

# INTERIOR RENOVATION AND ADDITION

## MATHIS RESIDENCE

### 107 CHESHIRE RD

### HUDSON, OH 44236



97 Mayfield Ave  
Akron, OH 44313  
330-858-0550

**OWNER**  
KEVIN AND CAROLINA MATHIS  
CMATHIS\_OSU@HOTMAIL.COM

**ARCHITECT**  
NR DESIGN, LLC  
97 MAYFIELD AVE  
AKRON, OH 44313  
CONTACT: NICOLE DAVIS  
330-858-0550  
NICOLE@NRDESIGNARCH.COM

**ABBREVIATIONS**

<b>ACT</b>	ACOUSTICAL CEILING TILE
<b>ADA</b>	AMERICANS WITH DISABILITIES ACT
<b>AFF</b>	ABOVE FINISHED FLOOR
<b>ALUM</b>	ALUMINUM
<b>CL</b>	CENTERLINE
<b>CLG</b>	CEILING
<b>CPT</b>	CARPET
<b>CT</b>	CERAMIC TILE
<b>DR</b>	DOOR
<b>EA</b>	EACH
<b>ELEC</b>	ELECTRICAL
<b>EL</b>	ELEVATION
<b>FD</b>	FIELD DIMENSION
<b>F/I</b>	FURNISH & INSTALL
<b>FIN</b>	FINISHED
<b>FL</b>	FLOOR
<b>GWB</b>	GYPSUM WALL BOARD
<b>HC</b>	HANDICAPPED
<b>HDWD</b>	HARDWOOD
<b>INSUL</b>	INSULATION
<b>JT</b>	JOINT
<b>MFG</b>	MANUFACTURER
<b>MECH</b>	MECHANICAL
<b>MEMB</b>	MEMBRANE
<b>MTL</b>	METAL
<b>M/R</b>	MOISTURE OR WATER RESISTANT
<b>MO</b>	MASONRY OPENING
<b>NIC</b>	NOT IN CONTRACT
<b>NTS</b>	NOT TO SCALE
<b>OC</b>	ON CENTER
<b>OFCI</b>	OWNER-FURNISHED, GC INSTALL
<b>OFOI</b>	OWNER-FURNISHED & INSTALLED
<b>PT</b>	PRESSURE TREATED
<b>PTD</b>	PAINTED
<b>PWD</b>	PLYWOOD
<b>REINF</b>	REINFORCING
<b>R/D</b>	REMOVE & DISPOSE
<b>SP</b>	STEEL POST
<b>SST</b>	STAINLESS STEEL
<b>STRUC</b>	STRUCTURAL
<b>T&amp;G</b>	TOUNGUE AND GROOVE
<b>T&amp;B</b>	TOP AND BOTTOM
<b>UON</b>	UNLESS OTHERWISE NOTED
<b>VWC</b>	VINYL WALL COVERING
<b>WD</b>	WOOD
<b>WP</b>	WOOD POST

**CODES**

2019 RESIDENTIAL CODES OF OHIO; ADOPTS THE IRC 2018 WITH AMENDMENTS  
OHIO PLUMBING CODE 2017; ADOPTS THE IPC 2015 WITH AMENDMENTS  
OHIO MECHANICAL CODE 2017; ADOPTS THE IMC 2015 WITH AMENDMENTS  
NATIONAL ELECTRICAL CODE 2017 OF OHIO; ADOPTS THE NFPA 70, 2017 WITH AMENDMENTS  
2017 OHIO ENERGY CODE ENERGY EFFICIENCY

**GENERAL NOTES**

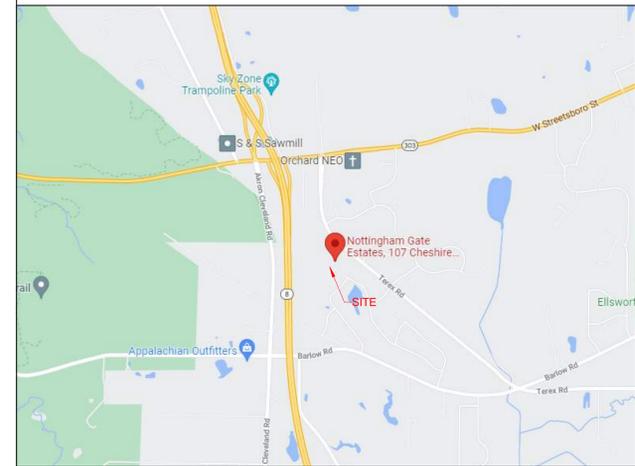
- ALL WORK SHALL BE ACCOMPLISHED WITH THE SPECIFIED BUILDING CODES, BY COMPANIES AND/OR INDIVIDUALS PROPERLY LICENSED TO PERFORM SUCH WORK. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUB CONTRACTORS TO BUILD A STRUCTURALLY SOUND WATERPROOF STRUCTURE, FREE FROM MATERIAL DEFECTS, THAT CONFORMS TO THE LOCAL BUILDING CODES AND AREA RESTRICTIONS.
- IT IS UNDERSTOOD THAT THE CONTRACTOR(S) HAVE READ AND UNDERSTAND ALL DRAWINGS, SPECIFICATIONS, AND APPLICABLE CODES UNDER WHICH THE BUILDING IS TO BE CONSTRUCTED. THE DESIGNER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM THE FAILURE TO FOLLOW THE CONSTRUCTION DOCUMENTS OR THE DESIGN INTENT THEY CONVEY.
- THE CONTRACTOR(S) SHALL FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS AND NOTIFY THE DESIGNER AND/OR ENGINEERS IN WRITING IF ANY DISCREPANCIES OR INCONSISTENCIES BETWEEN THE CONTACT DOCUMENTS AND EXISTING CONDITIONS ARE DISCOVERED, PRIOR TO SUBMITTING A BID AND BEGINNING CONSTRUCTION.
- IN CASE OF A CONFLICT BETWEEN DRAWINGS AND SPECIFICATIONS, THE MORE RIGID REQUIREMENTS SHALL BE ASSUMED UNTIL A RULING IS MADE BY THE DESIGNER AND/OR ENGINEERS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS. ALL WORK TO BE IN COMPLIANCE WITH CURRENTLY ADOPTED CODES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND INSPECTIONS TO INSURE THE SAFETY, INTEGRITY, AND COMPLETION OF THIS PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING REQUIRED INSPECTIONS AND TESTS.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, FRAMING, STRUCTURAL STEEL SUPPORT, HANGERS, AND OTHER SUPPORT FOR ALL FIXTURES, EQUIPMENT, MILLWORK, CABINETS, STONE, HANDRAILS, FURNISHINGS, DECORATIVE LIGHTING, AND ALL OTHER ITEMS REQUIRING SAME.
- ALL WORK AND/OR MATERIALS, ASSEMBLIES, PRODUCTS, AND FINISHES SHALL BE PERFORMED AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE. IN ORDER TO IDENTIFY CONFLICTS WITH EXISTING CONSTRUCTION AND DIMENSIONAL ERROR, DIMENSIONAL LAYOUT SHALL BE VERIFIED IN FIELD PRIOR TO PROCEEDING WITH WORK. THE DESIGNER SHALL BE NOTIFIED OF ANY DIMENSIONS REQUIRING CORRECTION. DIMENSIONS ARE TO FACE OF WALL FINISH UNLESS OTHERWISE NOTED.
- CONTRACTOR IS TO TAKE ALL NECESSARY MEASURES TO ENSURE THAT ANY ADJACENT FINISHES OR OCCUPIED SPACE IS PROTECTED FROM SOILING OR DAMAGE DURING CONSTRUCTION AND DEMOLITION.

