

APPROVED: STAFF APPROVAL DATE

APPROVED: ENGINEERING DEPT. APPROVAL DATE

APPROVED: LANDSCAPE ARCHITECT APPROVAL DATE

BUILDER: PULTE HOMES OF OHIO, LLC. ADDRESS: 387 MEDINA ROAD SUITE 1700, MEDINA, OHIO 44256 PHONE: 330-239-1587

OWNER: ADDRESS: PHONE:

NOTES: DOWNSPOUTS TO BE CONNECTED TO STORM SEWER CONNECTION SUMP PUMP REQUIRED FOR FOOTER DRAINS

INITIAL SITE BENCHMARK: SUMMIT COUNTY GEODETIC MONUMENT HU 118 STATE PLAN COORDINATE N 572,745.649 E 2,250,912.641 ELEVATION = 1006.912 NAVD 1988

NOTE: PER ARB, EGRESS WINDOW WELLS SHOULD BE NO MORE THAN 6" ABOVE FINISHED GRADE

CURVE TABLE with columns: CURVE, LENGTH, RADIUS, TANGENT, CHORD, BEARING, DELTA

HUDSON ENGINEERING DEPARTMENT

- Approved, Approved as noted, Rejected

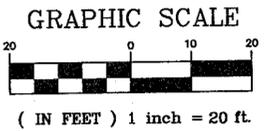
Reviewed By: Anthony L. Calabro 7:33 am, Aug 03, 2020



NOTE: PURCHASER TO INSTALL MINIMUM OF 3 TREES PER MUNICIPAL REQUIREMENTS

NOTE: FINAL LOCATION OF (3) TREES TO BE DETERMINED AND INSTALLED BY PURCHASER IN COMPLIANCE WITH CITY OF HUDSON LAND DEVELOPMENT CODE (1207.04J).

NOTE: PURCHASER TO INSTALL LANDSCAPING PER CITY OF HUDSON LANDSCAPING REQUIREMENTS.



PERCENTAGE OF LOT COVERAGE = 26.2%

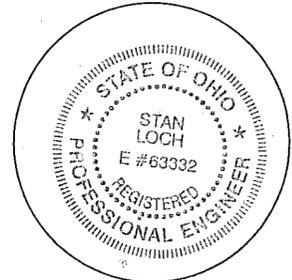
HOUSE COVERAGE = 2,356 SQ.FT. DRIVEWAY COVERAGE = 1,408 SQ.FT. WALKWAY COVERAGE = 171 SQ.FT. TOTAL COVERAGE = 3,935 SQ.FT.

TYPE OF HOUSE: PLAN # AT WATER ELEVATION: 1 W/ FIREPLACE GAR: 3 CAR SIDE RT W/ B' BASEMENT

- Legend for symbols: 1 = PROP 1" WAT CONN, 2 = PROP 6" PVC SAS CONN, 3 = PROP 6" PVC STS CONN

DATE OF SURVEY: JULY 14th, 2020

LEGEND: PROPOSED TREE, PROP MONUMENT, EX CURB INLET, EX SANITARY MANHOLE, EX YARD DRAIN, IRON PIN SET, EXISTING GRADE, PROP SILT FENCE, INLET PROTECTION, ELECTRIC BOX, TELEPHONE PEDESTAL, TRANSFORMER BOX, EX HYDRANT, EX WATER VALVE, SUMP PUMP, EX STORM MANHOLE, SWALE, FLOW ARROW, AIR CONDITIONER, ELECTRIC CONNECTION, GAS CONNECTION, OFFSET HUB, CABLE PEDESTAL, EXPOSED CONDUIT



I CERTIFY THAT THIS PLAN WAS PREPARED BY ME AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Signature: Stan R. Loch, P.E. #63332, DATE: 7-17-2020

