

22

N 89°22'15" W
187.28'

Parcel "A"

Part of Block A
LDA Builders, Inc.
P.N. 30-07817
N. Marblehead Rd.
D.N. 56270494
1.0748 Ac.

LEGEND

- 1000--- Ex. Contour
- 999--- PR. CONTOUR
- Ex. Tree Line
- PR. CLEARING
- PR. SILT FENCE

PR. GRADE
Ex. Grade PR. DRAINAGE

--- TREE TO BE REMOVED

CE --- PR. CONST. ENTRANCE

Ex. = Existing PR. = PROPOSED

SA ST --- Ex. San/Str. MH.

T OBL --- Ex. Pedestals

--- Ex. Hydrant

● --- Iron Pin Fnd./Set

● --- Iron Pipe Fnd.

■ --- Mon. Fnd.

Parcel "B"

0 10 20 40
SCALE: 1" = 20'

DATUM:
B.O.B.: RECORD PLAT
VERT: NAVD88

TOPOGRAPHIC SURVEY & SITE PLAN

for
The Patel Residence
by
LDA Builders, Inc.

Situated in the City of Hudson, County of Summit and State of Ohio: And known as being part of Block A of the Marblehead Estates Phase Two, as recorded in Cab. I, Sld's. 980-981. Also known as Parcel "A" of lot split recorded as R.N. 56249606.

CONSTRUCTION NOTES:

1. The contractor must verify all foundation dimensions and proposed grades shown on this plan. Any errors resulting from failure to check or to notify the surveyor of any changes shall not be the responsibility of Apex Land Surveying.
2. All grades shall comply w/corresponding government office.
3. All swales must maintain a minimum slope of 1%.
4. Maintain positive yard drainage away from house.
5. Contractor to notify utilities protection services/ OUPS prior to construction
6. Contractor shall verify location and depths of existing laterals & verify if proper connections can be made to house. Contact corresponding government office if discrepancies occur.
7. All sewer connections must maintain a minimum slope of 1%.
8. A foundation sump pump is required
9. Silt fence must surround any excavation areas so that no silt escapes site.
10. There was no search for easements of record, right-of-ways, restrictive covenants, encumbrances, ownership title evidence, or any other facts that a title search may disclose.



Know what's below.
Call before you dig.

SURVEYED BY:



KELLY D. DUNFORD, P.S. 8182
2858 FULMER DR., SILVER LAKE, OH
(330) 928-7750
ps8182@sbcglobal.net
www.apexlandsurveying.com

TITLE: TOPO & SITE PLAN

DATE: JULY 2017

CLIENT: LDA BUILDERS

PROJ.: 2017063

SCALE: 1" = 20'