**SCOPE OF WORK**

- BUILD ADDITION OFF OF EXISTING DINING ROOM TO ACT AS NEW RECREATION ROOM
- INTERIOR RENOVATION OF EXISTING MUSIC ROOM TO BE LAUNDRY AND PANTRY SPACES
- BASEMENT RENOVATION INCLUDING REMOVING AND CHANGING PARTITION WALLS
- CONSTRUCT NEW PORCH CANOPY

**DRAWING INDEX**

		<b>FIRST ISSUED</b>	<b>LAST REVISED</b>
G100	COVER SHEET	12/21/2021	
AS100	ARCHITECTURAL SITE PLAN	12/21/2021	
AD100	DEMOLITION	12/21/2021	
A101	MAIN LEVEL CONSTRUCTION PLAN	12/21/2021	
A102	BASEMENT CONSTRUCTION PLAN	12/21/2021	
A103	ROOF PLAN	12/21/2021	
A201	ADDITION ELEVATIONS	12/21/2021	
A301	SECTION DETAILS	12/21/2021	



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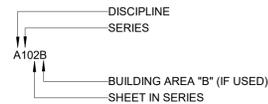
SEAL



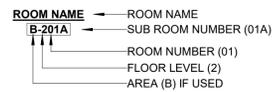
NICOLE DAVIS  
LICENSE NO. RA015234  
EXPIRES 12-31-2023

**SYMBOLS LEGEND**

**SHEET NUMBER:**



**ROOM NAME/NUMBER:**



**DOOR & WINDOW SYMBOLS:**



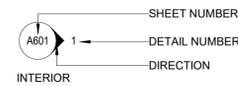
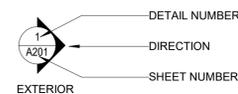
**NORTH ARROW:**



**WALL TYPE INDICATOR:**

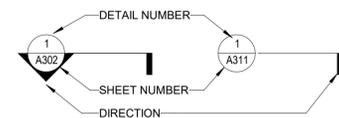


**ELEVATION SYMBOLS:**

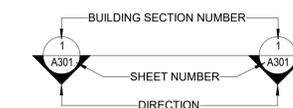


**SECTION SYMBOL:**

**DETAIL SYMBOL:**



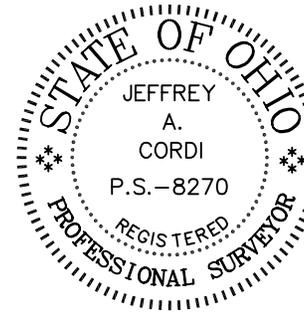
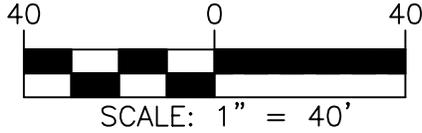
**BUILDING SECTIONS:**



COVER SHEET		
<b>G100</b>		
Issued	12/21/2021	
Project	21.013	
Drawn By:	ND	
<b>Issuance</b>		
No.	Date	Description

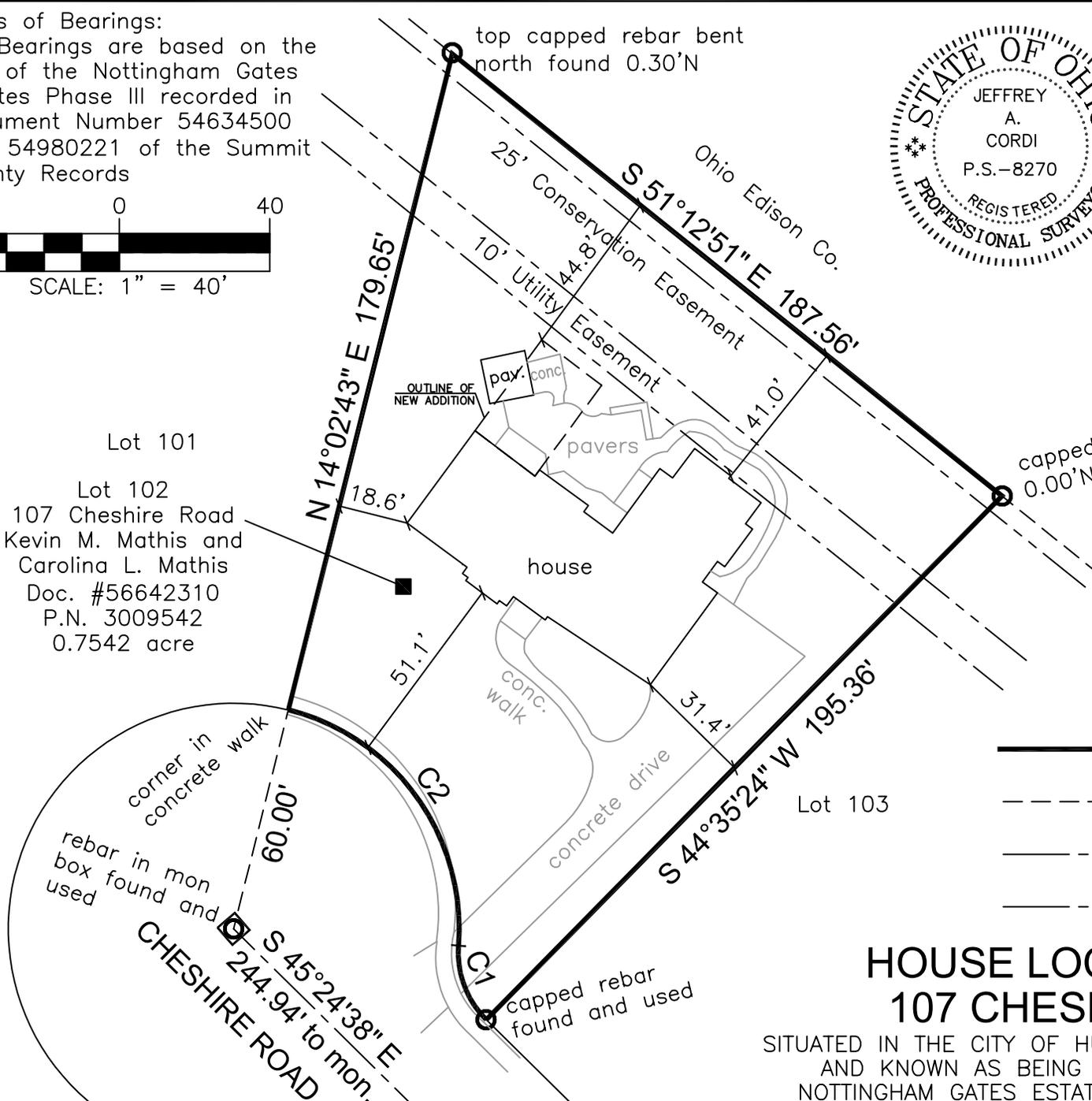
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Basis of Bearings:  
 Bearings are based on the plat of the Nottingham Gates Estates Phase III recorded in Document Number 54634500 and 54980221 of the Summit County Records



PREPARED BY:  
 JEFFREY A. CORDI, P.S.  
 170 HAZEL DRIVE  
 NORTHFIELD, OHIO 44067  
 330-388-8146  
 CordiSurvey@gmail.com

Lot 101  
 Lot 102  
 107 Cheshire Road  
 Kevin M. Mathis and  
 Carolina L. Mathis  
 Doc. #56642310  
 P.N. 3009542  
 0.7542 acre



- Legend:
- ◇ monument box found
  - iron pin found as noted
  - property line
  - - - other property line
  - centerline
  - - - easement line

## HOUSE LOCATION FOR 107 CHESHIRE ROAD

SITUATED IN THE CITY OF HUDSON, SUMMIT COUNTY, OHIO AND KNOWN AS BEING ALL OF LOT 102 OF THE NOTTINGHAM GATES ESTATES PHASE III RECORDED IN DOCUMENT NUMBER 54634500 AND 54980221 OF THE SUMMIT COUNTY RECORDS  
 SCALE: 1" = 40'      DATE: MARCH 22, 2022