5425 WARNER ROAD - SUITE 12 VALLEY VIEW, OHIO 44125 440-602-9071



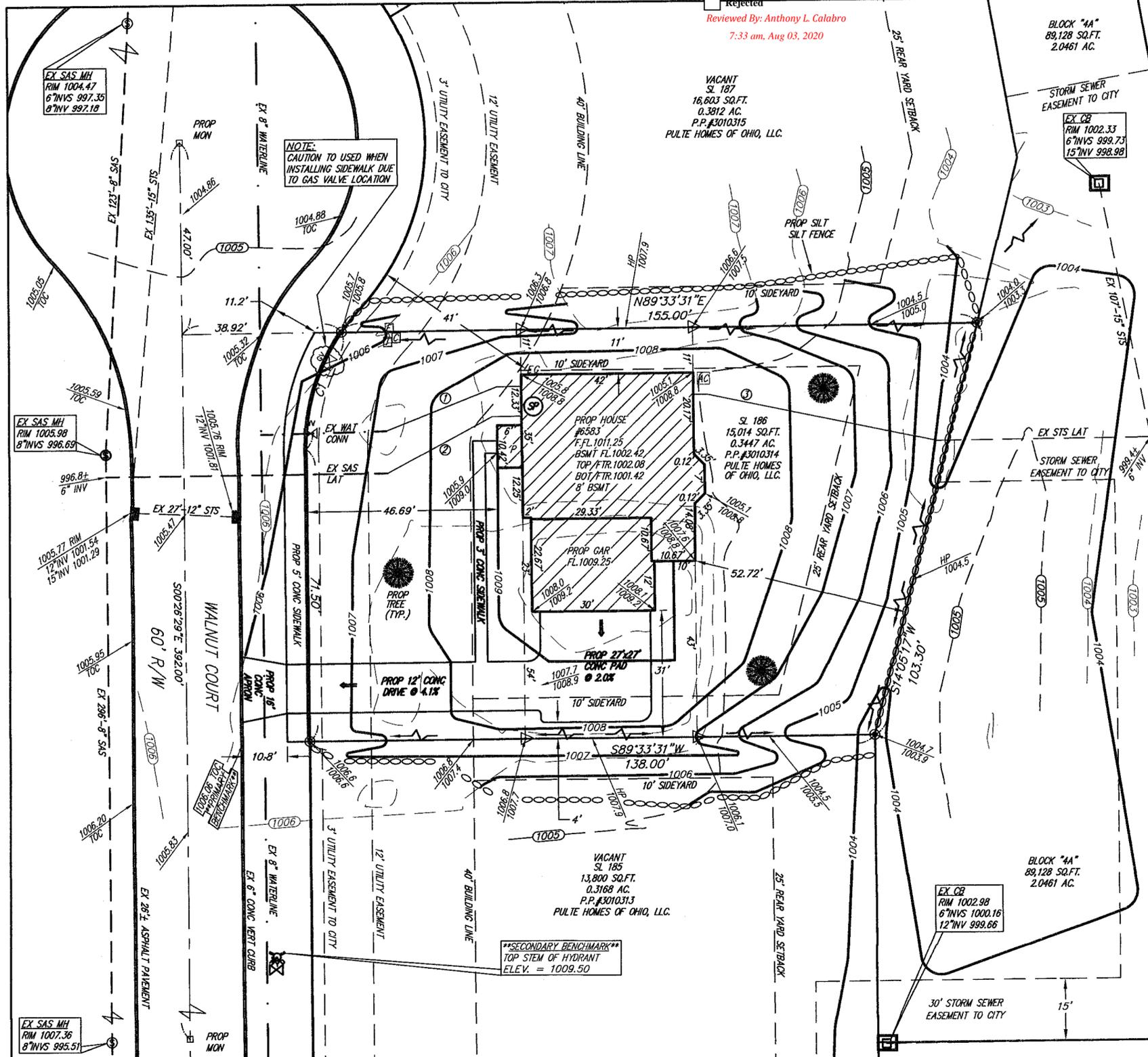
ENGINEERING and SURVEYING Civil Engineering · Land Surveying

SHEET CONTENT

SITE PLAN FOR PULTE HOMES SUBLOT 186 6583 WALNUT COURT IN THE RESERVE AT RIVER OAKS SUBDIVISION PH.4 SITUATED IN THE CITY OF HUDSON COUNTY OF SUMMIT STATE OF OHIO

REVISIONS table with columns: NO., DATE, DESCRIPTION, BY

Scale and Job Information table: HORIZ SCALE 1" = 20', VERT SCALE, DRAWN BY KEG, CHECKED BY SRL, JOB NO 20142977-4, SHEET 1 OF 1





# OHIO DIVISION-LOT 186

RIVER OAKS



## Atwater

### 1 - GENERAL BUILDING & DESIGN REQUIREMENTS

- 1) THE ATTACHED PLANS & SPECIFICATIONS ARE THE SOLE PROPERTY OF PULTE HOMES INC. ANY UNAUTHORIZED USE OF THESE PLANS WITHOUT WRITTEN CONSENT OF PULTE HOMES INC. IS STRICTLY PROHIBITED.
- 2) PULTE HOMES INC. DESIGNERS & BUILDERS HOLDING AS SET FORTH BY THE FORMAT AND PROVISIONS OF THE RESIDENTIAL CODE OF OHIO (RCO) AND THE NATIONAL ELECTRIC CODE (NEC). ANY NON-CONFORMING DOCUMENTS DISCOVERED BY THE CONTRACTOR OR HIS AGENTS SHALL BE CALLED TO THE IMMEDIATE ATTENTION OF PULTE HOMES INC. BY CALLING (800) 452-5202.
- 3) THESE PLANS ARE SUBJECT TO MODIFICATIONS TO MEET CODE REQUIREMENTS AND/OR TO FACILITATE MECHANICAL/ELECTRICAL/PLUMBING INSTALLATION AND/OR TO IMPLEMENT DESIGN IMPROVEMENTS. ANY INTENTION TO MODIFY THESE PLANS MUST BE APPROVED IN WRITING BY PULTE HOMES INC.
- 4) CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AFFECTING CONTRACTOR'S PRODUCTS, INSTALLATIONS, OR FABRICATIONS IN THE FIELD PRIOR TO EXPEDIENT CONSTRUCTION OF SUCH WORK. FIELD VERIFY ALL DIMENSIONS - DO NOT SCALE DRAWINGS! CONTRACTOR IS RESPONSIBLE FOR SUPERVISING THE PROJECT AND BEING FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK INCLUDING BUT NOT LIMITED TO SITE AND SOIL BEARING CONDITIONS.
- 5) ERRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ERRORS, OMISSIONS, OR OMISSIONS FOR WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION AND/OR FABRICATION OF THE WORK.