FILE: 2017063.dwg

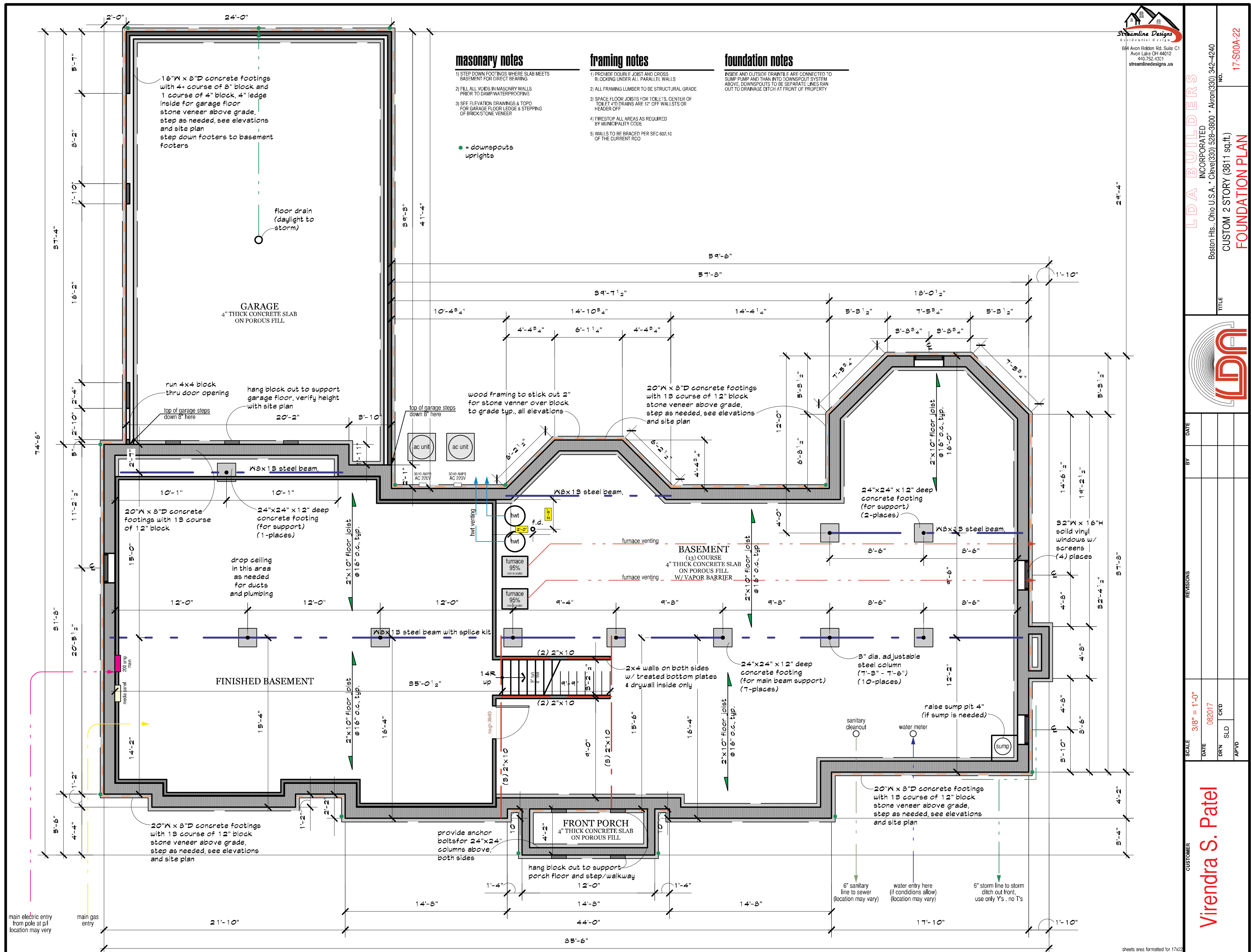
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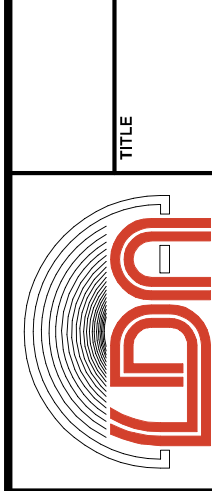
CHECKED BY: KDD

CREW: KDD

SHEET: 1 OF 1

SHEET SIZE: 17" X 22"



