



TOPOGRAPHIC SURVEY & SITE PLAN

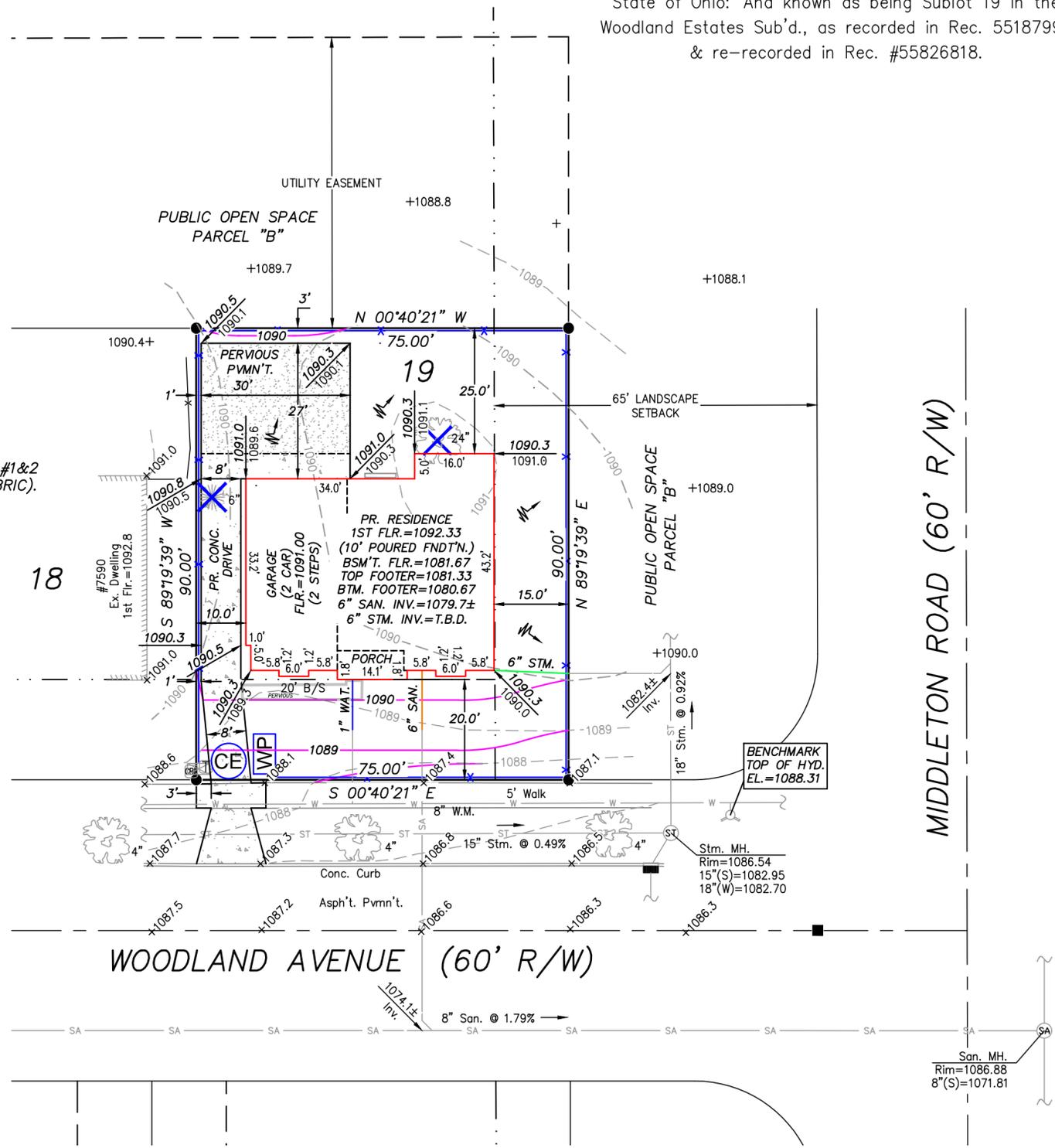
for
~The Grapatins Residence~
 to be built by
Alair Homes Hudson

Situated in the City of Hudson, County of Summit and State of Ohio: And known as being Sublot 19 in the Woodland Estates Sub'd., as recorded in Rec. 55187995 & re-recorded in Rec. #55826818.

- PRELIMINARY
 - FINAL: 3/30/20
 - REVISED
1. Revised Layout as Advised - 4/27/20

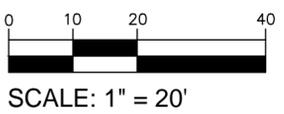
LEGEND

- 998--- - Ex. Contour
- 1000--- - Ex. County GIS Contour
- 1002--- - PR. CONTOUR
- ~~~~~ - Ex. Tree Line
- ~~~~~ - PR. CLEARING LIMITS
- TREE TO BE REMOVED
- PR. DRAINAGE DIRECTION/SWALE
- Ex. Grade
- PR. SILT FENCE
- PR. CONC. WASHOUT PIT (TO BE MAINTN'D. DURING CONSTRUCTION).
- PR. CONST. ENTRANCE (70 L.F. OF #1&2 LIMESTONE (12" THICK) ON GEO-FABRIC).
- PR. DOWNSPOUT LOCATION
- Ex. = Existing PR. = PROPOSED
- Ex. Utility Pole & Pedestals
- Ex. San./Stm. MH.
- Ex. Stm. Inlets
- Ex. Hyd./Valve & Shutoff
- Iron Pin Fnd.
- Iron Pipe Fnd.
- Mon. Fnd.



CONSTRUCTION NOTES:

1. Contractor must verify all foundation dimensions and proposed grades shown on this plan. Any errors resulting from failure to check or to notify the surveyor of any changes shall not be the responsibility of Apex Land Surveying.
2. Contractor to notify utilities protection services/ O.U.P.S. prior to construction.
3. Silt fence must surround all excavation areas so that no silt escapes site.
4. All grades shall comply w/corresponding government office.
5. Maintain positive yard drainage away from house and a minimum slope of 1% along all swales.
6. Contractor shall verify location and depths of existing laterals & verify if proper connections can be made to house. Contact corresponding government office or utility owner if discrepancies occur.
7. All sewer connections must maintain a minimum slope of 1%.
8. Footer drain & downspouts are to be tied into storm drain. Refer to house plans for downspout locations.
9. A foundation sump pump is required.
10. The location of utilities shown hereon are based on observed evidence of above ground appurtenances used along with plan information provided to the surveyor. The location of these utilities may vary and are subject to field verification prior to construction. Additional utilities may be encountered.
11. This plan does not represent a boundary survey, pursuant to ORC 4733-37.
12. There was no search for easements of record, right-of-ways, restrictive covenants, encumbrances, ownership title evidence, or any other facts that a title search may disclose.



