

DATE: August 4, 2022

PROJECT ADDRESS: 132 Franklin Street

TO: Alicia Schrenk, Associate Planner, City of Hudson, 1140 Terex Road, Hudson, Ohio  
44236

FROM: Wendy Naylor, Naylor Wellman, LLC, Preservation Consultant

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## OVERVIEW

At the request of the City of Hudson, Naylor Wellman is providing this Design Review Advisory Report to assist the Architectural and Historic Board of Review (AHBR) in their review of the Owner Application requesting alterations to the locally designated historic property located at 132 Franklin Street. The Secretary of the Interior's Standards for Rehabilitation and Technical Preservation Services: Preservation Brief #14 was applied as it pertains to this Application.

## QUALIFICATIONS

*Principals, Wendy Hoge Naylor and Diana Wellman, are registered Preservation Consultants qualified under the Federal Historic Preservation Professional requirements as described in the U.S. Secretary of the Interior's Standards for Archeology and Historic Preservation (48 FR 44716).*

## Sources

- ✓ AHBR Agenda Packet with OHI Form and proposed Architect, Rick Hawksley, Drawings 11/10/21, Revised Drawings 7/21/22
- ✓ Site Visit, Tour with Contractor/Owner & Photos, 6/14/2022

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## PROPOSED ALTERATIONS – 132 Franklin Street - 7/21/22 Drawings

- Alteration of roof line to incorporate additions
- Removal of rear elevation historic dormer

**PROJECT BACKGROUND AND DESCRIPTION**

- The property is located in a residential neighborhood as the last lot on the west side of Franklin Street, north of the Hudson Middle School.



- *Primary public site line views of the façade east elevation from Franklin Street*



**Public Site Line from Franklin Street, view facing NW**



**Public Site Line from Franklin Street, view facing SW**

- *The ca. 1923 Colonial Revival style Side Gable Bungalow two-story single dwelling is located in the local Hudson Historic District and subject to review using the Secretary of Interior's Standards for Rehabilitation, under Hudson Code section 111-1-2b (1) as greater than 50 years old.*
- **Relevant Historic Character Defining Features of 132 Franklin Street House include:**
  - (a) Side Gable Bungalow symmetrical façade with central entry door*
  - (b) Symmetrical window and door fenestration*
  - (c) Bungalow Roof with symmetrical dormers, and interior brick chimney centered on roof ridge*
  - (d) Full width porch supported by simple classical square columns and spindle rail below frieze band tying into first-floor corner boards*
  - (e) Painted wood clapboard siding with simple window trim*



(f) Bungalow influence exhibited at slightly flared roofline and overhanging porch



132 Franklin Street North Elevation, View facing south, Photo, 1950 Summit Memory

(g) One-story south addition appears original to the house evidenced by framing and knob & tube wiring consistent with main body of house, with a basement likely dug out at a later date

### **Non-Historic Elements**

- a) Aluminum clad replacement windows with no historic windows remaining
- b) Shutters
- c) Cement porch floor
- d) Rear one-story ca. 1970s west addition not visible from public site lines

**DETERMINATION OF EFFECT:**

- **ISSUE:** The AHRB is asking for a determination on the compatibility of the proposed alterations, specifically related to revised plans dated 7/21/22 with alteration of roof line to incorporate additions

*Applicant drawings by Architect, Rick Hawksley dated 11/10/21 were previously approved by the AHRB with conditions that wood siding be used, the window type be approved by staff and a double window be used at the east elevation dormer.*

***Approved East Elevation 11/10/21 drawings (without raising roof)***



***Approved South Elevation 11/10/21 (without raising roof) showing rear cross gable roof additions and projecting central south addition roofline in line with main house***



## Secretary of the Interior's Standards for Rehabilitation #9

### **PRESERVATION BRIEF #14 New Exterior Additions to Historic Buildings: Preservation Concerns**

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New additions, exterior alterations, or related new construction should not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

New additions, exterior alterations or related new construction should be compatible with the historic building but differentiated so as not to create a false sense of history by adding conjectural features from other historic properties. They should not detract from the overall historic character of the primary historic building. The focus for design review is on new construction that is within the public view from the city sidewalk or other public space.