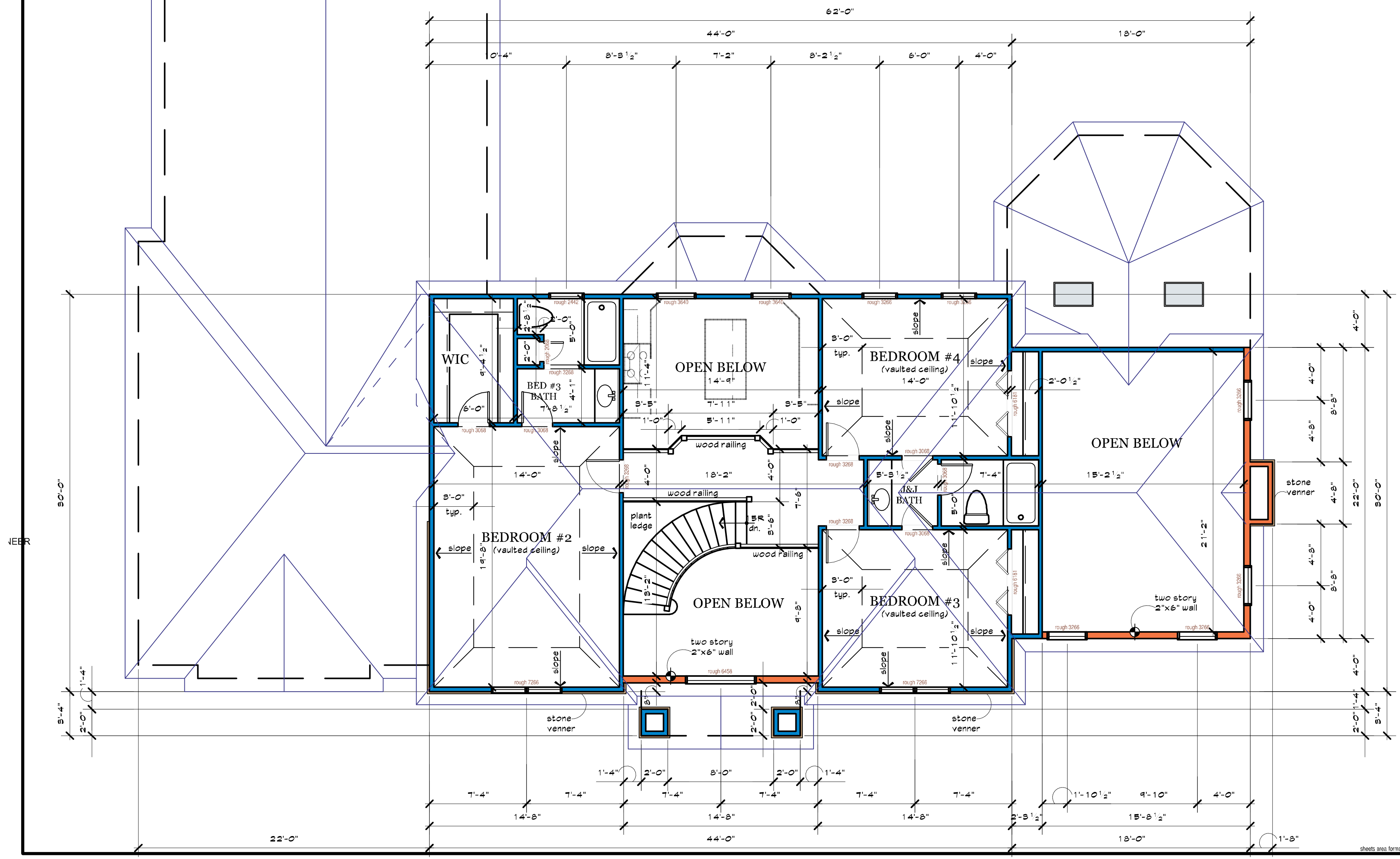


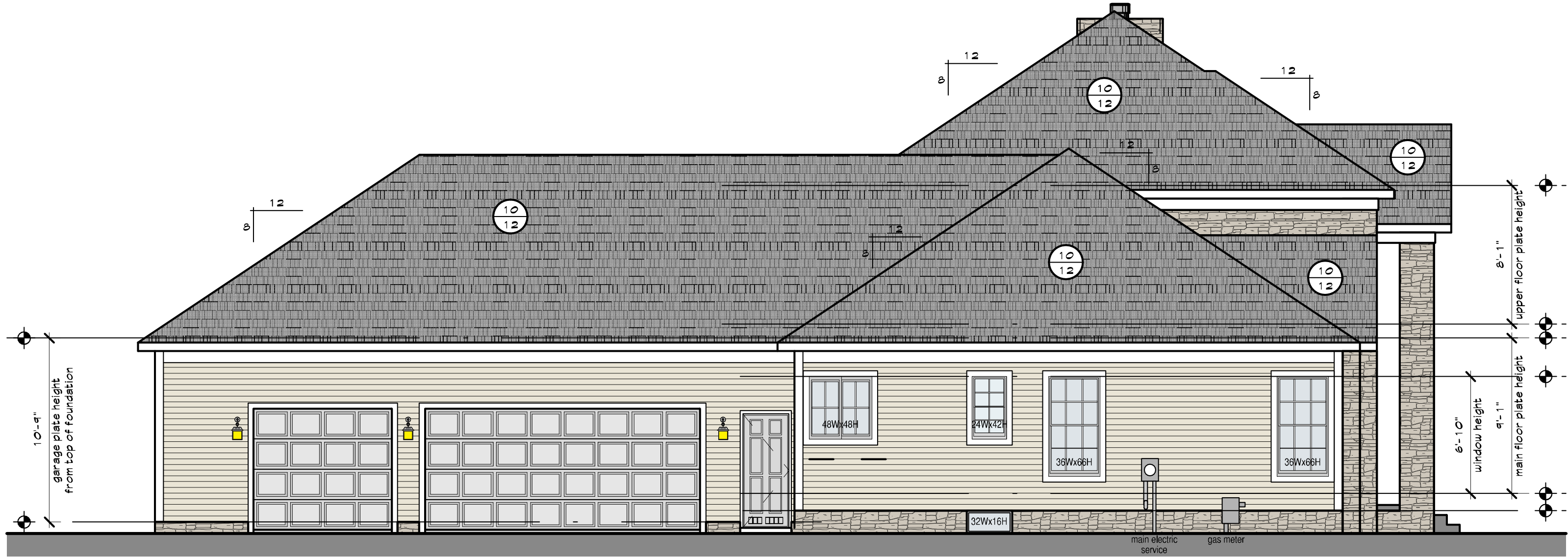
REVISIONS		BY	DATE

CUSTOMER		SCALE	3/8" = 1'-0"
Virendra S. Patel		DATE	082017
DRN	SLD	CKD	
APVD			

egress notes

ALL SLEEPING ROOMS SHALL HAVE AT LEAST ONE EMERGENCY EGRESS OPENING WITH A MINIMUM AREA OF 5.7 SQFT (5.7 FOR 1ST FLOOR SLEEPING ROOMS).
OPENINGS SHALL HAVE A MINIMUM CLEAR OPENING HEIGHT OF 24" AND A MINIMUM CLEAR OPENING WIDTH OF 20"