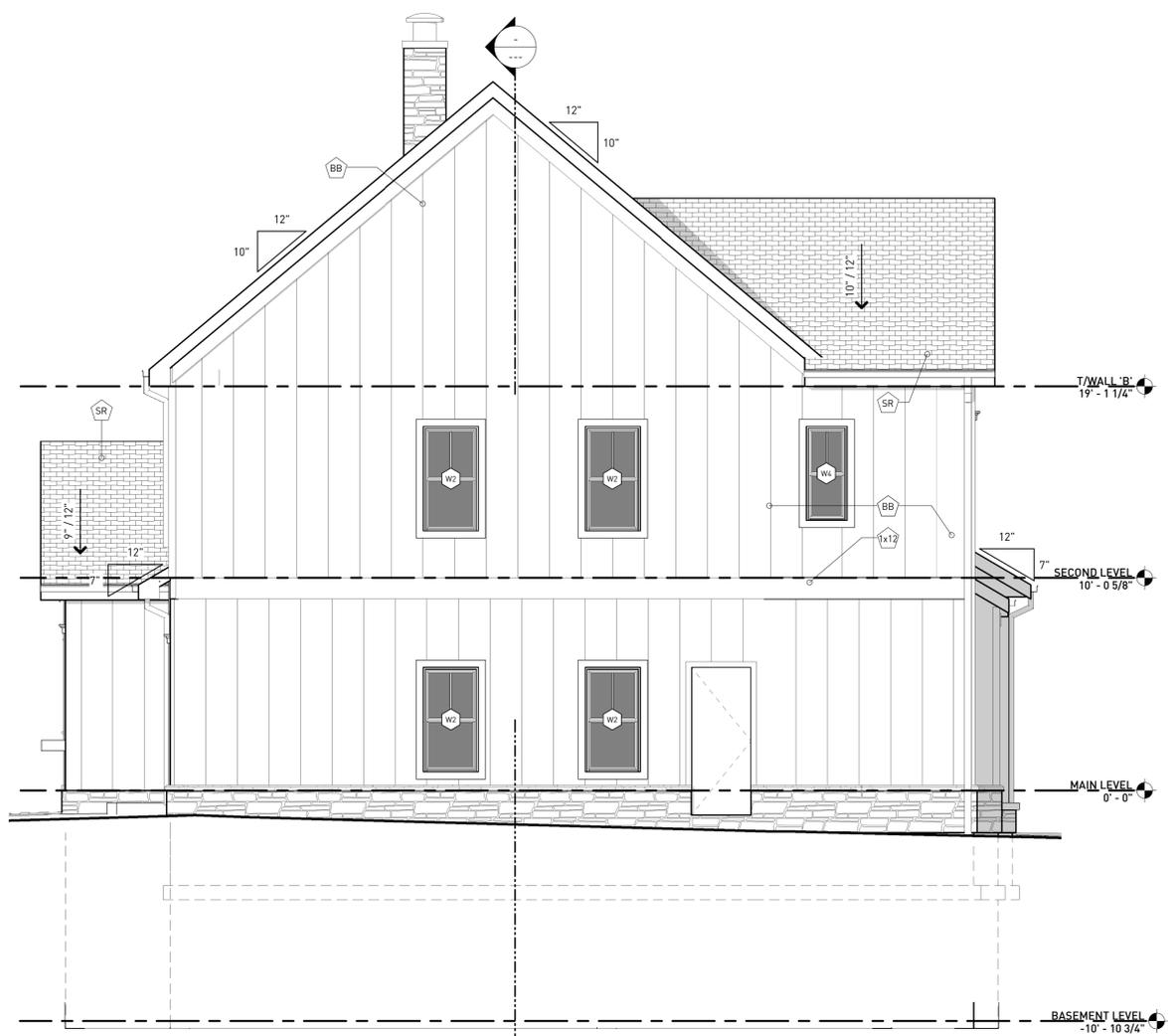
DATUM:
 B.O.B.: RECORD PLAT
 VERT: AS-BUILT IMPROV. PLANS



Know what's below.
 Call before you dig.

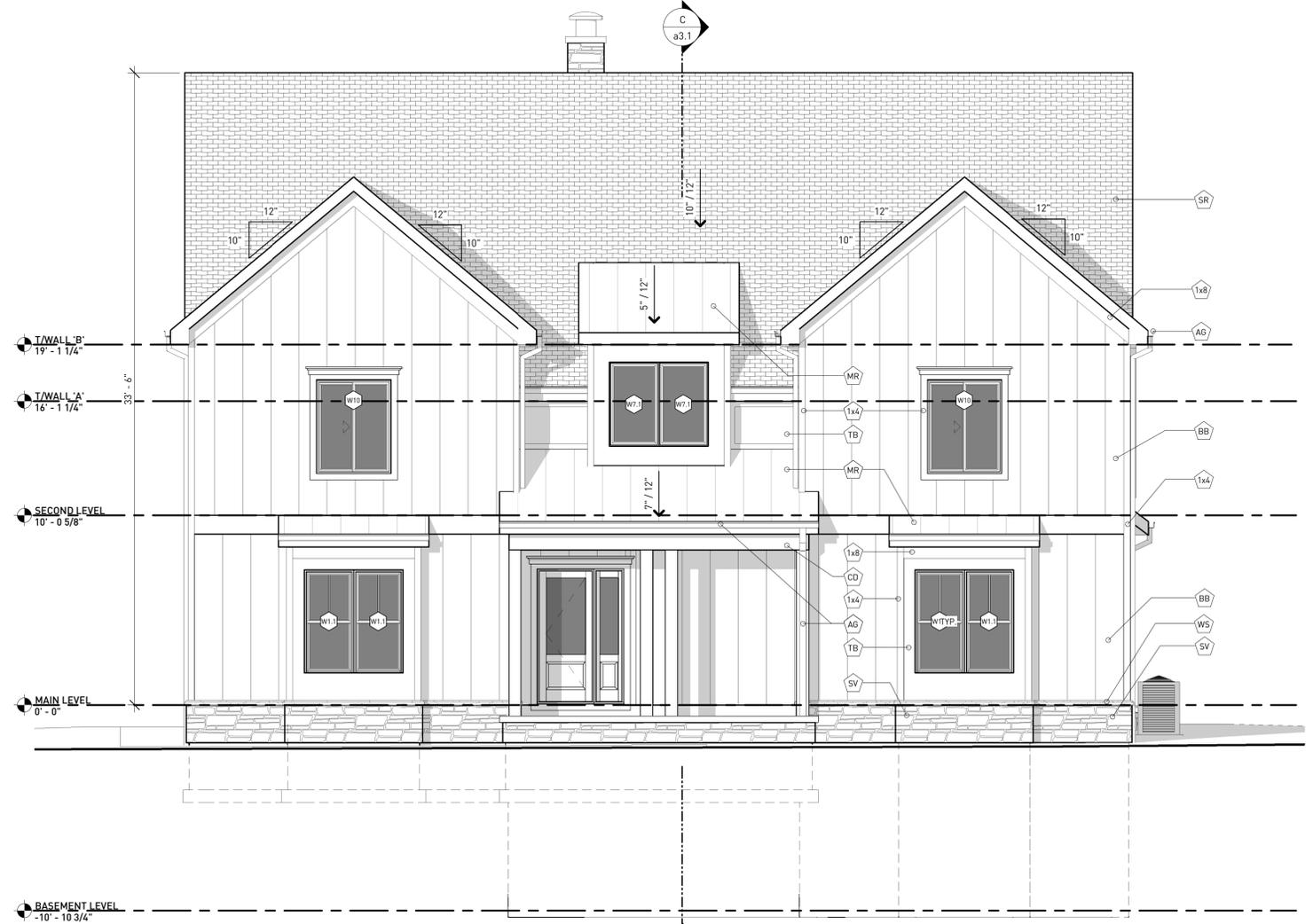
SURVEYED BY: APEX LAND SURVEYING KELLY D. DUNFORD, P.S. 8182 2858 FULMER DR., SILVER LAKE, OH (330) 928-7750 ps8182@sbcglobal.net www.apexlandsurveying.com	TITLE: TOPO & SITE PLAN	DATE: MAR. 2020
	CLIENT: ALAIR HOMES HUDSON	PROJ.: 2020019
	SCALE: 1" = 20'	FILE: 2020019.dwg
	DRAWN BY: KDD	CHECKED BY: KDD
	CREW: KDD	SHEET: 1 OF 1
SHEET SIZE: 17" X 22"		