CURVE	RAD.	ARC	CH. BRG.	CHORD	DELTA	TAN.
C1	25.00'	21.68'	N 20°34'00" W	21.01'	49°41'13"	11.57'
C2	60.00'	84.01'	S 35°50'06" E	77.31'	80°13'25"	50.55'



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*Nicole Davis*  
12-21-2021

ARCHITECTURAL SITE PLAN

**AS100**

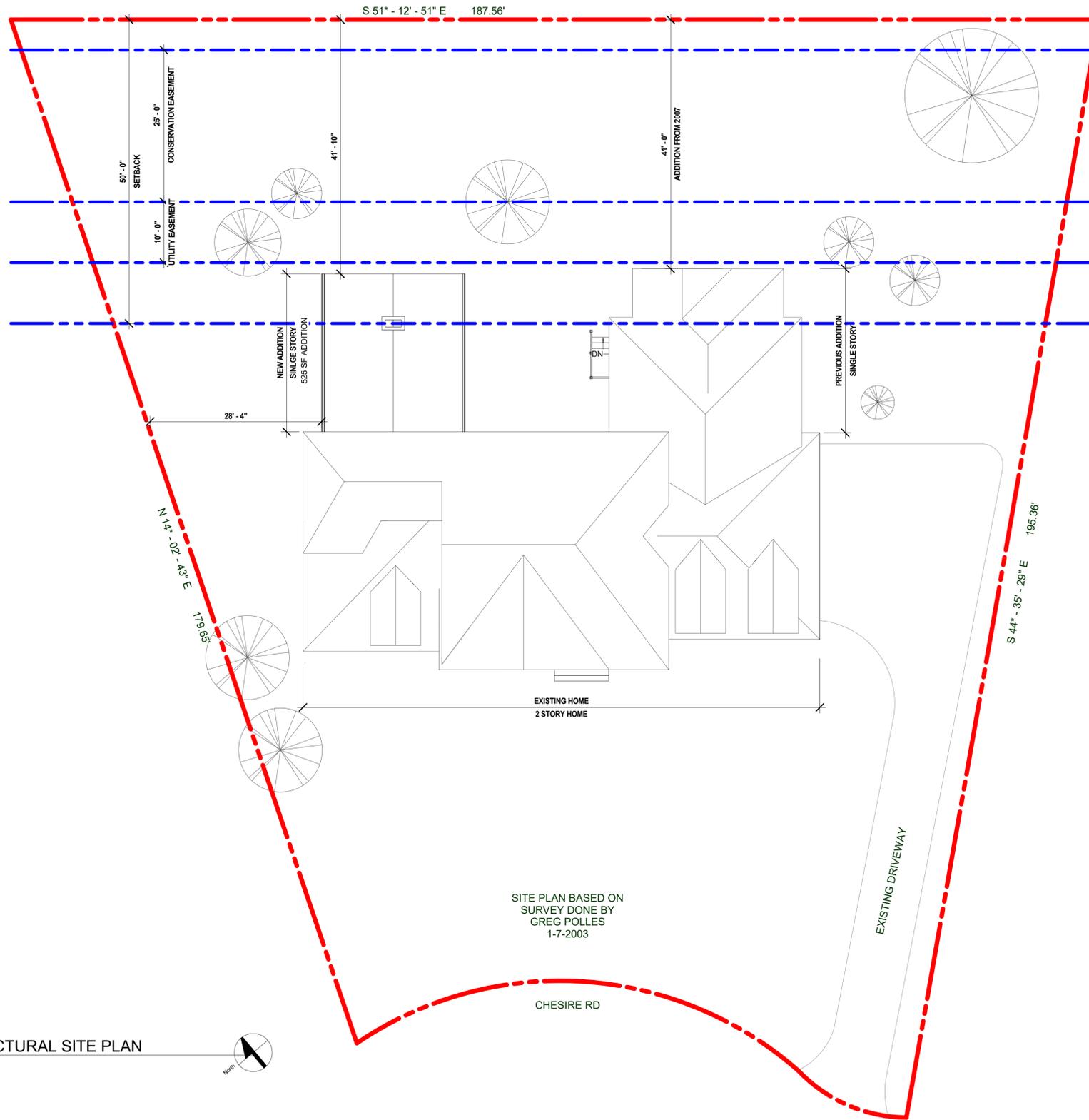
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Project 21.013

Drawn By: ND

**Issuance**

No.	Date	Description



SITE PLAN BASED ON  
SURVEY DONE BY  
GREG POLLES  
1-7-2003

**1 ARCHITECTURAL SITE PLAN**

SCALE: 1" = 10'-0"





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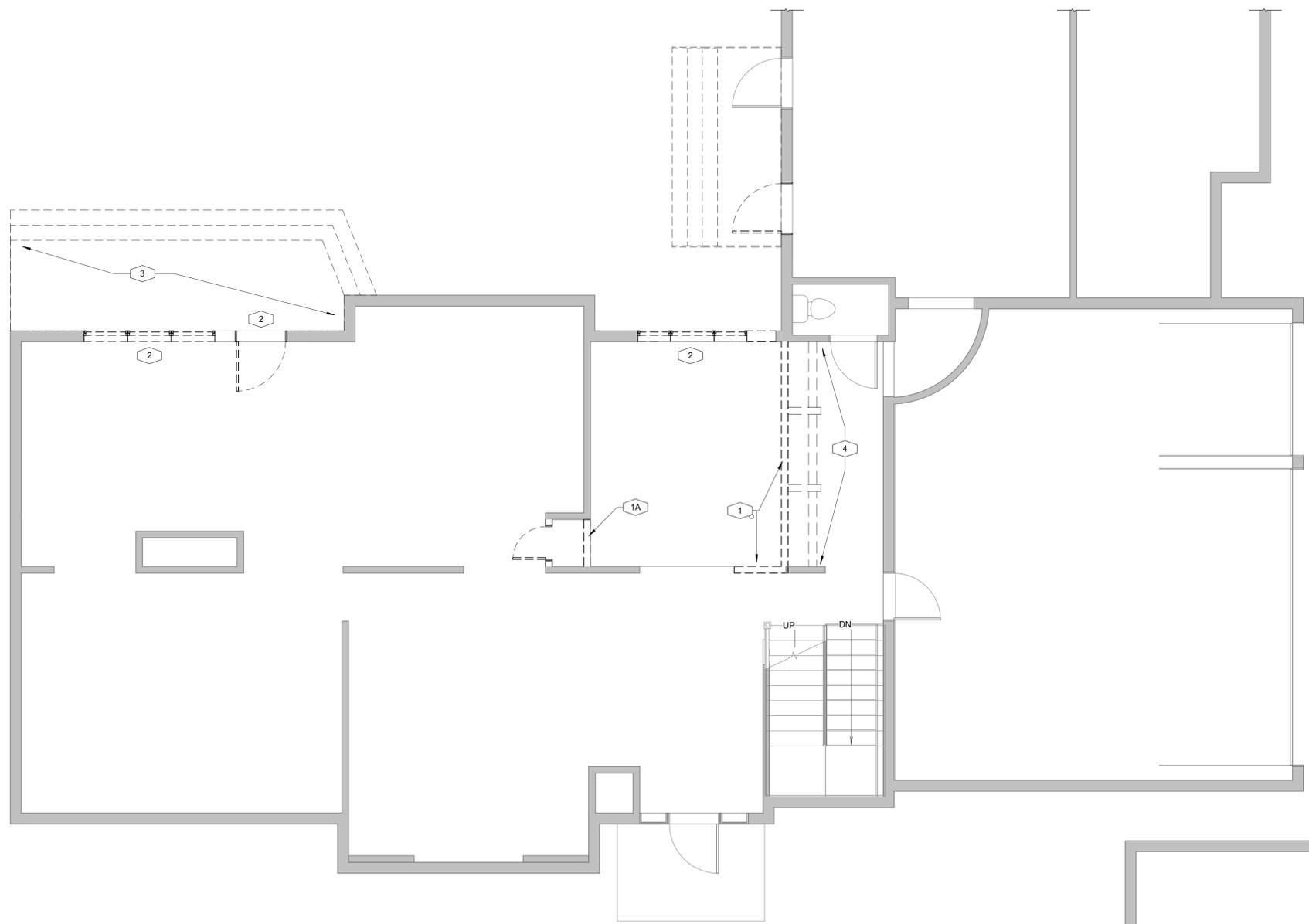
DEMOLITION		
<b>AD100</b>		
Issued	12/21/2021	
Project	21.013	
Drawn By:	ND	
<b>Issuance</b>		
No.	Date	Description