### 2 - SITE CONSTRUCTION

- 1) SOIL BEARING CALCULATIONS BASED ON 2000 PSF MIN.
- 2) BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.
- 3) BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS TO NOT DAMAGE THE FOUNDATION WALLS OR ANY WATERPROOFING/DAMP-PROOFING MATERIALS.

### 3 - CONCRETE

- 1) ALL CONCRETE EXPOSED TO EXTERIOR ELEMENTS SHOULD BE AIR ENTRAINED 4-6%.
- 2) SLOPE ON DRIVE SHALL BE NO LESS THAN 2% OR 1/4" PER FOOT- PREFERABLY 4% OR 1/2" PER FOOT. THE FRONT STAIR SHALL HAVE SLOPE EQUAL TO 1% PER FOOT. THE MISSED WALK IN GARAGE SHALL HAVE A 1/2" PER FOOT SLOPE AND DRIVE SLAB SHALL BE SLOPED MIN. 1/4" PER FOOT.
- 3) SOME COLUMN OMISSIONS ARE FROM CENTER OF COLUMN TO EXTERIOR FACE OF BASEMENT WALL.
- 4) BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.
- 5) BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS TO NOT DAMAGE THE FOUNDATION WALLS OR WATERPROOFING/DAMP-PROOFING MATERIALS.
- 6) WAD SILLS SHALL BE TREATED MEMBERS AND SECURED BY ANCHOR BOLTS AND/OR STRAPS AS SPECIFIED IN THE DRAWINGS, DETAILS, AND SPECIFICATIONS.
- 7) CALCULATIONS FOR COLUMN PADS BASED ON 2000 PSF SOIL BEARING.
- 8) FOUNDATION WALLS & FOOTER DEPTH TO BE VERIFIED IN FIELD.

### 4 - MASONRY

- 1) ALL EXTERIOR BRICK MUST MEET ASTM C-216 FOR "SM" CONDITIONS.
- 2) MASONRY KEEPER SHALL BE ATTACHED TO SUPPORTING WALLS W/ 22ga x 7/8" CORRUGATED METAL TIES AT 24" O.C.
- 3) FLASHING BEHIND MASONRY SHALL BE 1/4" BUILDING PAPER OR FELT OR APPROVED EQUAL ATTACHED TO THE SHEATING TO PREVENT MOISTURE PENETRATION.
- 4) WEATHERIPS SHALL BE PROVIDED ALONG THE OUTSIDE WYTH OF EXTERIOR MASONRY WALLS AT 33" O.C. MAX. SHALL BE A MIN. OF 5/8" IN DIAMETER, AND LOCATED IMMEDIATELY ABOVE THE FLASHING.

### 5 - METALS

### 6 - WOOD AND PLASTICS

### 7 - THERMAL & MOISTURE PROTECTION

- 1) INSTALL FIRE STOPPING AND/OR DRAFT STOPPING AS REQUIRED.
- 2) ATTIC VENTILATION SHALL BE PROVIDED AT 1/500th OF THE AREA OF THE SPACE VENTILATED. CROSS VENTILATION WITH HALF OF THE VENTILATED AREA SHALL BE PROVIDED BY RIDGE OR GABLE VENTS AND THE OTHER HALF BY EAVE OR CORNICE VENTS. VENTS SHALL BE PLACED SO AS TO NOT ALLOW INFILTRATION OF RAIN OR SNOW.
- 3) PROVIDE APPROVED THE BRACKER BOARD FOR ALL CHIMNEY AND BATH SPACE.
- 4) PROVIDE ICE-SHIELD PER CODE.
- 5) ROOF VENTING TO BE PROVIDED AS SHOWN. SORTI, RIDGE, AND OTHER ROOF VENTS TO BE INSTALLED AS NOTED ON THE DRAWINGS & AS PER MANUFACTURER'S RECOMMENDATIONS.
- 6) HOUSE WRAP & FLASHING TO BE INSTALLED PER PULTE BEST PRACTICES.