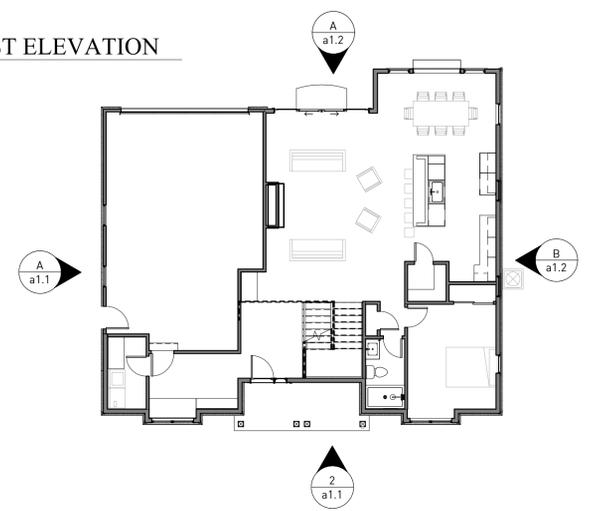
A a1.1 SCALE: 1/4" = 1'-0"

SOUTH ELEVATION



2 a1.1 SCALE: 1/4" = 1'-0"

EAST ELEVATION



KEY PLAN

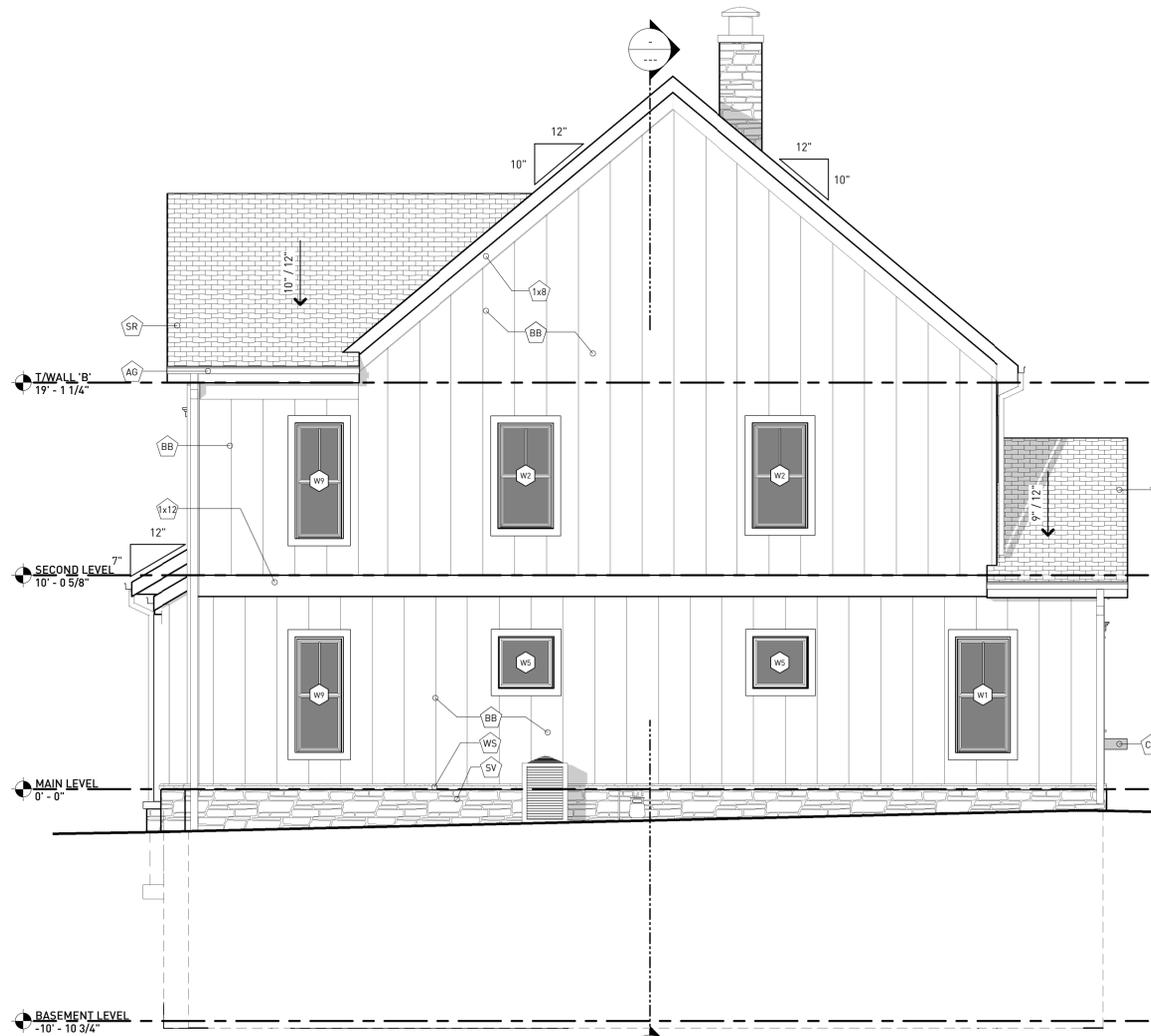
WINDOW SCHEDULE										
TYPE	TYPE	NOM. HEIGHT	NOM. WIDTH	BOOK CODE	LEVEL	SILL HT.	HEAD HT.	HEADER	TEMP. GLASS	COMMENTS
W1	DOUBLE HUNG	5'-6"	2'-8"	2856	MAIN LEVEL	1'-9"	7'-2"			
W1.1	DOUBLE HUNG	5'-6"	2'-8"	2856	MAIN LEVEL	1'-9"	7'-2"			MULLED PAIR [SEE ELEVATION]
W1.1	DOUBLE HUNG	5'-6"	2'-8"	2856	MAIN LEVEL	1'-9"	7'-2"			MULLED PAIR [SEE ELEVATION]
W1.1	DOUBLE HUNG	5'-6"	2'-8"	2856	MAIN LEVEL	1'-9"	7'-2"			MULLED PAIR [SEE ELEVATION]
W1.1	DOUBLE HUNG	5'-6"	2'-8"	2856	MAIN LEVEL	1'-9"	7'-2"			MULLED PAIR [SEE ELEVATION]
W2	DOUBLE HUNG	5'-0"	2'-8"	2850	SECOND LEVEL	2'-3"	7'-2"			PRIVACY GLASS @ ROOM #203 W.C.
W2	DOUBLE HUNG	5'-0"	2'-8"	2850	SECOND LEVEL	2'-3"	7'-2"			
W2	DOUBLE HUNG	5'-0"	2'-8"	2850	SECOND LEVEL	2'-3"	7'-2"			
W2	DOUBLE HUNG	5'-0"	2'-8"	2850	SECOND LEVEL	2'-3"	7'-2"			
W2	DOUBLE HUNG	5'-0"	2'-8"	2850	SECOND LEVEL	2'-3"	7'-2"			
W2	DOUBLE HUNG	5'-0"	2'-8"	2850	SECOND LEVEL	2'-3"	7'-2"			
W2	DOUBLE HUNG	5'-0"	2'-8"	2850	MAIN LEVEL	0'-11"	5'-10"			
W2	DOUBLE HUNG	5'-0"	2'-8"	2850	MAIN LEVEL	0'-11"	5'-10"			
W3	CASEMENT	2'-6"	2'-8"	2826	SECOND LEVEL	4'-9"	7'-2"			
W3	CASEMENT	2'-6"	2'-8"	2826	SECOND LEVEL	4'-9"	7'-2"			
W4	DOUBLE HUNG	4'-6"	2'-0"	2044	SECOND LEVEL	2'-9"	7'-2"			
W5	FIXED	2'-6"	2'-8"	2426	MAIN LEVEL	4'-9"	7'-2"			CONTINUOUS DRYWALL @ INTERIOR
W5	FIXED	2'-6"	2'-8"	2426	MAIN LEVEL	4'-9"	7'-2"			CONTINUOUS DRYWALL @ INTERIOR
W6	PASS-THRU	4'-6"	6'-0"		MAIN LEVEL	2'-8"	7'-2"			MFC. AND STYLE TBD
W7	FIXED	4'-6"	2'-8"	2846	MAIN LEVEL	2'-9"	7'-2"			
W7	FIXED	4'-6"	2'-8"	2846	MAIN LEVEL	2'-9"	7'-2"			
W7.1	FIXED	4'-6"	2'-8"	2846	SECOND LEVEL	3'-8"	8'-2"			MULLED PAIR [SEE ELEVATION]
W7.1	FIXED	4'-6"	2'-8"	2846	SECOND LEVEL	3'-8"	8'-2"			MULLED PAIR [SEE ELEVATION]
W8	FIXED	5'-6"	3'-0"	3056	MAIN LEVEL	8'-0"	13'-6"			MULLED GROUP [SEE ELEVATION]
W8	FIXED	5'-6"	3'-0"	3056	MAIN LEVEL	8'-0"	13'-6"			MULLED GROUP [SEE ELEVATION]
W8	FIXED	5'-6"	3'-0"	3056	MAIN LEVEL	8'-0"	13'-6"			MULLED GROUP [SEE ELEVATION]
W8	FIXED	5'-6"	3'-0"	3056	MAIN LEVEL	8'-0"	13'-6"			MULLED GROUP [SEE ELEVATION]
W9	DOUBLE HUNG	5'-6"	2'-4"	2456	SECOND LEVEL	1'-9"	7'-2"			
W9	DOUBLE HUNG	5'-6"	2'-4"	2456	MAIN LEVEL	1'-9"	7'-2"			
W10	SLIDING	5'-0"	4'-0"	4050	SECOND LEVEL	2'-3"	7'-2"			
W10	SLIDING	5'-0"	4'-0"	4050	SECOND LEVEL	2'-3"	7'-2"			