**DEMOLITION GENERAL NOTES**

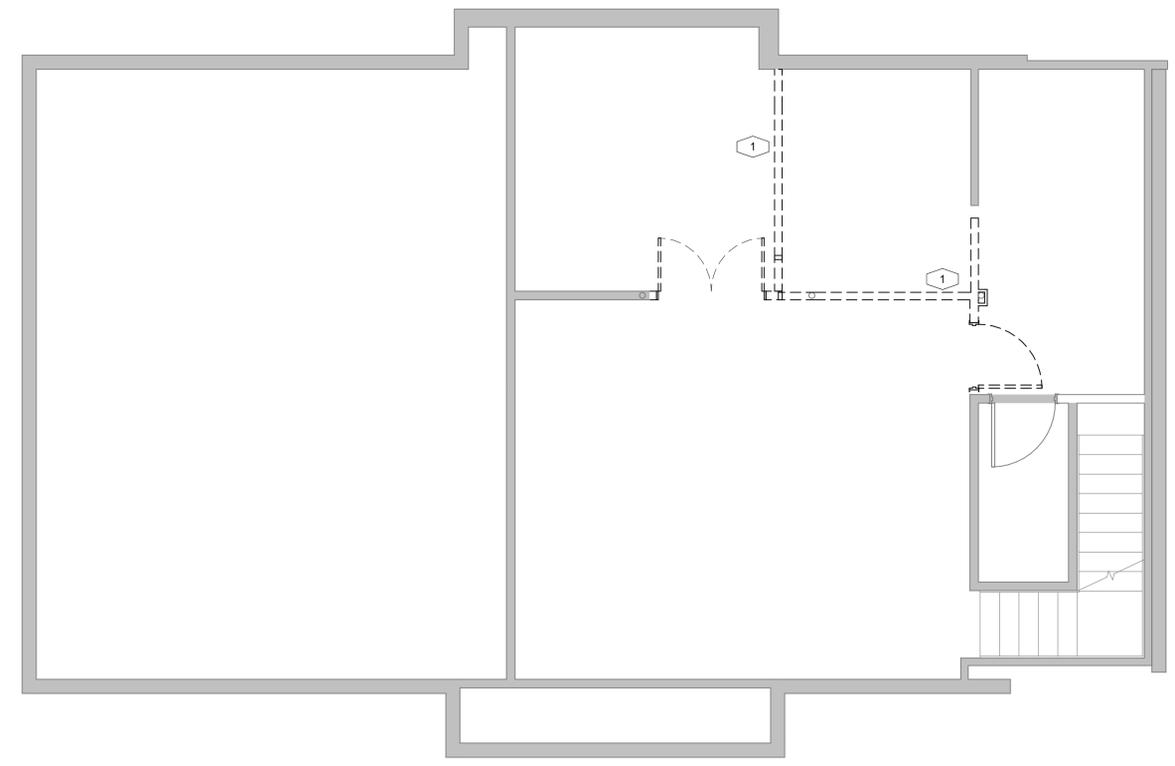
- A. THE EXTENT OF THE DEMOLITION WORK IS INDICATED GENERALLY. THE CONTRACTOR SHALL CAREFULLY EXAMINE AND VERIFY ALL EXISTING CONDITIONS AND THE PROPOSED WORK IN THE FIELD AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF PERTINENT DISPARITIES PRIOR TO PROCEEDING WITH DEMOLITION WORK. UNFAMILIARITY WITH THE WORK OR FAILURE TO NOTIFY THE ARCHITECT SHALL NOT BE CAUSE FOR ADDITIONAL COMPENSATION.
- B. SOLID LINES ON DEMOLITION DRAWINGS INDICATE EXISTING CONSTRUCTION TO REMAIN. DASHED LINES INDICATE EXISTING CONSTRUCTION TO BE REMOVED.
- C. DIMENSIONS PROVIDED ON DRAWINGS ARE FOR REFERENCE ONLY. ACTUAL DIMENSIONS MAY VARY (PLUS OR MINUS) BASED ON EXISTING CONDITIONS. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND IMMEDIATELY NOTIFY THE ARCHITECT OF PERTINENT DISPARITIES.
- D. ANY PENETRATIONS IN THE ROOF THAT ARE LEFT DUE TO DEMOLITION, SHALL BE TEMPORARILY COVERED AND LEFT IN A WATER TIGHT CONDITION.
- E. CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED TO ACCOMMODATE THE PROPOSED DEMOLITION AND CONSTRUCTION.

**DEMOLITION NOTES**

- 1 DEMOLISH WALL FROM FLOOR TO CEILING
- 1A OPTIONAL DEMOLISH WALL FROM FLOOR TO CEILING
- 2 REMOVE WINDOW AND DOOR. SAVE FOR RESUE ON ADDITION IF POSSIBLE
- 3 DEMOLISH DECK
- 4 DISASSEMBLE MILLWORK, KEEP FOR REINSTALLATION