### 8 - DOORS AND WINDOWS

- 1) WINDOW CALL OUT PER WINDOW SCHEDULE VERIFY WINDOW MANUFACTURER WITH PROJECT MANAGER.
- 2) REVIEW ALL WINDOW HEAD HEIGHTS FOR PLATE HT. AND VERIFY W/ ELEVATIONS AND CORNICE DETAILS.
- 3) TEMPERED GLASS SHALL BE USED IN ALL HAZARDOUS AREAS.
- 4) FRONT DOOR WITH AS REQUIRED BY CODE.
- 5) GARAGE DOOR AS REQUIRED BY CODE.
- 6) EMERGENCY - SLEEPING ROOMS SHALL HAVE AT LEAST ONE EGRESS OPENING OF NOT LESS THAN 5.7 SF AND A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.

### 15 - MECHANICALS

- 1) FACTORY BUILT CHIMNEYS AND PREFLASHES SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS, AND ARE SUBJECT TO MECHANICAL INSPECTION.
- 2) PROVIDE EXTERIOR AIR INTAKE FOR COMBUSTION AIR.

### 16 - ELECTRICAL

- 1) ALL ELECTRICAL INSTALLATION SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE (NEC). ALL MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OF APPROVAL OF THE UNDERWRITERS LABORATORIES, INC.
- 2) ELECTRICAL CONTRACTOR SHALL VERIFY SPACE REQUIRED FOR METER INSTALLATION BEFORE CONSTRUCTION AND SHALL NOTIFY GENERAL CONTRACTOR OF ANY DISCREPANCIES.
- 3) VERIFY LOCATION OF ALL RECEPTACLES FOR APPLIANCES WITH MANUFACTURER SPECIFICATIONS.
- 4) GROUND FAULT INTERRUPTS SHALL BE LOCATED PER NEC.
- 5) ALL SWITCHES SHALL BE INSTALLED AT 5'-2" ABOVE FINISHED FLOOR TO CENTERLINE OF SWITCH UNLESS NOTED OTHERWISE.
- 6) ALL CONVENIENCE OUTLETS SHALL BE INSTALLED W/ CENTERLINE OF OUTLET LOCATED 1'-3" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.
- 7) ALL CONVENIENCE OUTLETS WITH SWITCHES TO BE SWITCH AT TOP ONLY.
- 8) ALL EXTERIOR WALL BRACKET FIXTURES SHALL BE INSTALLED AT 5'-4" ABOVE ADJACENT DOOR SILL HEIGHT TO CENTERLINE OF FIXTURE.
- 9) APPROVED SMOKE DETECTORS SHALL BE LOCATED ON EVERY STORY OF THE DWELLING UNIT AS PER CODE (SEE SHEET FLOOR FOR LOCATIONS). WHERE MORE THAN ONE DETECTOR IS REQUIRED THEY SHALL BE INTERCONNECTED. POWER SOURCE SHALL BE BULKING POWER W/ BATTERY BACKUP.

### GENERAL FRAMING SPECS AND CONSTRUCTION NOTES STAIRS:

- 1) THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES (210 MM) AND THE MINIMUM TREAD DEPTH SHALL BE 10 INCHES (229 MM).
- 2) HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34 INCHES AND 38 INCHES SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS.
- 3) HANDRAIL AND BALUSTRADE (WHERE PRESENT) SHALL BE CONSTRUCTED PER CODE.
- 4) ALL REQUIRED HAND RAILS SHALL BE CONTINUED THE FULL LENGTH OF THE STAIRS W/ 2 OR MORE RISERS FROM A POINT ABOVE THE TOP RISER OF A FLIGHT TO A POINT ABOVE THE LOWEST RISER OF THE FLIGHT. ENDS SHALL BE RETURNED OR SHALL TERMINATE AT WELDED POSTS OR SAFETY TERMINALS HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1.5" BETWEEN THE WALL AND HAND RAIL.

### WALLS:

- 1) ALL STUDS TO BE 2x4 SPP OR EQUAL UNLESS NOTED OTHERWISE.
- 2) USE 1/2" TOP PLATES 1" O.C. ON BOTH FIRST AND SECOND FLOOR AT ALL EXTERIOR AND LOAD BEARING CONDITIONS. ALL OTHER PARTITION WALL USE SINGLE TOP PLATE 2x4OC.

