

OHIO HISTORIC INVENTORY

1. No.		4. Present Name(s) BREWSTER-FARRAR HOUSE		1. No. 2. County Summit 4. Present Name(s) BREWSTER-FARRAR HOUSE 5. Other Name(s) Residence, A. Tercek
County Summit		5. Other Name(s)		
Location of Negatives HHA 40-4		Residence, A. Tercek		
Specific Location 56/4/8 48 College Street, at Division		16. Thematic Category C		2. County Summit 4. Present Name(s) BREWSTER-FARRAR HOUSE 5. Other Name(s) Residence, A. Tercek
City or Town Hudson		17. Date(s) or Period 1843		
If Rural, Township & Vicinity Hudson		18. Style or Design late Federal		
Site Plan with North Arrow 		19. Architect or Engineer		
		20. Contractor or Builder		
		21. Original Use, if apparent residence		
22. Present Use residence		28. No. of Stories 2		
23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>		29. Basement? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		
24. Owner's Name & Address, if known A. Tercek 48 College Street Hudson 44236		30. Foundation Material brick faced		
25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		31. Wall Construction brick		
26. Local Contact Person or Organization Hudson Heritage Association		32. Roof Type & Material gable-asph shingle		
27. Other Surveys in Which Included		33. No. of Bays Front 3 Side 3		
28. Changes (Explain in #42) Addition <input checked="" type="checkbox"/> Altered <input checked="" type="checkbox"/> Moved <input type="checkbox"/>		34. Wall Treatment brick		
29. Condition Interior Exterior fair		35. Plan Shape rect/wing		
30. Preservation Underway? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		36. Changes (Explain in #42) Addition <input checked="" type="checkbox"/> Altered <input checked="" type="checkbox"/> Moved <input type="checkbox"/>		
31. Endangered? By What? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		37. Condition Interior Exterior fair		
32. Visible from Public Road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		38. Preservation Underway? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		
33. Distance from and Frontage on Road 24' 132'		39. Endangered? By What? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		
34. Name of Established District Hudson Historic District		40. Visible from Public Road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		
35. Further Description of Important Features Originally faced Division, door moved to change address to College Street; front porch originally extended around south and, possibly, west wall, when house fronted on Division; north addition within ten years of original structure; originally 1½ stories, later changed to two; change in exterior brick topmost part of south wall; attempt made to remove paint from old, soft brick; existing fireplace 1920's. East porch with slender, turned supports, spindlework balustrade; single pane double-hung windows.		41. Distance from and Frontage on Road 24' 132'		
36. History and Significance Occupant 1929 J. H. Johns.		42. Photo 		
37. Description of Environment and Outbuildings Residential street.		43. Other Name(s) Residence, A. Tercek		
38. Sources of Information Summit County Tax Assessment records. HHA Architectural Survey & Research Comm. files Personal inspection		44. Prepared by L Newkirk, F Barlow		
		45. Organization HHA		
		46. Date 47. Revision Date(s)		

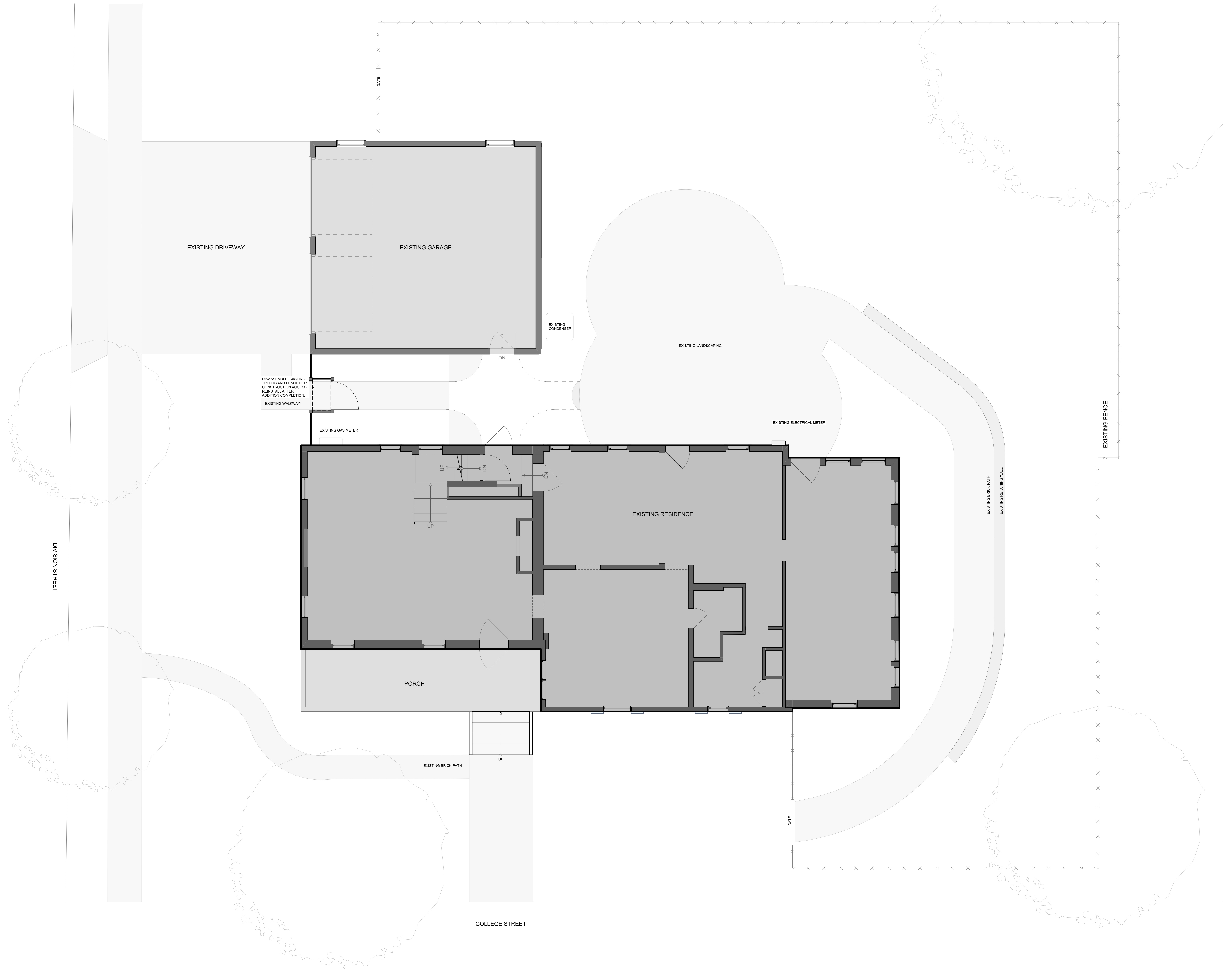
PENINSULA ARCHITECTS
1775 MAIN STREET, PENINSULA, OHIO
P: 330.657.2800

ERBAUGH RENOVATION
48 COLLEGE ST. HUDSON, OH 44236

PROJECT #: 2335	
ISSUE:	
SD MEETING	2023-10-13
SD MEETING	2023-10-31
DIM VERIFICATION	2023-12-12
OWNER REVIEW	2024-01-12
CITY SUBMITTAL	2024-08-27