ELEVATION NOTES

- STUCCO SHALL BE INSTALLED WITH MINIMUM .019" (No.26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT WEEP SCREED OR PLASTIC WEEP CREED WITH MINIMUM BELOW THE FOUNDATION PLATE LINE ON THE EXTERIOR STUD WALLS IN ACCORDANCE WITH ASTM C 926. THE WEEP SCREED SHALL BE PLACED A MINIMUM OF 4" ABOVE THE EARTH OR 2" ABOVE PAVED AREAS AND SHALL BE OF THE TYPE THAT WILL BE ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER-RESISTANT BARRIER SHALL LAP THE ATTACHMENT FLANGE. THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE WEEP SCREED.
- ELEVATIONS SHOWN GRAPHICALLY INDICATE BASEMENT FOUNDATION CONDITIONS.
- ALL ROOF SADDLES TO BE PLYWOOD SHEATHED W/ BUILDING PAPER AND SHINGLES.
- CONTINUOUS RIDGE VENTS TO BE BAFFLED TO PREVENT BACK FLOW
- ALL EXTERIOR WOOD TO BE PRIMED BEFORE INSTALLATION
- ALL WINDOW GRILLS TO MATCH ELEVATIONS
- CONTRACTOR TO PROVIDE PROPER FLASHING AT ALL EXTERIOR DOORS & WINDOWS
- PROVIDE ROOF SADDLE TO DRAIN AWAY FROM BACK SIDE OF CHIMNEY - PROVIDE ALL PROPER FLASHING
- Ⓛ DENOTES GLAZING TO BE TEMPERED

