

Meeting Date:
September 8, 2025

Location:
200 Laurel Lake
Drive

Parcel Numbers
3203045

Request:
Major Site Plan to
construct 7 duplex villa
buildings

Applicant:
Jeffrey Jardine,
Riverstone Survey

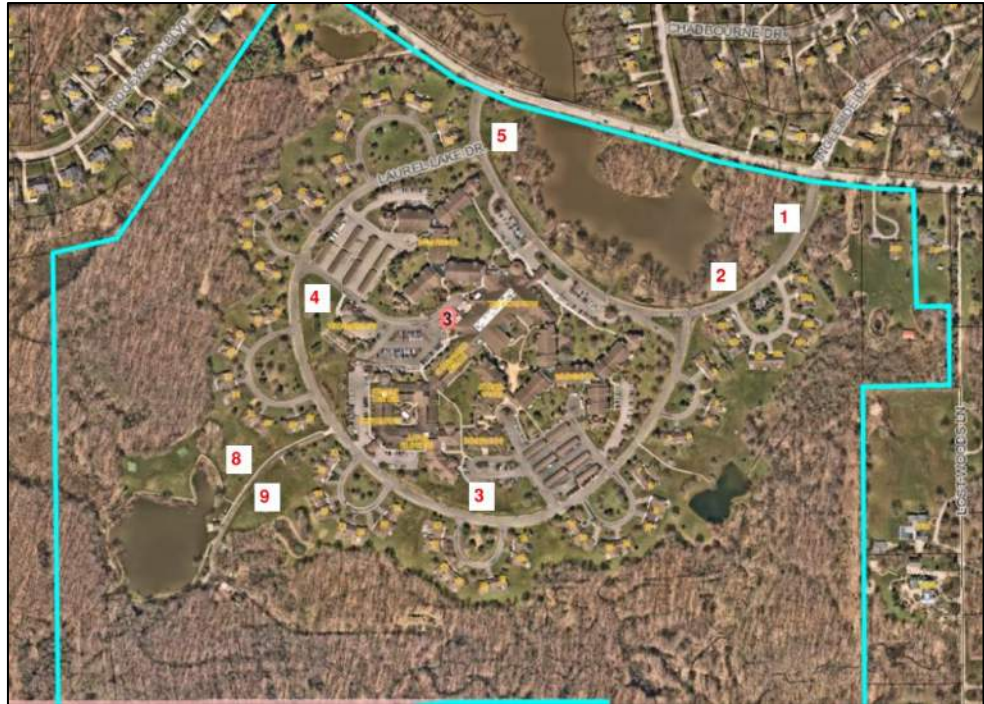
Property Owner:
Laurel Lake Retirement
Community LLC

Zoning:
D3- Outer Village
Residential Neighborhood

Case Manager:
Nick Sugar, City Planner

Contents

- Site Plans, 7.18.25
- Assistant City Engineer Review Letter Dated 9.2.25
- Previous Documents from the June 9, 2025 Submittal



City of Hudson GIS

Project Background:

The application for Major Site Plan Review was introduced at the June 9, 2025 Planning Commission meeting. The request was tabled at request of the applicant with the Planning Commission's understanding the applicant would make the following modifications:

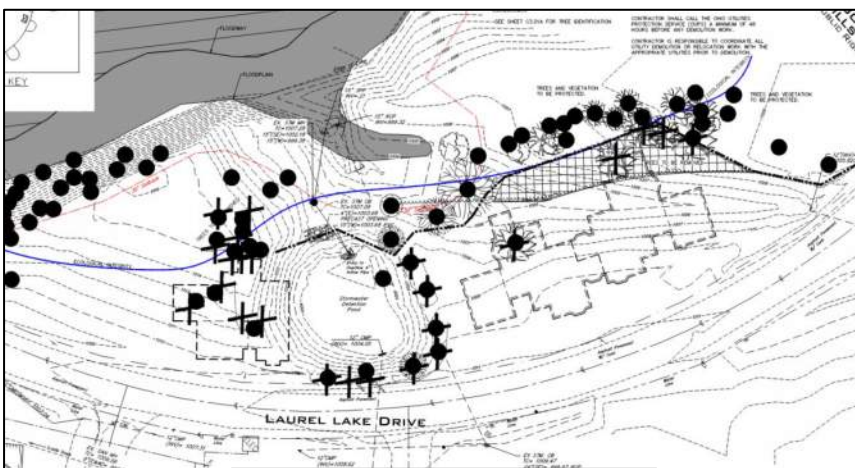
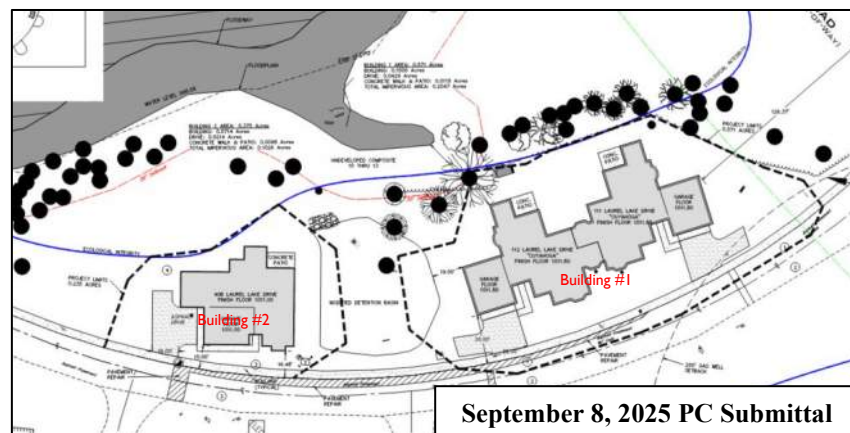
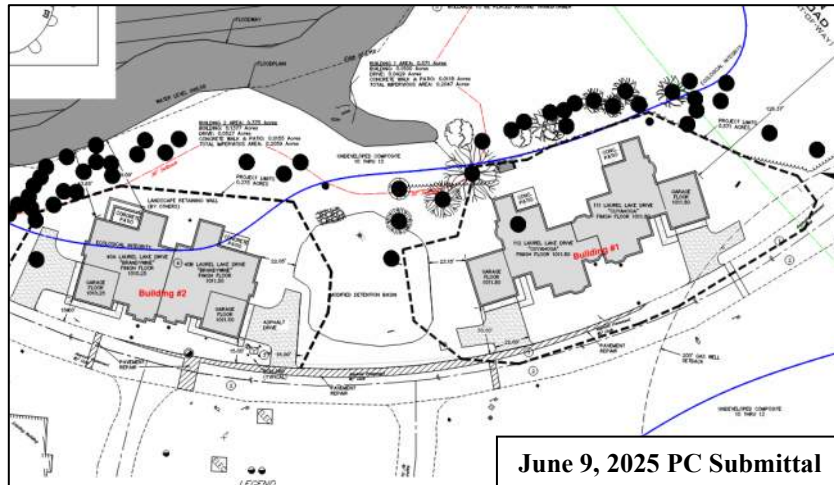
- Revise the site plan to depict five units to align with the previous BZBA Conditional Use decision.
- Revise the site plan so the limits of disturbance do not encroach into the Index of Ecological Integrity (IEI).

The applicant has submitted revised site plans for Planning Commission's consideration. Staff has prepared this addendum to the June 9, 2025 staff report to document the changes and provide comment. For reference, the previous staff report and submittal documents are included in the agenda.

Notable Design Changes and Findings

Staff notes the following:

1. Building #2 has been redesigned back to a single unit; however, the project limits have a minor deviation within the Index of Ecological Integrity and the demolition plan below depicts tree removal within the IEI limits. The applicant should ensure the depicted project limits capture all proposed work.

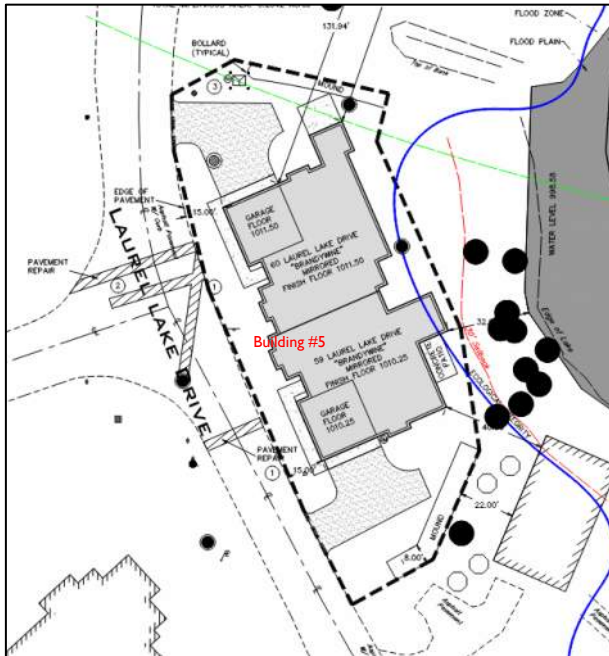


September 8, 2025 PC Submittal
Demolition/ Tree Clearing Plan

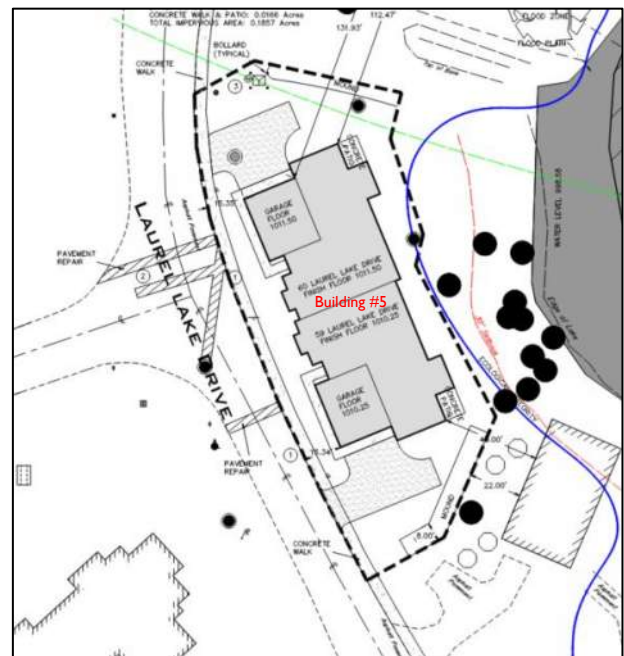


Trees proposed to be
removed within IEI

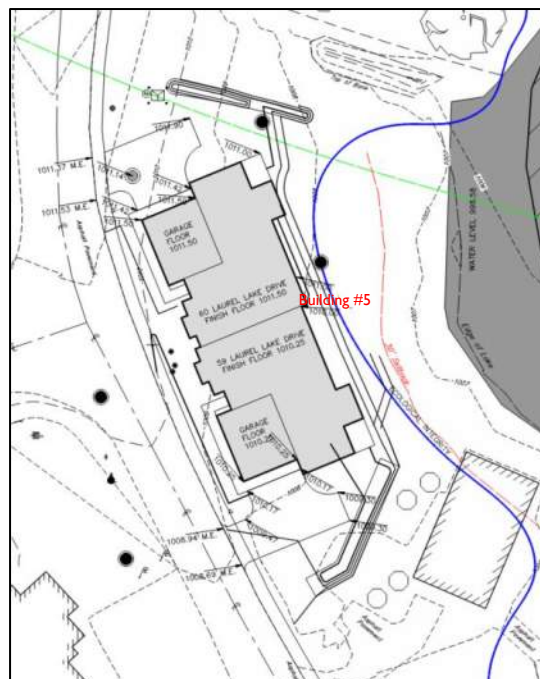
2. Building #5 footprint has been reconfigured to reduce disturbance into the IEI; however, the project limits plan and site grading plan below depict minor disturbance/grading within the IEI limits. Additionally, staff has identified a tree adjacent to the project limits that is noted to be preserved; however, preservation does not seem feasible due to its proximity to the proposed grading and building. Staff suggests revising the site plans to show removal.



June 9, 2025 PC Submittal



September 8, 2025 PC Submittal



September 8, 2025 PC Submittal
Grading Plan



Tree identified near the project limits

| | |
|----------------------------|---------------------------------------|
| Hudson Planning Commission | SITE PLAN REVIEW – LAUREL LAKE VILLAS |
| Case No. 25-229 | September 8, 2025 |

Required PC Action

The PC shall consider the development application, the staff report, and then take final action. PC shall approve, approve with conditions, or deny the application based on its compliance with the appropriate review standards. All decisions of the Commission shall be based on findings of fact related to the relevant standards of the Code.

Staff Recommendation

Staff recommends the Planning Commission review the submitted application, staff comments, and testimony from the applicant and public prior to formal action on the request. Staff recommends the Planning Commission consider the following items, updated from the June 9th staff report, as part of any determination on the request:

1. Building #2:
 - a. Project limits and tree removal extend into the Index of Ecological Integrity (IEI).
2. Building #5
 - a. Project limits and grading extend into the Index of Ecological Integrity (IEI).
 - b. Tree identified adjacent to grading/project limits.
3. Buildings #8 and #9:
 - a. A separate floodplain application is required for review by the City's Floodplain Administrator per Section 1205.14.
 - b. Proposed light pole exceeds the maximum height of 16 ft per Section (e)(1).
4. The Landscaping Plan is required to be revised to verify the minimum bufferyard width of 50 ft is met, requiring four small trees and two large and medium trees every 100 ft. Section 1207.04(k)(1)(A)
5. The comments of Assistant City Engineer David Rapp shall be addressed per the review letter dated September 2, 2025.
6. Design of the buildings would require review from the Architectural and Historic Board of Review.



ENGINEERING • 1140 Terex Road • Hudson, Ohio 44236 • (330) 342-1770

Date: September 02, 2025

To: Nick Sugar, City Planner

CC: Bradley Kosco, P.E., P.S. City Engineer

From: David Rapp, P.E., P.S. Assistant City Engineer

Re: Laurel Lake – Addition of Units
Conditional Use Request
Viewpoint #25-229

The City of Hudson Engineering Department has reviewed the plans submitted and the comments are below. Note: The City of Hudson Engineering Standards (Engineering Standards) and Land Development Code (LDC) are available online at the City of Hudson Website www.hudson.oh.us under the Engineering Dept. and Community Development Department respectively. The standards are also available in print for a fee. Please contact our office (330-342-1776) if you would like a cost for the printed version.

The City of Hudson Engineering Department has the following comments:

Items of concern:

1. Building 5 (Units 59 and 60) opposite the intersection of the driveways
This building location will require the following:
 - a. Realignment of the storm sewer piping requires storm sewer calculations and is required to confirm adding 4 bends and reducing the pipe slope will not change the capacity of the storm system.
 - b. The new location has been modified with a 15' setback and no relocation of pavement. The location is acceptable.
 - c. Units 59 and 60 do have side-load garages.
 - d. The plan shall follow Chapter 1419 of the City of Hudson Engineering Standards for Infrastructure Construction for all Stormwater Management. Revised calculations for the pond alteration shall be submitted and will be needed to determine the volume and direction of flow at each unit location.
2. Building 2
 - a. This unit has been redesigned as a single unit.
 - b. The building has a 15' setback with side-load garage and is acceptable.
 - c. The new unit location has an impact of the existing detention pond but access around the pond for maintenance will be provided.
 - d. The plan shall follow Chapter 1419 of the City of Hudson Engineering Standards for Infrastructure Construction for all

Stormwater Management. Revised calculations for the pond alteration shall be submitted and will **be needed** to determine **the** volume and direction of flow at each unit location.

- e. The grading behind Unit 2 is pitched towards the house. A small retaining wall may be required along with a cutoff swale installed to direct the water away from the house.
- 3. Building 1 (Units 111 and 112) have minimal changes.
 - a. The location of the building requires piping in of an existing ditch, shown on the plans. The pipe has adequate size and slope.
 - b. Units 111 and 112 shall direct stormwater into the existing pond when practical.
 - c. The plan shall follow Chapter 1419 of the City of Hudson Engineering Standards for Infrastructure Construction for all Stormwater Management. Revised calculations for the pond alteration shall be submitted and will be needed to determine the volume and direction of flow at each unit location. The plan shall follow Chapter 1419 of the City of Hudson Engineering Standards for Infrastructure Construction for all Stormwater Management. Revised calculations for the pond alteration shall be submitted and will be needed to determine the volume and direction of flow at each unit location.
- 4. A 10' access to the detention pond exists around the pond and is acceptable.

Please contact me with any questions.

Sincerely,



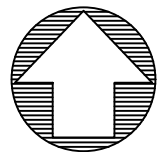
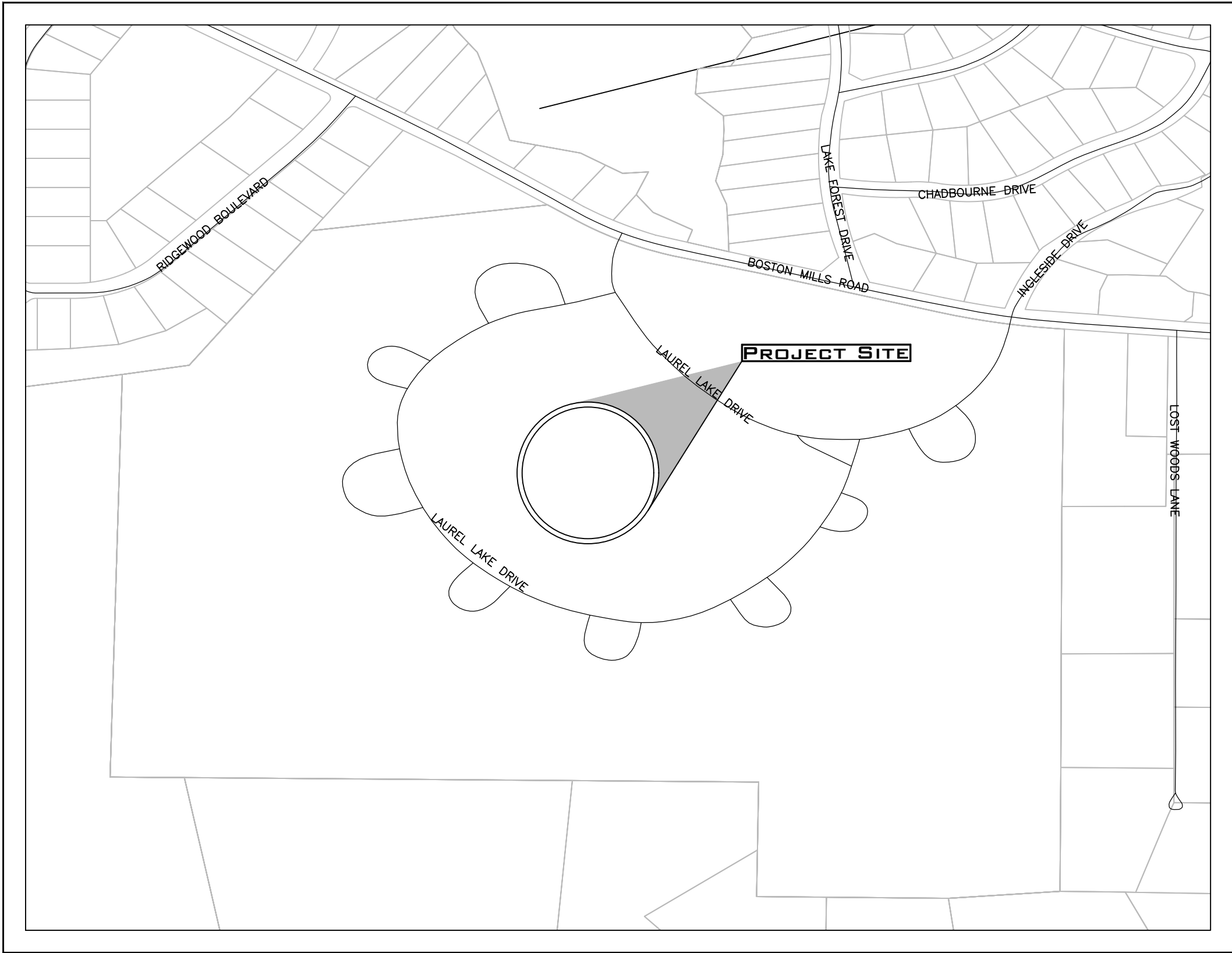
David Rapp, P.E., P.S.
Assistant City Engineer
1140 Terex Road, Hudson, OH 44236
Ph: 330-342-1776

IMPROVEMENT PLANS
FOR
LAUREL LAKE VILLA
ADDITIONAL BUIDINGS 1,2 & 5

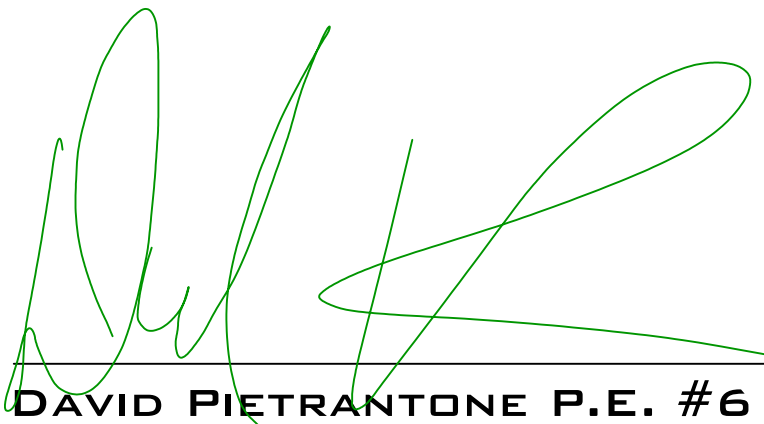
THE CITY OF HUDSON, COUNTY OF
SUMMIT AND STATE OF OHIO

INDEX TO DRAWINGS

| | |
|---------------------|--------------------|
| TITLE PAGE | C1.01 |
| EXISTING CONDITIONS | C2.01 |
| SCHEMATIC PLAN | C2.02 |
| BUILDINGS 1&2 | C3.01,C3.01A-C2.04 |
| BUILDING 5 | C6.01-C6.04 |
| SWPPP | C9.01 |



VICINITY MAP
SCALE: 1" = 400'


DAVID PIETRANTONE P.E. #61756



7/18/25
DATE

PREPARED FOR:

LAUREL LAKE
200 LAUREL LAKE DRIVE
HUDSON, OHIO 44236



RIVERSTONE
LAND SURVEYING · ENGINEERING · DESIGN
3800 LAKESIDE AVENUE · SUITE 100
CLEVELAND, OHIO 44114
PHONE: (216) 991-9640
WWW.RIVERSTONESURVEY.COM

2023-186

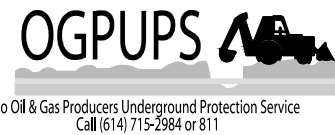
PLAN REVISIONS:
5/12/2025
TREE INVENTORY
7/18/2025
PC RESUBMISSION

PAGE REVISIONS:
10/11/2024
FIRE COMMENTS

ISSUED FOR:
PC APPLICATION
3/17/25
NOT FOR CONSTRUCTION

LAUREL LAKE VILLA
200 LAUREL LAKE DRIVE

TITLE PAGE



C1.01



GENERAL NOTES:
TOTAL AREA 141.9 ACRES
TOTAL IMPERVIOUS AREA: 23.18 ACRES
IMPERVIOUS COVERAGE: 16.33%

PARCEL NUMBER 3203045
LAUREL LAKE RETIREMENT COMMUNITY INC.
ZONED: OUTER VILLAGE
RESIDENTIAL NEIGHBORHOOD

LEGEND

| | | |
|---|---|---------------------|
| M | = Monument Box Found | Spot Elevation Tag |
| O | = Iron Pin or Pipe Found | Hydrant |
| ● | = 5/8" Iron Pin Set and Capped Riverstone Company Dudley PS5747 | Water Service Valve |
| + | = P.K. Nail | Water Valve |
| ⊙ | = Gas Meter | Water Meter |
| △ | = Gas Valve | Reducer |
| U | = Utility Pole | Storm Manhole |
| L | = Light Pole | Sanitary Manhole |
| G | = Guy Anchor & Line | Curb Inlet |
| T | = Telephone Box | Catch Basin |
| E | = Electric Box | Property Line |
| C | = Cable Box | Centerline |
| B | = Bollard | |
| ● | = Cleanout / Test Tee | |

Ex. Parcel line
Original Sublot Line
Original Lot Line
Centerline
Property Line
Right-of-way Line
Easement Line
Railroad Tracks

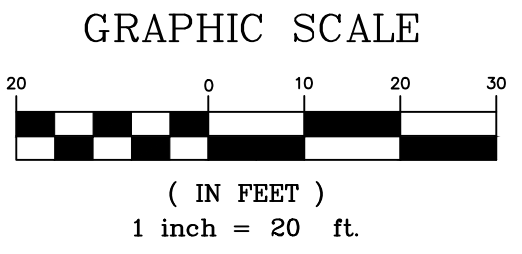
Electric Line
Gas Line
Sanitary/Combination Sewer
Storm Sewer
Waterline
Fence Line (Wooden)
Fence Line (Chain-Link)
Guardrail

PROPOSED

EXISTING

| | | | |
|----------|-----------------------------|----------|-------------------------|
| Ac. | Acres | L.C.A. | Limited Common Area |
| Adj. | Adjacent | L.F. | Lineal Feet |
| A.F.N. | Auditor's File Number | M.E. | Match Existing |
| Asp. | Asphalt | Meas./M. | Measured |
| B.F. | Basement Floor | MH | Manhole |
| BW | Bottom of Wall | Obs. | Observed |
| Calc./C. | Calculated | Pa. | Page |
| CB | Catch Basin | P.P.N. | Permanent Parcel Number |
| C.C.M.R | Cuyahoga County Map Records | Prop | Proposed |
| C.L.F. | Chain-link Fence | Rec./R. | Record |
| C.O. | Clean Out | R/W | Right-of-way |
| Comb. | Combination | Son. | Sanitary |
| Conc. | Concrete | S.F. | Square Feet |
| Conn. | Connection | S/L | Sublot |
| D.H. | Drill Hole | Stm. | Storm |
| D.I.W.M. | Ductile Iron Water Main | T.B.M. | Temporary Bench Mark |
| Elec | Electric | TBR | To Be Removed |
| Elev | Elevation | T/C | Top of Curb |
| Encr. | Encroaches | Tele | Telephone |
| Ex. | Existing | T.F. | Top Of Footer |
| F.F. | Finished Floor | T.T. | Test Tee |
| GUT | Gutter | TW | Top of Wall |
| Inv | Invert | Typ. | Typical |
| | | Vol. | Volume |
| | | Wat | Water |

SURVEY NOTE: SURVEY, BOUNDARY AND UTILITY INFORMATION COMPLETED BY CT CONSULTANTS AND WAS PROVIDED TO THE RIVERSTONE COMPANY FOR USE. THE ENGINEER IS NOT RESPONSIBLE FOR MISSING OR INCOMPLETE INFORMATION. THE ENGINEER RECOMMENDS CONTRACTOR VISIT SITE PRIOR TO CONSTRUCTION. CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS AND UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER AND OWNER OF ANY DISCREPANCIES IMMEDIATELY UPON DISCOVERY.



RIVERSTONE

LAND SURVEYING - ENGINEERING - DESIGN
3800 LAKESIDE AVENUE, SUITE 100
CLEVELAND, OHIO 44114
PHONE: (216) 491-9640
WWW.RIVERSTONEENGINEERING.COM

2023-186

PLAN REVISIONS:

5/12/2025
TREE INVENTORY
7/18/2025
PC RESUBMISSION

PAGE REVISIONS:

ISSUED FOR:
PC APPLICATION
3/17/25
NOT FOR CONSTRUCTION

LAUREL LAKE VILLA
200 LAUREL LAKE DRIVE

EXISTING CONDITIONS



C2.00



GENERAL NOTES:

TOTAL AREA 141.9 ACRES
TOTAL IMPERVIOUS AREA: 23.93 ACRES
IMPERVIOUS COVERAGE: 16.9%



RIVERSTONE
LAND SURVEYING - ENGINEERING - DESIGN
3800 LAKESIDE AVENUE - SUITE 100
CLEVELAND - OHIO - 44114
PHONE: (216) 491-2000 FAX: (216) 491-9640
WWW.RIVERSTONESURVEY.COM

2023-186

| |
|-----------------|
| PLAN REVISIONS: |
| 5/12/2025 |
| TREE INVENTORY |
| 7/18/2025 |
| PC RESUBMISSION |

PAGE REVISIONS:

ISSUED FOR:
PC APPLICATION
3/17/25
NOT FOR CONSTRUCTION

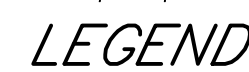
LAUREL LAKE VILLA
200 LAUREL LAKE DRIVE

SCHEMATIC PLAN



Oil & Gas Producers Underground Protection Service
Call (614) 715-3884 or 811

C2.01



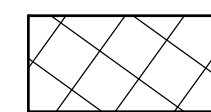
| | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|--|--------------------|--|--------------------|--|----------------------|--|-------------------|--|------------|--|-------------------|--|---------------|--|-----------------|--|---------------|--|----------|--|----------------------------|--|-------------|--|-----------|--|---------------------|--|-------------------------|--|-----------|--|-------|--|----------|--|---------|--|----------------|--|------------|--|-------------|--|-----------------|--|-------------|--|------------|--|------------------|--|--------|--|----------|--|------------|--|------------|--|-------------------------|--|----------|--|------------|--|----------|--|----------------|--|---------------------|--|----------|--|---------|--|----------|--|------|--|-------------------------|--|---------------|--|--------|--|--------------|--|----------|--|-------------|--|--------|--|-------|--|----------------------|--|---------------|--|-----------|--|------------|--|--------|--|-------|
| | Monument Box Found | | Spot Elevation Tag | | Original Sublot Line | | Original Lot Line | | Centerline | | Right-of-way Line | | Easement Line | | Railroad Tracks | | Electric Line | | Gas Line | | Sanitary/Combination Sewer | | Storm Sewer | | Waterline | | Fence Line (Wooden) | | Fence Line (Chain-Link) | | Guardrail | | Acres | | Adjacent | | Asphalt | | Basement Floor | | Calculated | | Catch Basin | | Cuyahoga County | | Map Records | | Centerline | | Chain-link Fence | | Clears | | Concrete | | Connection | | Drill Hole | | Ductile Iron Water Main | | Electric | | Enrochoses | | Existing | | Finished Floor | | Limited Common Area | | Measured | | Manhole | | Observed | | Page | | Permanent Parcel Number | | Property Line | | Record | | Right-of-way | | Sanitary | | Square Feet | | Sublot | | Storm | | Temporary Bench Mark | | To Be Removed | | Telephone | | Top Footer | | Volume | | Water |
|--|--------------------|--|--------------------|--|----------------------|--|-------------------|--|------------|--|-------------------|--|---------------|--|-----------------|--|---------------|--|----------|--|----------------------------|--|-------------|--|-----------|--|---------------------|--|-------------------------|--|-----------|--|-------|--|----------|--|---------|--|----------------|--|------------|--|-------------|--|-----------------|--|-------------|--|------------|--|------------------|--|--------|--|----------|--|------------|--|------------|--|-------------------------|--|----------|--|------------|--|----------|--|----------------|--|---------------------|--|----------|--|---------|--|----------|--|------|--|-------------------------|--|---------------|--|--------|--|--------------|--|----------|--|-------------|--|--------|--|-------|--|----------------------|--|---------------|--|-----------|--|------------|--|--------|--|-------|

SURVEY NOTE: SURVEY, BOUNDARY AND UTILITY INFORMATION COMPLETED BY GT CONSULTANTS AND HAS PROVIDED THE BEST REASONABLE COMPASS FOR USE. THE ENGINEER IS NOT RESPONSIBLE FOR MISSING OR INCOMPLETE INFORMATION. THE ENGINEER RECOMMENDS CONTRACTOR VISIT SITE PRIOR TO CONSTRUCTION. CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS AND UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER AND OWNER OF ANY DISCREPANCIES IMMEDIATELY UPON DISCOVERY.

SITE DEMOLITION LEGEND:



TREE TO BE REMOVED



WOODED AREA TO BE REMOVED.

—SEE SHEET C3.01A FOR TREE IDENTIFICATION

GENERAL SITE DEMOLITION NOTES:

CONTRACTOR SHALL COMPLETELY CLEAR SITE WITH
REGARDS TO PROJECT LIMITS. REMOVAL SHALL
INCLUDE BUT NOT LIMITED TO ALL PAVEMENTS,
SIDEWALKS, CURBS, POLES, SIGNS, UTILITIES, FENCES,
TREES, LANDSCAPING AND ALL APPURTENANCES.

CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL PERMITS NECESSARY FOR SITE DEMOLITION AND SHALL BE RESPONSIBLE FOR ALL FEES.

CONTRACTOR SHALL CALL THE OHIO UTILITIES PROTECTION SERVICE (OUPS) A MINIMUM OF 48 HOURS BEFORE ANY DEMOLITION WORK.

CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL UTILITY DEMOLITION OR RELOCATION WORK WITH THE APPROPRIATE UTILITIES PRIOR TO DEMOLITION.

**BOSTON
MILLS PUBLIC RIGHT-OF-WAY**



RIVERSTONE
LAND SURVEYING - ENGINEERING - DESIGN
3800 LAKESIDE AVENUE - SUITE 100
CLEVELAND - OHIO - 44114
PHONE: (216) 491-2000 FAX: (216) 491-9641
WWW.RIVERSTONESURVEY.COM

2023-186

PLAN REVISIONS:

5/12/2025
Tree Inventory

7/18/2025

PC RESUBMISSION

PAGE REVISIONS:

ISSUED FOR:

PC APPLICATIONS

3/17/25

NOT FOR CONSTRUCTION

LAUREL LAKE VILLA
200 LAUREL LAKE DRIVE

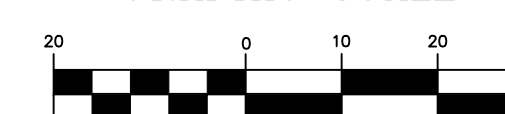
SITE DEMOLITION PLAN - BUILDING 1&2

Ohio Utilities Protection Service
Call 811
before you dig

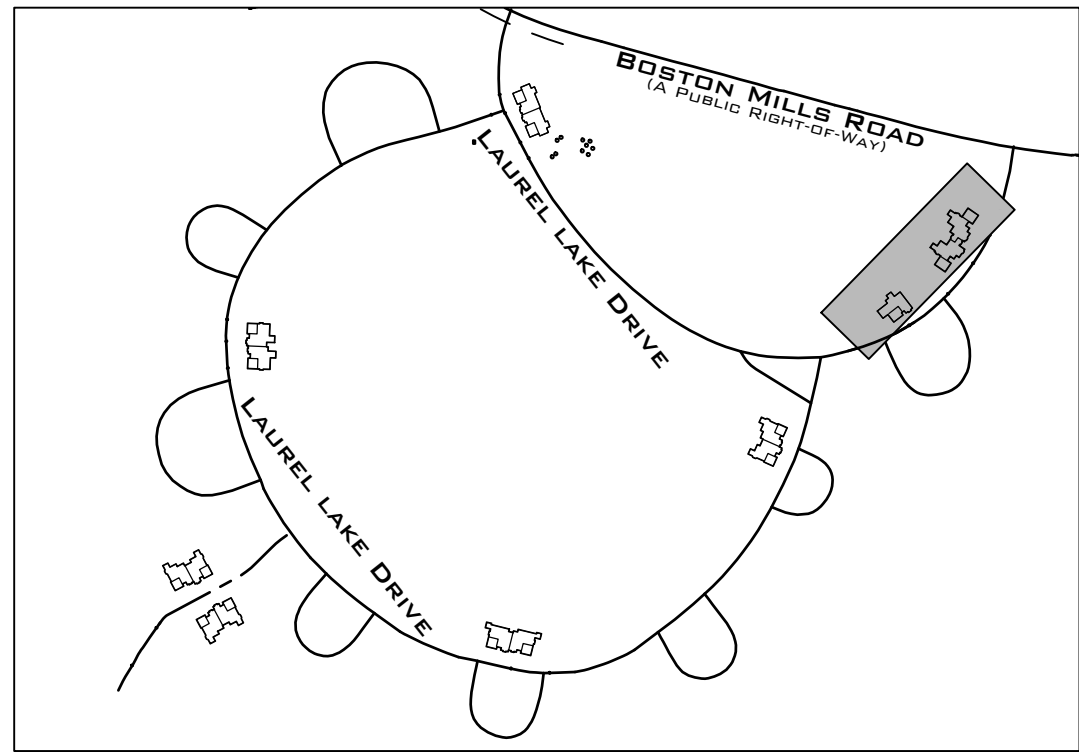
OGPUPS 
Ohio Oil & Gas Producers Underground Protection Service
Call (614) 715-7684 or 811

C3.0

GRAPHIC SCALE

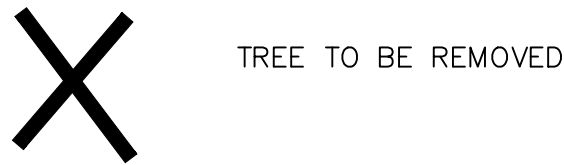


(IN FEET)
1 inch = 20 ft.

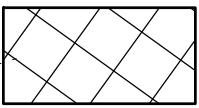


SCHMATIC KEY
N.T.S

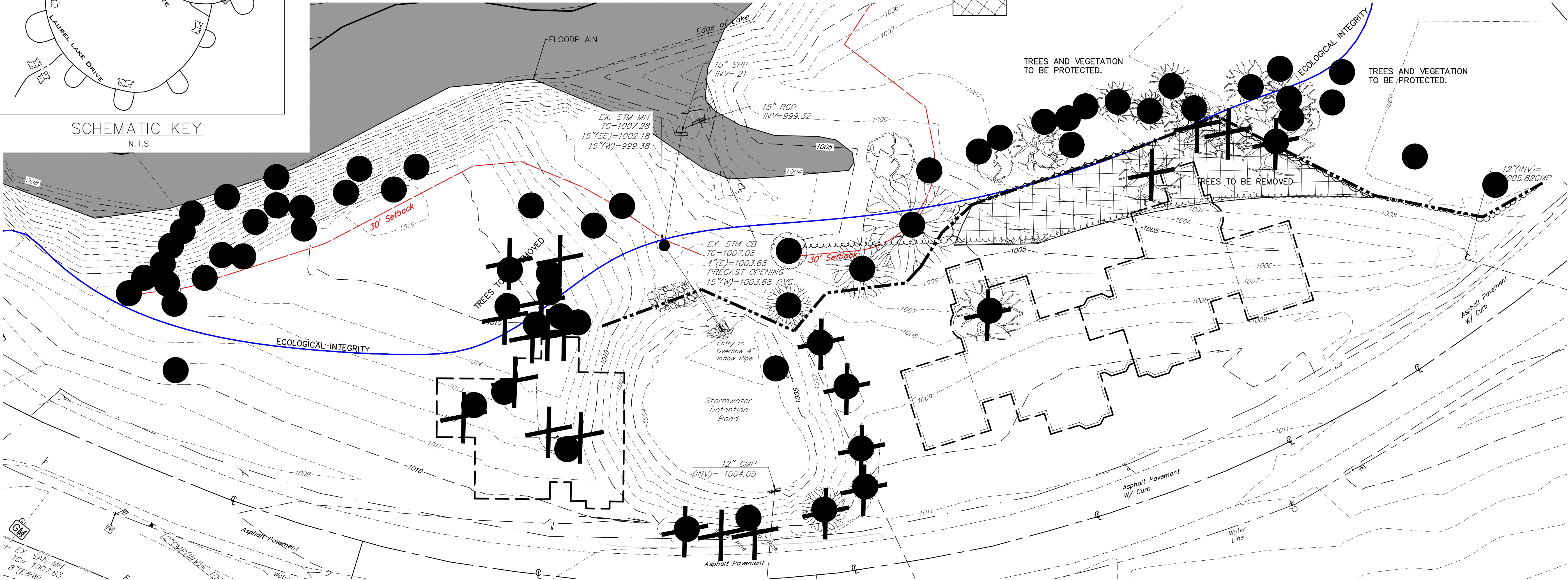
SITE DEMOLITION LEGEND:



TREE TO BE REMOVED



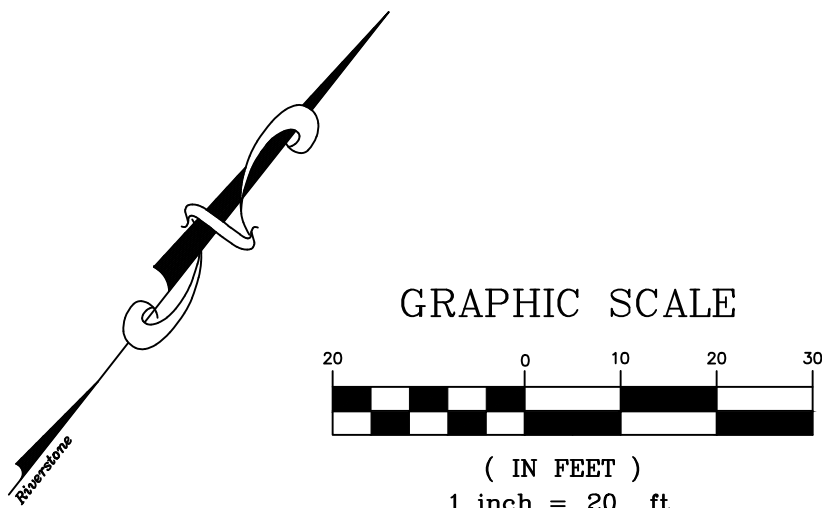
WOODED AREA TO BE REMOVED.