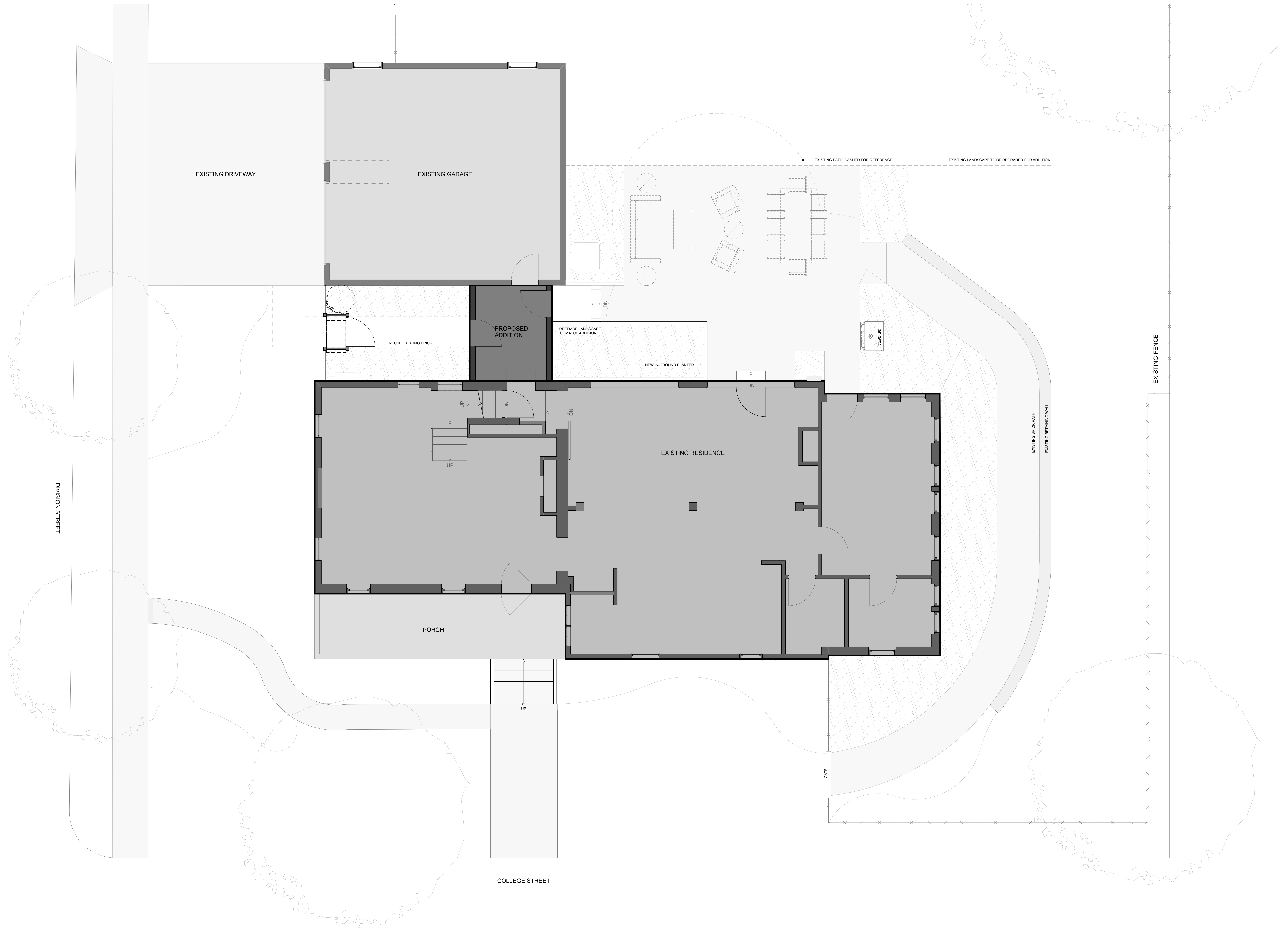
COVER SHEET

***G1.00**



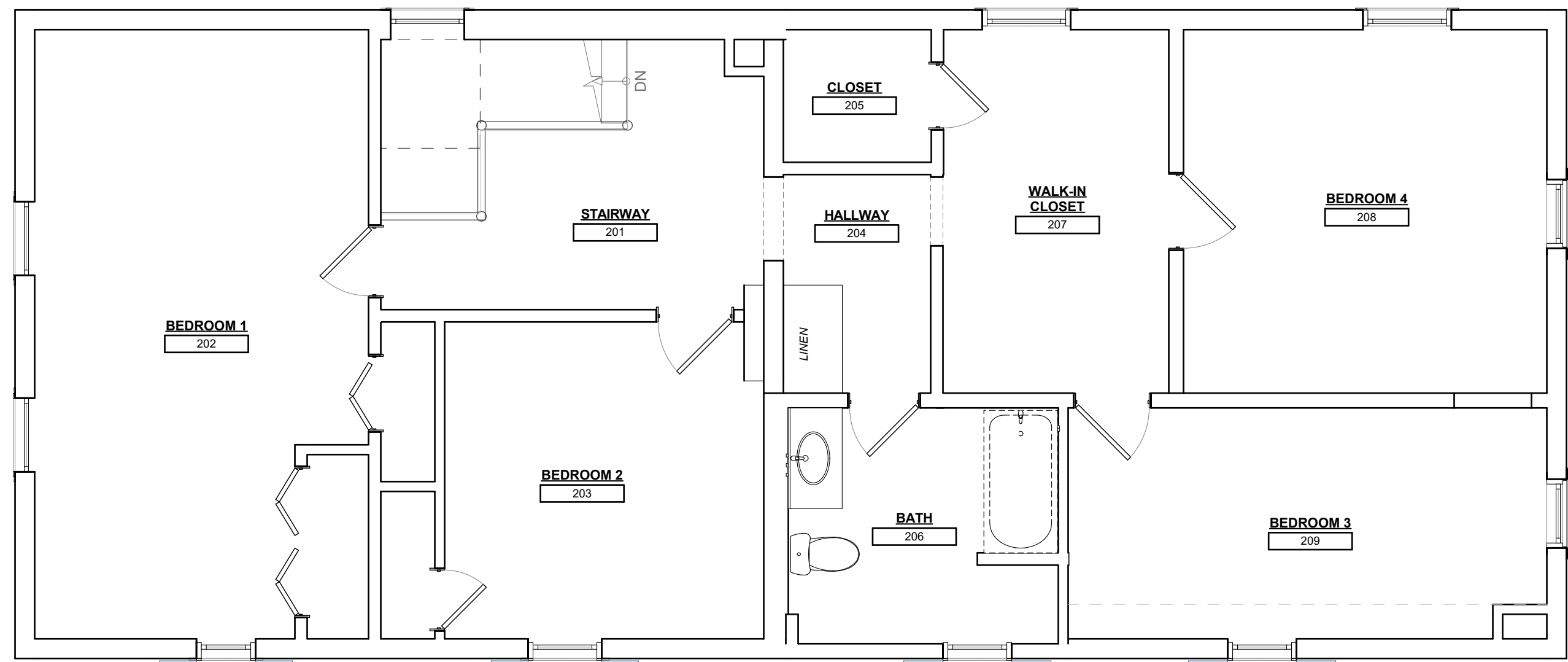
1 EXISTING SITE PLAN
SCALE: 1/4" = 1'-0"





