

SITE IMPROVEMENT PLAN for NEW OUTBUILDING

SITUATED IN THE CITY OF HUDSON, COUNTY OF SUMMIT AND STATE OF OHIO AND KNOWN AS BEING PART OF ORIGINAL LOT NO. 86.

FOR: THE BEHM RESIDENCE

DEED REFERENCE: P.N. 30-03096

CHRISTOPHER P. and USA P. BEHM
DOC. #55923237

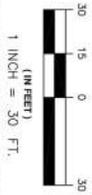
SITE ADDRESS: 2178 MIDDLETON RD.

BUILDER: PRESTIGE BUILDER GROUP

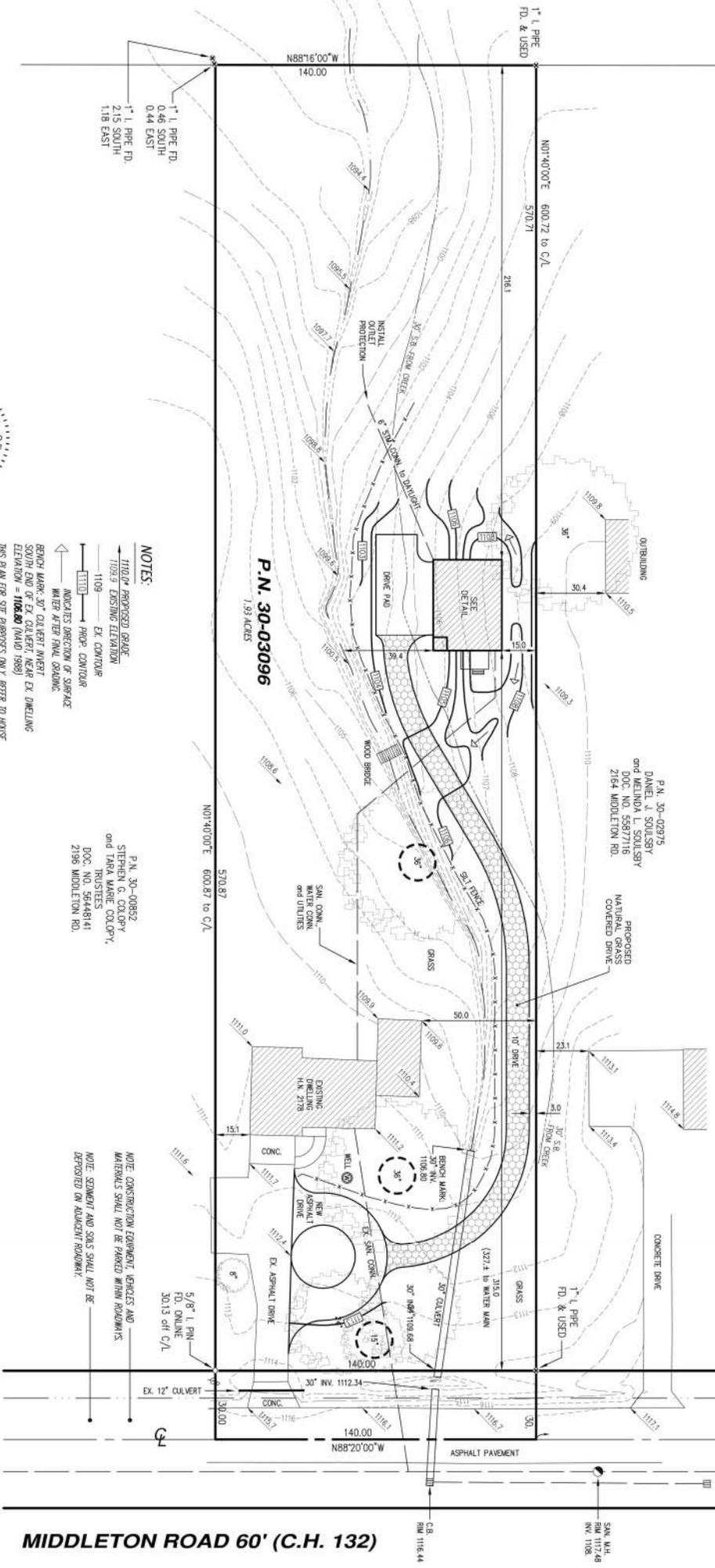
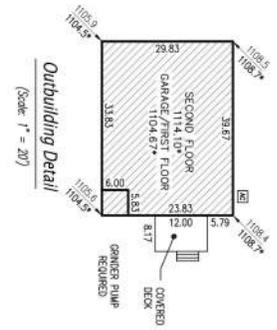


NORTH

GRAPHIC SCALE



DECEMBER 22, 2021
JANUARY 20, 2022
FEBRUARY 21, 2022:
MOVED OUTBLDG. 25' NORTH



P.N. 30-03096
1.33 ACRES

NOTES:

- 110.0' PROPOSED GRADE
- 1105.9' EXISTING ELEVATION
- 1109' EX. CONTOUR
- 1110' PROP. CONTOUR
- ARROWS INDICATE DIRECTION OF SURFACE WATER AFTER FINAL GRADING
- BENCH MARK: 30" CULVERT INSET SOUTH END OF EX. CULVERT, NEAR EX. DWELING ELEVATION = 1106.80' (MAY 1989)
- THIS PLAN FOR SITE IMPROVEMENT ONLY REFER TO HOUSE PLANS FOR FOUNDATION DETAILS AND DIMENSIONS.
- CONTRACTOR MUST CHECK BENCH MARK WITH PARADEUR GRADE BEFORE ANY DEMOLITION OR WORK IS STARTED.
- BALDWIN/LANDSCAPER TO MAINTAIN POSITIVE DRAINAGE AWAY FROM HOUSE.
- TRUSS (OR GROUNDING OF REEFS) SHALL BE PROTECTED BY 4" BRANCHED CONSTRUCTION FENCE ERECTED AT DWP LINE.

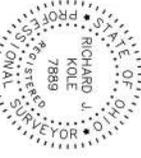
P.N. 30-00852
STEPHEN G. COLUPY
and TRACY MARIE COLUPY,
DOC. NO. 552548741
2196 MIDDLETON RD.

NOTE: CONSTRUCTION EQUIPMENT, VEHICLES AND MATERIALS SHALL NOT BE PARKED WITHIN ROADWAYS.
NOTE: SEDIMENT AND SOILS SHALL NOT BE DEPOSITED ON ADJACENT PROPERTY.

Approved By: **RMK & ASSOC. CORP.**
339 Rupp Road, 1177 Concord, Ohio 44022
Phone: 440.285.1177 Fax: 440.285.1159
www.rmksoc.com
P.N. No. 20200 A01

Dimensions shown herein are measured to field and decimal points nearest. Measurements were found or set as indicated herein. Bearings shown are to an assumed meridian and are for the sole purpose of describing the relative angular value between lines, all of which I certify to be correct to the best of my knowledge and belief.

Richard J. Kolesky, Surveyor #1989
Date: 2/21/22



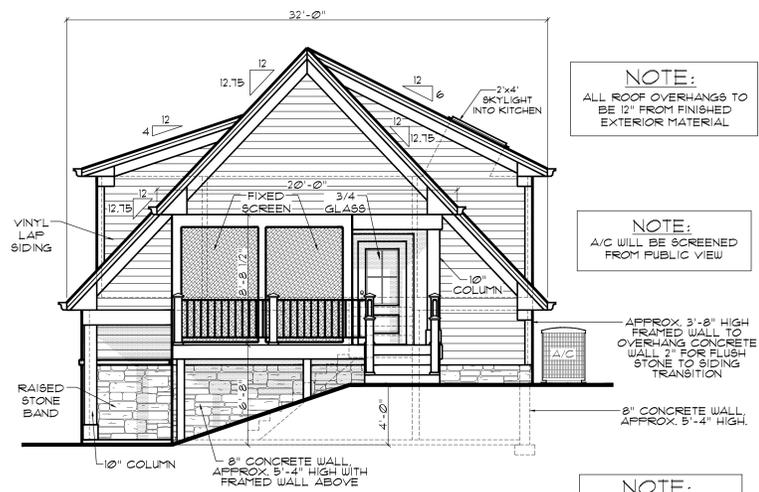
MIDDLETON ROAD 60' (C.H. 132)

NOTE:
HEIGHT OF THE BUILDING IS MEASURED FROM THE ESTABLISHED GRADE TO THE MEAN HEIGHT BETWEEN THE HIGHEST GABLE ROOF RIDGE AND ASSOCIATED EAVE