### FLOORS:

- 1) STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORER, OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED PER CODE.
- 2) THE ENDS OF EACH JOIST, BEAM, OR GIRDER SHALL HAVE NOT LESS THAN 1.5 INCHES (38MM) OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES (76MM) ON MASONRY OR CONCRETE OR AS OTHERWISE SPECIFIED PER CODE.
- 3) ANY CONVENTIONAL FLOOR JOISTS SHOWN DOUBLED ON PLANS TO BE GLED AT INSTALLATION AND MAILED W/ 3/4" X 16" NAILS @ 16" O.C. MULTIPLE PILES OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM.
- 4) SHOP DRAWINGS FOR ANY AND ALL ENGINEERED FLOOR SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS. WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

### FRAMING:

- 1) ALL FRAMING DIMENSIONS TO FACE OF MEMBER/DRAINING.
- 2) ALL BEARING HEADERS TO BE 2x8 SPP #2 OR EQUAL UNLESS NOTED OTHERWISE.
- 3) ALL 2x10 & 2x12 HEADERS TO BE SPP #2 UNLESS NOTED OTHERWISE.
- 4) ALL 2x4 HEADERS TO BE SPP #2 UNLESS NOTED OTHERWISE.
- 5) PROVIDE 1x4 BLOCCING UNDER ALL EXTERIOR SLIDING DOORS.
- 6) ALL BEAMS & HEADERS SHALL HAVE A MINIMUM OF (1) 2x JACK STUD & (1) 2x KING STUD. THE NUMBER OF STUDS LABELED ON PLANS INDICATES THE NUMBER OF JACK STUDS ONLY (UNLESS NOTED OTHERWISE).
- 7) TWO-PLY CONVENTIONAL BEAMS TO BE FACE-MAILED W/ 2" ROWS 16x COMMON NAILS STAGGERED 8" O.C. UNLESS NOTED OTHERWISE. THREE-PLY CONVENTIONAL BEAMS TO BE NAILED AS ABOVE FROM EACH SIDE. MULTIPLE PILES OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM.
- 8) JOIST HANGERS, WHERE REQUIRED, SHALL BE USED WITHOUT ANGLES.
- 9) INSTALL FIRE STOPPING AND/OR DRAFT STOPPING AS REQUIRED.

### ROOF:

- 1) HP AND VALLEY RAFTERS SHALL BE SUPPORTED AT RIDGE DOWN TO BEARING PARTITION. OUT ENDS OF RAFTERS SHALL BE FULLY SUPPORTED WALL AND RIDGE.
- 2) SHOP DRAWINGS FOR ANY AND ALL ENGINEERED ROOF TRUSS SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS. WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

### LIGHT & VENT CALCULATIONS:

ROOM	SQ. FT.	LIGHT REQ	SUPPLY	REQ'D	SUPPLY	NOTES
<b>FIRST FLOOR</b>						
PLANNING CENTER	115	5.2	24.80	4.60	10.60	
GATHERING ROOM	367	29.36	49.60	14.68	21.20	
KITCHEN/NOOK	331	26.48	46.94	13.24	22.72	
DINING ROOM	361	12.88	24.80	8.44	10.40	
LEN	173	14.08	37.20	7.04	15.90	
PORCHER ROOM	35	N/A	N/A	1.12	50.00	
<b>SECOND FLOOR</b>						
GAME ROOM	299	23.92	46.80	11.96	19.60	
OWNER'S SUITE	262	22.64	40.80	11.32	17.20	
BEDROOM 2	131	10.48	26.80	5.24	11.90	
BEDROOM 3	159	12.16	23.40	6.08	9.80	
BEDROOM 4	152	12.16	35.17	6.08	14.70	
OWNER'S BATH	111	N/A	24.80	118.0	120.00	
TOILET ENCLOSURE	16	N/A	N/A	20.0	50.00	
BATH 3	48	N/A	N/A	58.40	60.00	
BATH 4	37	2.96	5.20	1.40	50.00	
BATH 1	35	N/A	N/A	37.40	50.00	

### APPLICABLE CODES:

- 2009 INTERNATIONAL RESIDENTIAL CODE (SECTION 602) 2012 INTERNATIONAL RESIDENTIAL CODE
- 2010 RESIDENTIAL CODE OF OHIO
- 2001 INTERNATIONAL PLUMBING CODE
- 2001 INTERNATIONAL MECHANICAL CODE
- 2001 NATIONAL ELECTRIC CODE
- 2011 INTERNATIONAL FIRE CODE
- 2009 INTERNATIONAL ENERGY CONSERVATION CODE

### SQUARE FOOTAGE INDEX:

DESCRIPTION OF AREA	AREA
<b>BELLEVUE 1</b>	
FIRST FLOOR	1606 SQ. FT.
SECOND FLOOR	1758 SQ. FT.
JACK STAIR	N/A SQ. FT.
TOTAL	3364 SQ. FT.
<b>GARAGE</b>	
FLOOR	688 SQ. FT.
TOTAL AREA UNDER ROOF	4052 SQ. FT.
UNFINISHED BASEMENT	1504 SQ. FT.
FINISHED BASEMENT	1107 SQ. FT.