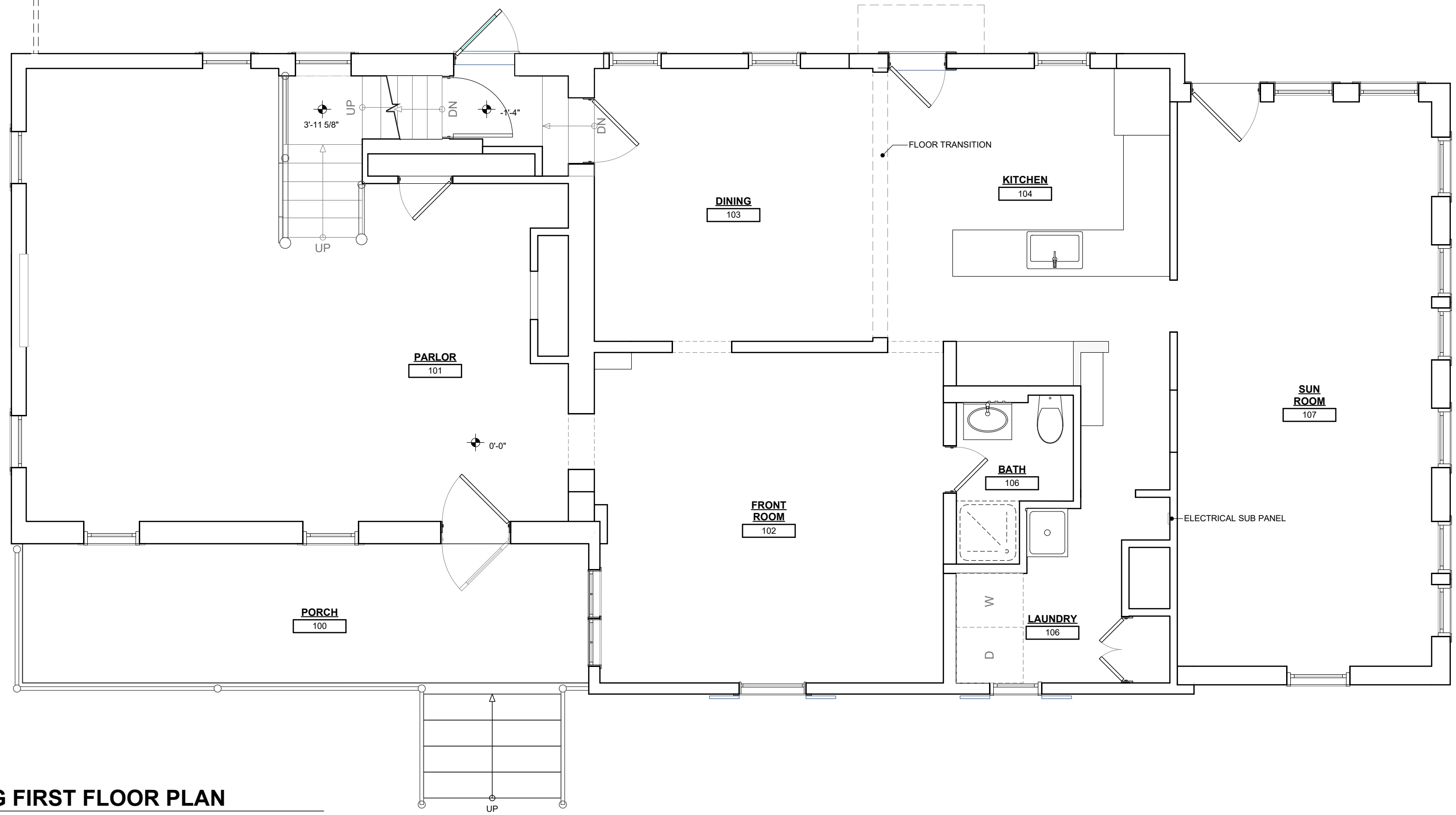
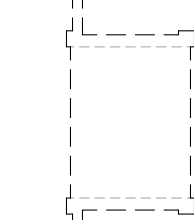
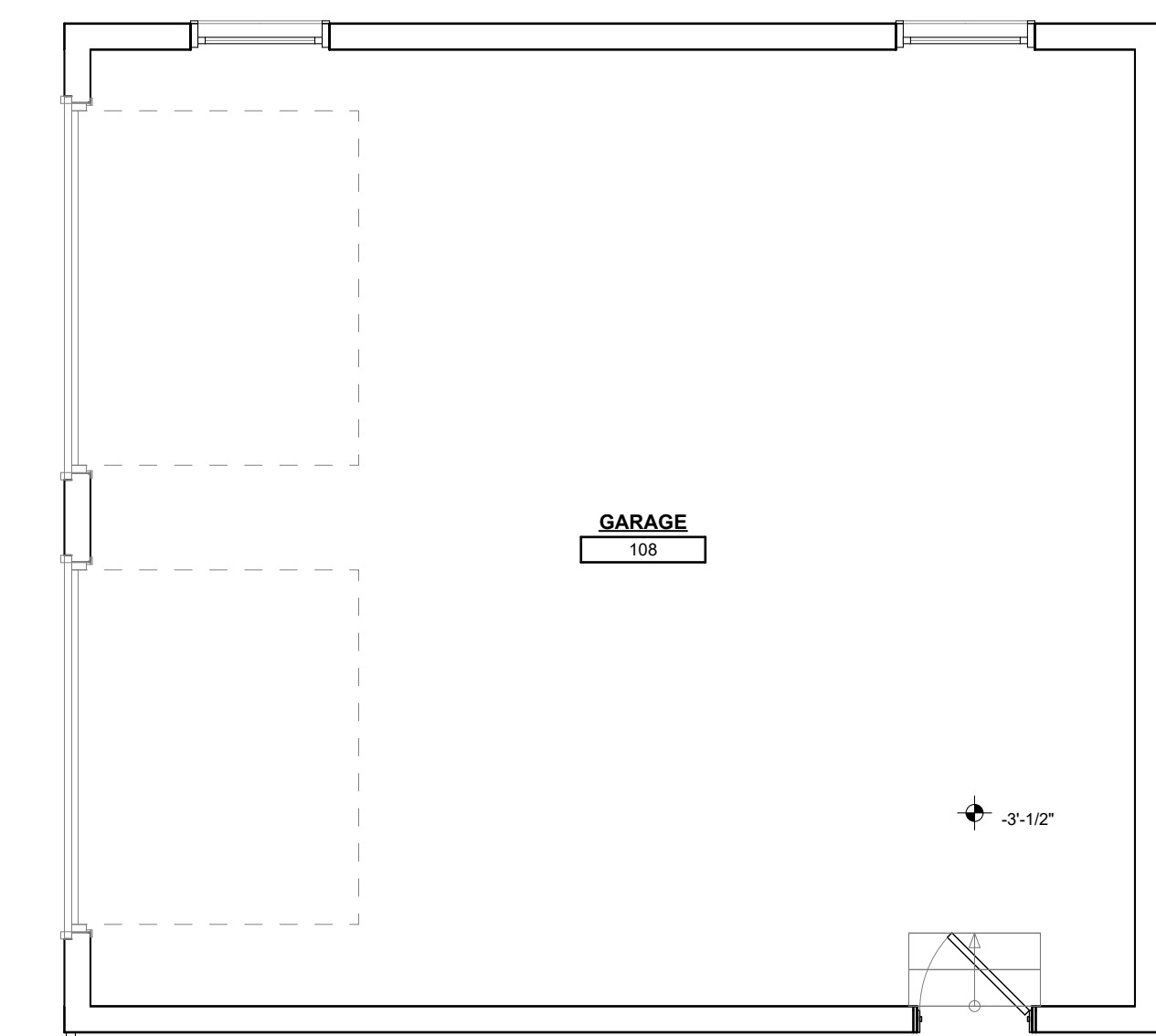
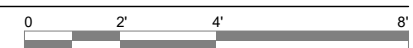
1 PROPOSED SITE PLAN
SCALE: 1/4" = 1'-0"
0 2 4 6