- Historic architectural style and elements should not be duplicated, but instead interpreted in a simpler and distinguishable design for the addition or new construction. They should pick up design “cues” from the historic building, including fenestration pattern and proportions, overall size, scale, massing, form and type of ornamentation.
- Materials and colors should be compatible with those of the historic building. The use of salvaged architectural materials from another historic building for an addition is discouraged.
- It is not appropriate to construct an addition, exterior alteration or new construction that overpowers or detracts from the primary historic elements and character-defining features or will require the removal of significant building elements or site features.
- Additions or new construction should be constructed so that they may be removed at a later date without damaging the primary historic elements.

- **Q: Overall compatibility of the proposed 7/21/22 alterations, specifically related to alteration of roof line to incorporate additions**

**Façade East Elevation Impact:** The central side gable roof line proportions have been retained, with an increase in height at the set-back north elevation addition to match the height of the central side gable, in alignment with the previously approved 11/10/21 drawings. The north addition alters the symmetry of the house, with varying north and south addition roof heights. The north addition adds a large roof dormer which does not match in appearance with the existing roof dormers and differs from the previously approved 11/10/21 drawings.

**PROPOSED FAÇADE East Elevation:**



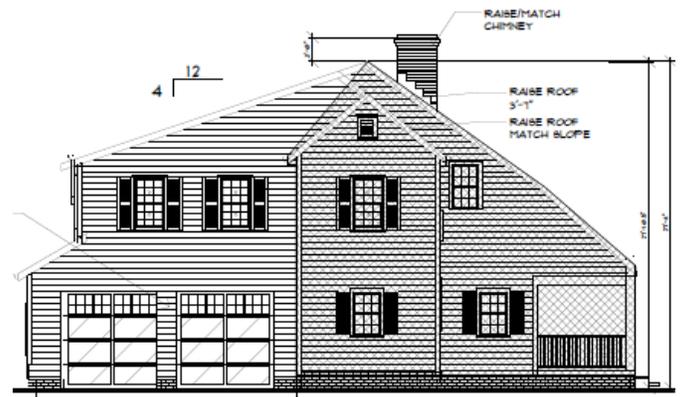
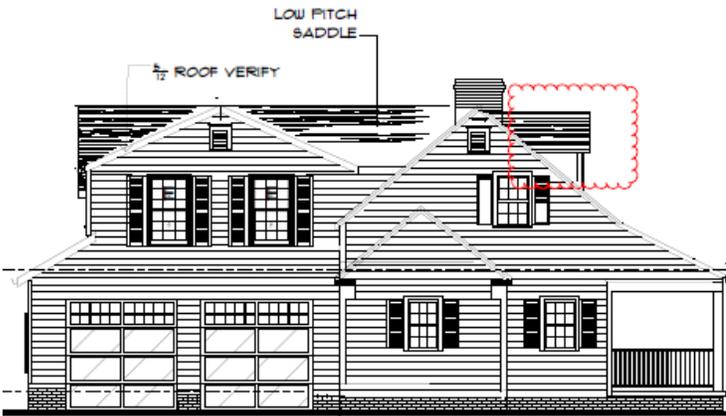
**EXISTING FAÇADE East Elevation:**



**South, North & Rear West Elevations Impact:** The gable roof south elevation is consistent with the historic design and retains the chimney location when compared to the previously proposed elongated shed roof. This improves the overall composition of the house even though the west side historic roof dormer is being removed. The rear elevation fenestration pattern is consistent with the character of the house. This design does however create a low-pitched saddle, as noted by the architect, and may result in challenges during the winter months with ice and snow.