### PLAN SHEET INDEX

SHT.	DESCRIPTION
0.00	COVER SHEET
1.00a	FULL BASEMENT FOUNDATION PLAN
2.00	FINISHED BASEMENT PLAN
2.10a	FIRST FLOOR PLAN
2.10b	PLAN DETAILS
2.10c	PLAN DETAILS
2.20a	SECOND FLOOR PLAN
3.00a	TYPICAL BUILDING SECTIONS
3.00b	TYPICAL WALL SECTIONS
3.10a	TYPICAL WALL SECTIONS
3.10b	FIRST FLOOR ELECTRICAL PLAN
3.10c	SECOND FLOOR ELECTRICAL PLAN
7.01a	ELEVATION "Y" - FRONT AND REAR ELEVATIONS
7.01a2	ELEVATION "Y" - SIDE ELEVATIONS AND ROOF PLAN
8-10	1ST FLOOR FRAMING PLAN
8-11	1ST FLOOR FRAMING PLAN
8-12	1ST FLOOR FRAMING PLAN
8-13	1ST FLOOR FRAMING PLAN
8-14	1ST FLOOR FRAMING PLAN
8-15	1ST FLOOR FRAMING PLAN
8-20	2ND FLOOR FRAMING PLAN
8-21	2ND FLOOR FRAMING PLAN
8-22	2ND FLOOR FRAMING PLAN
8-23	2ND FLOOR FRAMING PLAN
8-30	ROOF FRAMING PLAN
8-31	ROOF FRAMING PLAN
8-32	ROOF FRAMING PLAN
8.001	TYPICAL FOUNDATION DETAILS
8.002	TYPICAL FOUNDATION DETAILS
8.003	TYPICAL FOUNDATION DETAILS

Cleveland Division  
387 Medina Rd. Suite 1700  
Medina, OH 44126



Cover Sheet  
Specifications & General Notes

PRODUCTION MANAGER  
Cody Klyburn  
PRINT DATE: 07/08/2020  
BY & DATE / DESCRIPTION

PROJECT TITLE  
SINGLE FAMILY  
COMMUNITY NAME  
RIVER OAKS  
LOT 186

GARAGE HANDING  
GARAGE RIGHT

CREATION LEVEL  
TBD

ATWATER  
IPI PLAN NUMBER  
1642

LEGACY PLAN NUMBER / IPI  
PLAN 3295

SHEET  
0.00

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INDICATE SCALE NOTED OR OTHERWISE RELATE TO FULL SIZE. STUDS ON 22x24 SHEETS - 11x17 SHEETS REPRESENT 1/2" SCALE PLANS