PROJECT #:	2335
ISSUE:	
SD MEETING	2023-10-13
SD MEETING	2023-10-31
DM VERIFICATION	2023-12-12
OWNER REVIEW	2024-01-12
CITY SUBMITTAL	2024-08-27



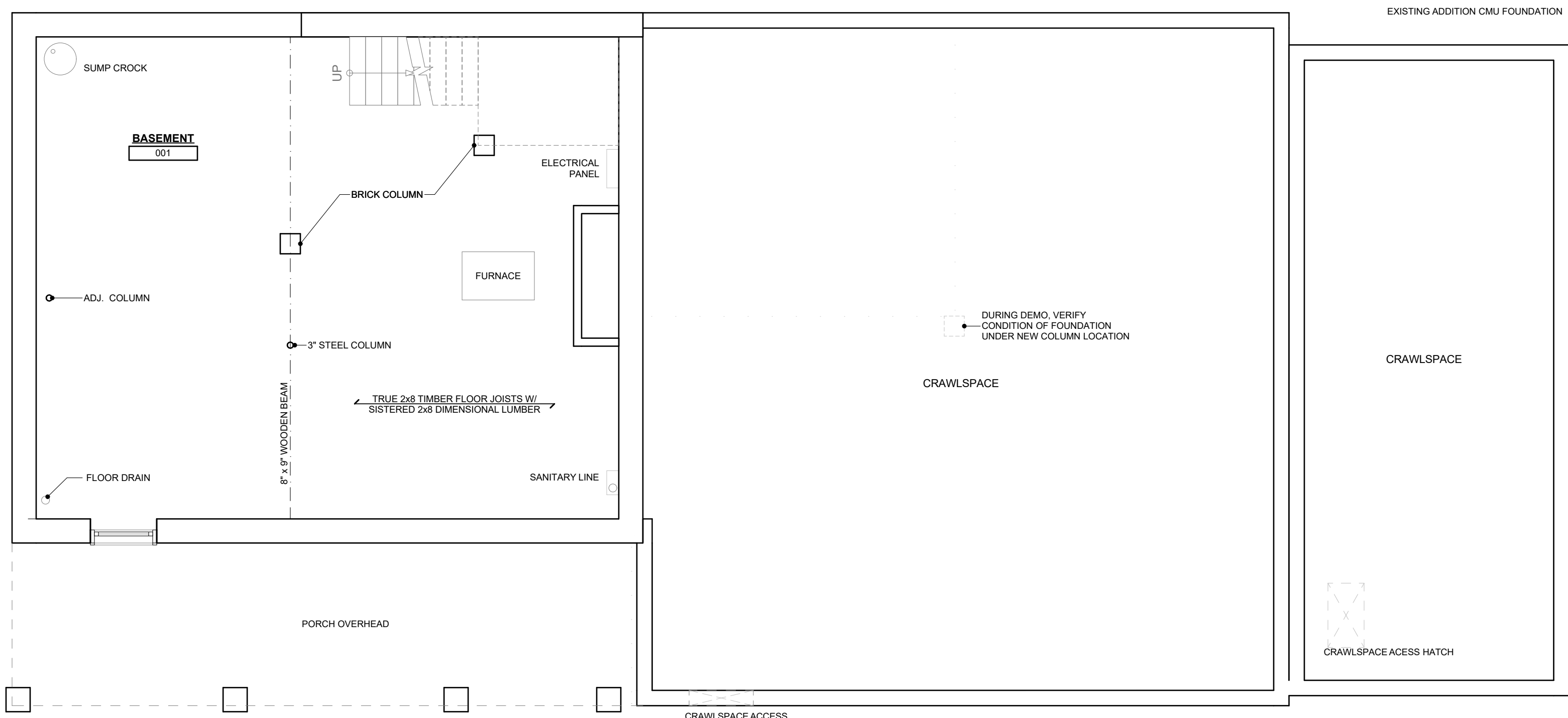
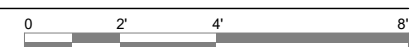
3 EXISTING SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