LEFT-EAST ELEVATION
DRAFTSMAN RENDERING - GRADE MAY VARY

NOTE:
HANDRAILS AND GUARDS SHALL MEET THE REQUIREMENTS OF RCO 311.1.1 AND RCO 312



FRONT-NORTH ELEVATION
DRAFTSMAN RENDERING - GRADE MAY VARY

NOTE:
ALL ROOF OVERHANGS TO BE 12" FROM FINISHED EXTERIOR MATERIAL

NOTE:
A/C WILL BE SCREENED FROM PUBLIC VIEW

APPROX. 3'-8" HIGH FRAMED WALL TO OVERHANG CONCRETE WALL 2" FOR FLUSH STONE TO SIDING TRANSITION

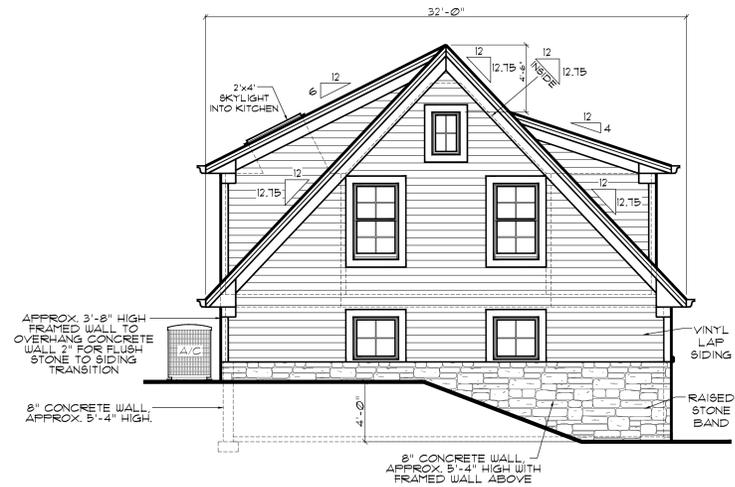
8" CONCRETE WALL, APPROX. 5'-4" HIGH.

NOTE:
HANDRAILS AND GUARDS SHALL MEET THE REQUIREMENTS OF RCO 311.1.1 AND RCO 312



RIGHT-WEST ELEVATION
DRAFTSMAN RENDERING - GRADE MAY VARY

NOTE:
A/C WILL BE SCREENED FROM PUBLIC VIEW



REAR-SOUTH ELEVATION
DRAFTSMAN RENDERING - GRADE MAY VARY

APPROX. 3'-8" HIGH FRAMED WALL TO OVERHANG CONCRETE WALL 2" FOR FLUSH STONE TO SIDING TRANSITION

8" CONCRETE WALL, APPROX. 5'-4" HIGH.

1st floor	1,164 sq. ft.
2nd floor	838 sq. ft.
total	2,002 sq. ft.

Overall Dimensions: 30'-0" x 40'-0"

CUSTOM DESIGN FOR:
THE BEHM RESIDENCE
2178 MIDDLETON RD., HUDSON, OH 44236

PRESTIGE BUILDER GROUP
Custom Home Design & Build
prestigebuildergroup.com

DETACHED 3 CAR GARAGE
ELEVATIONS

THIS PLAN IS A DERIVATIVE OF A PLAN DESIGNED BY PRESTIGE BUILDER GROUP. THIS DRAWING IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN APPROVAL OF PRESTIGE BUILDER GROUP.

DRAWN BY: JPL
DATE: 12/1/2021
R1 12/9/2021 JPL
R2 12/28/2021 JPL
R3 3/17/2022 MAP

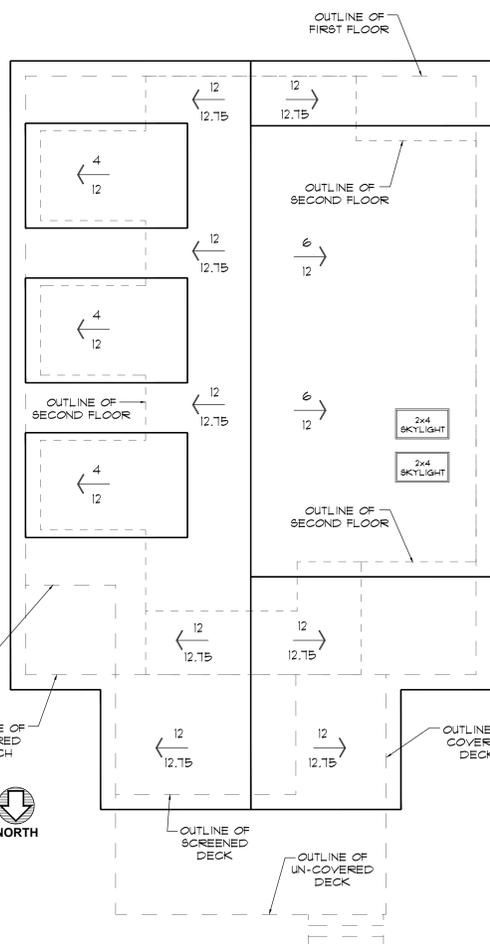
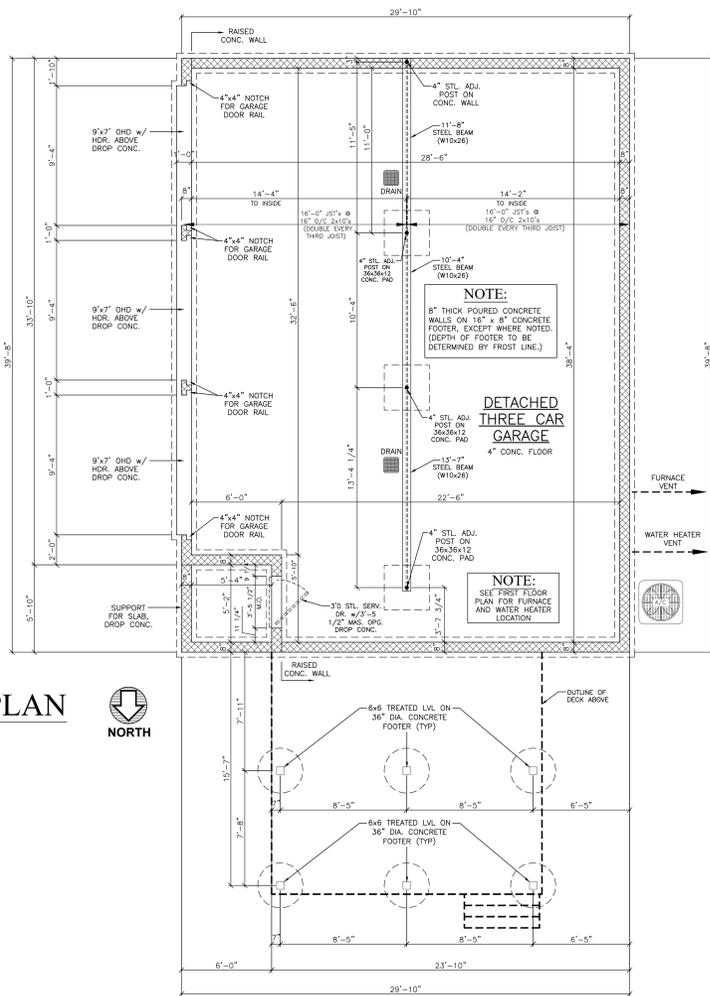
LIVING AREA: 2,002 SQ.FT. SCALE: 1/4" = 12"