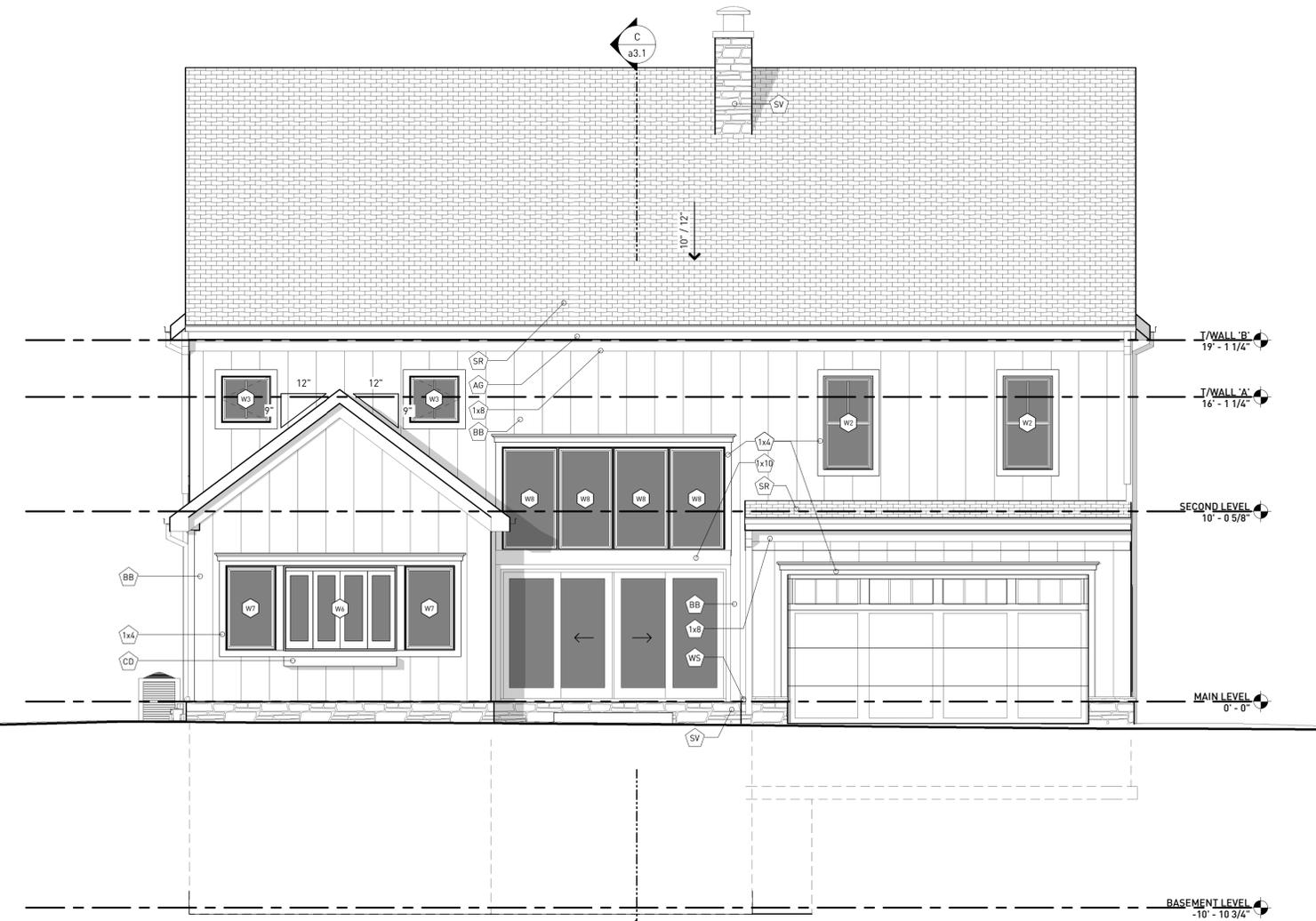
EXTERIOR FINISH LEGEND

NO.	DESCRIPTION	HATCH PATTERN	NO.	DESCRIPTION
SR	SHINGLE ROOFING: BASIS OF DESIGN, GAF SLATELINE (ANTIQUE SLATE) 30 YEAR ARCHITECTURAL ASPHALT SHINGLES ON 15# FELT W/ ICE AND WATER SHIELD AS REQUIRED. ASSEMBLY TO BE INSTALLED PER MFC REQUIREMENTS	[Hatch Pattern]	WS	WATERTABLE SILL: MANUFACTURED STONE SILL TO MATCH STONE VENEER COLOR
SV	STONE VENEER: CULTURED STONE VENEER, DUTCH QUALITY STONE ELKWOOD TUSCAN RIDGE	[Hatch Pattern]	RV	RIDGE VENT: CONTINUOUS RIDGE VENTS TO BE BAFFLED TO PREVENT BACKFLOW
LS	LAP SIDING: VINYL LAP SIDING COLOR: WHITE EXPOSURE & STYLE TO BE DETERMINED	[Hatch Pattern]	TX	1 X COMPOSITE BD. OR EQUAL (REF ELEV. FOR SIZE) COLOR: WHITE
BB	BOARD & BATTEN SIDING: VINYL B&B SIDING COLOR: WHITE	[Hatch Pattern]	TB	COMPOSITE TRIM BOARD SHEETS (5/8" X 48" X 96") COLOR: WHITE
			CD	1 X RED CEDAR TRIM BOARDS SEMI-TRANSPARENT STAIN
			8X8	8 X 8 RED CEDAR COLUMN SEMI-TRANSPARENT STAIN



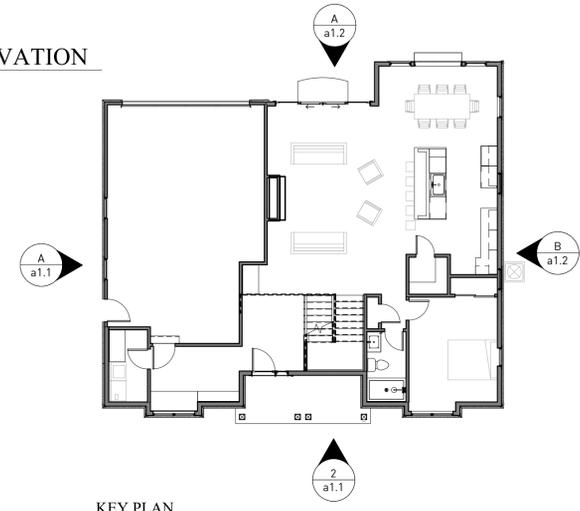
B
a1.2 SCALE:
1/4" = 1'-0"

NORTH ELEVATION



A
a1.2 SCALE:
1/4" = 1'-0"

WEST ELEVATION



KEY PLAN

ELEVATION NOTES

- 1 STUCCO SHALL BE INSTALLED WITH MINIMUM .019" (No. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT WEEP SCREED OR PLASTIC WEEP CREED WITH MINIMUM BELOW THE FOUNDATION PLATE LINE ON THE EXTERIOR STUD WALLS IN ACCORDANCE WITH ASTM C 926. THE WEEP SCREED SHALL BE PLACED A MINIMUM OF 4" ABOVE VERTICAL ATTACHMENT FLANGE OF 3-1/2" PROVIDED AT OR THE EARTH OR 2" ABOVE PAVED AREAS AND SHALL BE OF THE TYPE THAT WILL BE ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER-RESISTANT BARRIER SHALL LAP THE ATTACHMENT FLANGE. THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE WEEP SCREED.
- 2 ELEVATIONS SHOWN GRAPHICALLY INDICATE BASEMENT FOUNDATION CONDITIONS.
- 3 ALL ROOF SADDLES TO BE PLYWOOD SHEATHED W/ BUILDING PAPER AND SHINGLES.
- 4 CONTINUOUS RIDGE VENTS TO BE BAFFLED TO PREVENT BACK FLOW
- 5 ALL EXTERIOR WOOD TO BE PRIMED BEFORE INSTALLATION
- 6 ALL WINDOW GRILLS TO MATCH ELEVATIONS
- 7 CONTRACTOR TO PROVIDE PROPER FLASHING AT ALL EXTERIOR DOORS & WINDOWS
- 8 PROVIDE ROOF SADDLE TO DRAIN AWAY FROM BACK SIDE OF CHIMNEY - PROVIDE ALL PROPER FLASHING
- 9 DENOTES GLAZING TO BE TEMPERED