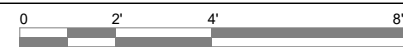
2 EXISTING FIRST FLOOR PLAN

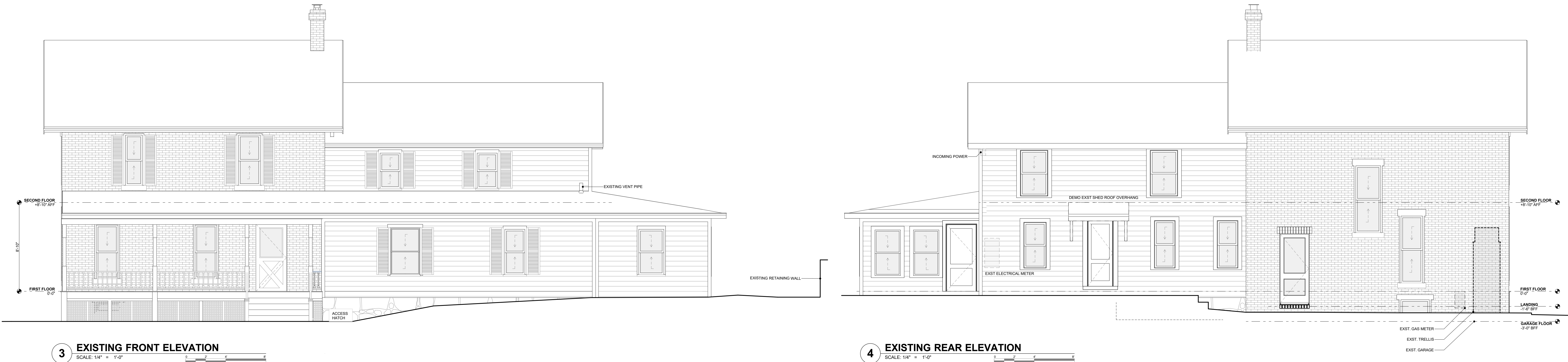
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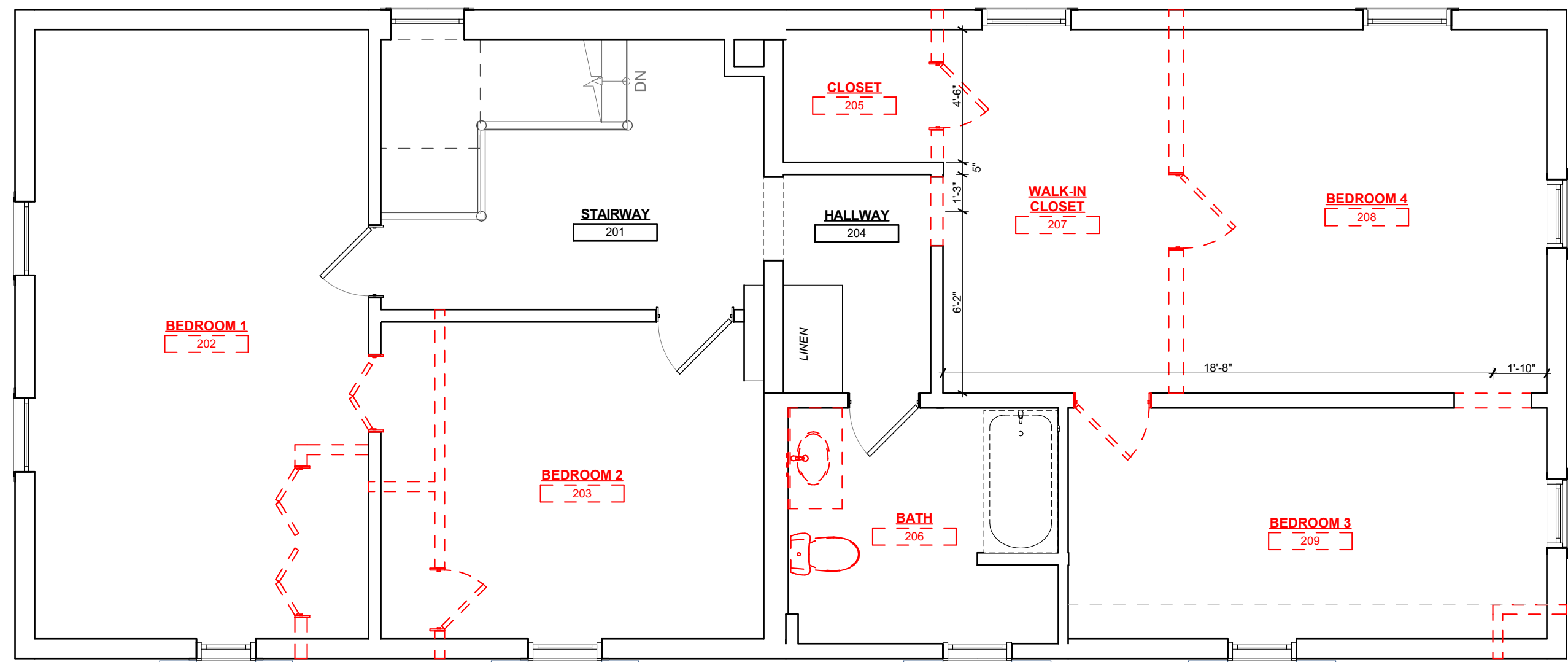