| | | | | | |
|----|------------------|------------------------------|---------|---|------|
| 1 | red maple | <i>Acer rubrum</i> | 6 | | Good |
| 2 | black cherry | <i>Prunus serotina</i> | 13 | 2 | Fair |
| 3 | silver maple | <i>Acer saccharinum</i> | 14 | | Fair |
| 4 | black cherry | <i>Prunus serotina</i> | 10 | | Fair |
| 5 | black cherry | <i>Prunus serotina</i> | 10 | | Fair |
| 6 | Nonway maple | <i>Acer platanoides</i> | 11 | | Fair |
| 7 | black cherry | <i>Prunus serotina</i> | 16 | | Fair |
| 8 | red maple | <i>Acer rubrum</i> | 11 | | Fair |
| 9 | red maple | <i>Acer rubrum</i> | 10 | | Fair |
| 10 | red maple | <i>Acer rubrum</i> | 14 | | Fair |
| 11 | bird cherry | <i>Prunus avium</i> | 7 | | Fair |
| 12 | red maple | <i>Acer rubrum</i> | 12 | | Fair |
| 13 | sugar maple | <i>Acer saccharum</i> | 18 | | Fair |
| 14 | red maple | <i>Acer rubrum</i> | 18 | | Fair |
| 15 | red maple | <i>Acer rubrum</i> | 13 | | Fair |
| 16 | northern red oak | <i>Quercus rubra</i> | 11 | | Poor |
| 17 | red maple | <i>Acer rubrum</i> | 16,17 | 2 | Fair |
| 18 | red maple | <i>Acer rubrum</i> | 7,7.6,5 | 4 | Fair |
| 19 | bird cherry | <i>Prunus avium</i> | 7 | | Fair |
| 20 | red maple | <i>Acer rubrum</i> | 8 | | Fair |
| 21 | American elm | <i>Ulmus americana</i> | 7 | | Fair |
| 22 | red maple | <i>Acer rubrum</i> | 14 | | Fair |
| 23 | red maple | <i>Acer rubrum</i> | 11,15,9 | 3 | Fair |
| 24 | bigtooth aspen | <i>Populus grandidentata</i> | 13 | | Fair |
| 25 | bigtooth aspen | <i>Populus grandidentata</i> | 10 | | Fair |
| 26 | sugar maple | <i>Acer saccharum</i> | 20 | | Fair |
| 27 | white fir | <i>Abies concolor</i> | 7 | | Good |
| 28 | red maple | <i>Acer rubrum</i> | 24 | | Poor |
| 29 | bigtooth aspen | <i>Populus grandidentata</i> | 11 | | Fair |
| 30 | bird cherry | <i>Prunus avium</i> | 10 | | Fair |
| 31 | bigtooth aspen | <i>Populus grandidentata</i> | 8 | | Fair |
| 32 | American beech | <i>Fagus grandifolia</i> | 11 | | Fair |
| 33 | American beech | <i>Fagus grandifolia</i> | 11 | | Fair |

| | | | | | |
|----|---------------------|------------------------------|----------|---|------|
| 34 | American beech | <i>Fagus grandifolia</i> | 11 | | Fair |
| 35 | bigtooth aspen | <i>Populus grandidentata</i> | 11 | | Fair |
| 36 | bigtooth aspen | <i>Populus grandidentata</i> | 7 | | Fair |
| 37 | American basswood | <i>Tilia americana</i> | 12 | | Fair |
| 38 | bigtooth aspen | <i>Populus grandidentata</i> | 6 | | Fair |
| 39 | American beech | <i>Fagus grandifolia</i> | 16 | | Fair |
| 40 | bitternut hickory | <i>Carya cordiformis</i> | 13 | | Fair |
| 41 | northern red oak | <i>Quercus rubra</i> | 21 | | Fair |
| 42 | bald cypress | <i>Taxodium distichum</i> | 7 | | Good |
| 43 | northern red oak | <i>Quercus rubra</i> | 11 | | Good |
| 44 | northern red oak | <i>Quercus rubra</i> | 21 | | Fair |
| 45 | black cherry | <i>Prunus serotina</i> | 17 | | Fair |
| 46 | northern red oak | <i>Quercus rubra</i> | 18 | | Good |
| 47 | northern red oak | <i>Quercus rubra</i> | 14 | | Fair |
| 48 | northern red oak | <i>Quercus rubra</i> | 23 | | Fair |
| 49 | northern red oak | <i>Quercus rubra</i> | 10 | | Good |
| 50 | northern red oak | <i>Quercus rubra</i> | 15 | | Fair |
| 51 | northern red oak | <i>Quercus rubra</i> | 15 | | Fair |
| 52 | northern red oak | <i>Quercus rubra</i> | 24 | | Good |
| 53 | northern red oak | <i>Quercus rubra</i> | 40 | | Fair |
| 54 | American basswood | <i>Tilia americana</i> | 8,15,8 | 3 | Fair |
| 55 | northern red oak | <i>Quercus rubra</i> | 20 | | Fair |
| 56 | white oak | <i>Quercus alba</i> | 18 | | Good |
| 57 | American basswood | <i>Tilia americana</i> | 12,11,10 | 3 | Poor |
| 58 | northern red oak | <i>Quercus rubra</i> | 25 | | Fair |
| 59 | northern red oak | <i>Quercus rubra</i> | 33 | | Good |
| 60 | northern red oak | <i>Quercus rubra</i> | 21 | | Fair |
| 61 | northern red oak | <i>Quercus rubra</i> | 21 | | Good |
| 62 | American beech | <i>Fagus grandifolia</i> | 11 | | Fair |
| 63 | American beech | <i>Fagus grandifolia</i> | 16 | | Fair |
| 64 | American basswood | <i>Tilia americana</i> | 13 | | Fair |
| 65 | black cherry | <i>Prunus serotina</i> | 18 | | Fair |
| 66 | flowering crabapple | <i>Malus sylvestris</i> | 9 | | Fair |

| | | | | | |
|----|------------------|--------------------------------|------|---|------|
| 67 | sweetgum | <i>Liquidambar styraciflua</i> | 20 | | Good |
| 68 | red maple | <i>Acer rubrum</i> | 14 | | Fair |
| 69 | white fir | <i>Abies concolor</i> | 7 | | Good |
| 70 | white oak | <i>Quercus alba</i> | 11 | | Fair |
| 71 | white oak | <i>Quercus alba</i> | 16 | | Fair |
| 72 | white oak | <i>Quercus alba</i> | 11 | | Fair |
| 73 | white oak | <i>Quercus alba</i> | 16 | | Fair |
| 74 | white oak | <i>Quercus alba</i> | 13 | | Fair |
| 75 | white oak | <i>Quercus alba</i> | 16 | | Fair |
| 76 | white oak | <i>Quercus alba</i> | 27 | | Fair |
| 77 | white oak | <i>Quercus alba</i> | 20 | | Fair |
| 78 | white oak | <i>Quercus alba</i> | 18 | | Fair |
| 79 | white oak | <i>Quercus alba</i> | 17 | | Fair |
| 80 | white oak | <i>Quercus alba</i> | 11 | | Fair |
| 81 | white oak | <i>Quercus alba</i> | 11 | | Fair |
| 82 | white oak | <i>Quercus alba</i> | 19 | | Fair |
| 83 | white oak | <i>Quercus alba</i> | 12 | | Fair |
| 84 | white oak | <i>Quercus alba</i> | 11 | | Fair |
| 85 | white oak | <i>Quercus alba</i> | 15 | | Fair |
| 86 | white oak | <i>Quercus alba</i> | 15 | | Fair |
| 87 | white oak | <i>Quercus alba</i> | 18 | | Fair |
| 88 | white oak | <i>Quercus alba</i> | 23 | | Good |
| 89 | white oak | <i>Quercus alba</i> | 12 | | Fair |
| 90 | white oak | <i>Quercus alba</i> | 16 | | Fair |
| 91 | white oak | <i>Quercus alba</i> | 10 | | Fair |
| 92 | white oak | <i>Quercus alba</i> | 6,23 | 2 | Fair |
| 93 | white oak | <i>Quercus alba</i> | 13 | | Fair |
| 94 | black cherry | <i>Prunus serotina</i> | 8,12 | 2 | Fair |
| 95 | northern red oak | <i>Quercus rubra</i> | 15 | | Fair |



RIVERSTONE
LAND SURVEYING - ENGINEERING - DESIGN
3800 LAKEVIEW AVENUE, SUITE 100
CLEVELAND, OHIO 44114
PHONE: (216) 491-9640
WWW.RIVERSTONEENGINEERING.COM

2023-186

PLAN REVISIONS:
5/12/2025
TREE INVENTORY
7/18/2025
PC RESUBMISSION

PAGE REVISIONS:

ISSUED FOR:
PC APPLICATION
3/17/25
NOT FOR CONSTRUCTION

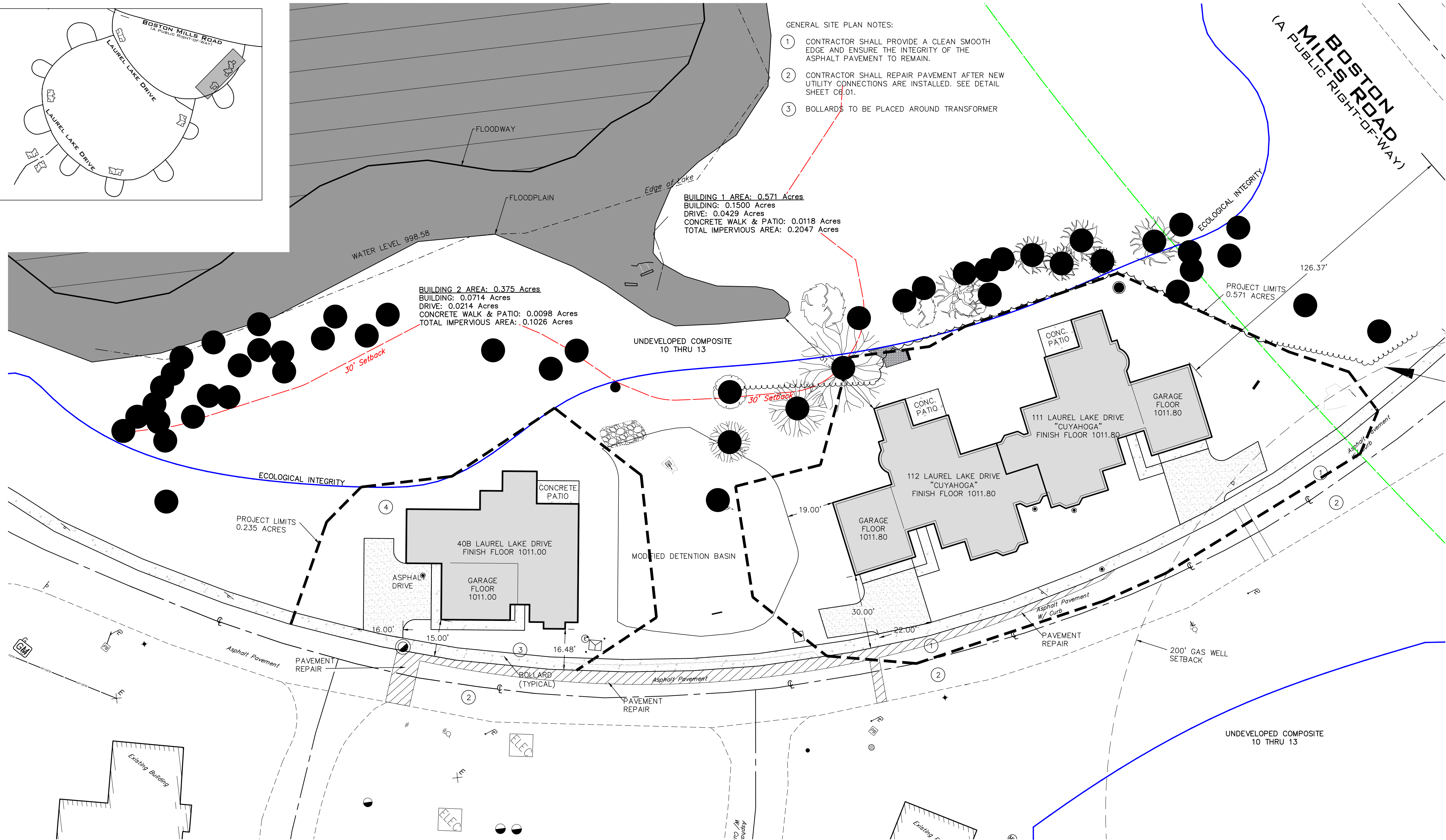
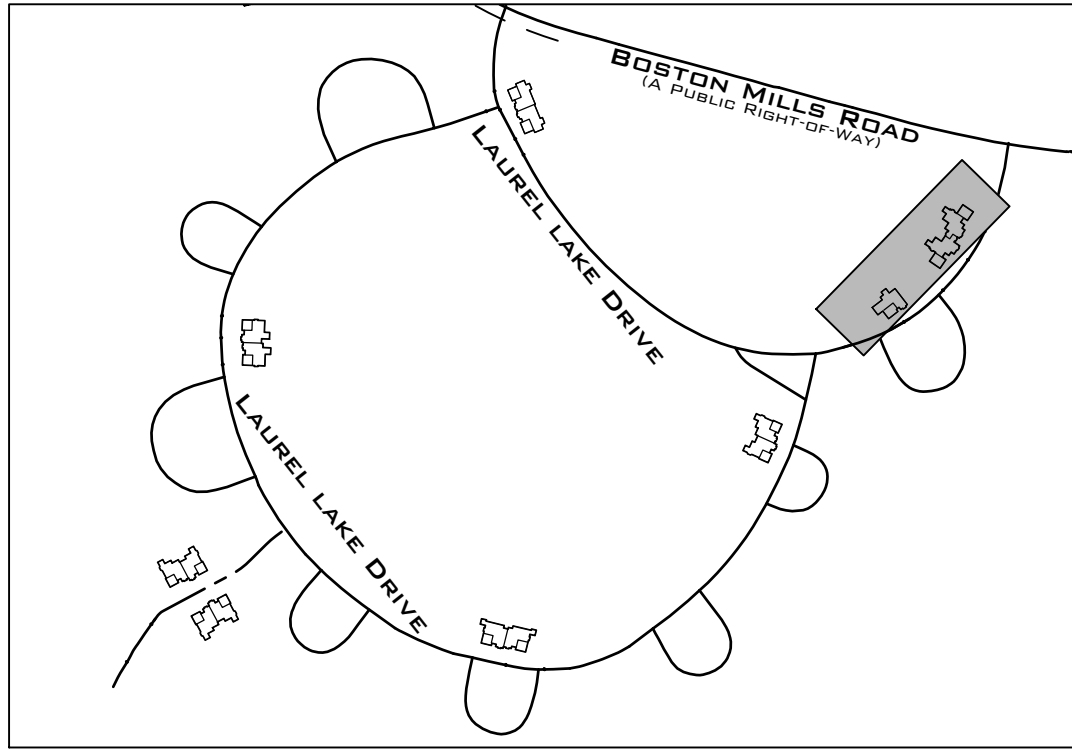
LAUREL LAKE VILLA
200 LAUREL LAKE DRIVE

SITE DEMOLITION PLAN TREE - BUILDING 1 & 2



OGPUPS
Ohio Oil & Gas Producers Underground Protection Service
CMB 010/17-2000 or 011

C3.01A



- GENERAL SITE PLAN NOTES:
- 1 CONTRACTOR SHALL PROVIDE A CLEAN SMOOTH EDGE AND ENSURE THE INTEGRITY OF THE ASPHALT PAVEMENT TO REMAIN.
 - 2 CONTRACTOR SHALL REPAIR PAVEMENT AFTER NEW UTILITY CONNECTIONS ARE INSTALLED. SEE DETAIL SHEET C3.01.
 - 3 BOLLARDS TO BE PLACED AROUND TRANSFORMER

BUILDING 1 AREA: 0.571 Acres
BUILDING: 0.1500 Acres
DRIVE: 0.0429 Acres
CONCRETE WALK & PATIO: 0.0118 Acres
TOTAL IMPERVIOUS AREA: 0.2047 Acres

BUILDING 2 AREA: 0.375 Acres
BUILDING: 0.0714 Acres
DRIVE: 0.0214 Acres
CONCRETE WALK & PATIO: 0.0098 Acres
TOTAL IMPERVIOUS AREA: 0.1026 Acres

UNDEVELOPED COMPOSITE
10 THRU 13

PROJECT LIMITS
0.571 ACRES

126.37'

111 LAUREL LAKE DRIVE
"CUYAHOGA"
FINISH FLOOR 1011.80

GARAGE FLOOR
1011.80

112 LAUREL LAKE DRIVE
"CUYAHOGA"
FINISH FLOOR 1011.80

GARAGE FLOOR
1011.80

40B LAUREL LAKE DRIVE
FINISH FLOOR 1011.00

GARAGE FLOOR
1011.00

MODIFIED DETENTION BASIN

BOLLARD
(TYPICAL)

PAVEMENT REPAIR

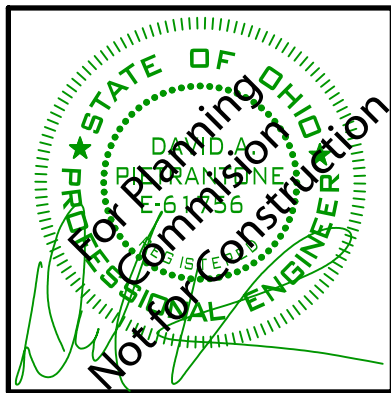
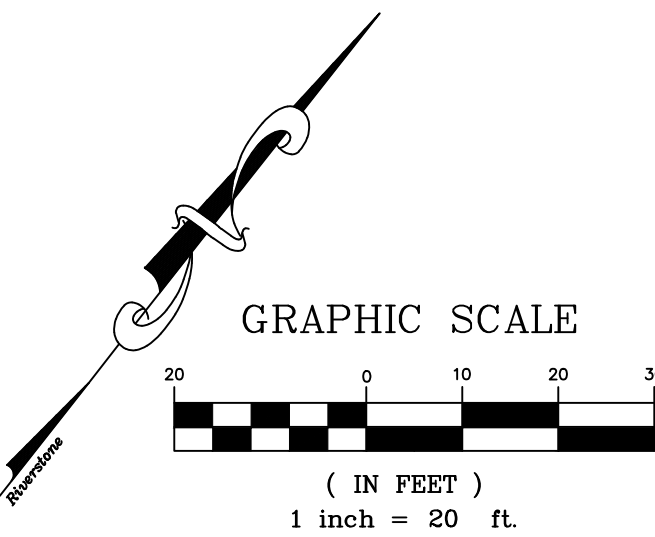
200' GAS WELL
SETBACK

UNDEVELOPED COMPOSITE
10 THRU 13

LEGEND

| | | | | |
|---|-----------------------|------------------------------|--|----------------------------------|
| = Monument Box Found | = Spot Elevation Tag | = Ex. Parcel line | = Ac. Acres | = L.C.A. Limited Common Area |
| = Iron Pin or Pipe Found | = Hydrant | = Original Sublot Line | = Adj. Adjacent | = Meas./M. Measured |
| = 5/8" Iron Pin Set and Capped Riverstone Company Dudley PS6747 | = Water Service Valve | = Original Lot Line | = Asp. Asphalt | = MH Manhole |
| = P.K. Nail | = Water Valve | = Centerline | = B.F. Basement Floor | = Obs. Observed |
| = Gas Meter | = Reducer | = Property Line | = Calc./C. Calculated | = Pg. Page |
| = Gas Valve | = Storm Manhole | = Right-of-way Line | = CB Catch Basin | = P.P.N. Permanent Parcel Number |
| = Utility Pole | = Sanitary Manhole | = Easement Line | = C.C.M.R. Cuyahoga County Map Records | = P. Property Line |
| = Light Pole | = Curb Inlet | = Railroad Tracks | = R/W Right-of-way | = Record Record |
| = Guy Anchor & Line | = Catch Basin | = Electric Line | = Chain-link Fence | = San. Sanitary |
| = Telephone Box | = Round Curb Inlet | = Gas Line | = C.L.F. Chain-link Fence | = S.F. Square Feet |
| = Electric Box | = Cleanout/Test Tee | = Sanitary/Combination Sewer | = C.R. Clear | = S/L Sublot |
| = Cable Box | | = Storm Sewer | = Conn. Connection | = T.B.M. Temporary Bench Mark |
| = Bollard | | = Waterline | = D.H. Drill Hole | = TBR To Be Removed |
| | | = Fence Line (Wooden) | = D.I.W.M. Ductile Iron Water Main | = Tele. Telephone |
| | | = Fence Line (Chain-Link) | = Elec. Electric | = T.F. Top Footer |
| | | = Guardrail | = Encl. Encroaches | = Vol. Volume |
| | | | = F.F. Finished Floor | = Wat. Water |

SURVEY NOTE: SURVEY, BOUNDARY AND UTILITY INFORMATION COMPLETED BY CT CONSULTANTS AND WAS PROVIDED TO THE RIVERSTONE COMPANY FOR USE. THE ENGINEER IS NOT RESPONSIBLE FOR MISSING OR INCOMPLETE INFORMATION. THE ENGINEER RECOMMENDS CONTRACTOR VISIT SITE PRIOR TO CONSTRUCTION. CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS AND UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER AND OWNER OF ANY DISCREPANCIES IMMEDIATELY UPON DISCOVERY.



RIVERSTONE
LAND SURVEYING - ENGINEERING - DESIGN
3800 LAKESIDE AVENUE - SUITE 100
CLEVELAND, OHIO 44114
PHONE: (216) 991-9640
WWW.RIVERSTONEENGINEERING.COM

2023-186

PLAN REVISIONS:
5/12/2025
TREE INVENTORY
7/18/2025
PC RESUBMISSION

PAGE REVISIONS:

ISSUED FOR:
PC APPLICATION
3/17/25
NOT FOR CONSTRUCTION

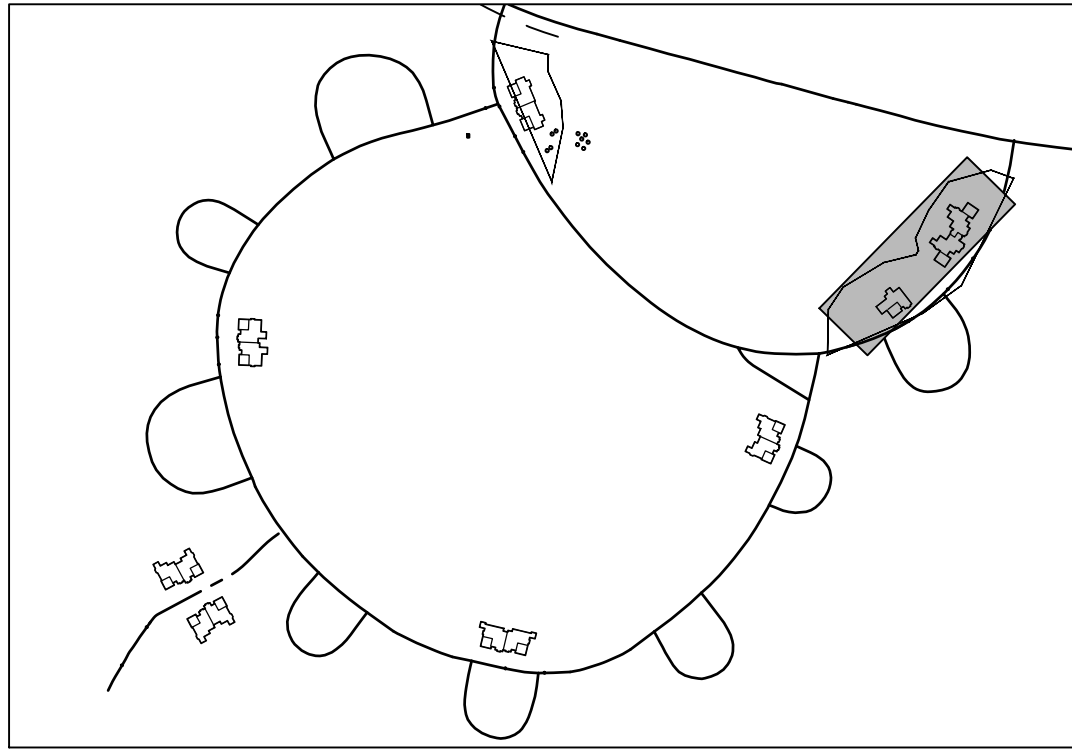
LAUREL LAKE VILLA
200 LAUREL LAKE DRIVE

SITE PLAN - BUILDING 1 & 2

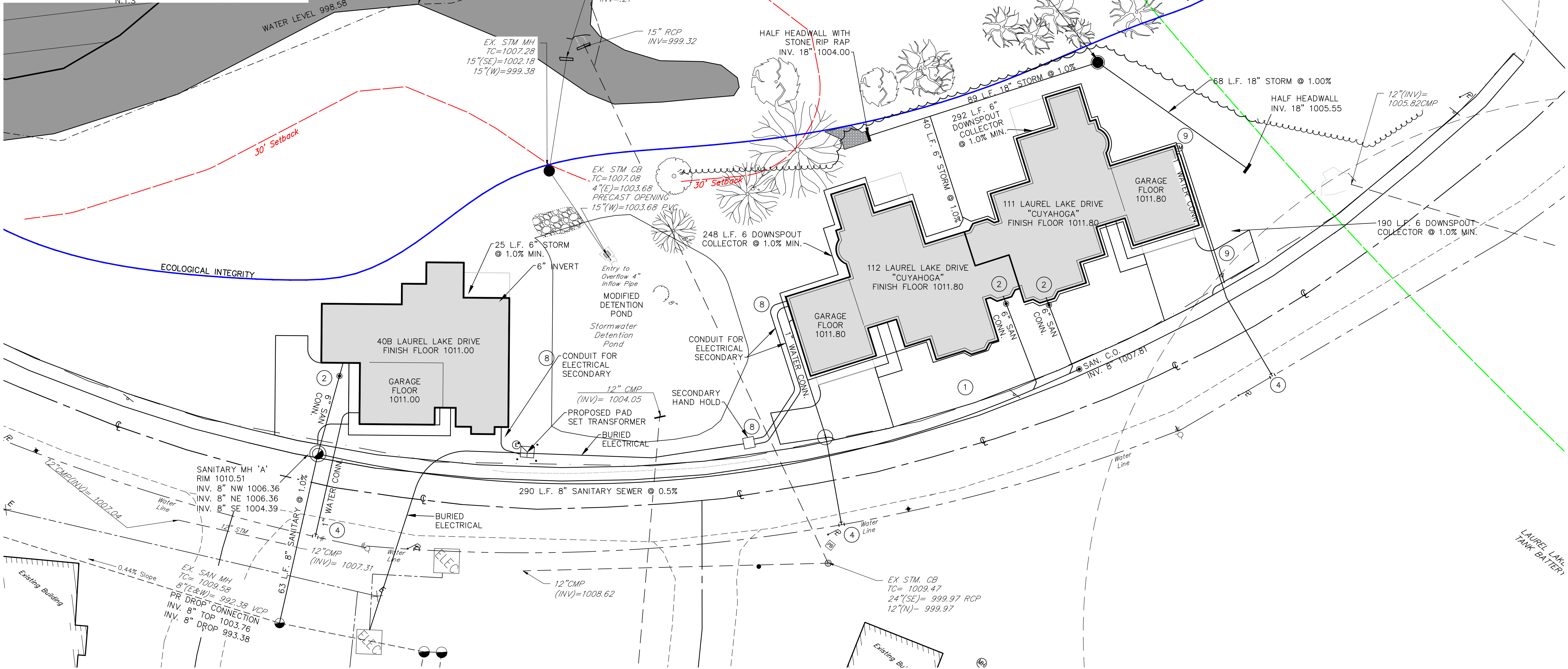


OGPUPS
Ohio Oil & Gas Producers Underground Protection Service
CMB 01/07/15-2026 or 01/1