EXTERIOR FINISH LEGEND

NO.	DESCRIPTION	HATCH PATTERN	NO.	DESCRIPTION
SR	SHINGLE ROOFING: BASIS OF DESIGN, GAF SLATELINE (ANTIQUE SLATE) 30 YEAR ARCHITECTURAL ASPHALT SHINGLES ON 15# FELT W/ ICE AND WATER SHIELD AS REQUIRED. ASSEMBLE TO BE INSTALLED PER MFC REQUIREMENTS		WS	WATERTABLE SILL: MANUFACTURED STONE SILL TO MATCH STONE VENEER COLOR
SV	STONE VENEER: CULTURED STONE VENEER, DUTCH QUALITY STONE ELKWOOD TUSCAN RIDGE		AG	ALUMINUM GUTTERS: AND DOWNSPOUTS TO MATCH FASCIA AND SOFFIT COLOR
LS	LAP SIDING: VINYL LAP SIDING COLOR: WHITE EXPOSURE & STYLE TO BE DETERMINED		RV	RIDGE VENT: CONTINUOUS RIDGE VENTS TO BE BAFFLED TO PREVENT BACKFLOW
BB	BOARD & BATTEN SIDING: VINYL B&B SIDING COLOR: WHITE		1X	1 X COMPOSITE BD. OR EQUAL (REF ELEV. FOR SIZE) COLOR: WHITE
			TB	COMPOSITE TRIM BOARD SHEETS (5/8" X 48" X 96") COLOR: WHITE
			CD	1 X RED CEDAR TRIM BOARDS SEMI-TRANSPARENT STAIN
			8XB	8 X 8 RED CEDAR COLUMN SEMI-TRANSPARENT STAIN

PROJECT DESIGNER:
PHONE: 13303 267-3152
2850B WEST MARKET ST
FAIRLAWN, OHIO 44333
mbenedict@fideiarch.com

fidei
architecture

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PROJECT CONTRACTOR:

ALAIR
CUSTOM HOMES - REMODELING
COMMERCIAL
440-893-9600
10 WEST STEUBENBURG ST., SUITE 201
HUDSON, OH 44236
ALAIR@ALAIR.COM

PROJECT LOCATION:
Lot 19 Woodland Ave
Hudson, OH
44236

New Residence for:
ALAIR HOMES - THE GRAPATINS

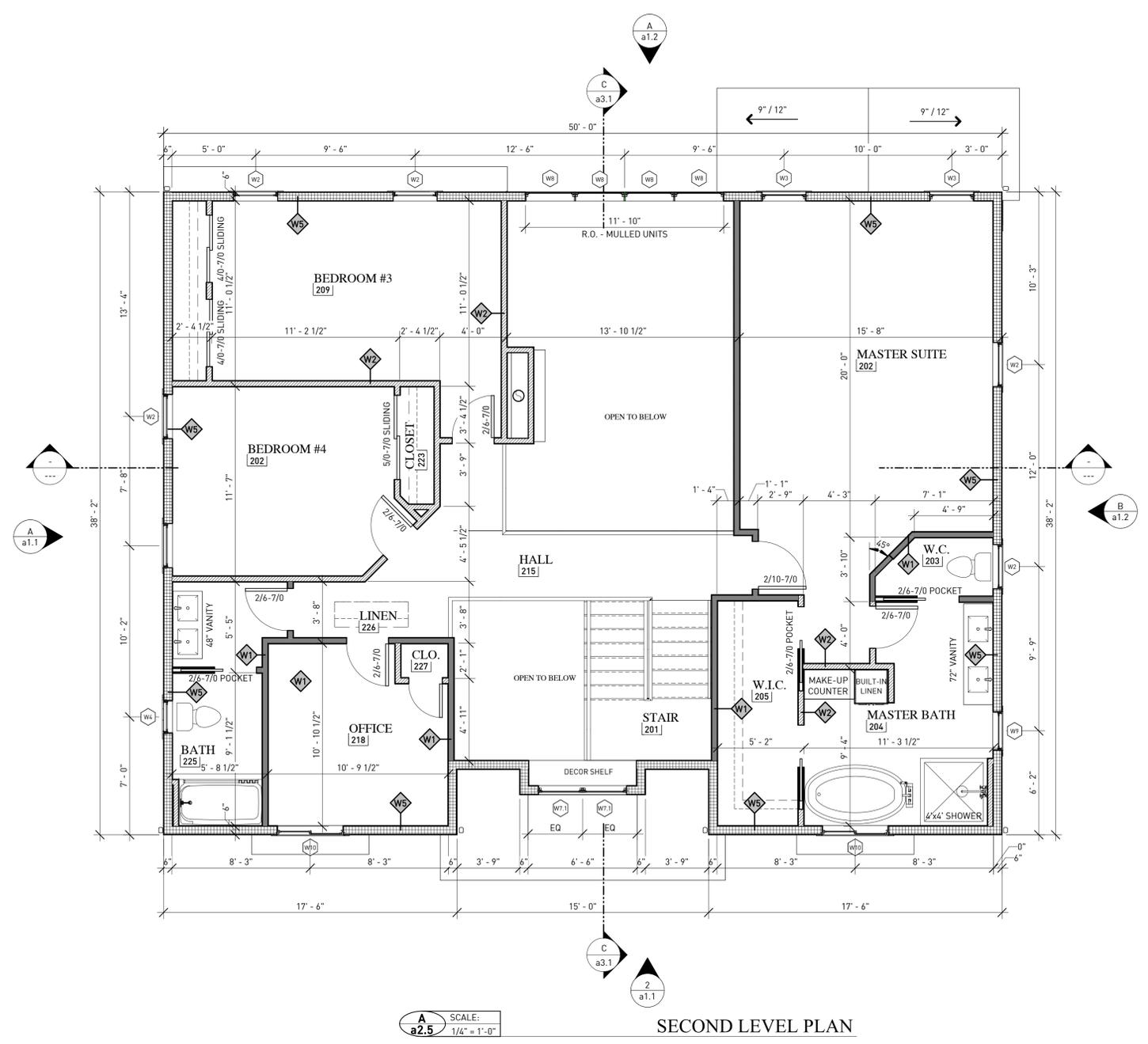
PRINT RECORD:

No.	Description	Date

JOB No.
ELEVATIONS

- RELEASED FOR CONSTRUCTION
- NOT RELEASED FOR CONSTRUCTION

a1.2



SCALE: 1/4" = 1'-0"
SECOND LEVEL PLAN

FLOOR PLAN NOTES

- GARAGE SPACE SHALL BE SEPARATED FROM LIVING AREA & ATTIC BY 1/2" GYPSUM APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ROOMS ABOVE BY 5/8" TYPE X GYPSUM (COMPLY W/ RCO R309.2)
- PROVIDE BATHROOM EXHAUST FANS WITH A MINIMUM VENTILATION RATE OF 50 CFM. EXHAUST FANS TO BE VENTED DIRECTLY TO THE OUTSIDE (COMPLY W/ RCO R303.3).
- PROVIDE TEMPERED GLASS IN ALL SPECIFIC HAZARDOUS LOCATIONS SPECIFIED IN SECT. R308.4 IN THE RCO.
- INDEPENDENT METAL DRYER VENT SYSTEM W/ DAMPER TO BE INSTALLED. SYSTEM TO VENT MOISTURE DIRECTLY OUTDOORS (COMPLY W/ RCO M501.1).
- ALL SLEEPING ROOMS MUST CONTAIN AN OPERABLE WINDOW OR DOOR WHICH WILL PROVIDE A MEANS OF EMERGENCY EGRESS W/ A MIN. 5.7 S.F. CLEAR OPENING (5 S.F. AT GRADE FLOOR) (24" MIN. CLEAR HGT. / 20" MIN. CLEAR WIDTH) (COMPLY W/ RCO R310).
- FUEL-BURNING EQUIPMENT SHALL BE PROVIDED W/ A SUPPLY OF AIR FOR FUEL COMBUSTION, DRAFT HOOD DILUTION, AND VENTILATION OF THE SPACE IN WHICH THE EQUIPMENT IS INSTALLED (COMPLY W/ RCO).
- ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" DRYWALL. (COMPLY W/ RCO R311.2.2)
- MINIMUM HEADROOM @ STAIRS SHALL BE 6'-8" MEASURED VERTICALLY FROM THE TREAD NOSING OR FROM THE FLOOR SURFACE OR LANDING PLATFORM. (COMPLY W/ RCO R311.5.2)
- HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRS WITH 4 OR MORE RISERS. HANDRAILS WILL BE LOCATED 34" TO 38" MEASURED VERTICALLY FROM TREAD NOSING. HAND GRIP CROSS SECTION DIMENSION SHALL NOT EXCEED 2 1/4". (COMPLY W/ RCO R311)
- GUARDRAILS (MIN. 36" HIGH) SHALL BE PROVIDED ON PORCHES, BALCONIES AND RAISED FLOORS MORE THAN 30" ABOVE FLOOR OR GRADE. OPEN STAIRS SHALL HAVE GUARDRAILS (MIN. 36" HIGH) GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES OR MORE IN DIAMETER. (COMPLY W/ RCO R312).
- PROVIDE PROPER FIREPLACE CLEARANCES AS SPECIFIED IN SECT. R1001.15, R1003.12 AND R1003.13 IN THE RCO.
- LIGHT FIXTURES IN CLOSETS (UNINCANDESCENT AND FLUORESCENT) SHALL BE ENCLOSED (COMPLY W/ RCO).
- PROVIDE PROPER THICKNESS AND SPANS OF SHEATHING FOR ROOFS AND SUBFLOORS. (COMPLY W/ RCO R503).
- ROOF VENTS TO MEET 1:150 VENT AREA RATIO (COMPLY W/ RCO R806).
- AN ATTIC ACCESS (22" x 30" MIN.) SHALL BE PROVIDED TO ANY ATTIC HAVING 30" OF CLEAR HEIGHT (COMPLY W/ RCO R807).
- PROVIDE MINIMUM (2) 2X10'S W/ 1/2" PLYWOOD FLITCH PLATE AT ALL EXTERIOR WALL OPENINGS AND INTERIOR BEARING WALL OPENINGS UNLESS OTHERWISE NOTED.
- PROVIDE MINIMUM OF (3) 2X4'S AT EACH END OF ALL BEAMS AND GIRDER TRUSSES UNLESS OTHERWISE NOTED. ALL SUCH CONCENTRATED LOADS SHALL BE TRANSFERRED TO FOUNDATION VIA BEAMS, POST AND / OR SOLID BLOCKING



BEAM / HEADER SCHEDULE

SYM.	DESCRIPTION	REMARKS
(HDR-1)	(3) 2X8'S WD.	
(HDR-2)	(3) 2X10'S WD.	
(HDR-3)	(2) 2X12'S WD. + 1/2" PLYWOOD FLITCH	
(HDR-4)	(3) 9" X 1 3/4" LVL'S	
(HDR-5)	(2) 11 3/4" X 1 3/4" LVL'S	
(HDR-6)	(2) 14 X 1 3/4" LVL'S	
(HDR-7)	(3) 20 X 1 3/4" LVL'S	
(B-1)	(2) 11 3/4" X 1 3/4" LVL w/ 1/2" STL FLITCH	