1 EXISTING FOUNDATION PLAN

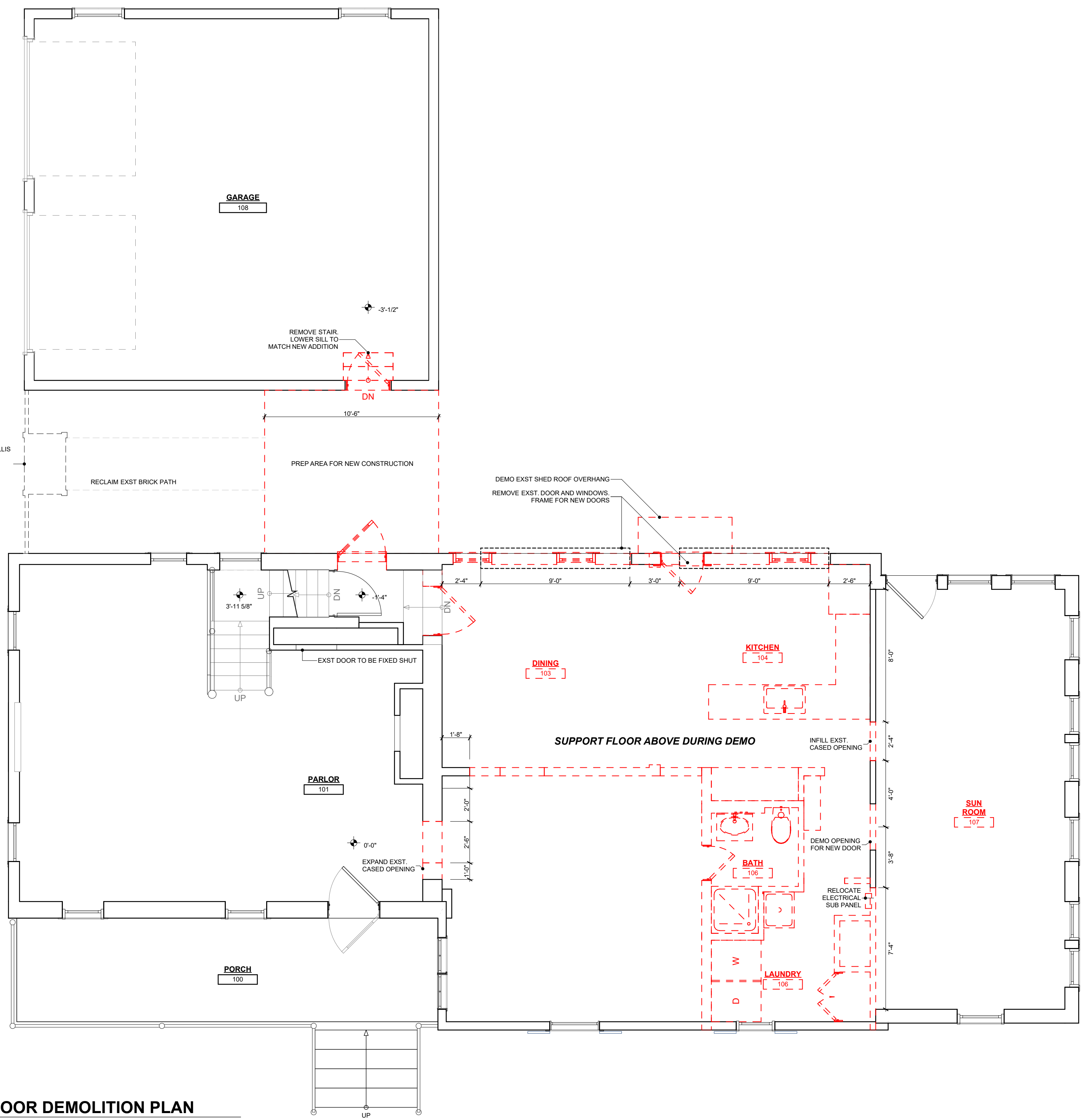
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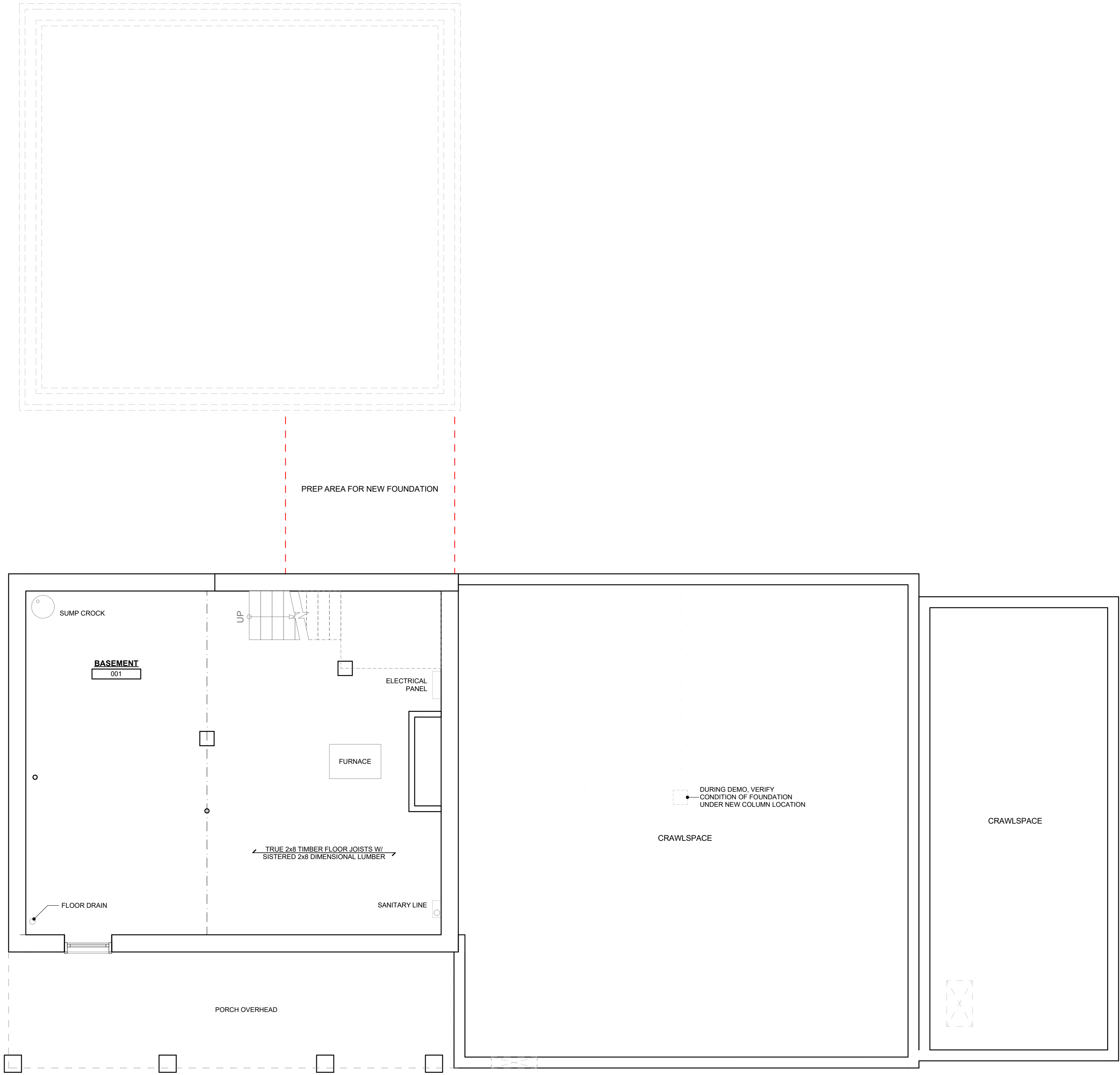




