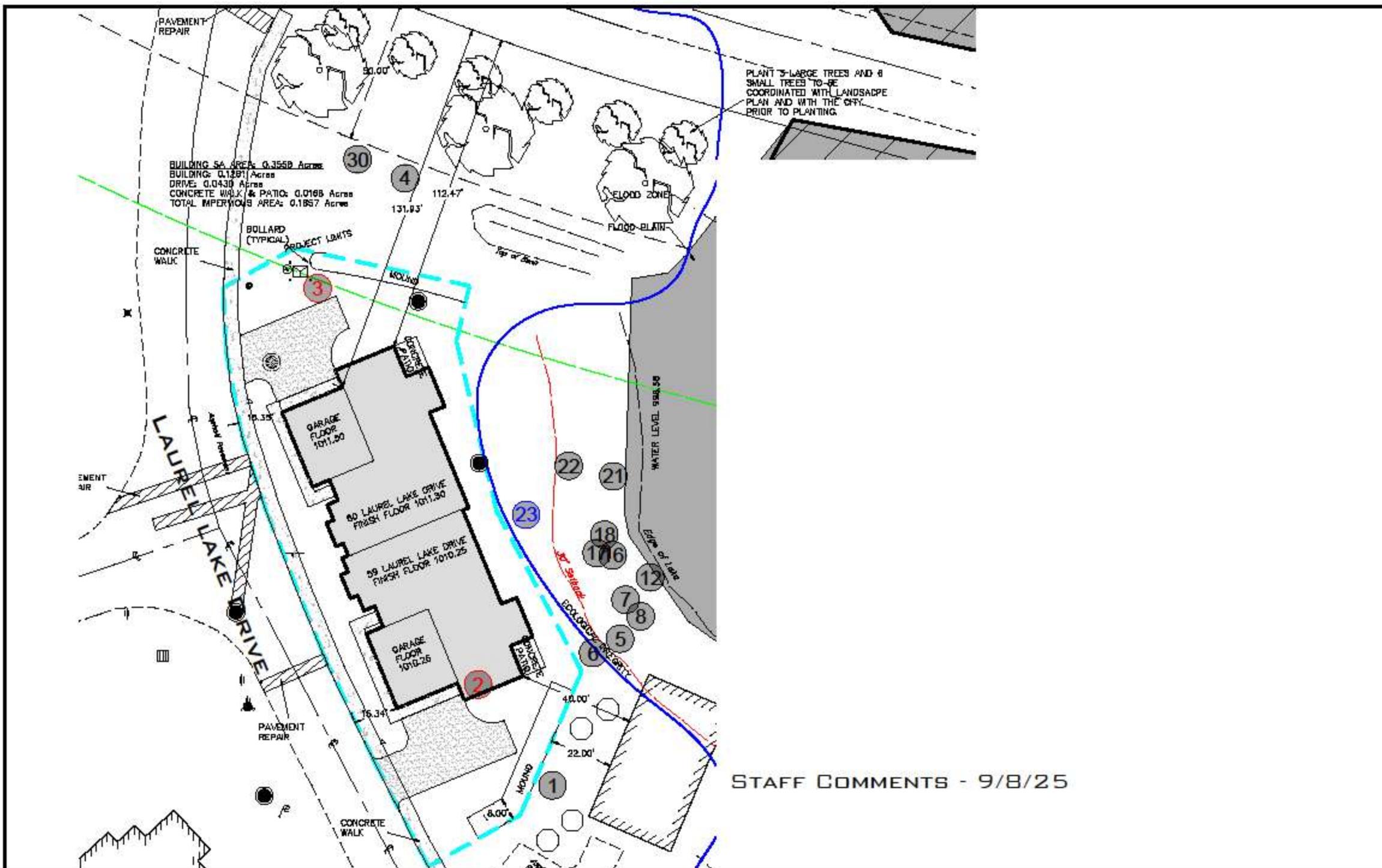
Site Plan – Building 5



Overlay – Building 5



Staff Comments – Building 5



Pictures of Building Site 5