C3.02



SCHEMATIC KEY



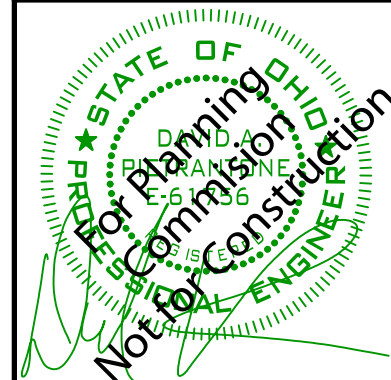
LEGEND

| | | | | |
|--|---|---|--|---|
| <ul style="list-style-type: none">Monument Box FoundIron Pin or Pipe Found5/8" Iron Pin Set and Capped Riverstone Company Dudley PS6747P.K. NailGas MeterGas ValveUtility PoleLight PoleGuy Anchor & LineTelephone BoxElectric BoxCable BoxBollard | <ul style="list-style-type: none">Spot Elevation TagHydrantWater Service ValveWater ValveWater MeterReducerStorm ManholeSanitary ManholeCurb InletCatch BasinRound Curb InletCleanout/Test Tee | <ul style="list-style-type: none">Ex. Parcel lineOriginal Sublot LineOriginal Lot LineCenterlineProperty LineRight-of-way LineEasement LineRailroad TracksElectric LineGas LineSanitary/Combination SewerStorm SewerWaterlineFence Line (Wooden)Fence Line (Chain-Link)Guardrail | <ul style="list-style-type: none">Ac. AcresAdj. AdjacentAsp. AsphaltB.F. Basement FloorCalc./C. CalculatedCB Catch BasinC.M.R. Cuyahoga County Map RecordsC.L.F. Chain-link FenceClr. ClearsConc. ConcreteConn. ConnectionD.H. Drill HoleD.I.W.M. Ductile Iron Water MainElec. ElectricEncl. EncroachesEx. ExistingF.F. Finished Floor | <ul style="list-style-type: none">L.C.A. Limited Common AreaMeas./M. MeasuredMH ManholeObs. ObservedPg. PageP.P.N. Permanent Parcel NumberPl. Property LineRec./R. RecordR/W Right-of-waySan. SanitaryS.F. Square FeetS/L SublotStm. StormT.B.M. Temporary Bench MarkTBR To Be RemovedTele. TelephoneT.F. Top FooterVol. VolumeWat. Water |
|--|---|---|--|---|

SURVEY NOTE: SURVEY, BOUNDARY AND UTILITY INFORMATION COMPLETED BY CT CONSULTANTS AND WAS PROVIDED TO THE RIVERSTONE COMPANY FOR USE. THE ENGINEER IS NOT RESPONSIBLE FOR MISSING OR INCOMPLETE INFORMATION. THE ENGINEER RECOMMENDS CONTRACTOR VISIT SITE PRIOR TO CONSTRUCTION. CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS AND UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER AND OWNER OF ANY DISCREPANCIES IMMEDIATELY UPON DISCOVERY.

UTILITY PLAN NOTES:

- CONTRACTOR SHALL DEFLECT 6" PVC SDR 35 SANITARY SEWER AS NEEDED WITHIN MANUFACTURER'S RECOMMENDATION TO OBTAIN A 400' RADIUS.
- 6" SANITARY CONNECTION AT 1.0% MIN. SLOPE
- INTERNAL SANITARY DROP CONNECTION. SEE DETAIL SHEET C6.02 FOR INFORMATION.
- 1" WATER CONNECTION TO BUILDING. 1" SADDLE CONNECTION TO MAIN. SEE SHEET C6.03 FOR DETAIL.
- SIGN TO BE REMOVED FOR SEWER INSTALLATION AND REINSTALLED AFTER SEWER INSTALLATION.
- 3'x3'x8" NUMBER 1 AND NUMBER 2 STONE RIPRAP.
- 8" DOWNSPOUT COLLECTOR AT 0.5% MINIMUM. CONTRACTOR SHALL COORDINATE DOWNSPOUT LOCATIONS WITH ARCHITECTURAL AND MEP PLANS.
- PROPOSED ELECTRICAL SERVICE. SEE SHEET ME1.01 FOR DETAILS.
- PROPOSED GAS SERVICE. SEE SHEET ME1.01 FOR DETAILS.



RIVERSTONE
LAND SURVEYING - ENGINEERING - DESIGN
3800 LAKEVIEW AVENUE, SUITE 100
CLEVELAND, OHIO 44114
PHONE: (216) 991-9640
WWW.RIVERSTONEENGINEERING.COM

2023-186

| |
|-----------------|
| PLAN REVISIONS: |
| 5/12/2025 |
| TREE INVENTORY |
| 7/18/2025 |
| PC RESUBMISSION |

| |
|-----------------|
| PAGE REVISIONS: |
| |
| |
| |

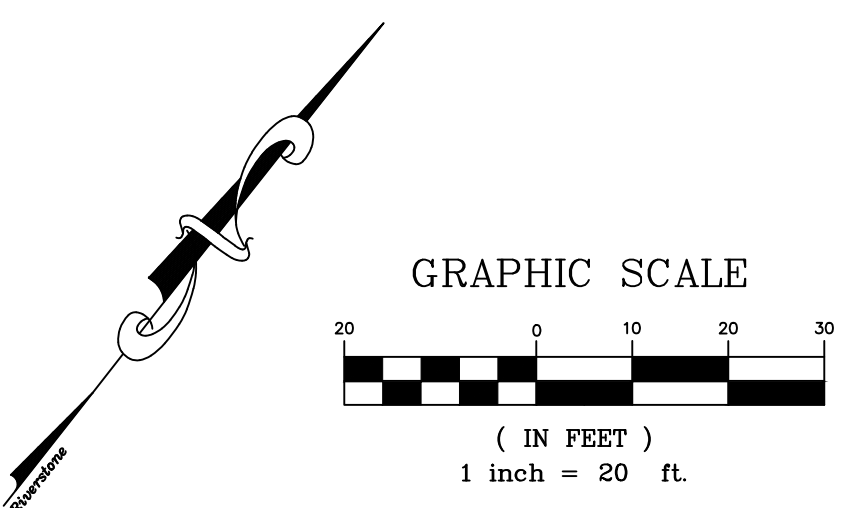
ISSUED FOR:
PC APPLICATION
3/17/25
NOT FOR CONSTRUCTION

LAUREL LAKE VILLA
200 LAUREL LAKE DRIVE
UTILITY PLAN - BUILDING 1 & 2



OGUPS
Ohio Oil & Gas Producers Underground Protection Service
CMB 01/07/15-2024 or 01/

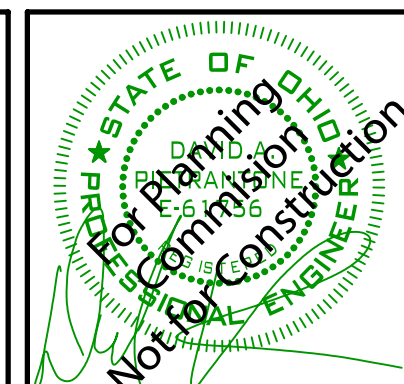
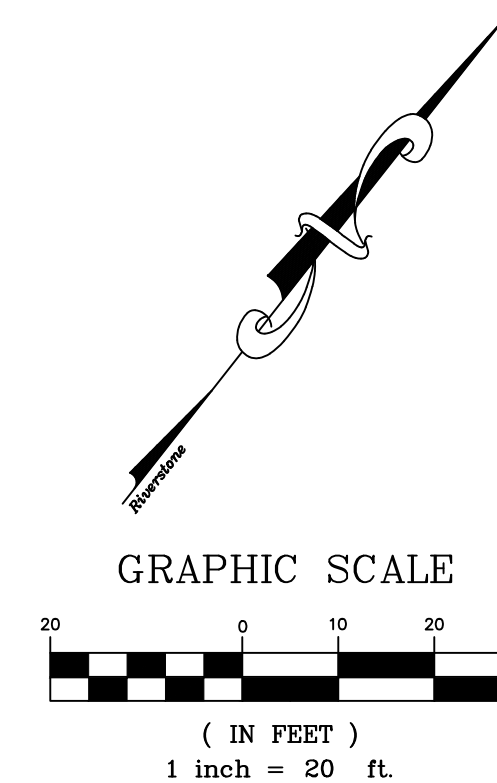
C3.03





| | | | | |
|--|--|--|--|--|
| = Monument Box Found = Iron Pin or Pipe Found | = Spot Elevation Tag = Hydrant = Water Service Valve = Water Valve = Water Meter = Reducer = Storm Manhole = Sanitary Manhole = Curb Inlet = Catch Basin = Round Curb Inlet = Cleanout/Test Tee | Ex. Parcel line Original Sublot Line Original Lot Line Centerline Property Line Right-of-way Line Easement Line Railroad Tracks Electric Line Gas Line Sanitary/Combination Sewer Storm Sewer Waterline Fence Line (Wooden) Fence Line (Chain-Link) Guardrail | Ac. Acres Adj. Adjacent Asp. Asphalt B.F. Basement Floor Cal./C. Calculated CB. Catch Basin C.C.M.R. Cuyahoga County Map Records Centerline C.L.F. Chain-link Fence Clr. Clear Conc. Concrete Conn. Connection D.H. Drilled Hole D.I.W.M. Ductile Iron Water Main Elec. Electric Encl. Encroaches Ex. Existing F.F. Finished Floor | L.C.A. Limited Common Area Meas./M. Measured MH. Manhole Obs. Observed Pg. Page P.P.N. Permanent Parcel Number P. Property Line Rec./R. Record R/W. Right-of-way San. Sanitary S.F. Square Feet S/L. Sublot Stm. Storm T.B.M. Temporary Bench Mark TBR. To Be Removed Tele. Telephone Top. Top Footer Vol. Volume Wat. Water |
|--|--|--|--|--|

SURVEY NOTE: SURVEY, BOUNDARY AND UTILITY INFORMATION COMPLETED BY CT CONSULTANTS AND WAS PROVIDED TO THE INVESTMENT GROUP FOR COMPLETION OF THE ENGINEERING. THE GROUP IS NOT RESPONSIBLE FOR MISSING OR INCOMPLETE INFORMATION. THE ENGINEER RECOMMENDS CONTRACTOR VISIT SITE PRIOR TO CONSTRUCTION. CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS AND UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER AND OWNER OF ANY DISCREPANCIES IMMEDIATELY UPON DISCOVERY.



RIVERSTONE
LAND SURVEYING - ENGINEERING - DESIGN
3800 LAKESIDE AVENUE - SUITE 100
CLEVELAND - OHIO - 44114
PHONE: (216) 491-2000 FAX: (216) 491-9641
WWW.RIVERSTONESURVEY.COM

2023-186

PLAN REVISIONS:

5/12/2025
TREE INVENTORY
7/18/2025
PC RESUBMISSION

PAGE REVISIONS:

ISSUED FOR:

PC APPLICATION

3/17/25

NOT FOR CONSTRUCTION

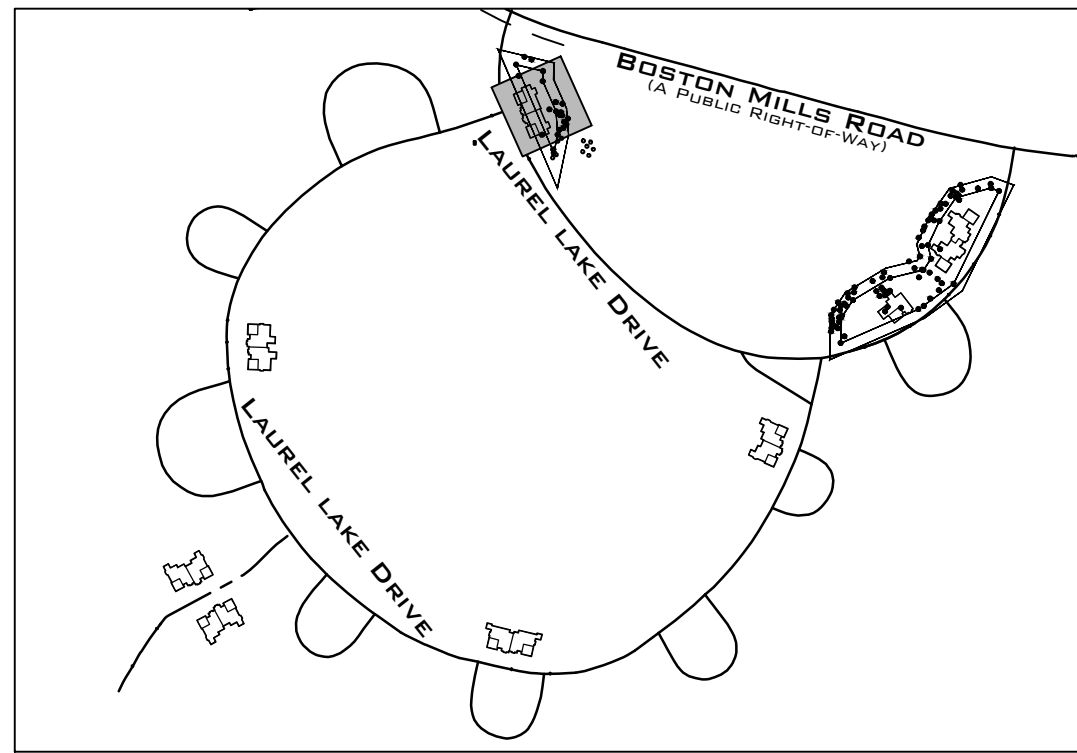
LAUREL LAKE VILLA
200 LAUREL LAKE DRIVE

GRADING PLAN - BUILDING 1 & 2

Ohio Utilities Protection Service
Call 811
before you dig

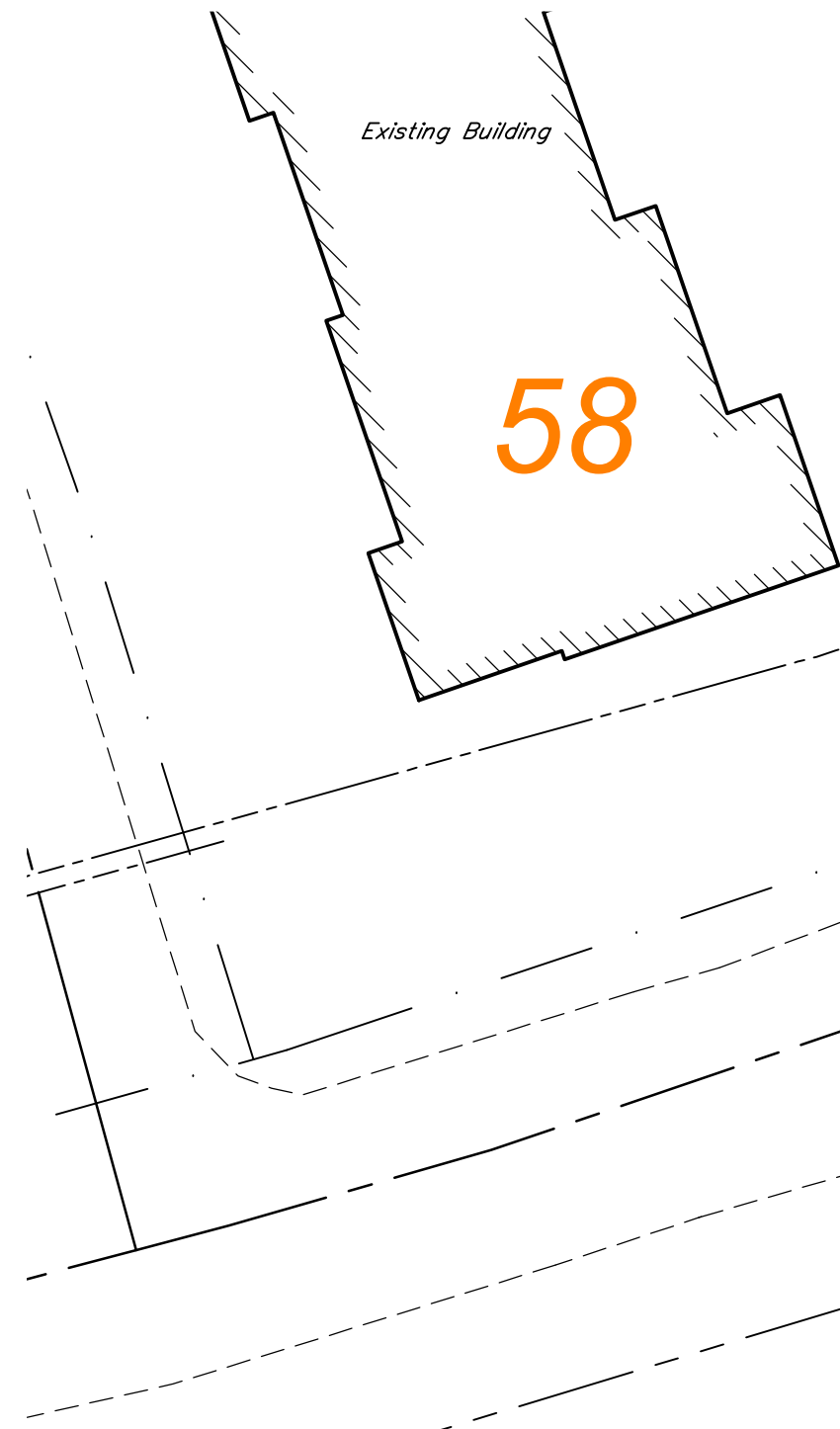
OGPUPS 
Ohio Oil & Gas Producers Underground Protection Service
Call (614) 715-2984 or 811

C3.04



SCHMATIC KEY
N.T.S

| | | | | | |
|----|-------------------|---------------------------|---------|---|------|
| 1 | red maple | <i>Acer rubrum</i> | 13,12 | 2 | Fair |
| 2 | hickory species | <i>Carya sp.</i> | 19,8 | | Good |
| 3 | hickory species | <i>Carya sp.</i> | 14 | | Fair |
| 4 | hickory species | <i>Carya sp.</i> | 15,6 | 2 | Fair |
| 5 | bald cypress | <i>Taxodium distichum</i> | 7 | | Good |
| 6 | hickory species | <i>Carya sp.</i> | 10 | | Fair |
| 7 | northern red oak | <i>Quercus rubra</i> | 9 | | Good |
| 8 | bald cypress | <i>Taxodium distichum</i> | 9 | | Good |
| 9 | bald cypress | <i>Taxodium distichum</i> | 9 | | Good |
| 10 | bald cypress | <i>Taxodium distichum</i> | 7 | | Fair |
| 11 | black willow | <i>Salix nigra</i> | 14,5 | 2 | Fair |
| 12 | bald cypress | <i>Taxodium distichum</i> | 9 | | Good |
| 13 | northern red oak | <i>Quercus rubra</i> | 10 | | Fair |
| 14 | white oak | <i>Quercus alba</i> | 20 | | Good |
| 15 | sugar maple | <i>Acer saccharum</i> | 15 | | Fair |
| 16 | white oak | <i>Quercus alba</i> | 24 | | Good |
| 17 | American basswood | <i>Tilia americana</i> | 8,7,6 | 3 | Fair |
| 18 | black cherry | <i>Prunus serotina</i> | 11,11 | 2 | Poor |
| 19 | northern red oak | <i>Quercus rubra</i> | 7 | | Fair |
| 20 | American elm | <i>Ulmus americana</i> | 10 | | Fair |
| 21 | northern red oak | <i>Quercus rubra</i> | 15 | | Poor |
| 22 | American elm | <i>Ulmus americana</i> | 6 | | Fair |
| 23 | American elm | <i>Ulmus americana</i> | 15 | | Fair |
| 24 | red maple | <i>Acer rubrum</i> | 6,9,8,7 | 4 | Fair |
| 25 | black cherry | <i>Prunus serotina</i> | 12 | | Poor |
| 26 | silver maple | <i>Acer saccharinum</i> | 18 | | Fair |
| 27 | American elm | <i>Ulmus americana</i> | 6 | | Fair |
| 28 | American basswood | <i>Tilia americana</i> | 12 | | Fair |
| 29 | red maple | <i>Acer rubrum</i> | 9 | | Fair |
| 30 | black cherry | <i>Prunus serotina</i> | 10 | | Fair |



GENERAL SITE DEMOLITION NOTES:

CONTRACTOR SHALL COMPLETELY CLEAR SITE WITH REGARDS TO PROJECT LIMITS. REMOVAL SHALL INCLUDE BUT NOT LIMITED TO ALL PAVEMENTS, SIDEWALKS, CURBS, POLES, SIGNS, UTILITIES, FENCES, TREES, LANDSCAPING AND ALL APPURTENANCES.

CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL PERMITS NECESSARY FOR SITE DEMOLITION AND SHALL BE RESPONSIBLE FOR ALL FEES.

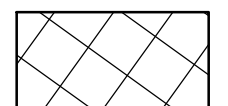
CONTRACTOR SHALL CALL THE OHIO UTILITIES PROTECTION SERVICE (OUPS) A MINIMUM OF 48 HOURS BEFORE ANY DEMOLITION WORK.

CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL UTILITY DEMOLITION OR RELOCATION WORK WITH THE APPROPRIATE UTILITIES PRIOR TO DEMOLITION

SITE DEMOLITION LEGEND:



TREE TO BE REMOVED



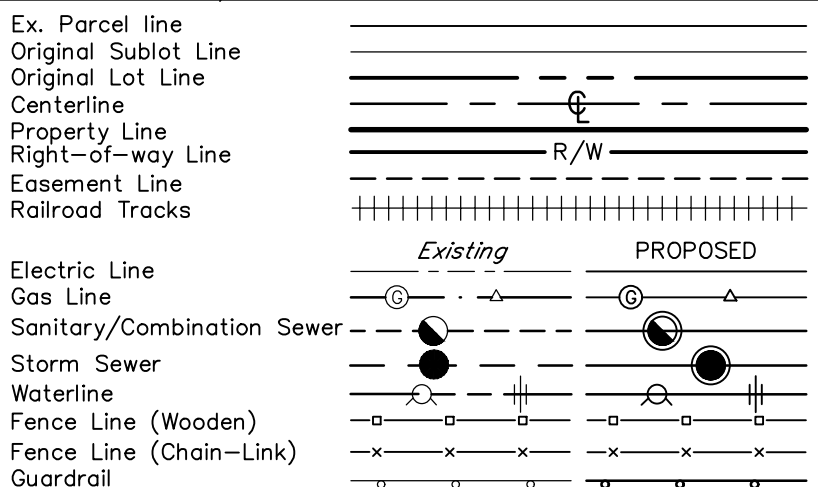
WOODED AREA TO BE REMOVED.

SITE DEMOLITION PLAN KEYNOTES:

- ① EXISTING 24" STORM SEWER TO BE RELOCATED.

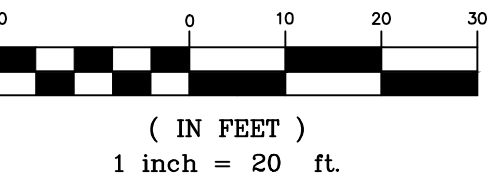
LEGEND

- Monument Box Found
- Iron Pin or Pipe Found
- 5/8" Iron Pin Set and Capped Riverstone Company Dudley P56747
- P.K. Nail
- Gas Meter
- Gas Valve
- Utility Pole
- Light Pole
- Guy Anchor & Line
- Telephone Box
- Electric Box
- Cable Box
- Bollard
- Cleanout / Test Tee
- Spot Elevation Tag
- Hydrant
- Water Service Valve
- Water Valve
- Water Meter
- Reducer
- Storm Manhole
- Sanitary Manhole
- Curb Inlet
- Catch Basin
- Property Line
- Centerline



- Ac. Acres
- Adj. Adjacent
- A.F.N. Auditor's File Number
- Asp. Asphalt
- B.F. Basement Floor
- B.W. Bottom of Wall
- Calc./C. Calculated
- CB Catch Basin
- C.C.M.R. Cuyahoga County Map
- C.L.F. Chain-link Fence
- Clr. Clears
- C.O. Clean Out
- Comb. Combination
- Conc. Concrete
- Conn. Connection
- D.H. Drill Hole
- D.I.W.M. Ductile Iron Water
- Elev. Elevation
- Encr. Encroaches
- Ex. Existing
- F.F. Finished Floor
- GUT Gutter
- Inv. Invert
- L.C.A. Limited Common Area
- L.F. Lineal Feet
- M.E. Match Existing
- Meas./M. Measured
- M.H. Manhole
- Obs. Observed
- Pg. Page
- P.P.N. Permanent Parcel
- Prop. Proposed
- Rec./R. Record
- R/W Right-of-way
- San. Sanitary
- S.F. Square Feet
- S/L Sublot
- Stm. Storm
- T.B.M. Temporary Bench Mark
- TBR To Be Removed
- T/C Top of Curb
- Tele. Telephone
- T.F. Top Of Footer
- T.T. Test Tee
- T.W. Top of Wall
- Typ. Typical
- Vol. Volume
- Wat. Water

GRAPHIC SCALE



SURVEY NOTE: SURVEY, BOUNDARY AND UTILITY INFORMATION COMPLETED BY CT CONSULTANTS AND WAS PROVIDED TO THE RIVERSTONE COMPANY FOR USE. THE ENGINEER IS NOT RESPONSIBLE FOR MISSING OR INCOMPLETE INFORMATION. THE ENGINEER RECOMMENDS CONTRACTOR VISIT SITE PRIOR TO CONSTRUCTION. CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS AND UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER AND OWNER OF ANY DISCREPANCIES IMMEDIATELY UPON DISCOVERY.



RIVERSTONE
LAND SURVEYING - ENGINEERING - DESIGN
3800 LAKESIDE AVENUE, SUITE 100
CLEVELAND, OHIO 44114
PHONE: (216) 991-9640
WWW.RIVERSTONEDESIGN.COM

2023-186

PLAN REVISIONS:
5/12/2025
TREE INVENTORY
7/18/2025
PC RESUBMISSION

PAGE REVISIONS:

ISSUED FOR:
PC APPLICATION
3/17/25
NOT FOR CONSTRUCTION

LAUREL LAKE VILLA
200 LAUREL LAKE DRIVE

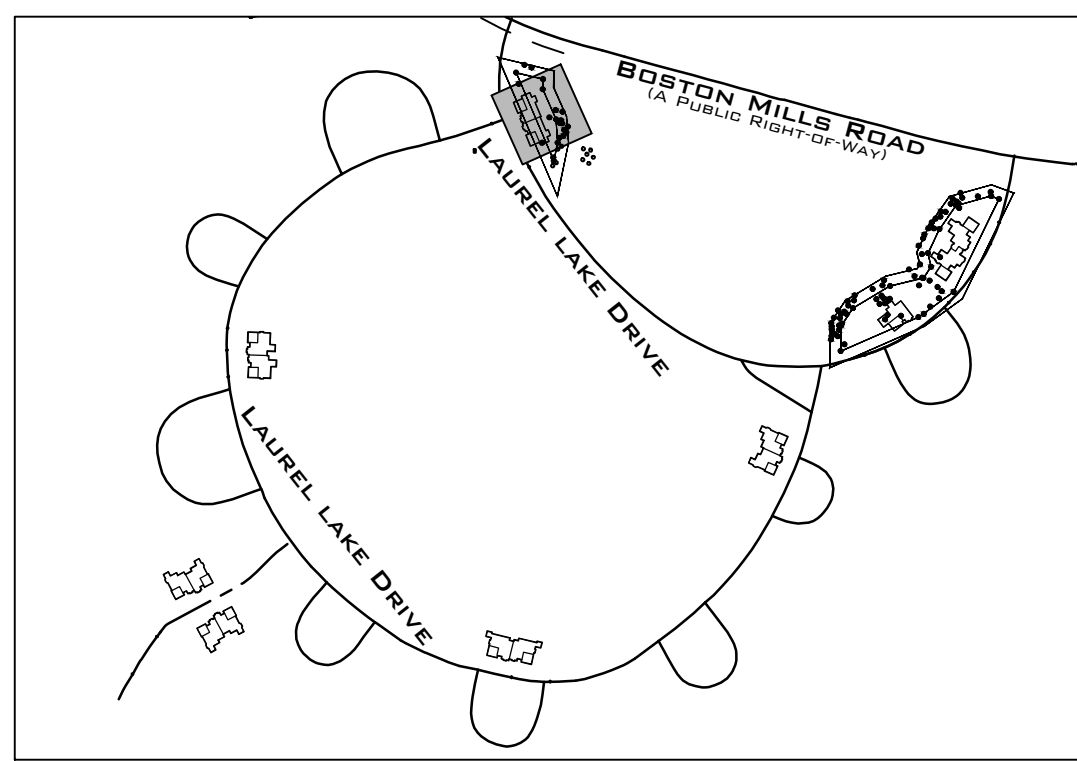
SITE DEMOLITION PLAN - BUILDING 5



OGPUPS

Ohio Oil & Gas Producers Underground Protection Service
Call 811 or 717-556-0311

C6.01



SCHEMATIC KEY
N.T.S.

58

BUILDING 5A AREA: 0.3556 Acres
BUILDING: 0.1261 Acres
DRIVE: 0.0430 Acres
CONCRETE WALK & PATIO: 0.0166 Acres
TOTAL IMPERVIOUS AREA: 0.1857 Acres

PLANT 3 LARGE TREES AND 6
SMALL TREES TO BE
COORDINATED WITH LANDSCAPE
PLAN AND WITH THE CITY
PRIOR TO PLANTING.

BOSTON MILLS ROAD
(A PUBLIC RIGHT-OF-WAY)

LAUREL LAKE DRIVE

60 LAUREL LAKE DRIVE
FINISH FLOOR 1011.50

59 LAUREL LAKE DRIVE
FINISH FLOOR 1010.25

GARAGE FLOOR 1010.25

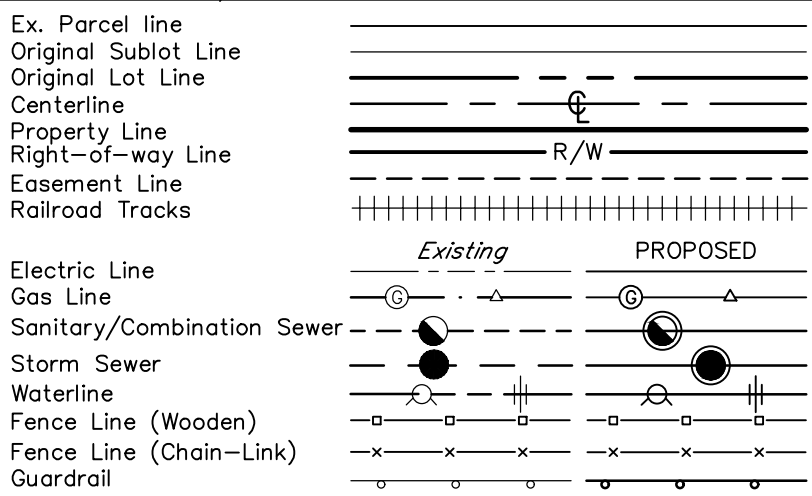
GARAGE FLOOR 1011.50

WATER LEVEL 998.58

UNDEVELOPED COMPOSITE
10 THRU 13

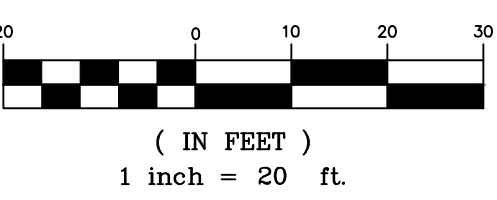
LEGEND

- Legend symbols and descriptions:
- Monument Box Found
 - Iron Pin or Pipe Found
 - 5/8" Iron Pin Set and Capped Riverstone Company Dudley P56747
 - P.K. Nail
 - Gas Meter
 - Gas Valve
 - Utility Pole
 - Light Pole
 - Guy Anchor & Line
 - Telephone Box
 - Electric Box
 - Cable Box
 - Bollard
 - Cleanout / Test Tee
 - Spot Elevation Tag
 - Hydrant
 - Water Service Valve
 - Water Valve
 - Water Meter
 - Reducer
 - Storm Manhole
 - Sanitary Manhole
 - Curb Inlet
 - Catch Basin
 - Property Line
 - Centerline



| | | | |
|----------|-----------------------|---------------|----------------------|
| Ac. | Acres | L.C.A. | Limited Common Area |
| Adj. | Adjacent | L.F. | Lineal Feet |
| A.F.N. | Auditor's File Number | M.E. | Match Existing |
| Asp. | Asphalt | Meas./M. | Measured |
| B.F. | Basement Floor | MH | Manhole |
| B.W. | Bottom of Wall | Obs. | Observed |
| Calc./C. | Calculated | Pg. | Page |
| CB | Catch Basin | P.P.N. | Permanent Parcel |
| C.C.M.R. | Cuyahoga County Map | Number | Number |
| Records | Records | Prop | Proposed |
| C.L.F. | Chain-link Fence | Rec./R. | Record |
| Clr. | Clears | R/W | Right-of-way |
| C.O. | Clean Out | San. | Sanitary |
| Comb. | Combination | S.F. | Square Feet |
| Conc. | Concrete | S/L | Sublot |
| Conn. | Connection | Stm. | Storm |
| D.H. | Drill Hole | T.B.M. | Temporary Bench Mark |
| D.I.W.M. | Ductile Iron Water | To Be Removed | To Be Removed |
| Main | Main | T/C | Top of Curb |
| Elec | Electric | Tele | Telephone |
| Elev | Elevation | T.F. | Top Of Footer |
| Encr. | Encroaches | T.T. | Test Tee |
| Ex. | Existing | TW | Top of Wall |
| F.F. | Finished Floor | Typ. | Typical |
| GUT | Gutter | Vol. | Volume |
| Invt | Invert | Wat | Water |

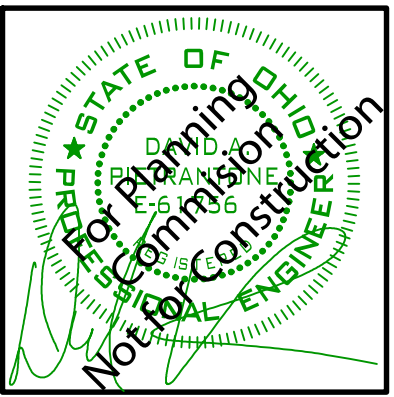
GRAPHIC SCALE



SURVEY NOTE: SURVEY, BOUNDARY AND UTILITY INFORMATION COMPLETED BY CT CONSULTANTS AND WAS PROVIDED TO THE RIVERSTONE COMPANY FOR USE. THE ENGINEER IS NOT RESPONSIBLE FOR MISSING OR INCOMPLETE INFORMATION. THE ENGINEER RECOMMENDS CONTRACTOR VISIT SITE PRIOR TO CONSTRUCTION. CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS AND UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER AND OWNER OF ANY DISCREPANCIES IMMEDIATELY UPON DISCOVERY.

GENERAL SITE PLAN NOTES:

- CONTRACTOR SHALL PROVIDE A CLEAN SMOOTH EDGE AND ENSURE THE INTEGRITY OF THE ASPHALT PAVEMENT TO REMAIN.
- CONTRACTOR SHALL REPAIR PAVEMENT AFTER NEW UTILITY CONNECTIONS ARE INSTALLED. SEE DETAIL SHEET C6.01.
- BOLLARDS TO BE PLACED AROUND TRANSFORMER



RIVERSTONE
LAND SURVEYING - ENGINEERING - DESIGN
3800 LAKEVIEW AVENUE, SUITE 100
CLEVELAND, OHIO 44114
PHONE: (216) 991-9640
WWW.RIVERSTONEENGINEERING.COM

2023-186

PLAN REVISIONS:
5/12/2025
TREE INVENTORY
7/18/2025
PC RESUBMISSION

PAGE REVISIONS:

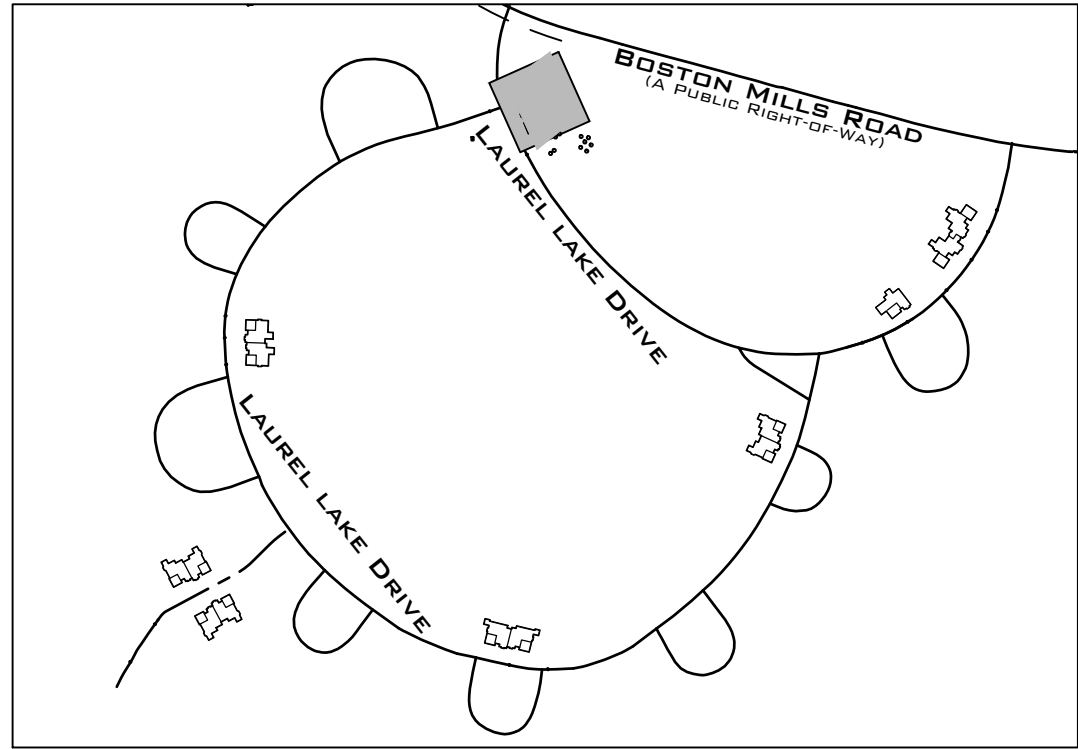
ISSUED FOR:
PC APPLICATION
3/17/25
NOT FOR CONSTRUCTION

LAUREL LAKE VILLA
200 LAUREL LAKE DRIVE

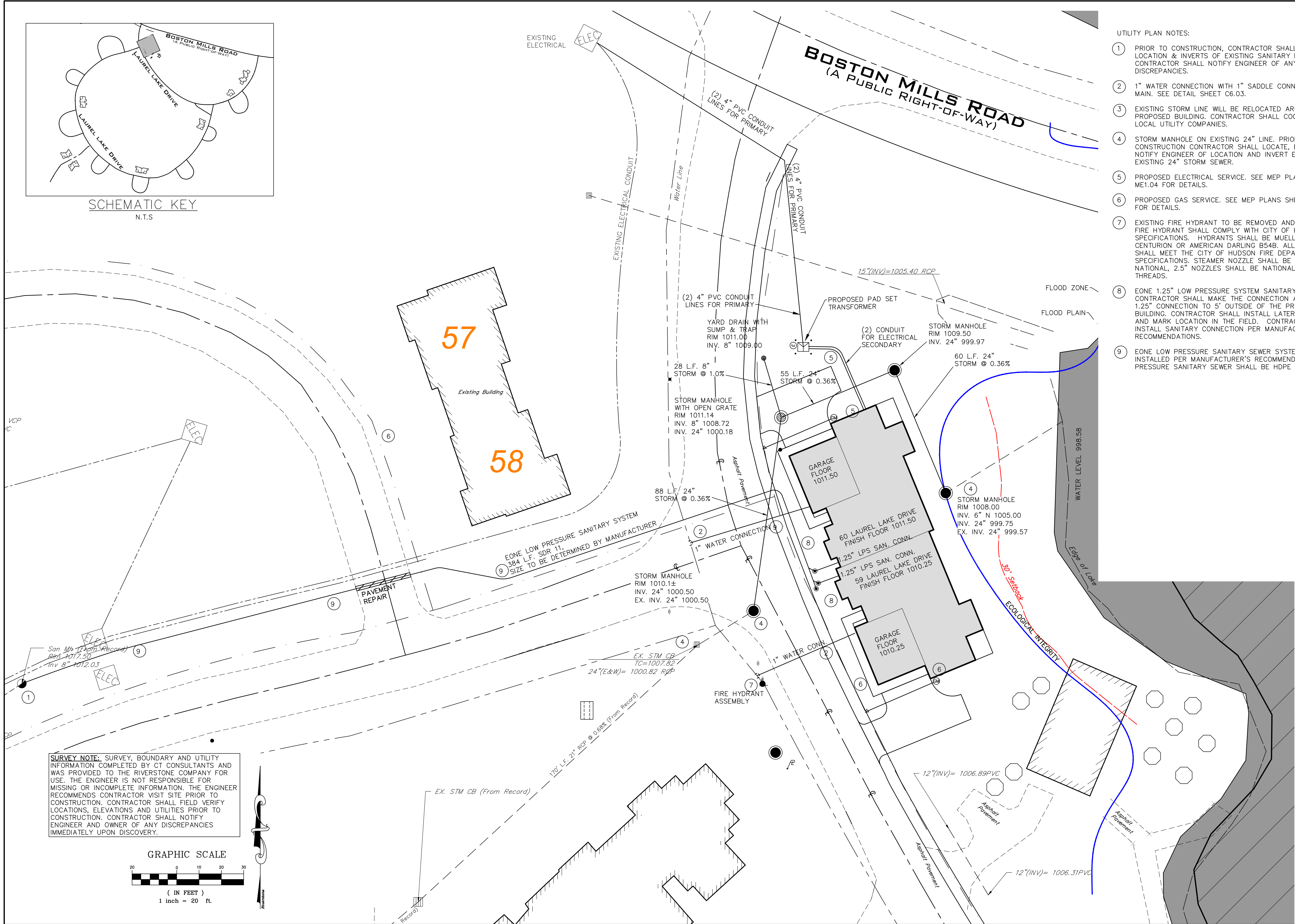
SITE PLAN - BUILDING 5



C6.02



SCHEMATIC KEY
N.T.S.