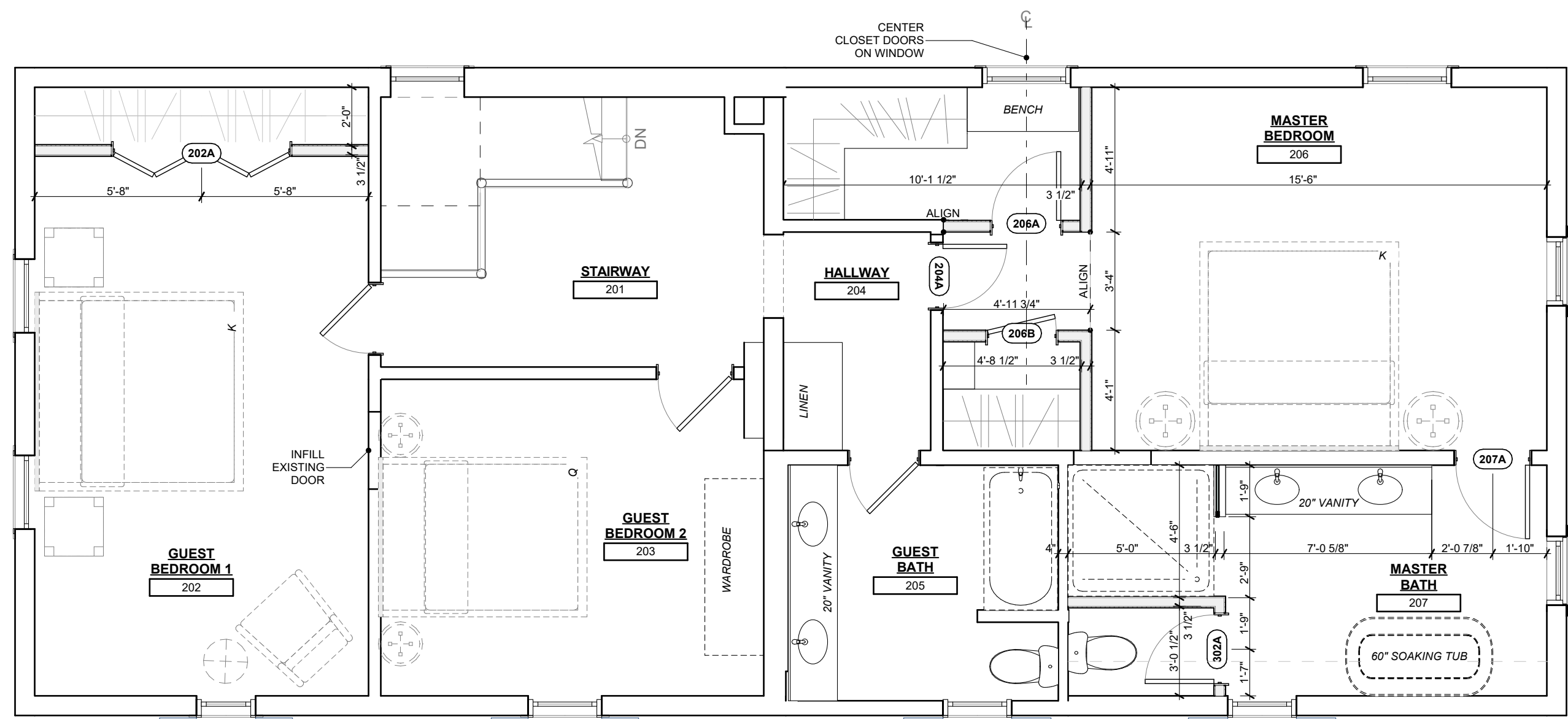
3 SECOND FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



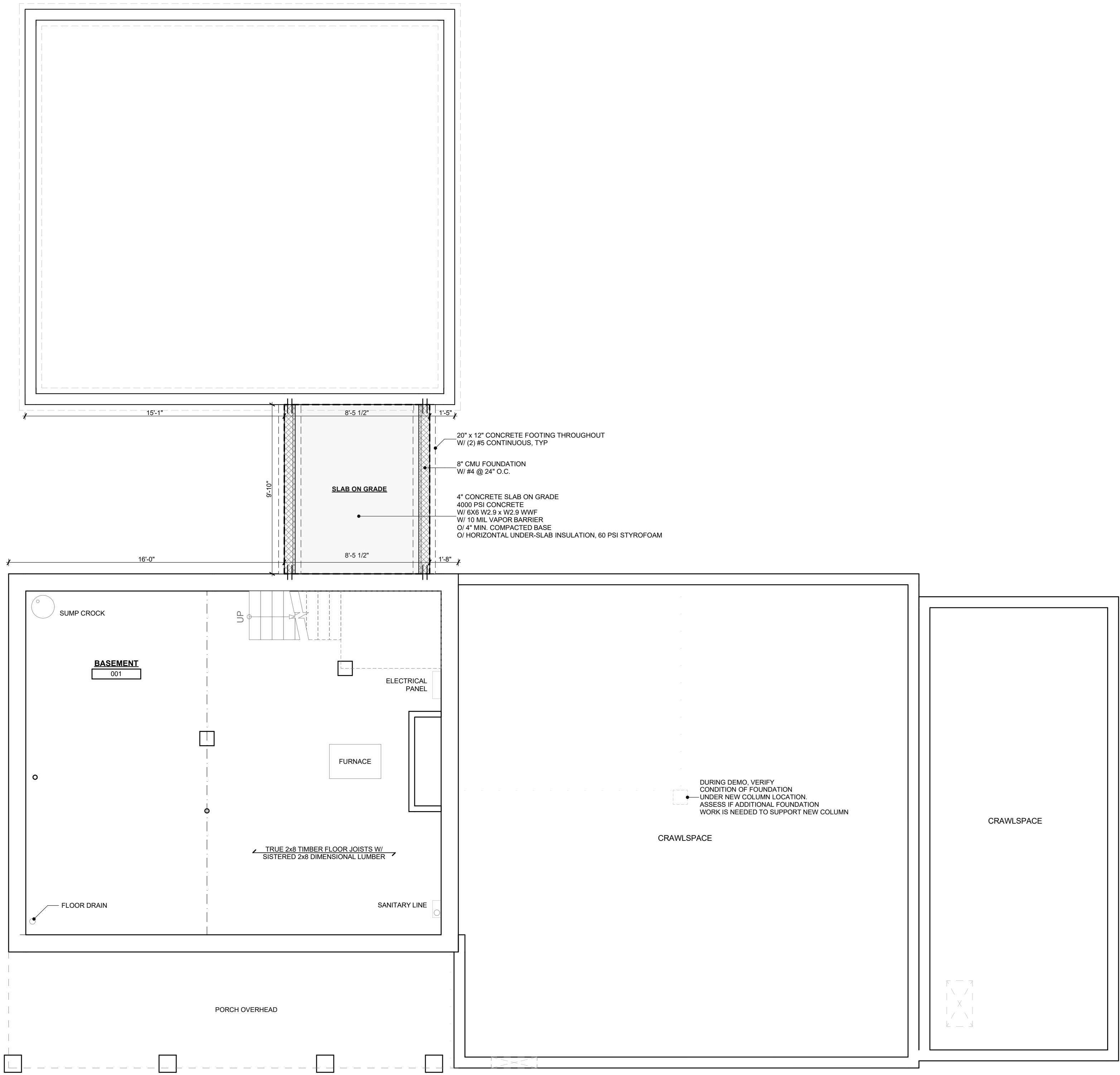
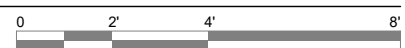
2 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