**PROPOSED South Elevation:**

**PREVIOUSLY PROPOSED South Elevation:**



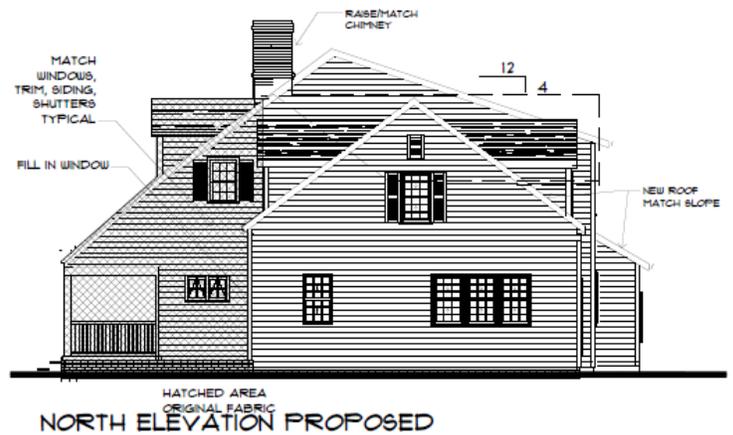
**EXISTING South Elevation showing 1970s west addition:**



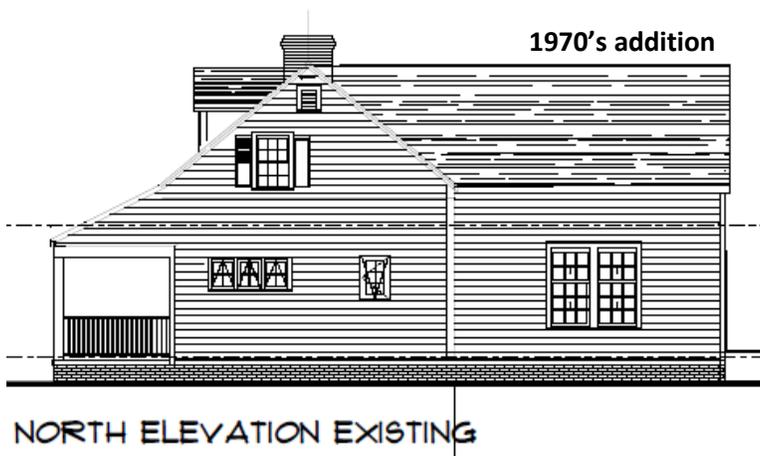
**PROPOSED North Elevation:**



**PREVIOUSLY PROPOSED North Elevation:**



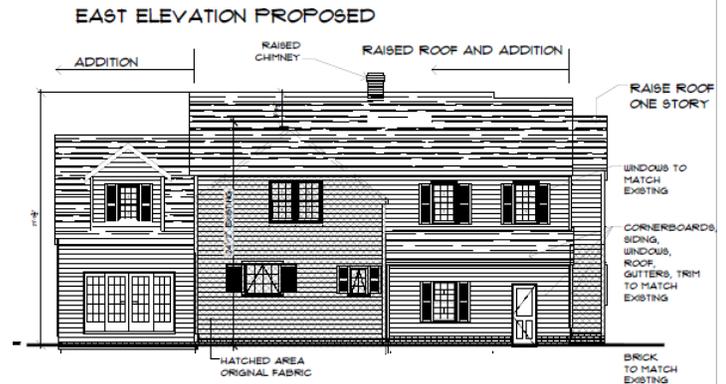
**EXISTING North Elevation showing 1970s west addition:**



**PROPOSED Rear West Elevation showing 1970s west addition:**



**PREVIOUSLY PROPOSED Rear West Elevation**



**EXISTING Rear West Elevation showing 1970s west addition:**



## RECOMMENDATION

### *Recommendation of Approval:*

The proposed alterations demonstrate an attempt to pick up design cues from the historic building, including fenestration pattern, proportion and gable roof shape. The central roof line height is maintained in proportion to the historic dormers. The primary weight of the additions are tucked in at the rear elevation and set back at the north elevation to avoid overpowering the primary historic elements, symmetry and character-defining features of the house.

The north addition adds a large roof dormer which does not match in appearance with the existing historic roof dormers. It is recommended that the new dormer be smaller in scale with a single window in proportion with the existing historic dormers and compatible with the first-floor existing window to maintain fenestration symmetry.