**2 LEVEL 1 DEMOLITION PLAN**  
SCALE: 1/4" = 1'-0"



**1 BASEMENT(1)**  
SCALE: 1/4" = 1'-0"

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12-21-2021

MAIN LEVEL CONSTRUCTION PLANS  
OPTION 3

**A101**

Issued **12/21/2021**

Project **21.013**

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**Issuance**

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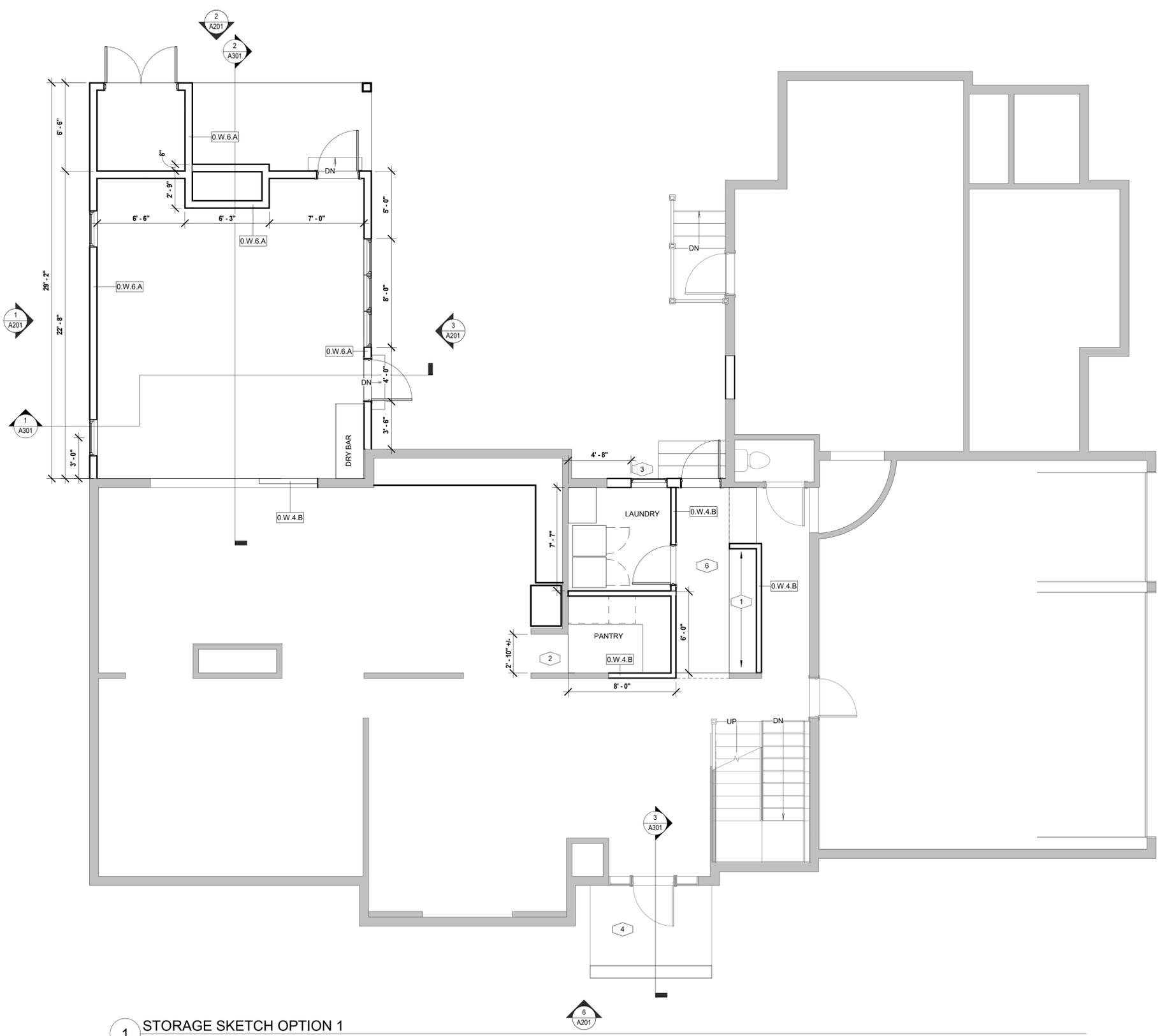
**CONSTRUCTION NOTES**

- NEW CONSTRUCTION IS NOT TO EXCEED EXISTING CITY SETBACK CODES AND ORDINANCES. G.C. IS TO VERIFY IN FIELD ALL LOCATIONS AND ADJUST ACCORDINGLY.
- EXTERIOR WALLS TO BE 2X6 WOOD STUDS @ 24" O.C. WITH ZIP SYSTEM R-6 SHEATHING AND CAVITY BATT INSULATION EQUALING MIN R-13 AND 1/2" GYPSUM WALL BOARD ON INTERIOR.
- ROOF CONSTRUCTION WITH BE ASPHALT SHINGLE OVER ZIP SYSTEM R-6 WITH ICE AND WATER SHEILD EXTENDING FROM OUTER EDGE TO 2'-0" PAST THE EXTERIOR WALL. FILL ROOF STRUCTURE WITH MIN. R-32 WITH CI OF R-10 ABOVE SHEATHING.
- INTERIOR WALLS TO BE 2X4 WOOD STUDS @ 16" O.C. WITH 1/2" GYPSUM WALL BOARD EACH SIDE UNO.
- INTERIOR DOORS TO BE 7'-0" HEIGHT, UNO.
- PRE-TREAT FOUNDATION WITH CITRICON.
- TOP OF WINDOWS TO BE 7'-0" (U.N.O. SEE ELEVATIONS) SO FRAMING MATCHES DOORS
- PROVIDE WINDOWS WITH SAFETY GLAZING WHERE APPLICABLE BY BUILDING CODES.
- ALL SHOWER/BATHROOM GLASS AND DOORS SHALL BE SAFETY/TEMPERED GLAZING.
- FRAMING CONTRACTOR TO PROVIDE ALL TEMPORARY BRACING AND SUPPORTS AS PER LOCAL CODES.
- ALL DOOR AND WINDOW HARDWARE IS TO BE SPECIFIED BY CLIENT OR INTERIOR DESIGNER FOR THE ENTIRE HOUSE.
- ALL INTERIOR DOOR TRIM IS TO BE PAINTED 1X4 WOOD.
- ALL BASE TRIM IS TO BE PAINTED 1X6 BASE WOOD (RUBBER BASE AS ALTERNATE).
- USE MOISTURE AND MOLD RESISTANCE GYPSUM BOARD BEHIND KITCHEN AND IN BATHROOM.
- ALL WINDOWS TO BE ALUM. GLAD WOOD WINDOWS. (VINYL WINDOWS AS ALT.)

- 1 RECONSTRUCT MILLWORK IN PLACE
- 2 REMOVE WALL AND DOOR FOR CONNECTION
- 3 NEW SINGLE WINDOW, SEE SCHEDULE
- 4 SEE ELEVATION FOR PORCH ADDITION
- 5 DRY BAR, SEE ELEVATION
- 6 INFILL FLOOR TO BE EVEN WITH EXISTING ADJACENT FLOORING  
FLOOR INFILL: 2X8 WITH 1/2 PLYWOOD WITH FINISHED FLOORING ON TOP EVEN

**WALL TYPE NOTES:**

- 0.W.4.B 1/2" GYPSUM BOARD BOTH SIDES OF 2X4 WOOD STUDS @ 16" o.c.
- 0.W.6.A 1/2" GYPSUM BOARD ON INTERIOR SIDE OF WOOD STUDS @ 16" o.c. FILL CAVITY WITH BATT INSULATION