ENGINEER OF RECORD: MULHLEN & WALKER ENGINEERS  
ARCHITECT OF RECORD: GOODCO DESIGN - ARCHITECTS

FILED: JUL 15 2020 7:40 AM - 2020 - 05:05 PM - 05:05 PM













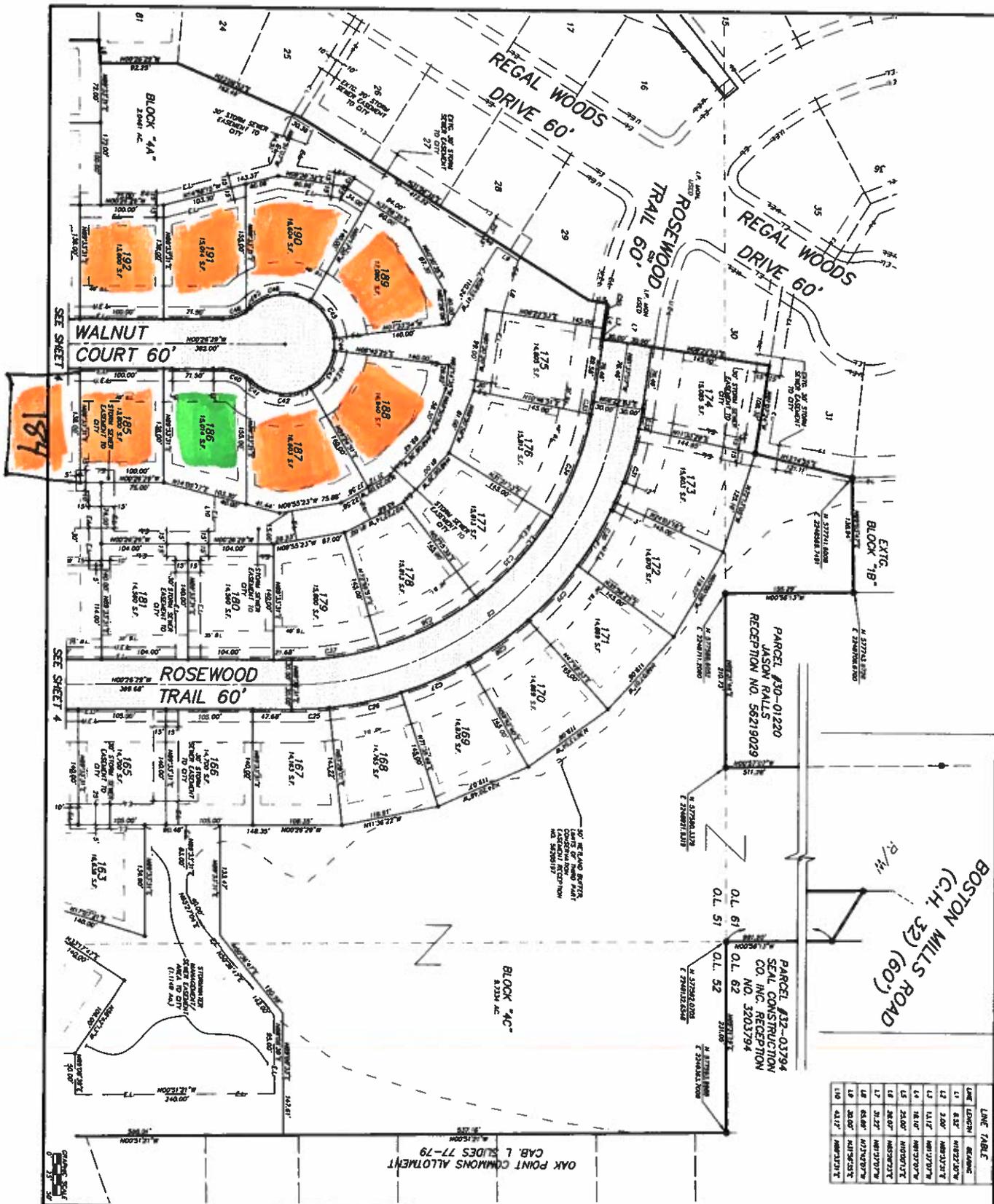
# Look Alike Comparison

Proposed



Lot 184





**LINE TABLE**

LINE	LENGTH	BEARING
1	8.82	N89°23'17"E
2	2.80	N89°23'17"E
3	1.17	N89°23'17"E
4	18.10	N89°23'17"E
5	24.00	N89°23'17"E
6	46.00	N89°23'17"E
7	1.27	N89°23'17"E
8	62.80	N89°23'17"E
9	28.00	N89°23'17"E
10	43.17	N89°23'17"E