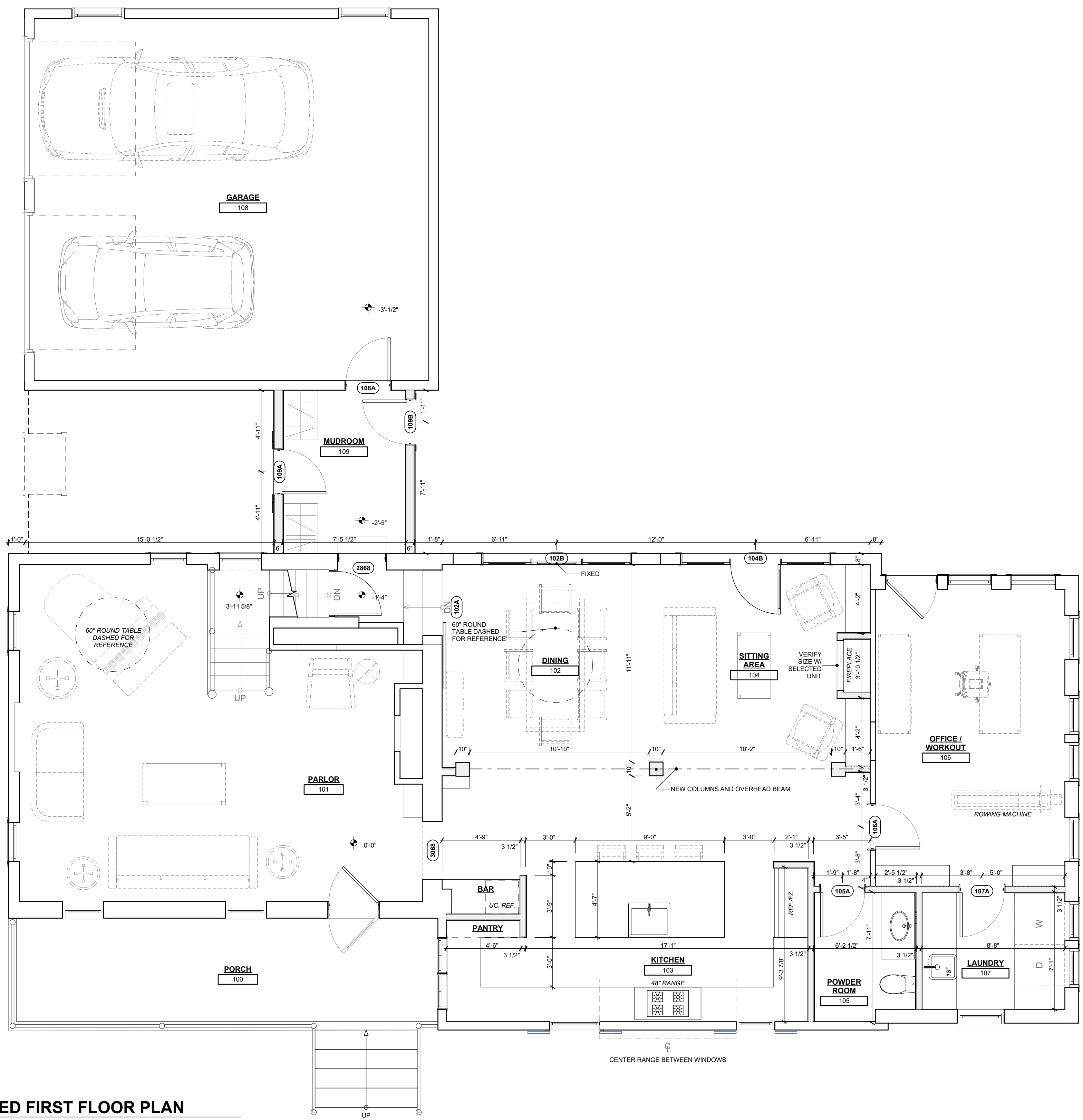
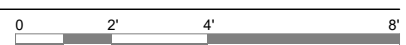
1 FOUNDATION DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



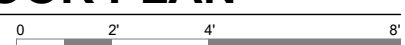
3 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 PROPOSED FOUNDATION
SCALE: 1/4" = 1'-0"



2 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"





1 SIDE ELEVATION - GARAGE SIDE (WEST)
SCALE: 1/4" = 1'-0"



2 SIDE ELEVATION - YARD SIDE (EAST)
SCALE: 1/4" = 1'-0"



3 FRONT ELEVATION (UNCHANGED)
SCALE: 1/4" = 1'-0"



4 REAR ELEVATION (NORTH)
SCALE: 1/4" = 1'-0"