NOTE:
2019 RESIDENTIAL CODE OF OHIO
ENERGY METHOD USED - CHBA PATH #1
(CHAPTER 11 SECTION 1112)
(INCLUDING ALL MANDATORY
REQUIREMENTS)

FOUNDATION PLAN

NOTE:

- 1 FULL STONE BAND
- 2 FOUNDATION PERIMETER = 139'-0"
- ▨ = INDICATES CONCRETE WALLS



ROOF PLAN

NOTE:
ALL TRUSS OVERHANGS TO
BE 12" FROM FINISHED
EXTERIOR MATERIAL



ELECTRICAL NOTES:
400 AMP SERVICE
2-200 AMP MAIN BREAKER PANELS
PARALLELS &
UNDERGROUND
BRANCH CIRCUITS SHALL BE GFCI PROTECTED
IN ACCORDANCE WITH NEC 210.8
BRANCH CIRCUITS SHALL BE AFCI PROTECTED
IN ACCORDANCE WITH NEC 210.12
ARC FAULTS SHALL BE PER NEC 210.16
OUTLETS TO BE TAMPER-RESISTANT PER
NEC 406.12
GROUND TO LIFER AND COPPER WATER LINE
ENTERING THE HOUSE

NOTE:
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REQUIREMENTS)

NOTE:
HANDRAILS AND GUARDS SHALL MEET THE
REQUIREMENTS OF RCO 311.7.7 AND RCO 312
WALL BRACING FOR ALL EXTERIOR WALLS TO BE
7/16" O.S.B. CONTINUOUS WALL SHEATHING
SECURED WITH 1 3/4" LONG CROWN STAPLES
COLD AIR RETURN IN EVERY ROOM AS REQUIRED
SCHEDULE 40 PVC PIPING FOR DRAINS AND PEX
LINES FOR WATER LINES THROUGHOUT THE HOUSE

WINDOW SCHEDULE: (ANDERSEN)
U-FACTOR = .32
TW21027 3'-0 1/8" X 2'-9 7/8"

DOOR SCHEDULE:
3'0 SERV. DOOR (6'-8" HIGH) 3'-2 1/2" X 6'-11"

FIRST FLOOR PLAN

NOTE:

- 1 8'-8" CEILINGS ON FIRST FLOOR.
- 2 FIRST FLOOR SQ. FEET = 1,164
- 3 PERIMETER = 140'-0"
- 4 6'-8" HIGH SOLID CORE INTERIOR DOOR HEIGHT ON FIRST FLOOR.
- ▨ = INDICATES FRAMED WALLS