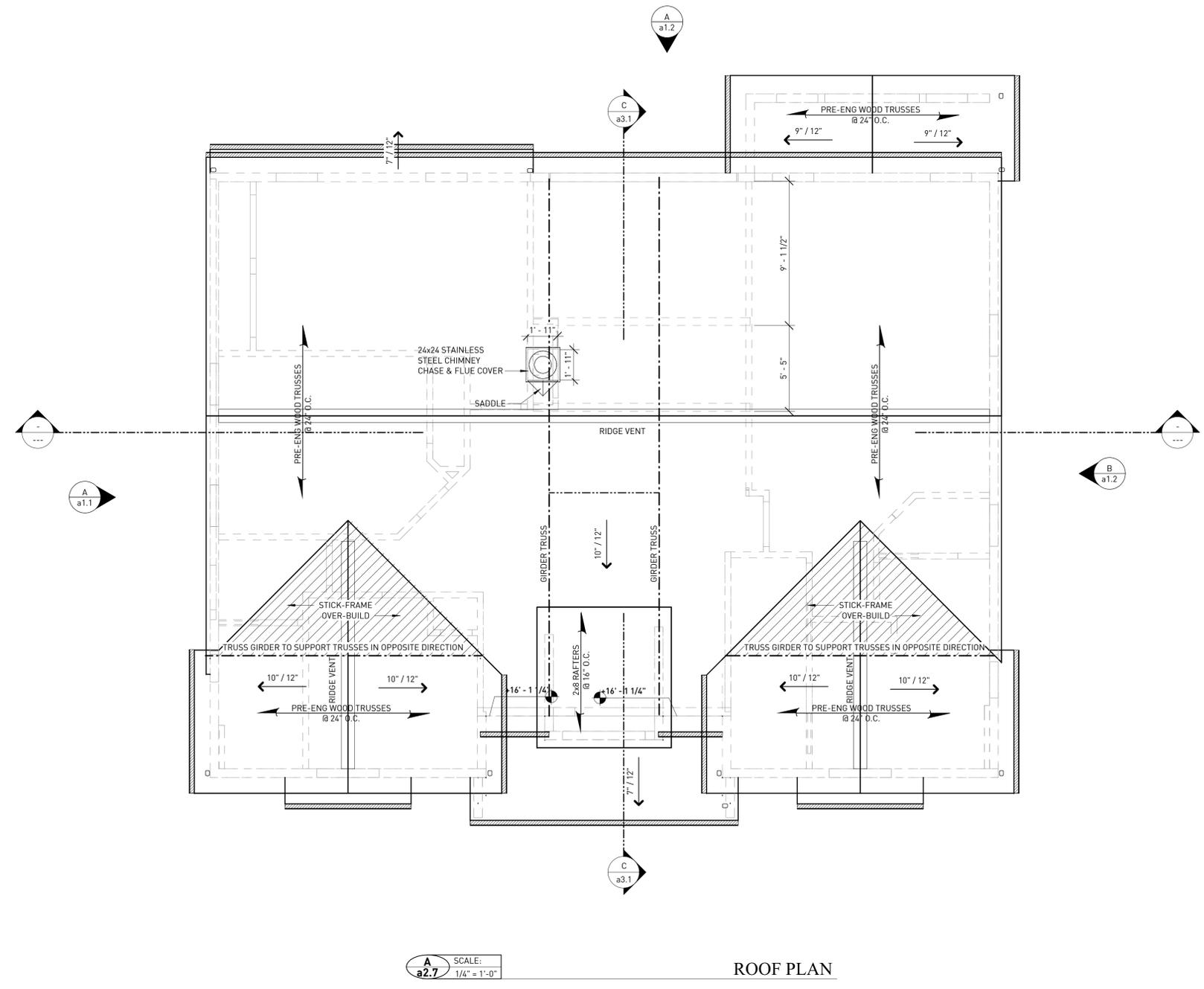
NOTE: MIN. WOOD HEADER = (3) 2X6

COLUMN SCHEDULE

(C-1)	(3) 2X4'S
(C-2)	(4) 2X4'S
(C-3)	(2) 2X6'S
(C-4)	(3) 2X6'S
(C-5)	(4) 2X8'S
(C-6)	(1) 1 1/4 X 5 1/4 PSL
(C-7)	(1) 1 1/2 X 5 1/4 PSL

WALL TYPE LEGEND

NO.	WALL HATCH	WALL TYPE DESCRIPTION
1	(Hatched pattern)	INTERIOR 2X4 WALL : 1/2" GYP. BOARD ON BOTH SIDES OF 2X4 WD. STUDS @ 16" O.C. W/ R-13 SOUND INSULATION TYPE 1.1. GYP. BD ON ONE SIDE ONLY
2	(Hatched pattern)	INTERIOR 2X4 WALL : 1/2" GYP. BOARD ON BOTH SIDES OF 2X4 WD. STUDS @ 16" O.C. W/ R-13 SOUND INSULATION TYPE 1.1. GYP. BD ON ONE SIDE ONLY
3	(Hatched pattern)	INTERIOR 2X6 WALL : 1/2" GYP. BOARD ON BOTH SIDES OF 2X4 WD. STUDS @ 16" O.C. W/ R-13 SOUND INSULATION TYPE 1.1. GYP. BD ON ONE SIDE ONLY
4	(Hatched pattern)	EXTERIOR 2X4 WALL : 1" OSB BOARD ON EXTERIOR SIDE OF 2X4 WD. STUDS @ 16" O.C. W/ 1/2" GYP. BOARD ON INTERIOR SIDE W/ R-15 INSULATION
5	(Hatched pattern)	EXTERIOR 2X6 WALL : 1" OSB BOARD ON EXTERIOR SIDE OF 2X4 WD. STUDS @ 16" O.C. W/ 1/2" GYP. BOARD ON INTERIOR SIDE W/ R-15 INSULATION



A a2.7 SCALE:
 1/4" = 1'-0"

ROOF PLAN

- ROOF NOTES:**
- DO NOT SCALE DRAWINGS. IF ANY DISCREPANCIES ARISE PLEASE CONTACT THE PROJECT MANAGER AND DESIGNER.
 - STRUCTURAL FRAMING MEMBERS TO BE SPF #2
 - ALL TRUSSES TO BE PRE-ENGINEERED BY TRUSS MFG. (SEE TRUSS SECTIONS IF APPLICABLE).
 - CALCULATE ALL TRUSSES TO MAINTAIN NOTED SOFFIT HEIGHTS AND OVERHANG DIMENSIONS.
 - TYPICAL EXTERIOR OR BEARING HEADER IS 3 - 2 x 10's @ 2 x 6 WALLS AND 2 - 2 x 10's @ 2 x 4 WALLS, UNLESS NOTED OTHERWISE
 - ALL INTERIOR NON-BEARING HEADERS LESS THAN 4'-0" SPAN TO BE TWO 2 x 4's EXCEPT AS NOTED.
 - TYP. SOLID FRAMING POSTS TO BE MIN. OF 3 - 2 x EXCEPT AS NOTED BY TRUSS MFG.
 - TRUSS CLIPS, HANGERS, AND STRUCTURAL CONNECTIONS FOR TRUSS SYSTEM TO BE SPECIFIED BY THE TRUSS MANUFACTURER ON SEALED TRUSS ENGINEERING PLANS.
 - ALL ENGINEERED BEAMS ARE DESIGNED WITH LOADS AS FOLLOWS:
 ROOF LOAD 20 PSF LIVE LOAD
 20 PSF DEAD LOAD
 - PROVIDE PROPER THICKNESS AND SPANS OF SHEATHING FOR ROOFS AND SUBFLOORS (COMPLY W/ RCO R503).
 - ROOF VENTS TO MEET 1:150 VENT AREA RATIO (COMPLY W/ RCO R806).
 - AN ATTIC ACCESS (22" x 30" MIN.) SHALL BE PROVIDED TO ANY ATTIC HAVING 30" OF CLEAR HEIGHT (COMPLY W/ RCO R807).
 - ALL BEAMS TO BE 1.9E UNLESS OTHERWISE NOTED.

Project	The Grapatin's Residence	
Project Manager	<ul style="list-style-type: none"> Alair Homes Terry Carter (330)348-8039 	terry.carter@alairhomes.com
Project Architect	<ul style="list-style-type: none"> Fidei Architecture Marc Benedict (330) 348-9011 	mbenedict@fideiarch.com

Grapatin's Lot # 19



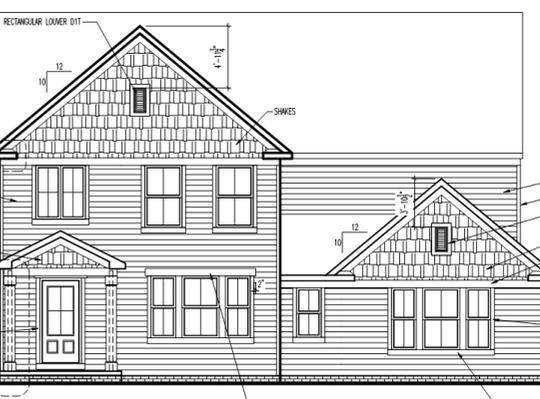
Direct Neighbor to South Lot 18



Lot 17



Directly Across Street Lot 1



Lot 2



Lot 3