**1 STORAGE SKETCH OPTION 1**  
SCALE: 1/4" = 1'-0"

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*Nicole Davis*  
12-21-2021

BASEMENT CONSTRUCTION PLAN

**A102**

Issued **12/21/2021**

Project **21.013**

Drawn By: ND

**Issuance**

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No.	Date	Description

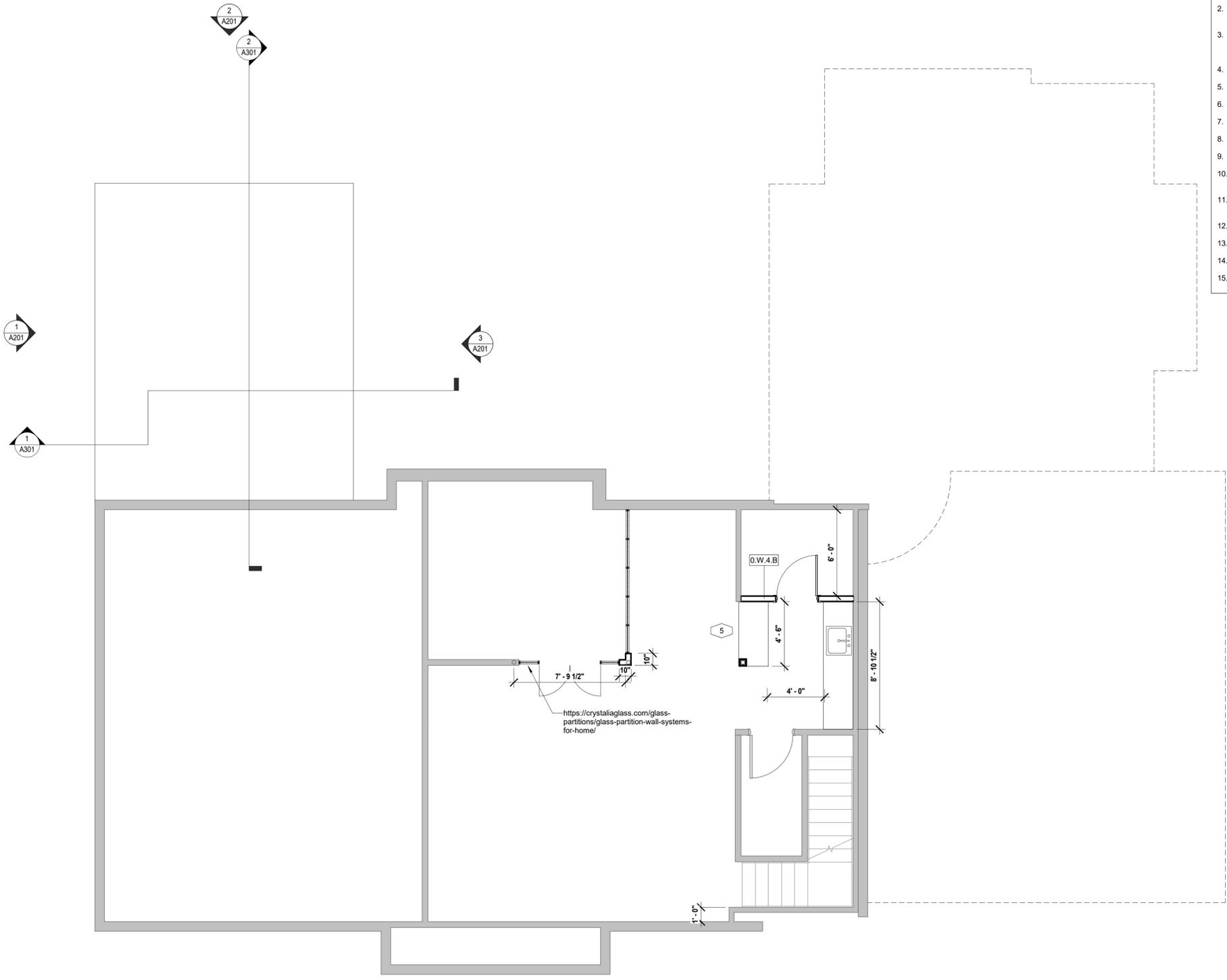
**CONSTRUCTION NOTES**

1. NEW CONSTRUCTION IS NOT TO EXCEED EXISTING CITY SETBACK CODES AND ORDINANCES, G.C. IS TO VERIFY IN FIELD ALL LOCATIONS AND ADJUST ACCORDINGLY.
2. EXTERIOR WALLS TO BE 2X6 WOOD STUDS @ 24" O.C. WITH ZIP SYSTEM R-6 SHEATHING AND CAVITY BATT INSULATION EQUALING MIN R-13 AND 1/2" GYPSUM WALL BOARD ON INTERIOR.
3. ROOF CONSTRUCTION WITH BE ASPHALT SHINGLE OVER ZIP SYSTEM R-6 WITH ICE AND WATER SHEILD EXTENDING FROM OUTER EDGE TO 2'-0" PAST THE EXTERIOR WALL. FILL ROOF STRUCTURE WITH MIN. R-32 WITH CI OF R-10 ABOVE SHEATHING.
4. INTERIOR WALLS TO BE 2X4 WOOD STUDS @ 16" O.C. WITH 1/2" GYPSUM WALL BOARD EACH SIDE UNO.
5. INTERIOR DOORS TO BE 7'-0" HEIGHT, UNO.
6. PRE-TREAT FOUNDATION WITH CITRICON.
7. TOP OF WINDOWS TO BE 7'-0" (U.N.O. SEE ELEVATIONS) SO FRAMINGN MATCHES DOORS
8. PROVIDE WINDOWS WITH SAFETEY GLAZING WHERE APPLICABLE BY BUILDING CODES.
9. ALL SHOWER/BATHROOM GLASS AND DOORS SHALL BE SAFETY/TEMPERED GLAZING.
10. FRAMING CONTRACTOR TO PROVIDE ALL TEMPORARY BRACING AND SUPPORTS AS PER LOCAL CODES.
11. ALL DOOR AND WINDOW HARDWARE IS TO BE SPECIFIED BY CLIENT OR INTERIOR DESIGNER FOR THE ENTIRE HOUSE.
12. ALL INTERIOR DOOR TRIM IS TO BE PAINTED 1X4 WOOD.
13. ALL BASE TRIM IS TO BE PAINTED 1X6 BASE WOOD (RUBBER BASE AS ALTERNATE).
14. USE MOISTURE AND MOLD RESISTANCE GYPSUM BOARD BEHIND KITCHEN AND IN BATHROOM.
15. ALL WINDOWS TO BE ALUM. GLAD WOOD WINDOWS. (VINYL WINDOWS AS ALT.)

- 1 RECONSTRUCT MILLWORK IN PLACE
- 2 OPTION TO LEAVE WALL IN PLACE OR REMOVE FOR CONNECTION
- 3 OPTIONAL SINGLE WINDOW
- 4 SEE ELEVATION FOR PORCH ADDITION
- 5 NEW CASEWORK FOR BAR AREA

WALL TYPE NOTES:

- 0.W.4.B 1/2" GYPSUM BOARD BOTH SIDES OF 2X4 WOOD STUDS @ 16" o.c.
- 0.W.6.A 1/2" GYPSUM BOARD ON INTERIOR SIDE OF WOOD STUDS @ 16" o.c. FILL CAVITY WITH BATT INSULATION



**1 BASEMENT**  
SCALE: 1/4" = 1'-0"

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ROOF PLAN

**A103**

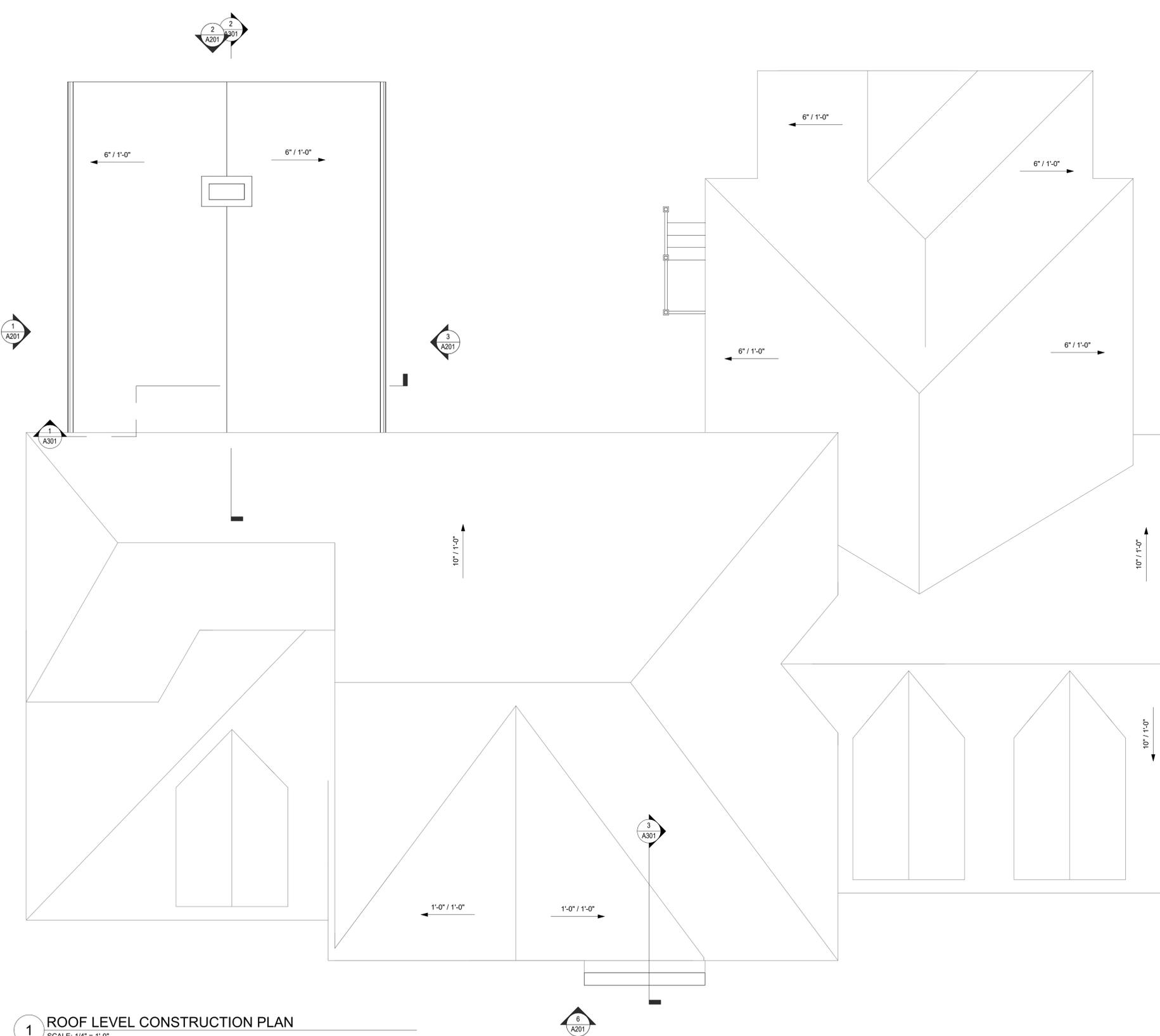
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**1 ROOF LEVEL CONSTRUCTION PLAN**  
SCALE: 1/4" = 1'-0"