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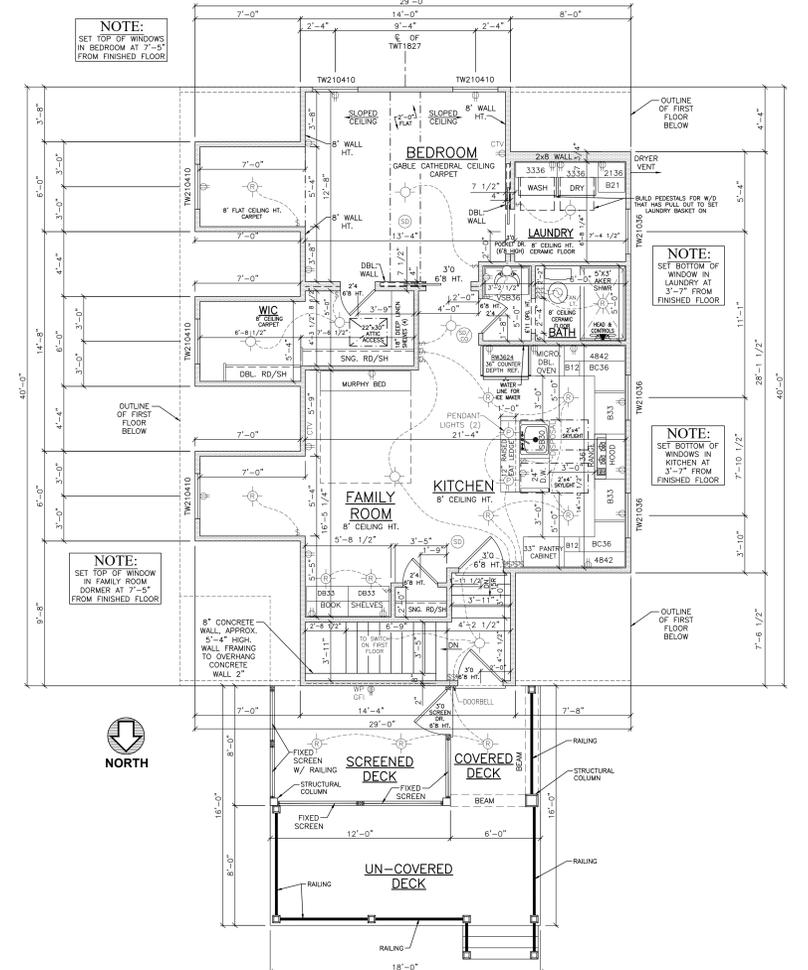
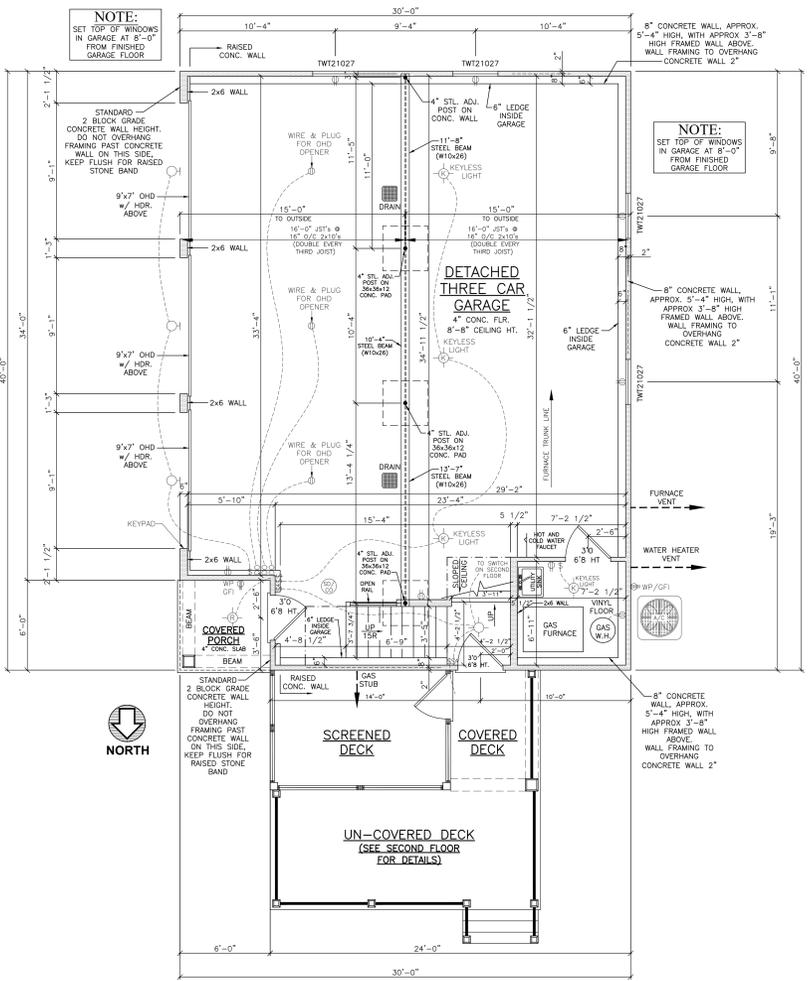
WINDOW SCHEDULE: (ANDERSEN)
U-FACTOR = .32
TW21036 3'-0 1/8" X 3'-8 7/8"
TW210410 3'-0 1/8" X 5'-0 7/8"
TW1827 1'-10 1/8" X 2'-9 7/8"

DOOR SCHEDULE:
3'0 SERV. DOOR (6'-8" HIGH) 3'-2 1/2" X 6'-11"

SECOND FLOOR PLAN

NOTE:

- 1 8' CEILINGS ON SECOND FLOOR
- 2 SECOND FLOOR SQ. FEET = 838
- 3 PERIMETER = 157'-6"
- 4 6'-8" HIGH SOLID CORE INTERIOR DOOR HEIGHT ON FIRST FLOOR.
- ▨ = INDICATES FRAMED WALLS