- UTILITY PLAN NOTES:
- 1 PRIOR TO CONSTRUCTION, CONTRACTOR SHALL VERIFY LOCATION & INVERTS OF EXISTING SANITARY MANHOLE. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES.
 - 2 1" WATER CONNECTION WITH 1" SADDLE CONNECTION TO MAIN. SEE DETAIL SHEET C6.03.
 - 3 EXISTING STORM LINE WILL BE RELOCATED AROUND THE PROPOSED BUILDING. CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANIES.
 - 4 STORM MANHOLE ON EXISTING 24" LINE. PRIOR TO CONSTRUCTION CONTRACTOR SHALL LOCATE, EXPOSE AND NOTIFY ENGINEER OF LOCATION AND INVERT ELEVATION OF EXISTING 24" STORM SEWER.
 - 5 PROPOSED ELECTRICAL SERVICE. SEE MEP PLANS SHEET ME1.04 FOR DETAILS.
 - 6 PROPOSED GAS SERVICE. SEE MEP PLANS SHEET ME1.04 FOR DETAILS.
 - 7 EXISTING FIRE HYDRANT TO BE REMOVED AND REPLACED. FIRE HYDRANT SHALL COMPLY WITH CITY OF HUDSON SPECIFICATIONS. HYDRANTS SHALL BE MUELLER A423 CENTURION OR AMERICAN DARLING B54B. ALL THREADS SHALL MEET THE CITY OF HUDSON FIRE DEPARTMENT SPECIFICATIONS. STEAMER NOZZLE SHALL BE MACK NATIONAL, 2.5" NOZZLES SHALL BE NATIONAL STANDARD THREADS.
 - 8 EONE 1.25" LOW PRESSURE SYSTEM SANITARY CONNECTION. CONTRACTOR SHALL MAKE THE CONNECTION AND EXTEND 1.25" CONNECTION TO 5' OUTSIDE OF THE PROPOSED BUILDING. CONTRACTOR SHALL INSTALL LATERAL ASSEMBLY AND MARK LOCATION IN THE FIELD. CONTRACTOR SHALL INSTALL SANITARY CONNECTION PER MANUFACTURER RECOMMENDATIONS.
 - 9 EONE LOW PRESSURE SANITARY SEWER SYSTEM TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. LOW PRESSURE SANITARY SEWER SHALL BE HDPE SDR 11.



RIVERSTONE
LAND SURVEYING · ENGINEERING · DESIGN
3800 LAKEVIEW AVENUE · SUITE 100
CLEVELAND, OHIO 44114
PHONE: (216) 991-9640
WWW.RIVERSTONEDESIGN.COM

2023-186

| PLAN REVISIONS: | |
|-----------------|-----------------|
| 5/12/2025 | TREE INVENTORY |
| 7/18/2025 | PC RESUBMISSION |
| | |
| | |
| | |

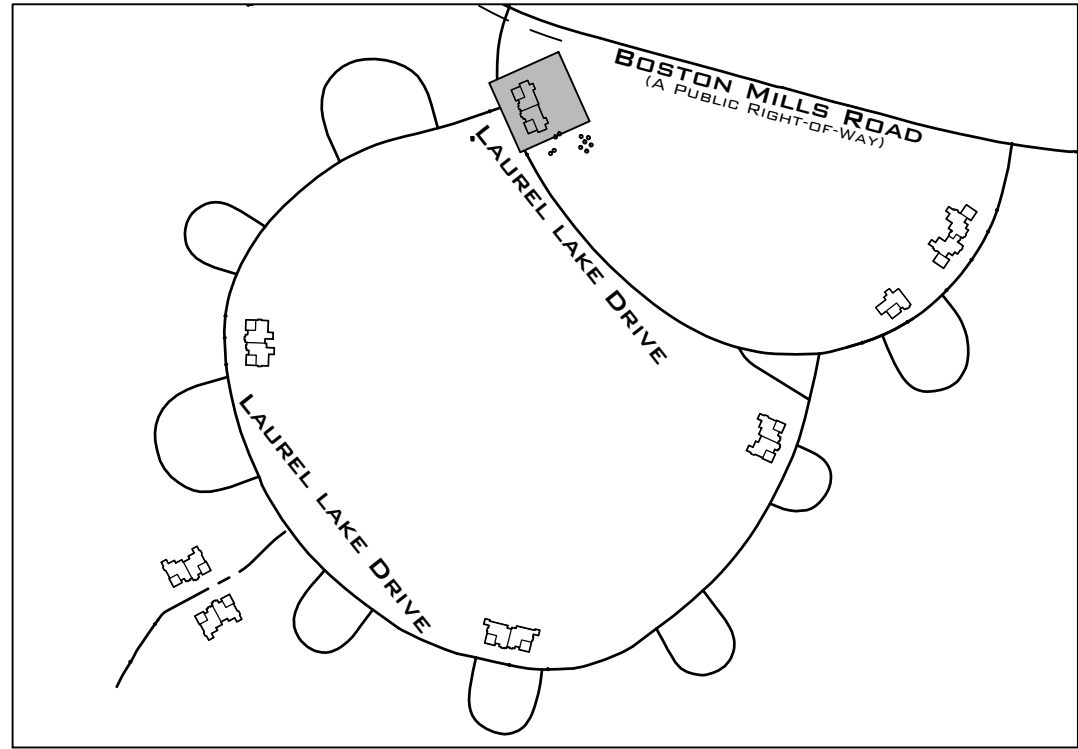
| PAGE REVISIONS: | |
|-----------------|--|
| | |
| | |
| | |

ISSUED FOR:
PC APPLICATION
3/17/25
NOT FOR CONSTRUCTION

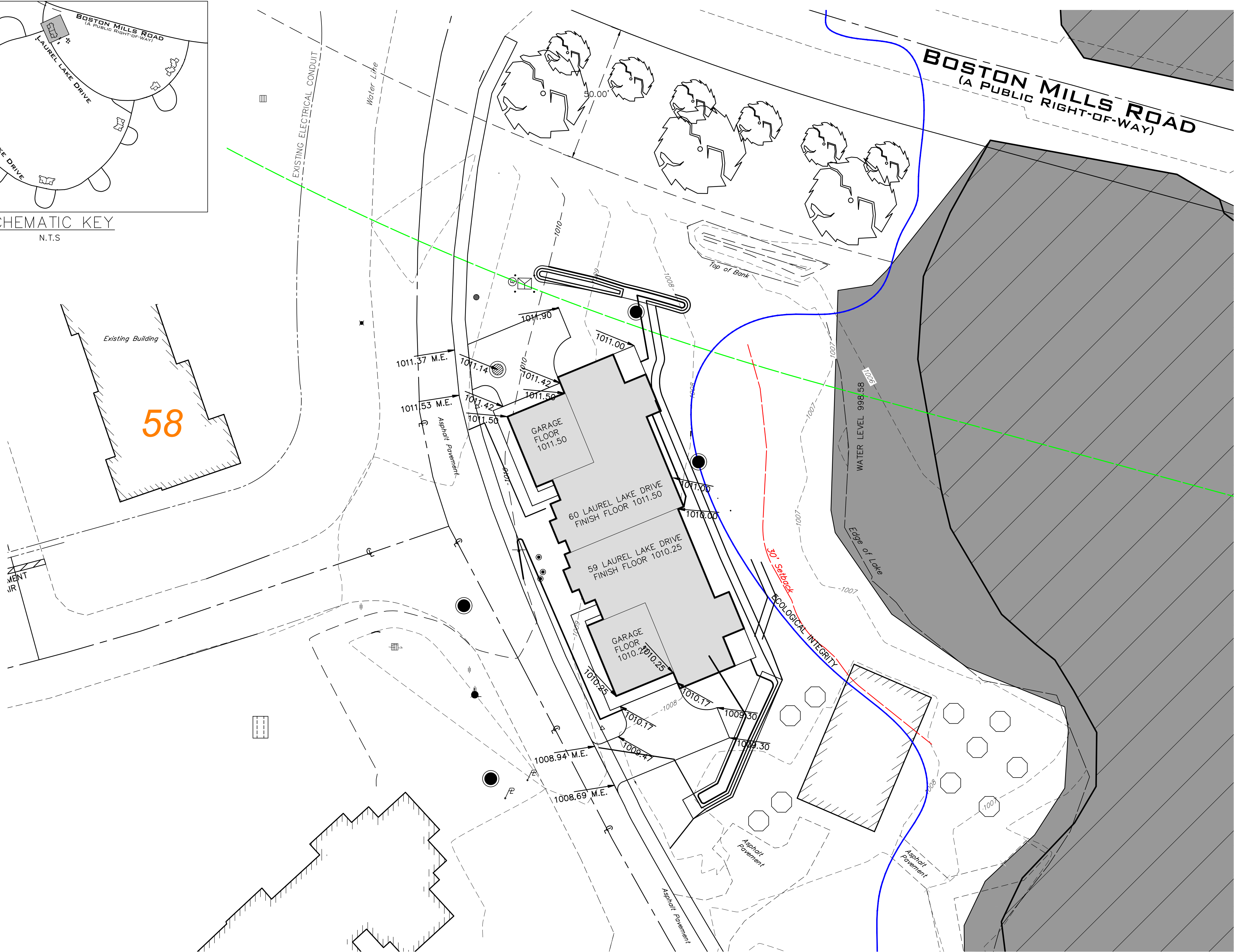
LAUREL LAKE VILLA
200 LAUREL LAKE DRIVE
UTILITY PLAN - BUILDING 5



C6.03



SCHEMATIC KEY
N.T.S.



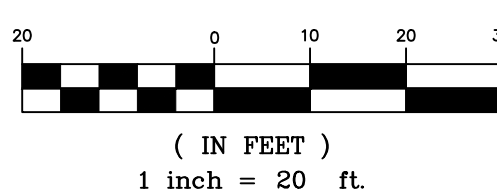
LEGEND

- | | |
|--------------------------|----------------------|
| = Monument Box Found | = Spot Elevation Tag |
| = Iron Pin or Pipe Found | = Hydrant |
| | |

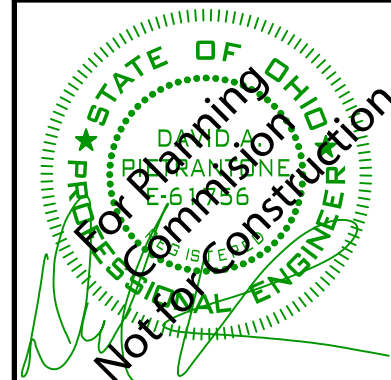
- | | |
|------------------------|---------------------------------------|
| = Ex. Parcel line | = PROPOSED Electric Line |
| = Original Sublot Line | = PROPOSED Gas Line |
| = Centerline | = PROPOSED Sanitary/Combination Sewer |
| = Property Line | = PROPOSED Storm Sewer |
| = Right-of-way Line | = PROPOSED Waterline |
| = Easement Line | = PROPOSED Fence Line (Wooden) |
| = Railroad Tracks | = PROPOSED Fence Line (Chain-Link) |

- | | |
|--------------------------------|-------------------------------|
| Ac. = Acres | L.C.A. = Limited Common Area |
| Adj. = Adjacent | L.F. = Lineal Feet |
| A.F.N. = Auditor's File Number | M.E. = Match Existing |
| Asp. = Asphalt | Meas./M. = Measured |
| B.F. = Basement Floor | MH = Manhole |
| B.W. = Bottom of Wall | Obs. = Observed |
| Calc./C. = Calculated | Pg. = Page |
| CB = Catch Basin | P.P.N. = Permanent Parcel |
| C.C.M.R. = Cuyahoga County Map | Number = Number |
| Records = Records | Prop. = Proposed |
| C.L.F. = Chain-link Fence | Rec./R. = Record |
| Clr. = Clears | R/W = Right-of-way |
| C.O. = Clean Out | San. = Sanitary |
| Comb. = Combination | S.F. = Square Feet |
| Conc. = Concrete | S/L = Storm |
| Conn. = Connection | Stm. = Storm |
| Drill Hole = Drill Hole | T.B.M. = Temporary Bench Mark |
| D.I.W.M. = Ductile Iron Water | To Be Removed = To Be Removed |
| Main = Main | T/C = Top of Curb |
| Elec. = Electric | Tele. = Telephone |
| Elev. = Elevation | T.F. = Top Of Footer |
| Encr. = Encroaches | T.T. = Test Tee |
| Ex. = Existing | TW = Top of Wall |
| F.F. = Finished Floor | Typ. = Typical |
| GUT = Gutter | Vol. = Volume |
| Inv. = Invert | Wat. = Water |

GRAPHIC SCALE



SURVEY NOTE: SURVEY, BOUNDARY AND UTILITY INFORMATION COMPLETED BY CT CONSULTANTS AND WAS PROVIDED TO THE RIVERSTONE COMPANY FOR USE. THE ENGINEER IS NOT RESPONSIBLE FOR MISSING OR INCOMPLETE INFORMATION. THE ENGINEER RECOMMENDS CONTRACTOR VISIT SITE PRIOR TO CONSTRUCTION. CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS AND UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER AND OWNER OF ANY DISCREPANCIES IMMEDIATELY UPON DISCOVERY.



RIVERSTONE
LAND SURVEYING - ENGINEERING - DESIGN
3800 LAKESIDE AVENUE, SUITE 100
CLEVELAND, OHIO 44114
PHONE: (216) 991-9640
WWW.RIVERSTONEENGINEERING.COM

2023-186

PLAN REVISIONS:
5/12/2025
TREE INVENTORY
7/18/2025
PC RESUBMISSION

PAGE REVISIONS:

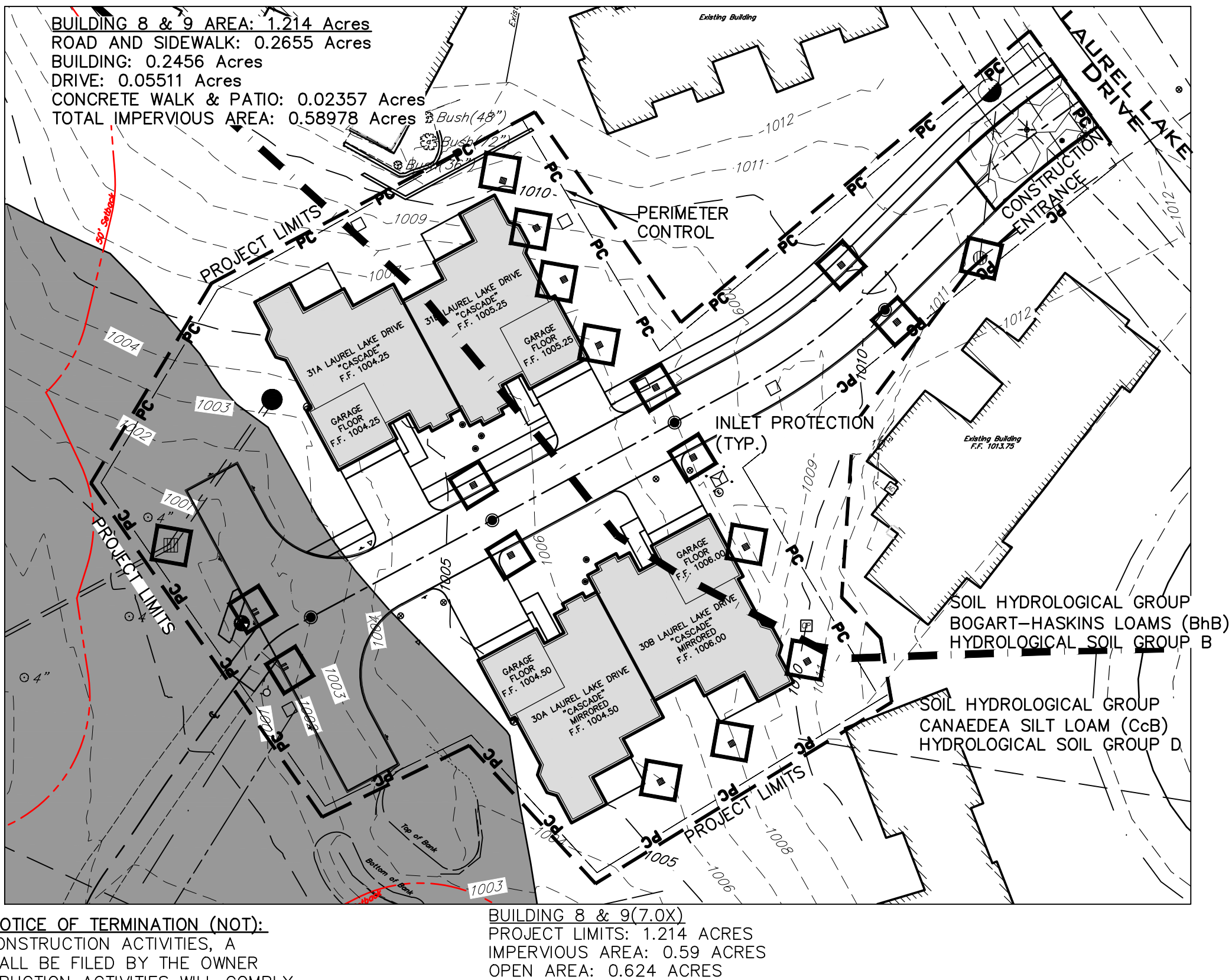
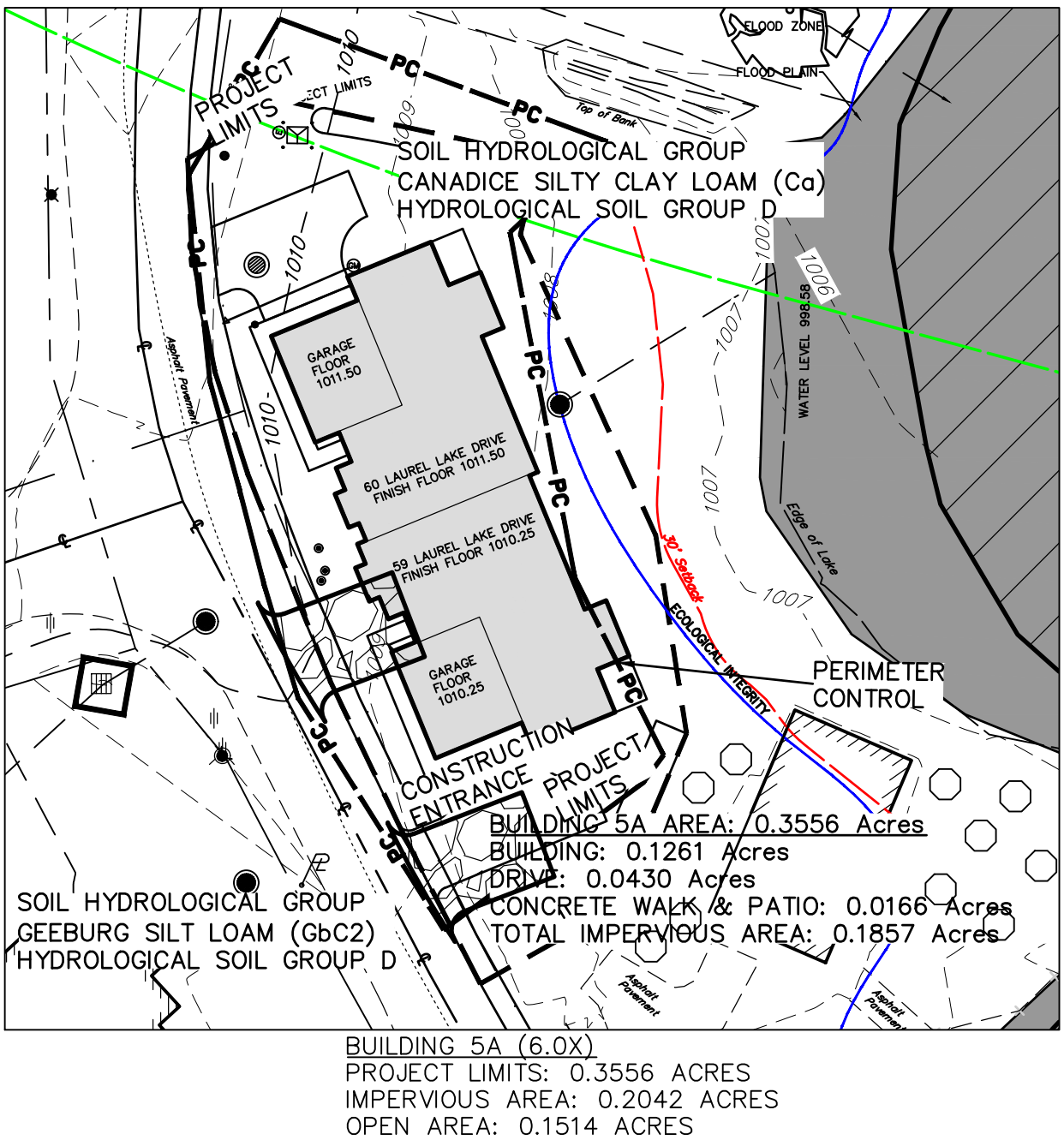
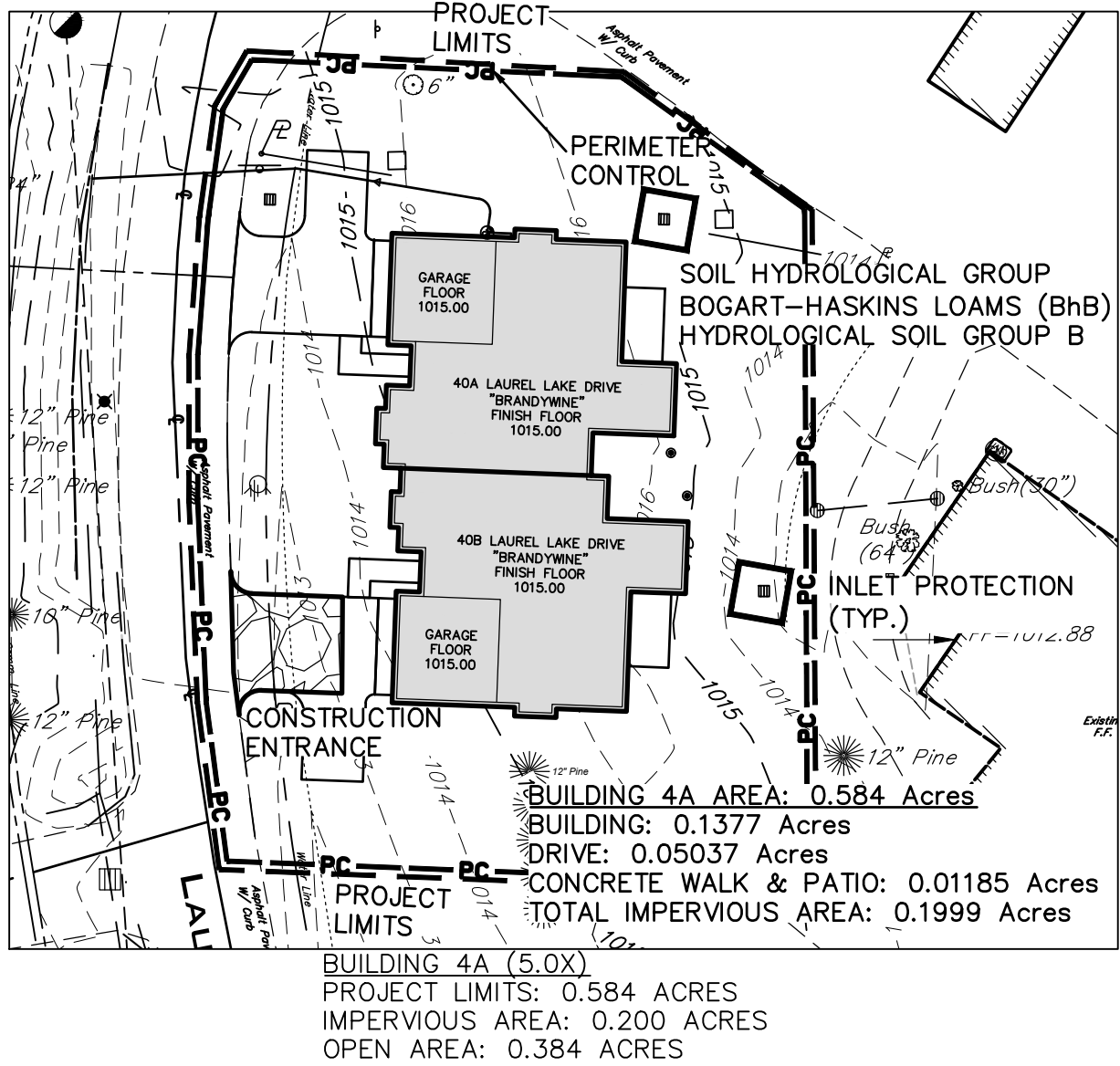
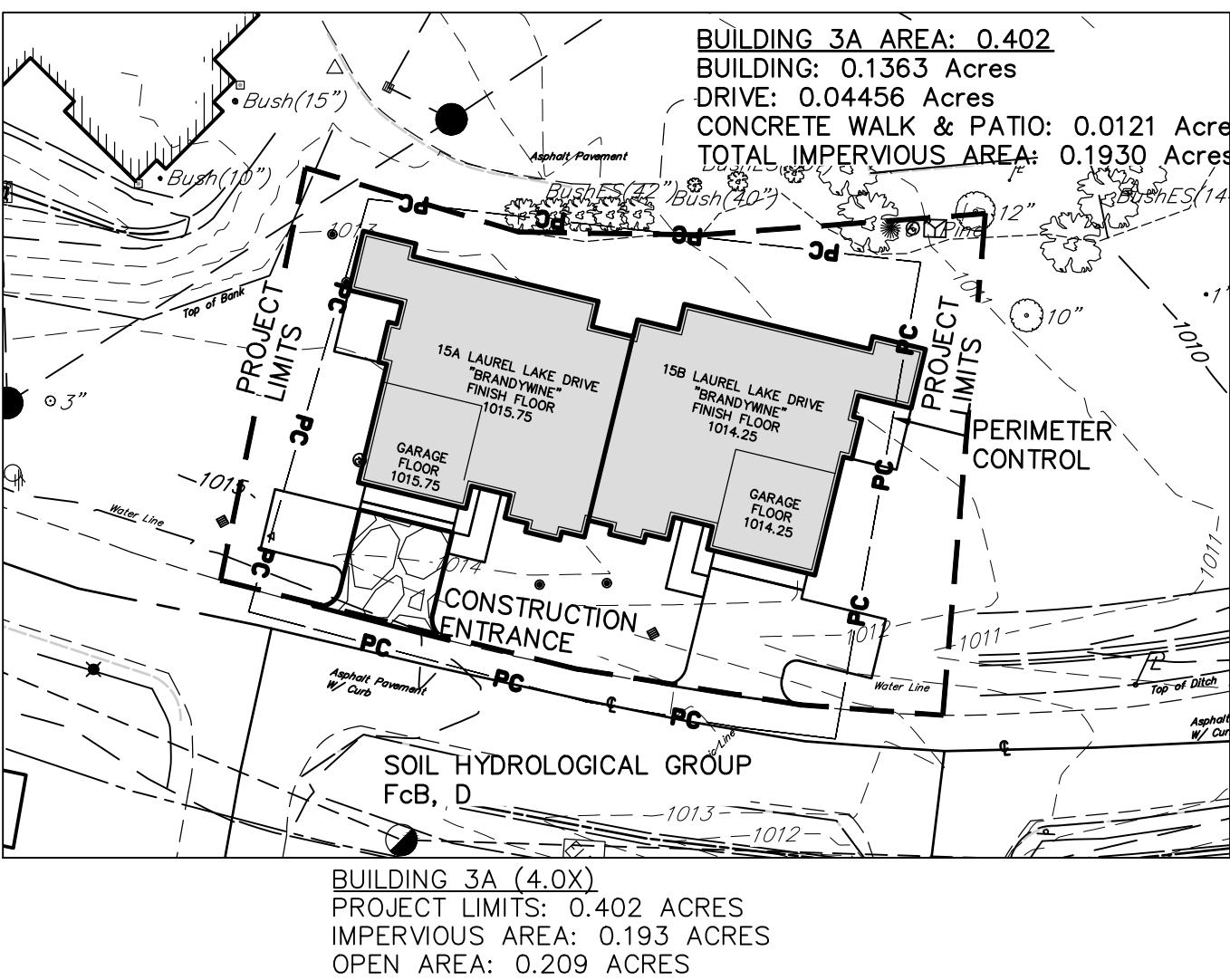
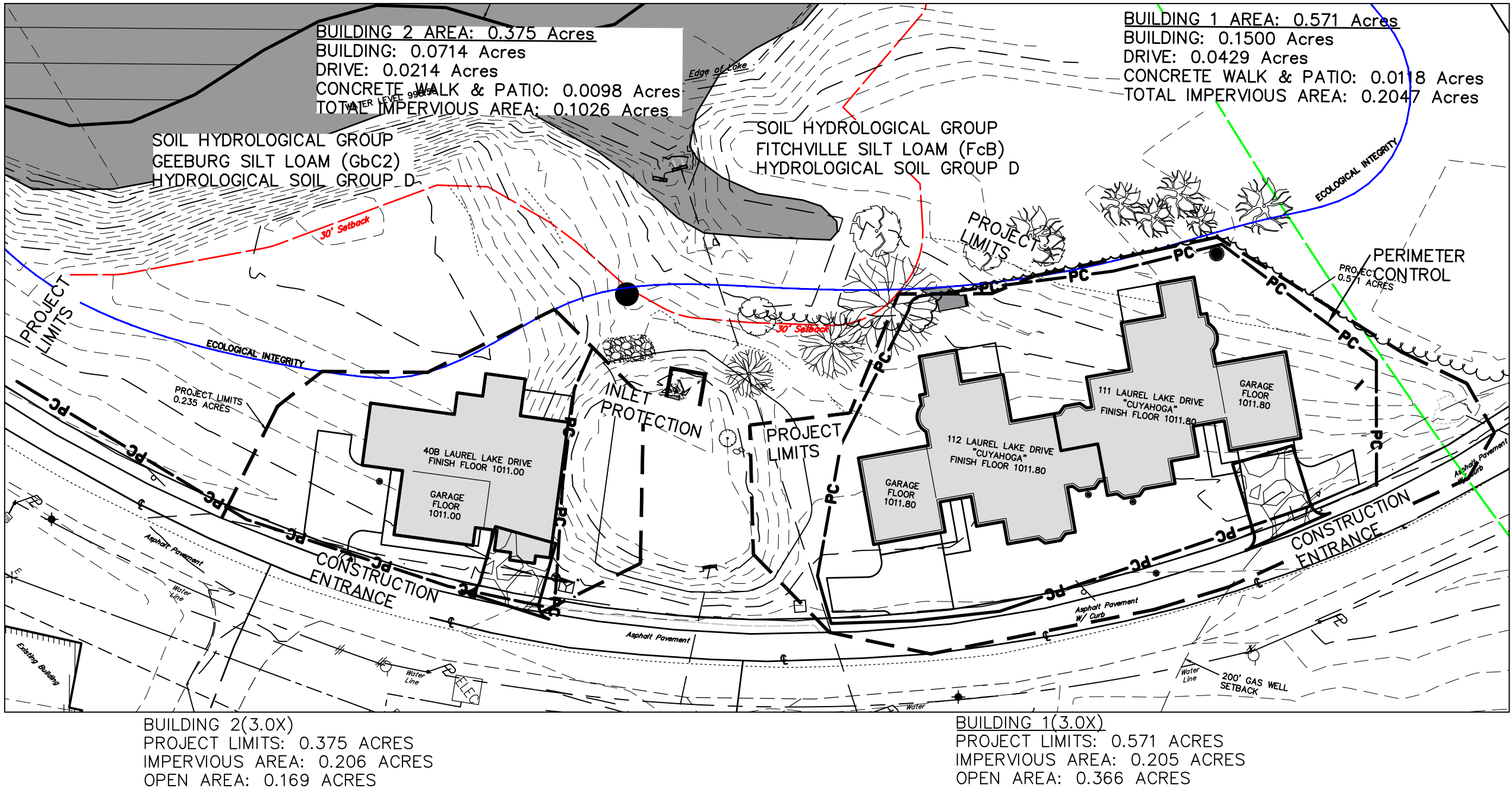
ISSUED FOR:
PC APPLICATION
3/17/25
NOT FOR CONSTRUCTION

LAUREL LAKE VILLA
200 LAUREL LAKE DRIVE

GRADING PLAN - BUILDING 5



C6.04



SITE DATA: THE PROJECT IS LOCATED ON LAUREL LAKE DRIVE IN THE CITY OF HUDSON. THE ENTIRE AREA OF THE SITE IS APPROXIMATELY 141.9 ACRES. THE PROJECT LIMITS IS APPROXIMATELY 4.37 ACRES. EXISTING STORM WATER ON SITE IS COLLECTED INTO DRAINAGE SYSTEM BEFORE BEING DEPOSITED INTO A DETENTION BASIN OR DIRECTLY INTO ONE OF TWO LAKES ON SITE. DETENTION BASINS ON SITE DEPOSIT INTO LAKES. THE LARGER OF THE TWO LAKES—LAUREL LAKE FLOWS INTO PINE LAKE OFF SITE.

| PRE CONSTRUCTION WEIGHTED C VALUE (PROJECT LIMITS) | | | |
|--|------|------|--------|
| Surface | c | Area | CxArea |
| Woods (Fair) | 0.41 | 0.18 | 0.0738 |
| Impervious | 0.96 | 0.36 | 0.1344 |
| Open (Fair) | 0.57 | 3.57 | 2.0349 |
| Total | | 4.11 | 2.2431 |

Weighted C = $2.2431 / 4.11 = 0.546$

PRE CONSTRUCTION % IMPERVIOUSNESS (PROJECT LIMITS)
0.36 / 4.11 = 8.8%

PRE CONSTRUCTION % IMPERVIOUSNESS (TOTAL SITE)
23.18 / 141.9 = 16.3%

SOILS: THE NATIONAL RESOURCE CONSERVATION SERVICE WEB SOIL SURVEY OF SUMMIT COUNTY IDENTIFIES THE SOILS ON SITE AS SUCH:

BUILDING 1 — GEEBURG SILT LOAM (GbC2), HSG D
BUILDING 2 — FITCHVILLE SILT LOAM (FcB), HSG D
BUILDING 3A — FITCHVILLE SILT LOAM (FcB), HSG D
BUILDING 4A — BOGART-HASKINS LOAMS (BhB), HSG B
BUILDING 5 — CANADICE SILTY CLAY LOAM (Ca), HSG D
BUILDING 8 — CANADEA SILT LOAM (CcB), HSG D
BUILDING 9 — CANADEA SILT LOAM (CcB), HSG D
BOGART-HASKINS LOAMS (BhB), HSG B

CONSTRUCTION ACTIVITY: CONSTRUCTION ACTIVITY WILL INCLUDE THE CLEARING AND GRUBBING OF THE PROJECT LIMITS SITE AND THE CONSTRUCTION OF PROPOSED BUILDINGS. CONSTRUCTION WILL ALSO INCLUDE THE INSTALLATION OF NEW UTILITY CONNECTIONS AND STORM SEWER SYSTEM THAT DEPOSITS STORM SEWER WATER INTO LAUREL LAKE. EACH BUILDING WILL EITHER DEPOSIT DIRECTLY INTO THE LAKE, DEPOSIT INTO THE LOCAL SYSTEM WHICH EVENTUALLY DEPOSITS INTO THE LAKE, OR DEPOSIT INTO A LOCAL DETENTION SYSTEM WHICH WILL DEPOSIT INTO THE LAKE.

| POST CONSTRUCTION WEIGHTED C VALUE | | | |
|------------------------------------|------|--------|--------|
| Surface | C | Area | CxArea |
| Bldg Site | 0.90 | 1.2983 | 1.1685 |
| Road | 0.90 | 0.2655 | 0.2390 |
| Open (Fair) | 0.57 | 2.5462 | 1.4513 |
| Total | | 4.11 | 2.8588 |

Weighted C = $2.8588 / 4.11 = 0.70$

POST CONSTRUCTION % IMPERVIOUSNESS
1.5638 / 4.11 = 0.380 = 38.0%

POST CONSTRUCTION % IMPERVIOUSNESS (TOTAL SITE)
24.38 / 141.9 = 17.2%

FUTURE STORM WATER:

FUTURE STORM WATER WILL BE COLLECTED IN STORM SEWERS ON SITE. BUILDINGS 1,2 AND 5A WILL BE DISCHARGED DIRECTLY TO LAKE FOREST. LAKE FOREST HAS A DRAINAGE AREA OF APPROXIMATELY 3,200 ACRES. THE TOTAL IMPERVIOUS AREA DRAINING TO THE LAKE IS LESS THAN 5% OF THE TOTAL DRAINAGE AREA, THEREFORE WATER QUALITY DOES NOT NEED TO BE INCLUDED. BUILDING 4A DRAINS TO A SMALL DETENTION BASIN TO REDUCE THE PEAK FLOW FROM THE UNIT BEFORE BEING DISCHARGED INTO A STORM SEWER ON SITE. THIS ALSO DRAINS TO LAKE FOREST. BUILDING 3A, 8 AND 9 DRAIN TO THE LAUREL LAKE BEHIND THE DEVELOPMENT. LAUREL LAKE HAS A DRAINAGE AREA OF APPROXIMATELY 46 ACRES. THE INCREASE IN IMPERVIOUS AREA DRAINING TO THE LAKE IS LESS THAN 5% OF THE TOTAL DRAINAGE AREA AND THEREFORE WATER QUALITY IS NOT REQUIRED.

NOTICE OF INTENT (NOI) & NOTICE OF TERMINATION (NOT):
PRIOR TO THE START OF CONSTRUCTION ACTIVITIES, A NOTICE OF INTENT (NOI) SHALL BE FILED BY THE OWNER WITH THE OHIO EPA. CONSTRUCTION ACTIVITIES WILL COMPLY IN WITH CITY OF HUDSON CODIFIED ORDINANCE AND OEPA CONSTRUCTION GENERAL PERMIT #OHCO00005. ONCE CONSTRUCTION IS COMPLETE AND THE SITE HAS BEEN STABILIZED THE DEVELOPER SHALL SUBMIT A NOTICE OF TERMINATION (NOT) WITH THE OHIO EPA.

NOI PERMIT #

CONSTRUCTION:
START: WINTER 2023 — COMPLETION: SPRING 2024

SWPPP CHANGES & AMENDMENTS: ALL CHANGES AND AMENDMENTS TO THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE APPROVED BY DAVID A. PIETRANTONE P.E., THE RIVERSTONE COMPANY.

THE RIVERSTONE COMPANY
3800 LAKESIDE AVENUE, SUITE 100
CLEVELAND, OHIO 44114
PHONE: (216) 491-2000

PREPARED FOR & OWNER:
LAUREL LAKE RETIREMENT COMMUNITY
ANDREW LOVANO
PH: 330-655-1402

GENERAL SWPPP NOTES:

TOTAL LOT AREA = 141.9 ACRES
DISTURBED AREA = 4.37 ACRES

LOCATION OF WASTE STORAGE AND DISPOSAL SHOWN ON THE PLANS SHALL BE VERIFIED BY CONTRACTOR. LOCATION MAY BE CHANGED AND THE SWPPP AMENDED.

A COPY OF THE SWPPP AND ALL ADDENDUM TO THE SWPPP SHALL BE KEPT ON SITE AT ALL TIMES.

ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED AS PER PLAN. ALL PRACTICES MUST BE MAINTAINED AND FUNCTIONAL DURING CONSTRUCTION ACTIVITIES.

EROSION CONTROL BLANKETS WITH MATTING SHALL BE USED ON SLOPES GREATER THAN 6%.

EXCESS SEDIMENT SHALL BE REMOVED FROM THE TEMPORARY SEDIMENT BASIN WHEN THE SEDIMENT OCCUPIES 40% OF THE SEDIMENT STORAGE ZONE.

ONCE THE SITE HAS BEEN STABILIZED AND PROPER AUTHORIZATION HAS BEEN OBTAINED, CONSTRUCTION BMPs MAY BE REMOVED.

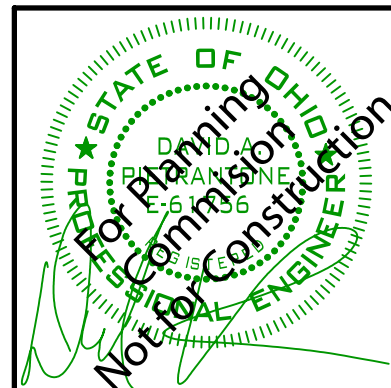
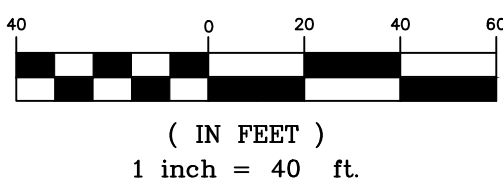
CONSTRUCTION SCHEDULE

1. INSTALL TEMPORARY STONE CONSTRUCTION ENTRANCE.
2. INSTALL PERIMETER CONTROL.
3. CLEAR AND GRUB WITHIN CONSTRUCTION LIMITS.
4. STRIP TOPSOIL.
5. MASS GRADE AND APPLY SOIL STABILIZATION AS REQUIRED.
6. INSTALL UTILITIES.
7. INSTALL INLET PROTECTION ON NEW CATCH BASINS.
8. INSTALL BUILDING FOUNDATION.
9. PAVE
10. AFTER PROPER AUTHORIZATION HAS BEEN OBTAINED BY THE GOVERNING AGENCY, REMOVE EROSION AND/OR SEDIMENT BMP'S.