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12-21-2021

ADDITION ELEVATIONS

**A201**

Issued 12/21/2021

Project 21.013

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**Issuance**

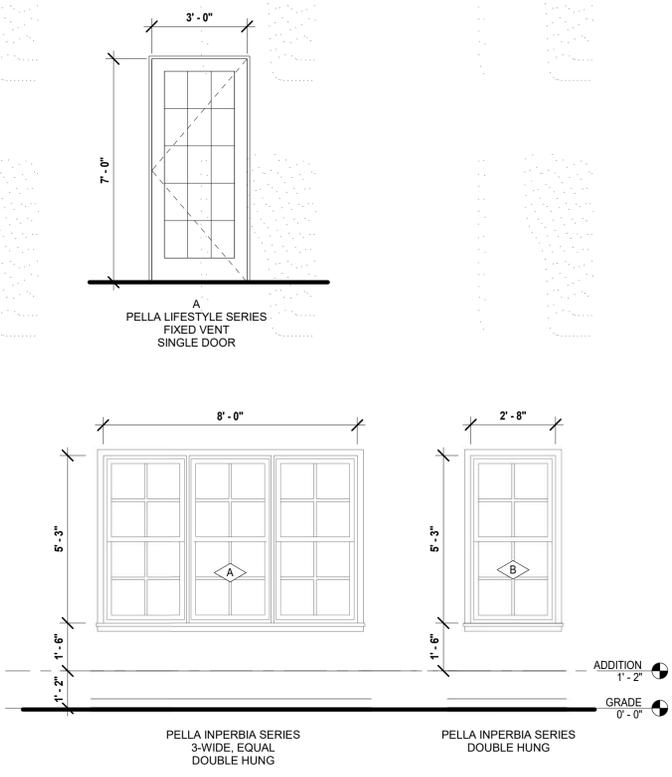
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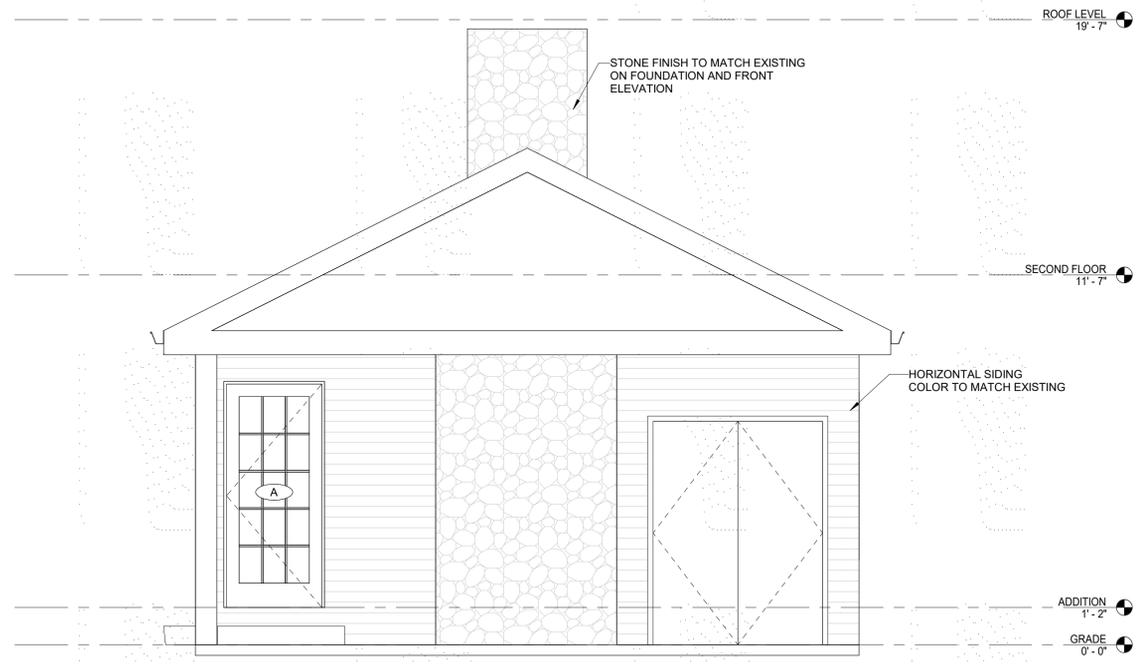


**3 ADDITION SOUTH**  
SCALE: 3/8" = 1'-0"

**6 PORCH ELEVATION**  
SCALE: 3/8" = 1'-0"



**2 ADDITION EAST**  
SCALE: 3/8" = 1'-0"



**1 ADDITION NORTH**  
SCALE: 3/8" = 1'-0"





FRONT ELEVATION



SOUTH, GARAGE SIDE ELEVATION



NORTH, ADDITION SIDE ELEVATION



REAR ELEVATION



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**MATHIS RESIDENCE  
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PHOTOS

**SK1**

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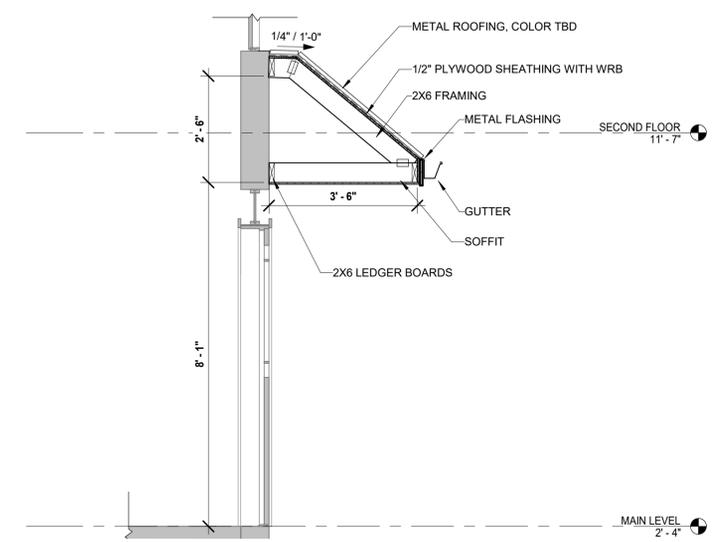