**CURVE TABLE**

CURVE	BEARING	LENGTH	CHORD	ARC	DELTA
C1	304.00	191.72	102.81	164.19	103°21'16"
C2	404.00	264.72	142.81	217.19	103°21'16"
C3	504.00	337.72	182.81	270.19	103°21'16"
C4	604.00	410.72	222.81	323.19	103°21'16"
C5	704.00	483.72	262.81	376.19	103°21'16"
C6	804.00	556.72	302.81	429.19	103°21'16"
C7	904.00	629.72	342.81	482.19	103°21'16"
C8	1004.00	702.72	382.81	535.19	103°21'16"
C9	1104.00	775.72	422.81	588.19	103°21'16"
C10	1204.00	848.72	462.81	641.19	103°21'16"
C11	1304.00	921.72	502.81	694.19	103°21'16"
C12	1404.00	994.72	542.81	747.19	103°21'16"
C13	1504.00	1067.72	582.81	800.19	103°21'16"
C14	1604.00	1140.72	622.81	853.19	103°21'16"
C15	1704.00	1213.72	662.81	906.19	103°21'16"
C16	1804.00	1286.72	702.81	959.19	103°21'16"
C17	1904.00	1359.72	742.81	1012.19	103°21'16"
C18	2004.00	1432.72	782.81	1065.19	103°21'16"
C19	2104.00	1505.72	822.81	1118.19	103°21'16"
C20	2204.00	1578.72	862.81	1171.19	103°21'16"
C21	2304.00	1651.72	902.81	1224.19	103°21'16"
C22	2404.00	1724.72	942.81	1277.19	103°21'16"
C23	2504.00	1797.72	982.81	1330.19	103°21'16"
C24	2604.00	1870.72	1022.81	1383.19	103°21'16"
C25	2704.00	1943.72	1062.81	1436.19	103°21'16"
C26	2804.00	2016.72	1102.81	1489.19	103°21'16"
C27	2904.00	2089.72	1142.81	1542.19	103°21'16"
C28	3004.00	2162.72	1182.81	1595.19	103°21'16"
C29	3104.00	2235.72	1222.81	1648.19	103°21'16"
C30	3204.00	2308.72	1262.81	1701.19	103°21'16"
C31	3304.00	2381.72	1302.81	1754.19	103°21'16"
C32	3404.00	2454.72	1342.81	1807.19	103°21'16"
C33	3504.00	2527.72	1382.81	1860.19	103°21'16"
C34	3604.00	2600.72	1422.81	1913.19	103°21'16"
C35	3704.00	2673.72	1462.81	1966.19	103°21'16"
C36	3804.00	2746.72	1502.81	2019.19	103°21'16"
C37	3904.00	2819.72	1542.81	2072.19	103°21'16"
C38	4004.00	2892.72	1582.81	2125.19	103°21'16"
C39	4104.00	2965.72	1622.81	2178.19	103°21'16"
C40	4204.00	3038.72	1662.81	2231.19	103°21'16"
C41	4304.00	3111.72	1702.81	2284.19	103°21'16"
C42	4404.00	3184.72	1742.81	2337.19	103°21'16"
C43	4504.00	3257.72	1782.81	2390.19	103°21'16"
C44	4604.00	3330.72	1822.81	2443.19	103°21'16"
C45	4704.00	3403.72	1862.81	2496.19	103°21'16"
C46	4804.00	3476.72	1902.81	2549.19	103°21'16"
C47	4904.00	3549.72	1942.81	2602.19	103°21'16"
C48	5004.00	3622.72	1982.81	2655.19	103°21'16"
C49	5104.00	3695.72	2022.81	2708.19	103°21'16"
C50	5204.00	3768.72	2062.81	2761.19	103°21'16"
C51	5304.00	3841.72	2102.81	2814.19	103°21'16"
C52	5404.00	3914.72	2142.81	2867.19	103°21'16"
C53	5504.00	3987.72	2182.81	2920.19	103°21'16"
C54	5604.00	4060.72	2222.81	2973.19	103°21'16"
C55	5704.00	4133.72	2262.81	3026.19	103°21'16"
C56	5804.00	4206.72	2302.81	3079.19	103°21'16"
C57	5904.00	4279.72	2342.81	3132.19	103°21'16"
C58	6004.00	4352.72	2382.81	3185.19	103°21'16"
C59	6104.00	4425.72	2422.81	3238.19	103°21'16"
C60	6204.00	4498.72	2462.81	3291.19	103°21'16"
C61	6304.00	4571.72	2502.81	3344.19	103°21'16"
C62	6404.00	4644.72	2542.81	3397.19	103°21'16"
C63	6504.00	4717.72	2582.81	3450.19	103°21'16"
C64	6604.00	4790.72	2622.81	3503.19	103°21'16"
C65	6704.00	4863.72	2662.81	3556.19	103°21'16"
C66	6804.00	4936.72	2702.81	3609.19	103°21'16"
C67	6904.00	5009.72	2742.81	3662.19	103°21'16"
C68	7004.00	5082.72	2782.81	3715.19	103°21'16"
C69	7104.00	5155.72	2822.81	3768.19	103°21'16"
C70	7204.00	5228.72	2862.81	3821.19	103°21'16"
C71	7304.00	5301.72	2902.81	3874.19	103°21'16"
C72	7404.00	5374.72	2942.81	3927.19	103°21'16"
C73	7504.00	5447.72	2982.81	3980.19	103°21'16"
C74	7604.00	5520.72	3022.81	4033.19	103°21'16"
C75	7704.00	5593.72	3062.81	4086.19	103°21'16"
C76	7804.00	5666.72	3102.81	4139.19	103°21'16"
C77	7904.00	5739.72	3142.81	4192.19	103°21'16"
C78	8004.00	5812.72	3182.81	4245.19	103°21'16"
C79	8104.00	5885.72	3222.81	4298.19	103°21'16"
C80	8204.00	5958.72	3262.81	4351.19	103°21'16"
C81	8304.00	6031.72	3302.81	4404.19	103°21'16"
C82	8404.00	6104.72	3342.81	4457.19	103°21'16"
C83	8504.00	6177.72	3382.81	4510.19	103°21'16"
C84	8604.00	6250.72	3422.81	4563.19	103°21'16"
C85	8704.00	6323.72	3462.81	4616.19	103°21'16"
C86	8804.00	6396.72	3502.81	4669.19	103°21'16"
C87	8904.00	6469.72	3542.81	4722.19	103°21'16"
C88	9004.00	6542.72	3582.81	4775.19	103°21'16"
C89	9104.00	6615.72	3622.81	4828.19	103°21'16"
C90	9204.00	6688.72	3662.81	4881.19	103°21'16"
C91	9304.00	6761.72	3702.81	4934.19	103°21'16"
C92	9404.00	6834.72	3742.81	4987.19	103°21'16"
C93	9504.00	6907.72	3782.81	5040.19	103°21'16"
C94	9604.00	6980.72	3822.81	5093.19	103°21'16"
C95	9704.00	7053.72	3862.81	5146.19	103°21'16"
C96	9804.00	7126.72	3902.81	5199.19	103°21'16"
C97	9904.00	7199.72	3942.81	5252.19	103°21'16"
C98	10004.00	7272.72	3982.81	5305.19	103°21'16"
C99	10104.00	7345.72	4022.81	5358.19	103°21'16"
C100	10204.00	7418.72	4062.81	5411.19	103°21'16"

**THE RESERVE AT RIVER OAKS**  
**SUBDIVISION PHASE 4**

**DAVID C. BROWN & ASSOCIATES, INC.**  
 17500 K.C. E.K. FEB. 2019

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