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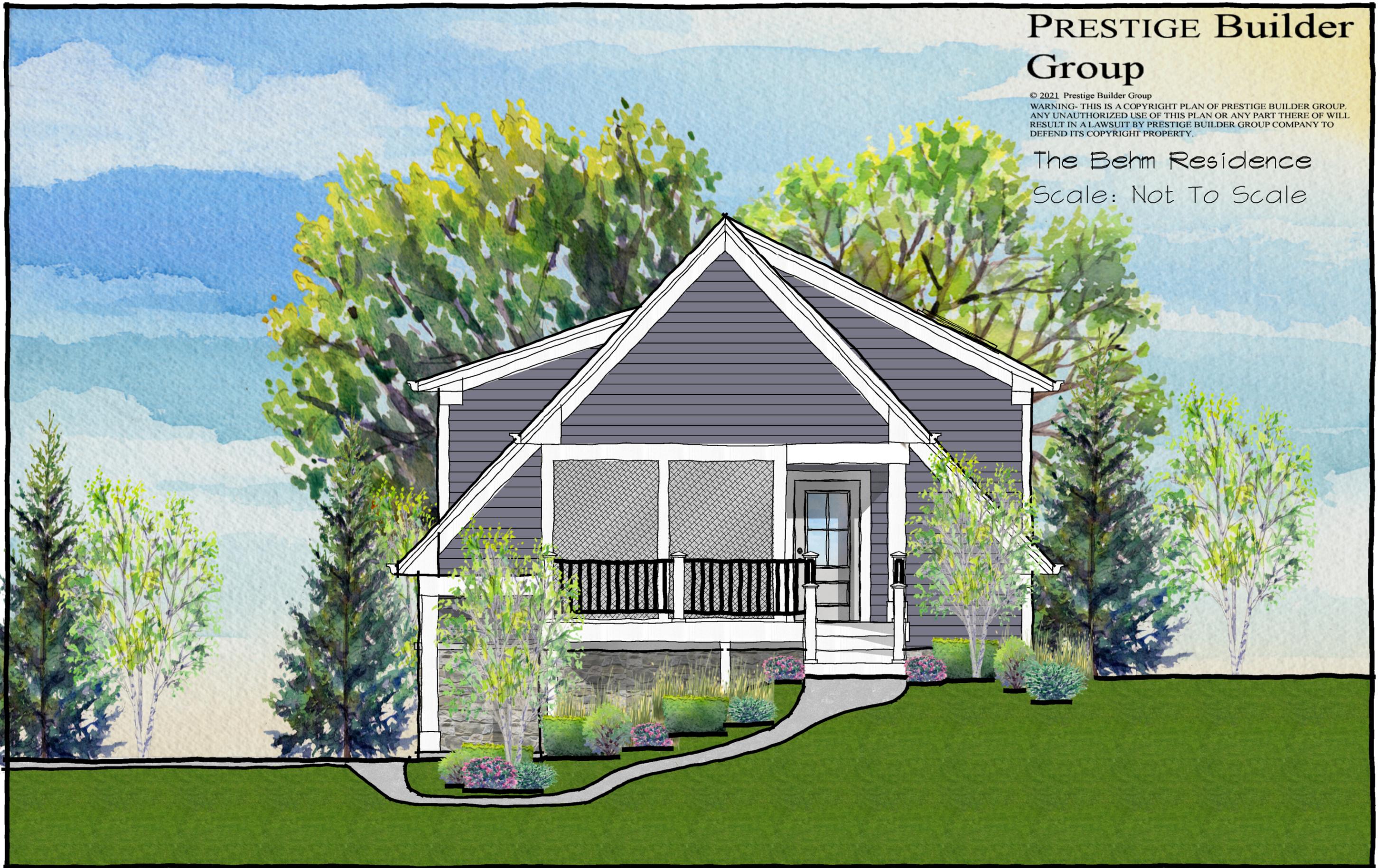
DETACHED 3 CAR GARAGE FLOOR PLANS
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R2	12/28/2021 JPL
R3	3/17/2022 MAP
LIVING AREA:	2,002 SQ.FT.
SCALE:	1/4" = 1'-0"

PRESTIGE Builder Group

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The Behm Residence
Scale: Not To Scale