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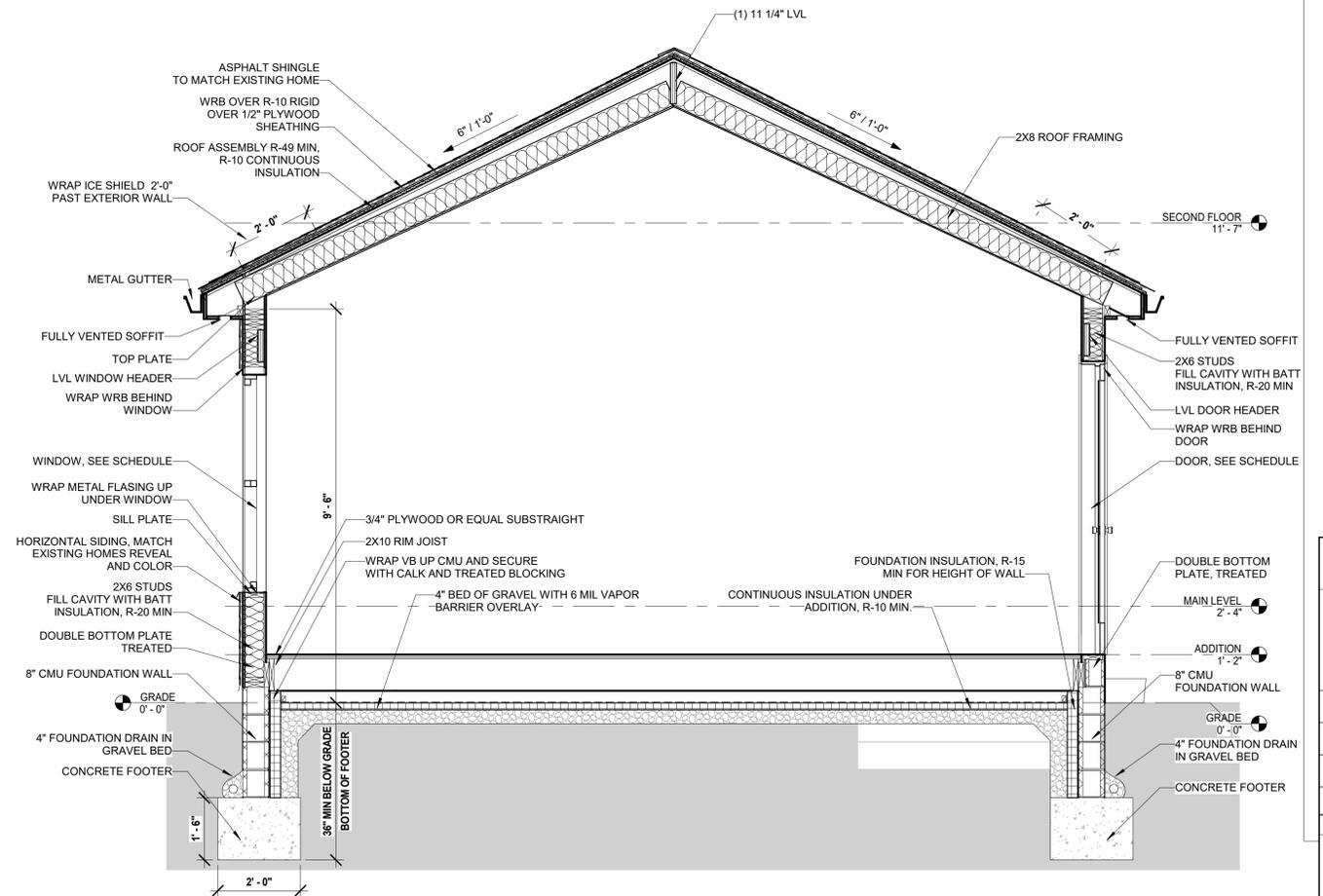
SECTION DETAILS

**A301**

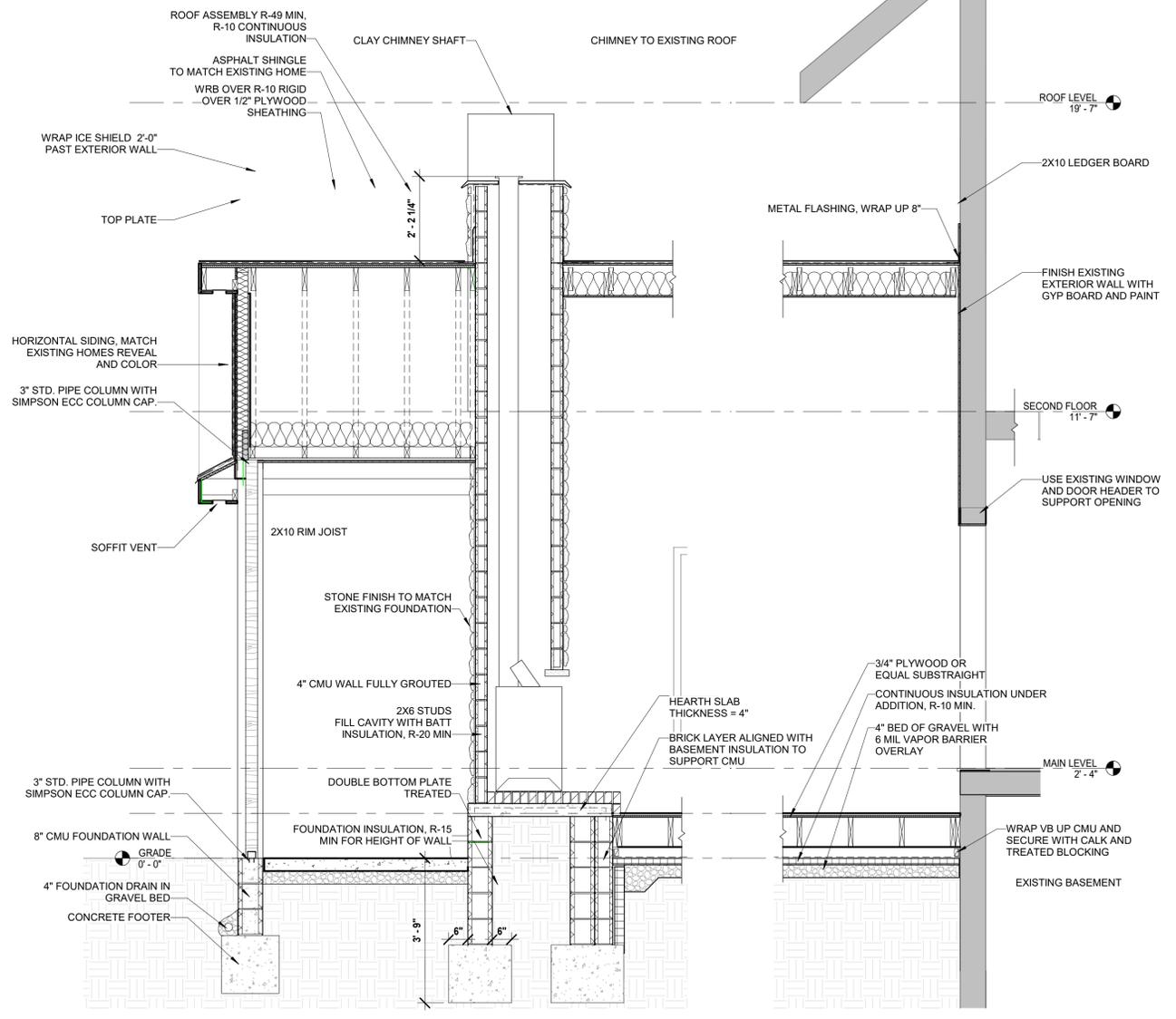
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No.	Date
	Description



**3 PORCH CANOPY SECTION**  
SCALE: 1/2" = 1'-0"



**1 ADDITION SECTION 1**  
SCALE: 1/2" = 1'-0"



**2 ADDITION SECTION 2**  
SCALE: 1/2" = 1'-0"