The scale and overall composition of the house adding a gable roof addition while maintaining the historic south addition is compatible with the existing symmetrical house and gable features. The visibility from the façade and south elevation primary public site lines of the Colonial Revival Side Gable Bungalow have been improved upon with these plan revisions.

**END of REPORT**

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## APPENDIX

### DESIGN CRITERIA

#### CITY OF HUDSON CODIFIED ORDINANCE - DESIGN CONSIDERATIONS

*Relevant Sections highlighted in grey.*

Section III-2. - Alterations to existing properties - all types.

The character of Hudson is preserved by maintaining the integrity of buildings as they are altered.

a. *Alterations to non-historic buildings.* The following shall apply to all buildings which are not historic properties, as defined in Section III-2(b).

(1) In the case of an alteration to an existing property, an applicant must comply with the type design Standards in Part IV to the extent that they apply to the alteration itself.

(2) Applicants will be permitted to repair or replace existing non-conforming elements without bringing the element into conformance with the Standards, for example, shutters or windows may be replaced with essentially the same elements.

(3) If applicants propose to replace any element with another that is not the same (for example, aluminum windows for wood windows), the applicant will be required to conform fully with the Standards for those elements.

(4) Applicants may not be compelled to alter any part of the existing property which would otherwise not be affected by the proposed alteration.

(5) For existing buildings which do not conform to the type catalogue in Part IV, alterations will be allowed as long as they conform to the general principles enumerated in Section I-2, and they are compatible with the existing architectural style, materials, and massing of the building.

b. *Standards for historic properties, all districts.* Historic properties include those buildings which are contributing to historic districts and buildings which are designated as historic landmarks by the City Council. Other buildings which have historic or architectural significance may be also be reviewed as historic properties with the mutual agreement of the AHBR and the applicant.

(1) Historic landmarks or buildings within historic districts which are greater than fifty years old will not be reviewed according to the type Standards in Part IV. Such buildings will be reviewed according to the Secretary of the Interior's Standards for Historic Rehabilitation (*see Appendix I) and National Park Service Preservation Briefs #14 and #16.*

(2) In altering historic properties, the applicant is advised to refer to historic surveys and style guides which have been prepared specifically for Hudson, including the **Uniform Architectural Criteria** by Chambers & Chambers, 1977; **Hudson: A Survey of History Buildings in an Ohio Town** by Lois Newkirk, 1989; and **Square Dealers**, by Eldredge and Graham.

(3) Hudson's Historic District and Historic Landmarks contain a wealth of properties with well preserved and maintained high quality historic building materials. The preservation of these materials is essential to the distinguishing character of individual properties and of the district. Deteriorated materials shall be repaired where feasible rather than replaced. In the event that replacement is appropriate, the new material should be compatible in composition, design, color, and texture.

(i). Use of Substitute materials for Historic Properties (as defined in Section III-2. b.).

- (a.) The AHBR shall review detailed documentation of the existing site conditions.
  - (b.) The AHBR shall request the patching and repair of existing materials.
  - (c.) If the repair or replacement of existing non-historic materials is requested, AHBR shall request removal of the non-historic material to expose the historic material so that it may be assessed.
  - (d.) If the AHBR concurs that the condition of the material requires replacement in some or all portions of the structure, like materials should be used. Substitute materials may be considered when the proposed materials do not alter the historic appearance of the structure, and the proposed materials are compatible in proportion, size, style, composition, design, color, and texture with the existing historic materials.
- (ii). Use of Substitute materials for proposed additions to existing historic properties.
- (a.) The placement of the addition shall be reviewed to determine its visibility from the public realm.
  - (b.) Substitute materials are acceptable provided they are compatible in proportion, size, style, composition, design, color, and texture with the existing historic materials.
- (iii). New freestanding structures and non-historic properties: The use of substitute materials is acceptable provided they are compatible in proportion, size, style, composition, design, color, and texture of historic materials.
- (iv). All applications are subject to Section II-1(c).

## SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION

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*Relevant Sections highlighted in grey.*

The Standards (Department of Interior regulations, 36 CFR 67) pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompass the exterior and the interior, related landscape features and the building's site and environment as well as attached, adjacent, or related new construction. The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.