SWPPP LEGEND

- PERIMETER CONTROL: SILT FENCE OR COMPOST FILLED FILTER SOCK
- CONSTRUCTION LIMITS
- SOIL TYPE
- CONSTRUCTION ENTRANCE
- CONCRETE WASHOUT
- INLET PROTECTION

GRAPHIC SCALE



RIVERSTONE
LAND SURVEYING - ENGINEERING - DESIGN
3800 LAKESIDE AVENUE, SUITE 100
CLEVELAND, OHIO 44114
PHONE: (216) 491-9640
WWW.RIVERSTONEENGINEERING.COM

2023-186

PLAN REVISIONS:

5/12/2025
TREE INVENTORY
7/18/2025
PC RESUBMISSION

PAGE REVISIONS:

9/7/2023
PRE APPLICATION MEETING

ISSUED FOR:

PC APPLICATION
3/17/25
NOT FOR CONSTRUCTION

LAUREL LAKE VILLA
200 LAUREL LAKE DRIVE

SWPPP

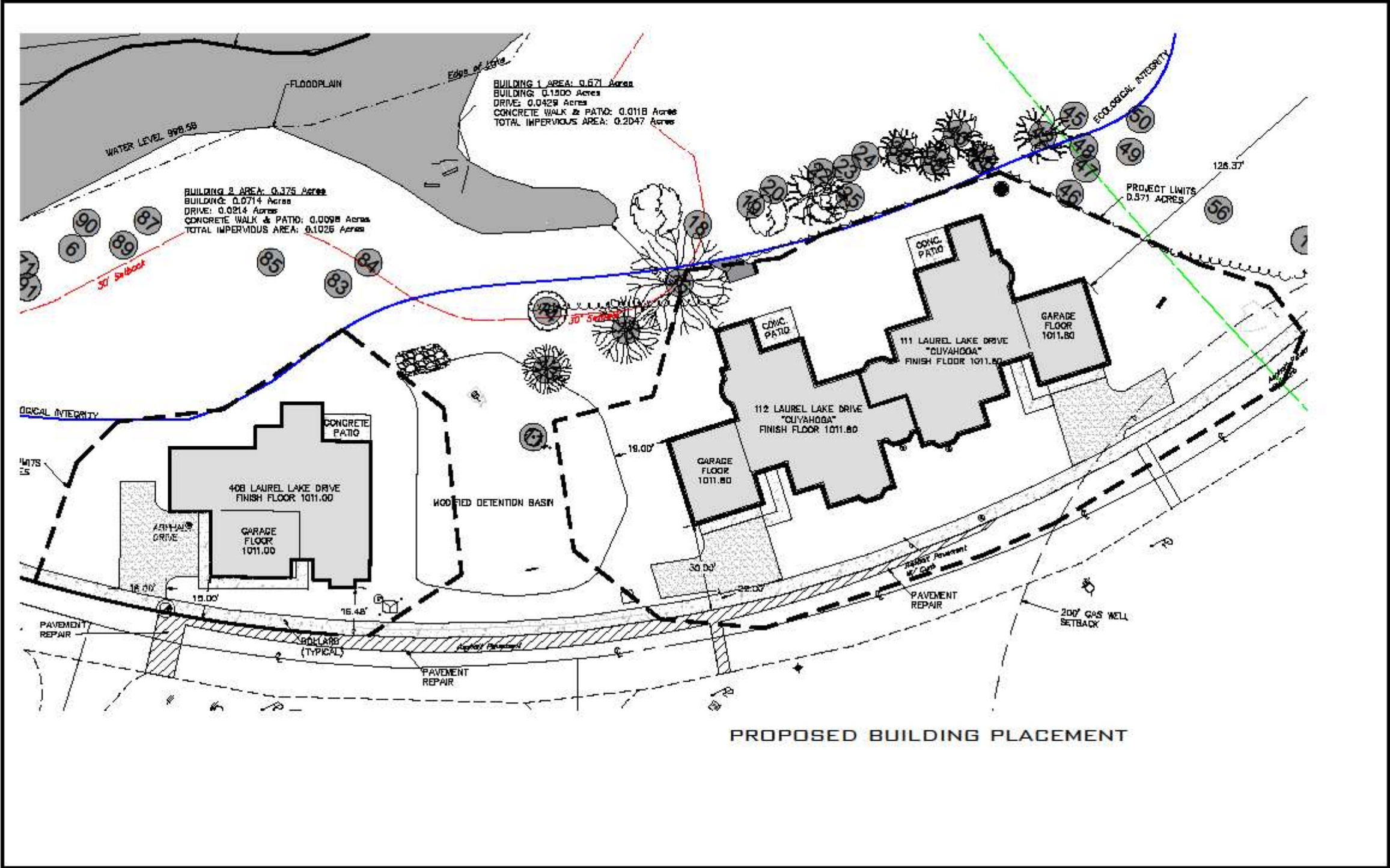
Ohio Utilities Protection Service
Call 811
before you dig

OGPUPS
Ohio Oil & Gas Producers Underground Protection Service
CERCLA/RIIS/UST/OSD/SLI

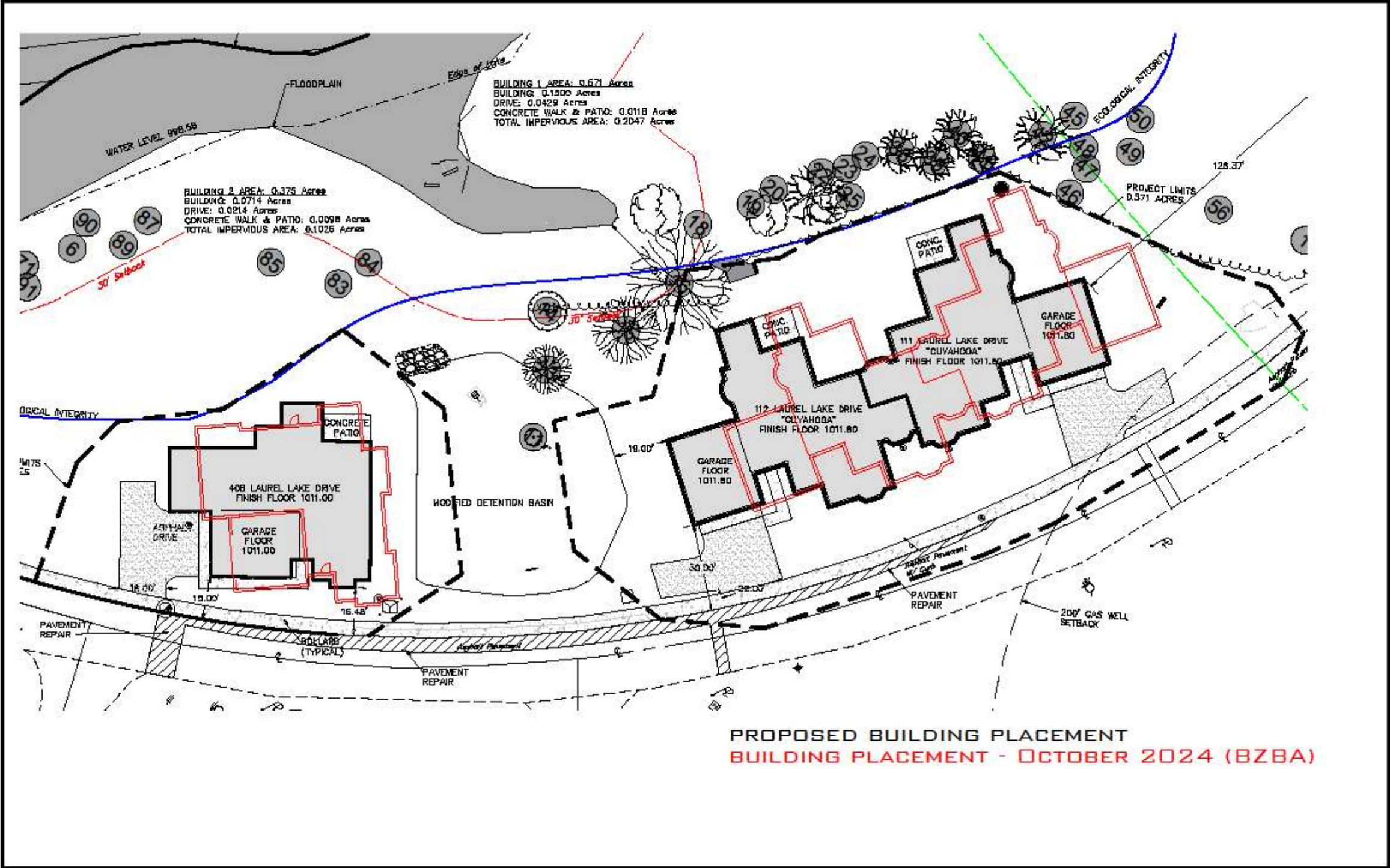
C9.01

Laurel Lake
200 Laurel Lake Drive
Buildings 1, 2 and 5
Hudson Planning Commission
September 8, 2025

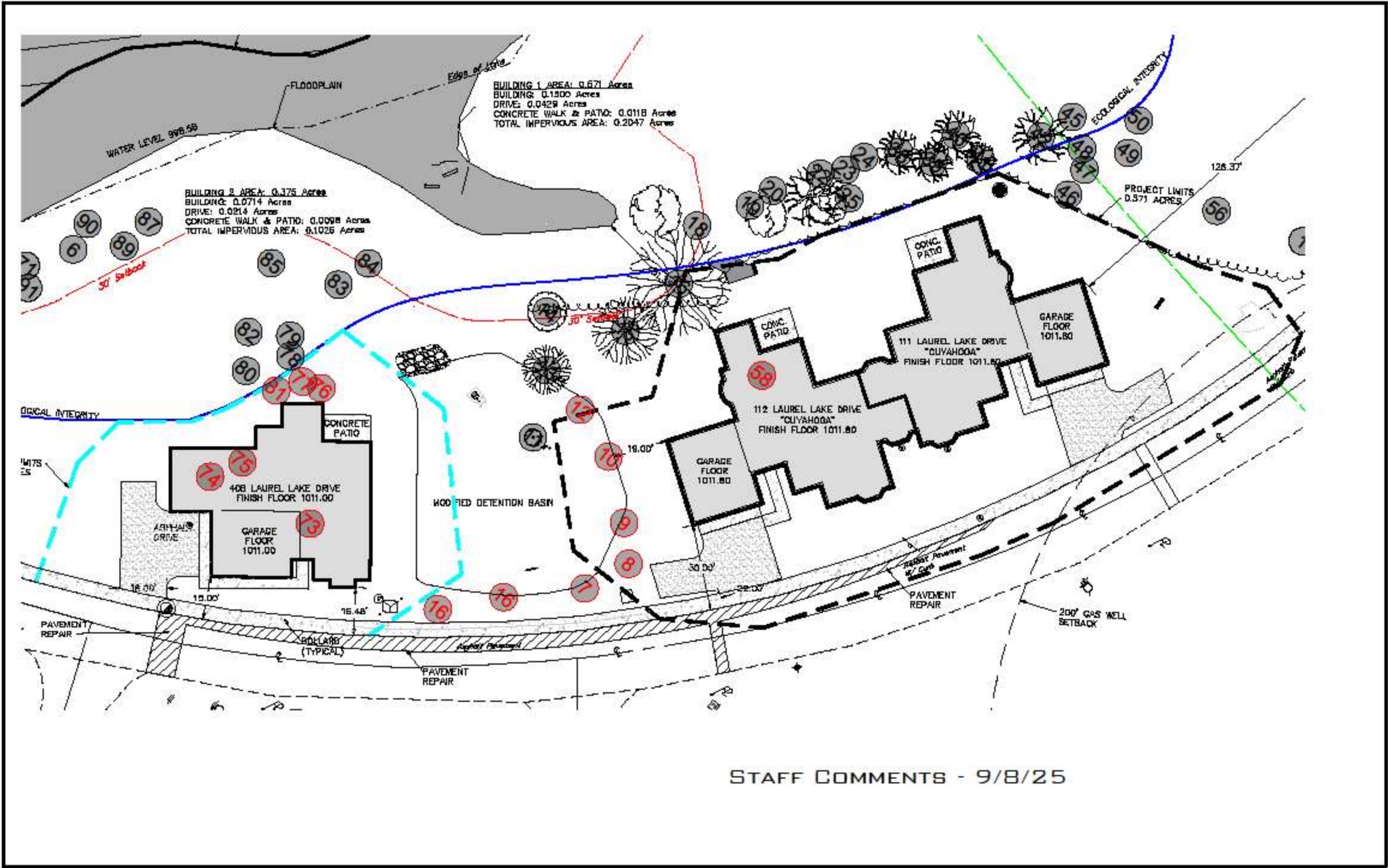
Site Plan – Building 1 & 2



Overlay – Buildings 1 & 2



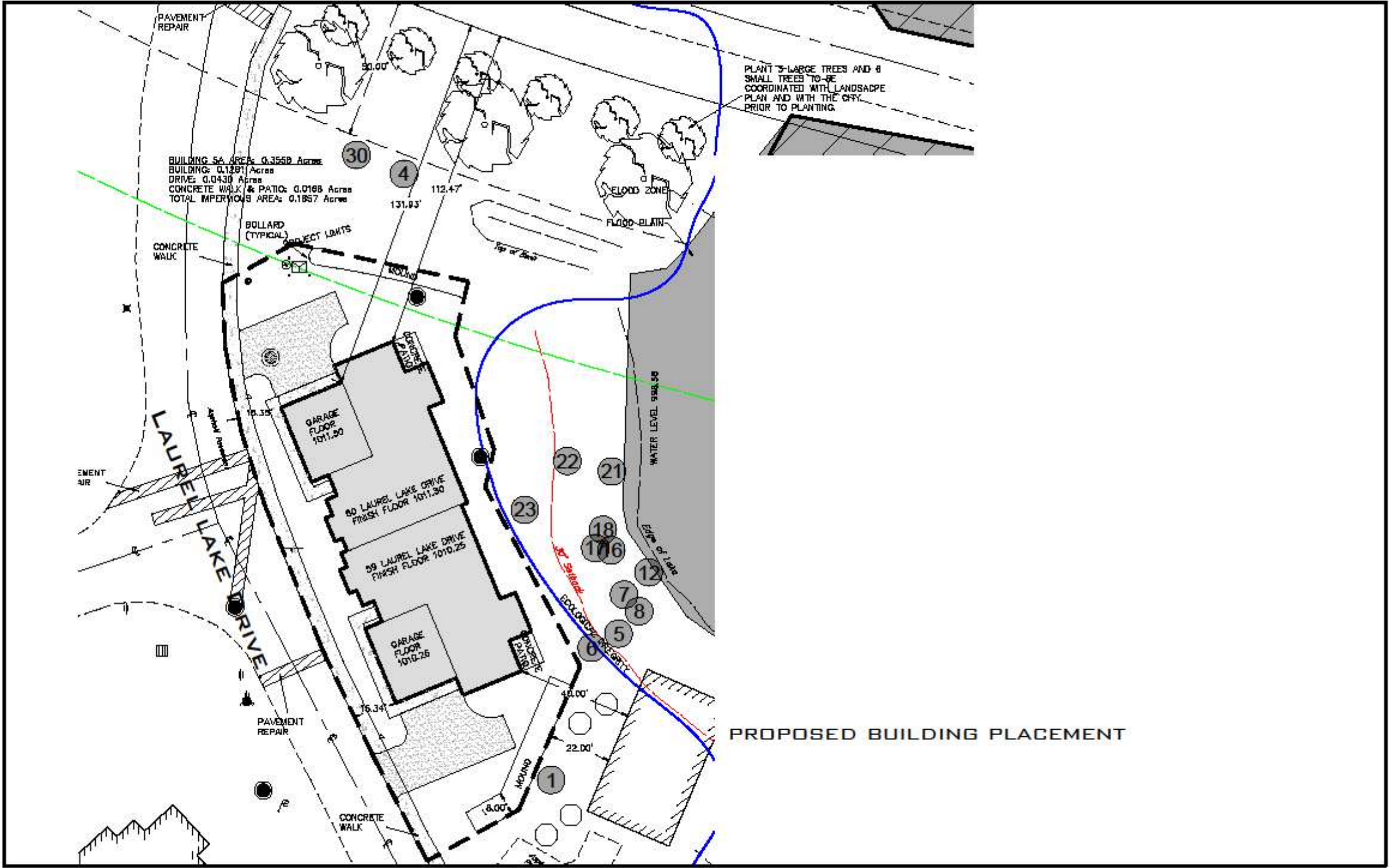
Staff Comments – Buildings 1 & 2



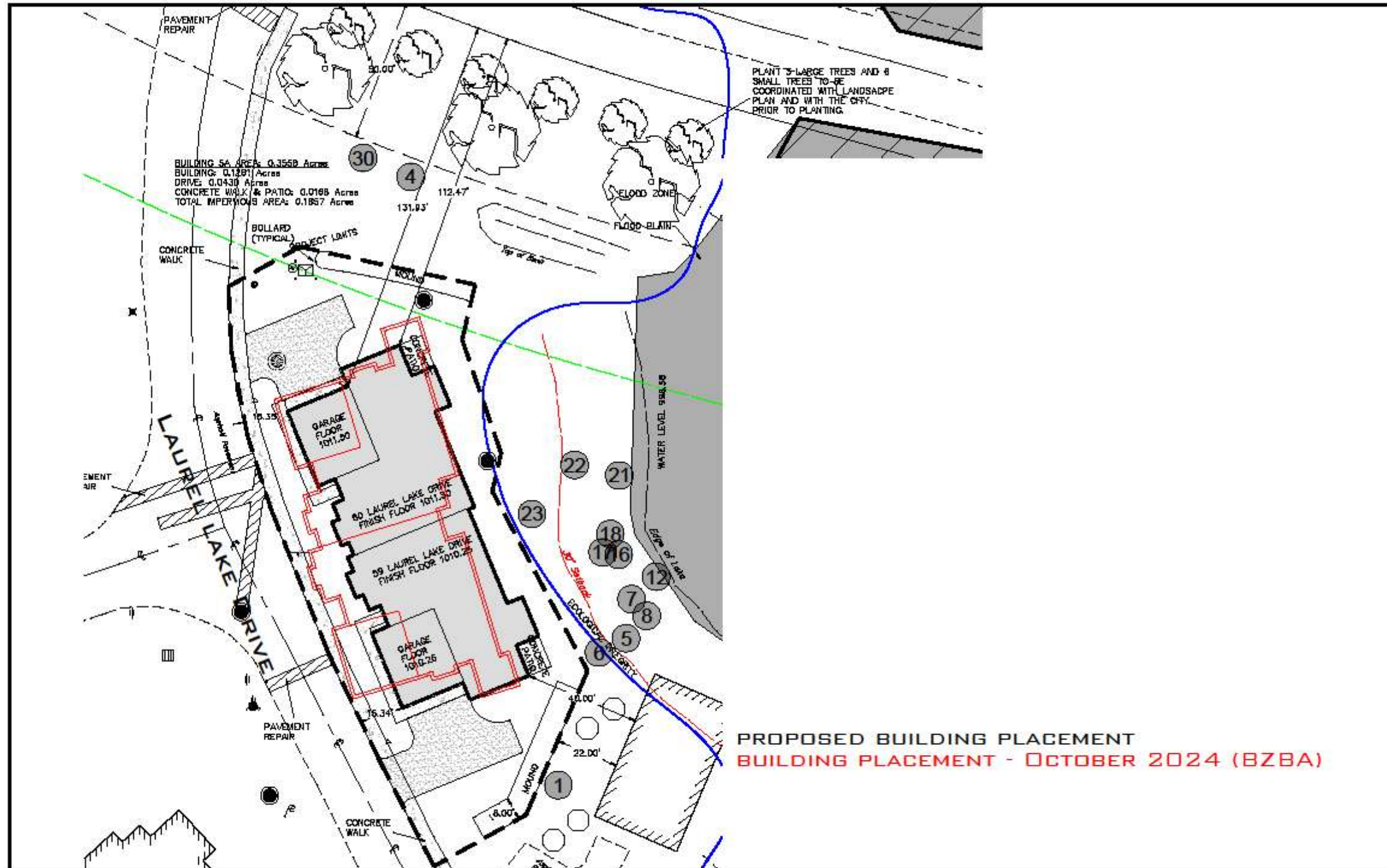
Pictures of Building 2 Site



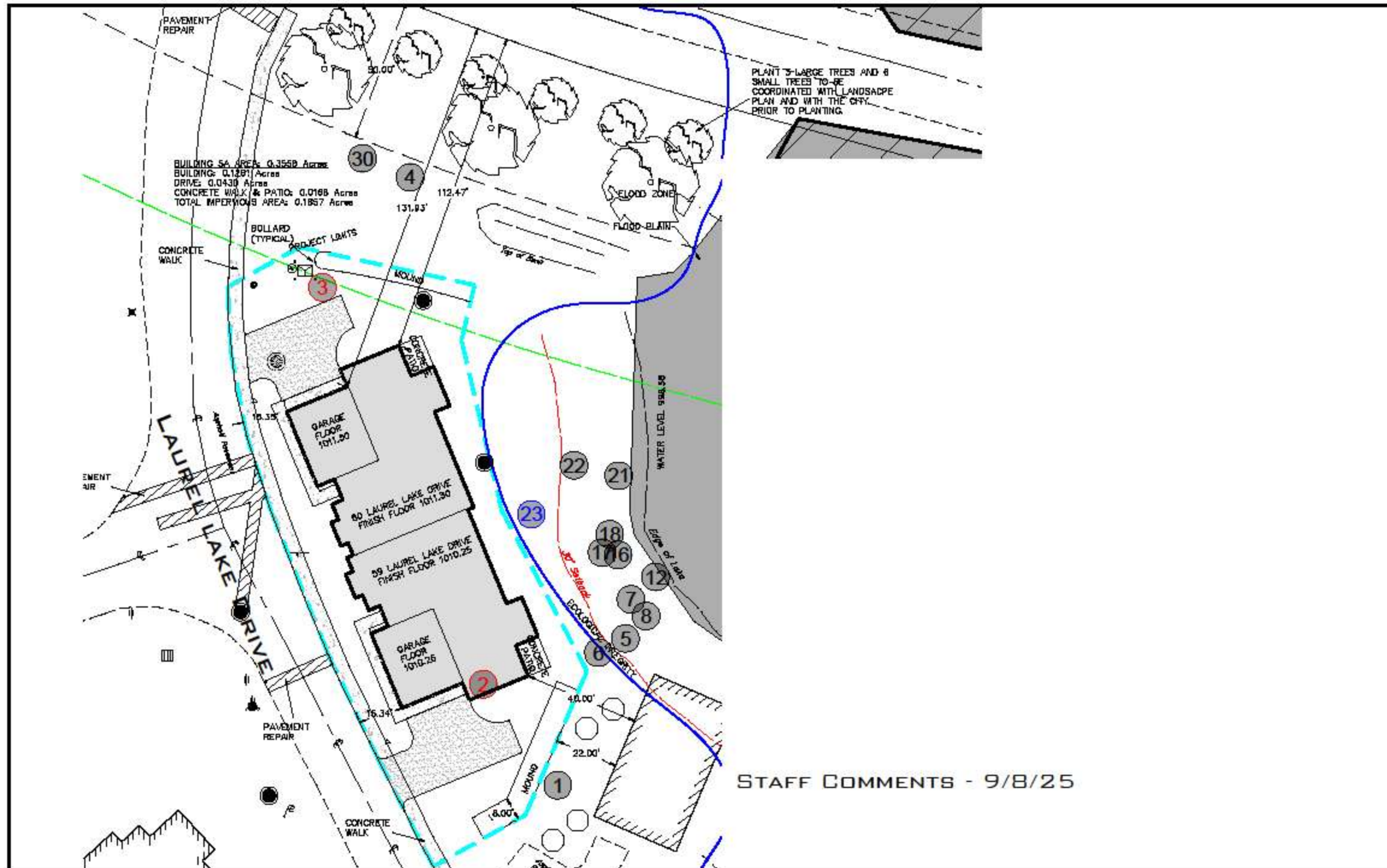
Site Plan – Building 5



Overlay – Building 5



Staff Comments – Building 5



Pictures of Building Site 5