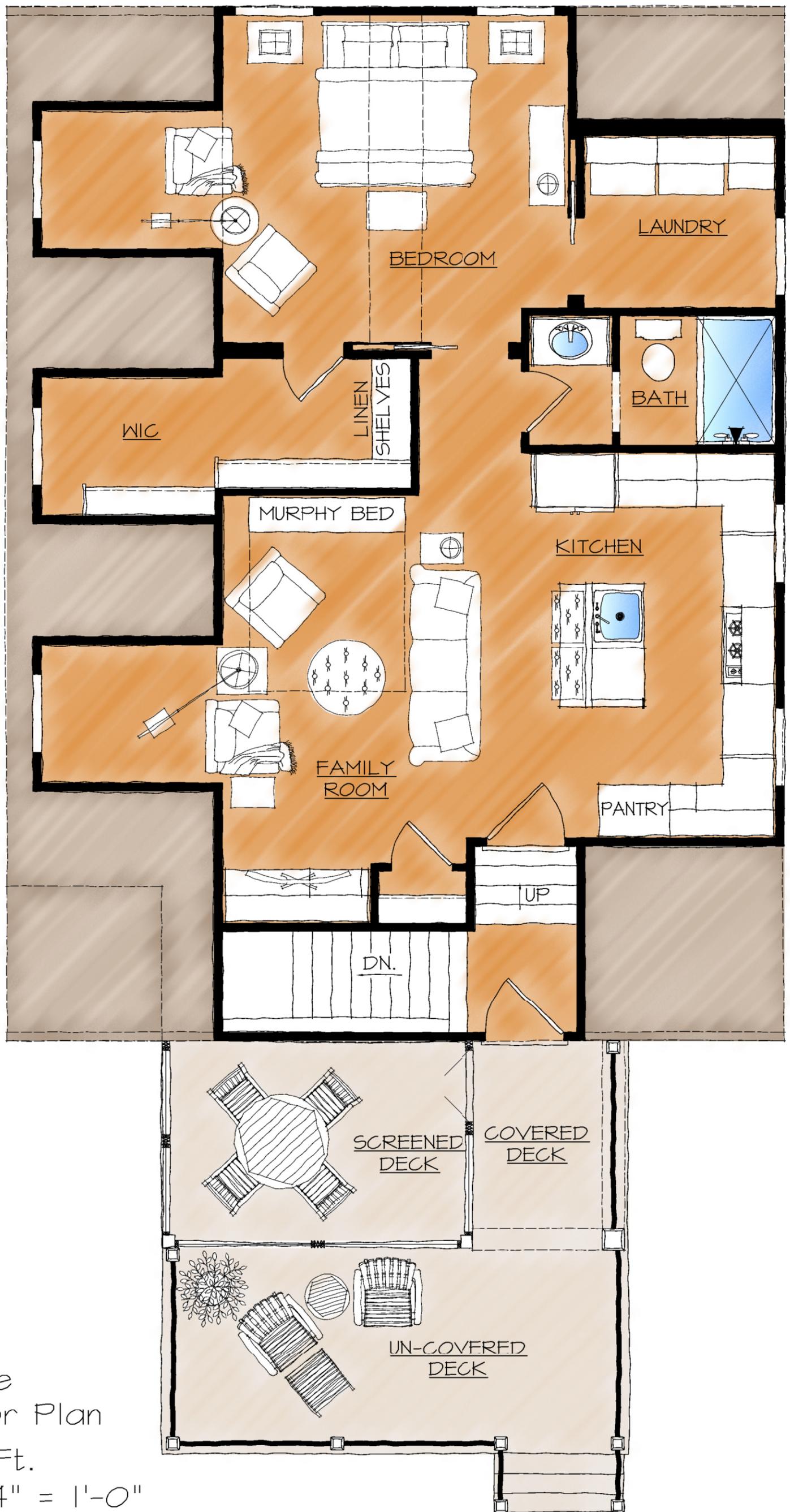


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The Behm
Residence
First Floor Plan

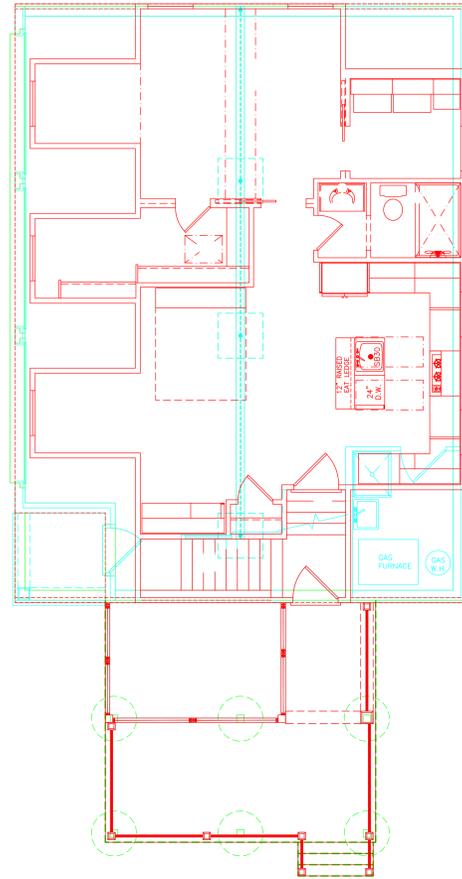
838 Sq. Ft.

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2021 Prestige Builder Group

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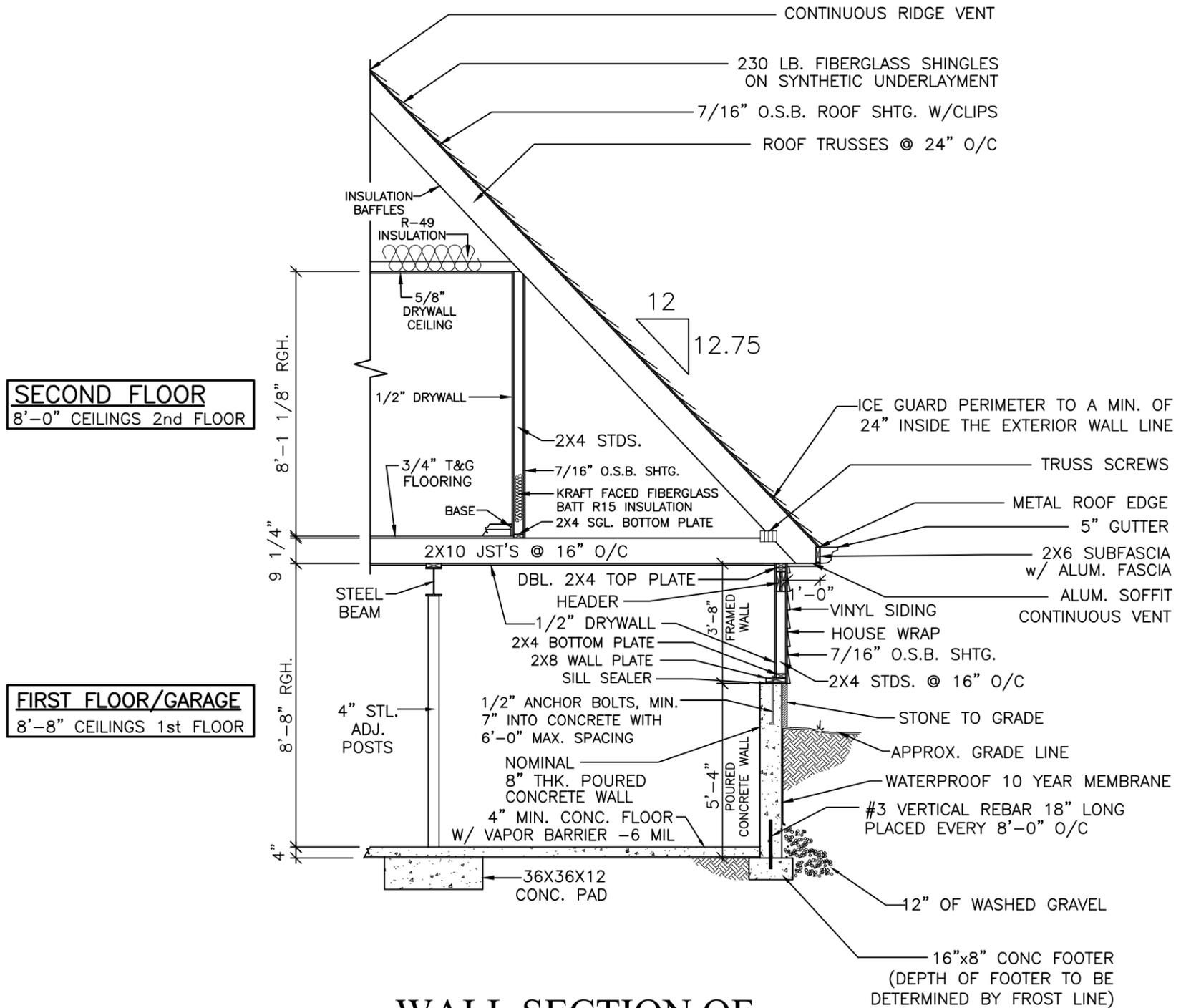
BEHM OUTBUILDING

- FOUNDATION
- FIRST FLOOR
- SECOND FLOOR

SCALE: 1/4" = 1'-0"

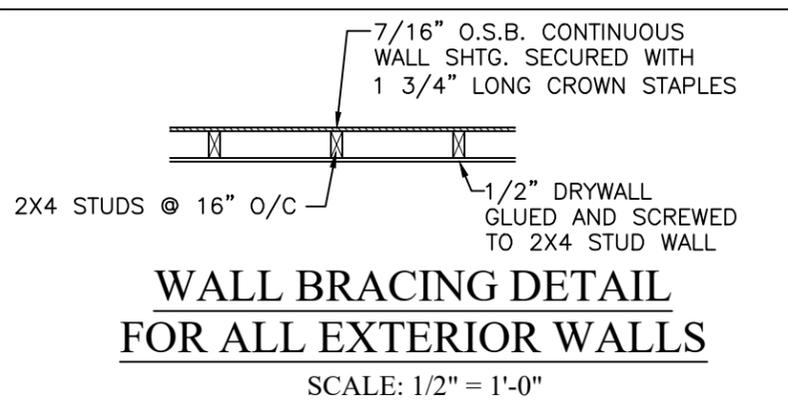
BEHM OUTBUILDING

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WALL SECTION OF RIGHT-WEST ELEVATION

SCALE: 1/4" = 1'-0"



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