left side elevation

scale 1/4" = 1'-0"



rear elevation

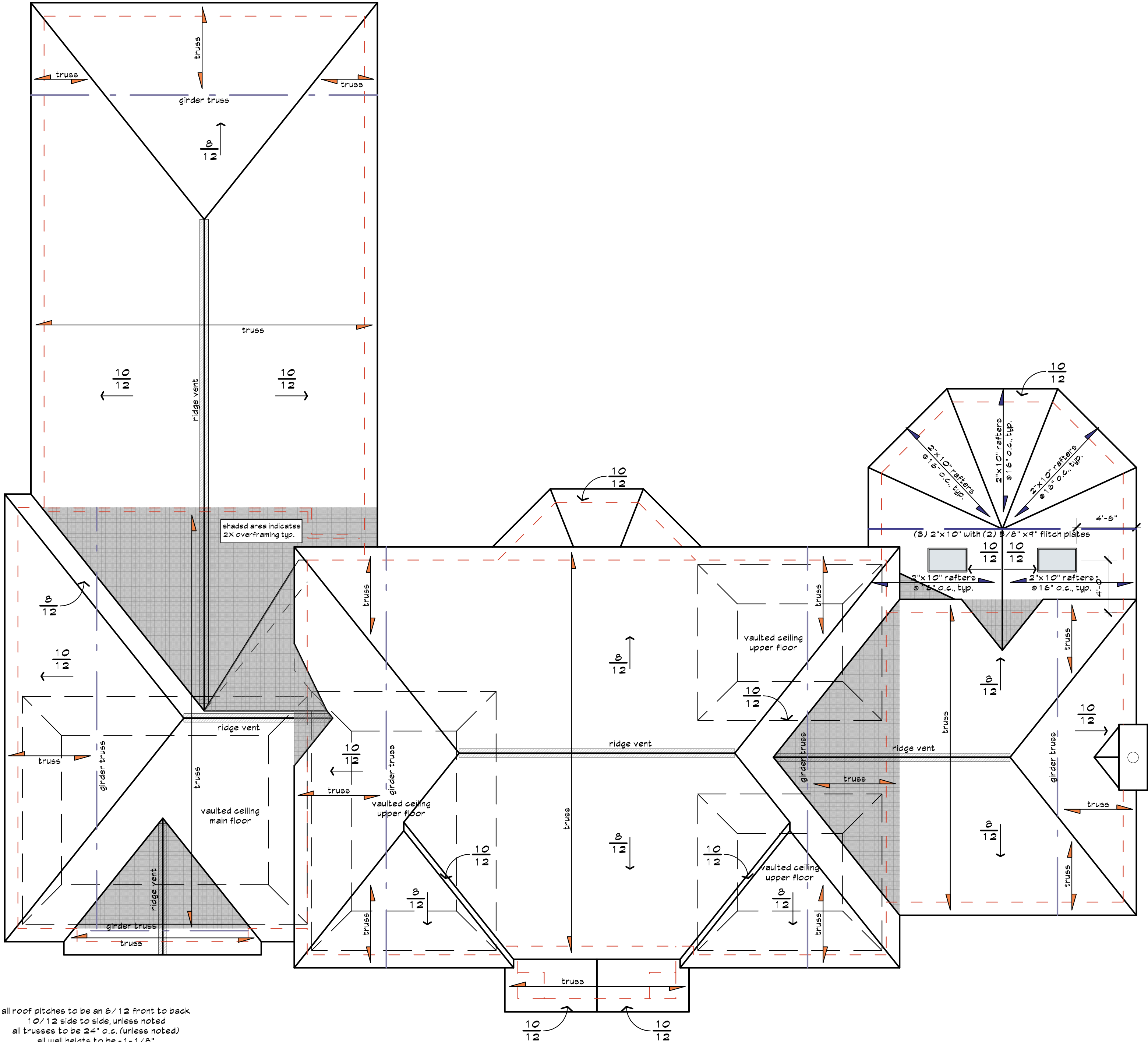
scale 1/4" = 1'-0"



LDA BUILDERS
INCORPORATED
Boston Hts., Ohio U.S.A. • Clevel(330) 528-3800 • Akron(330) 342-4240
CUSTOM 2 STORY (3811 sq.ft.)
REAR & LEFT SIDE ELEVATIONS

SCALE	DATE	DRN	CK'D	AP'D
3/8" = 1'-0"	082017			

CUSTOMER
Virendra S. Patel



all roof pitches to be an 8/12 front to back
10/12 side to side, unless noted
all trusses to be 24" o.c. (unless noted)
all wall heights to be +1-1/2"



REVISIONS		BY	DATE

SCALE	3/8" = 1'-0"
DATE	082017
DRN	SLD
APVD	CKD

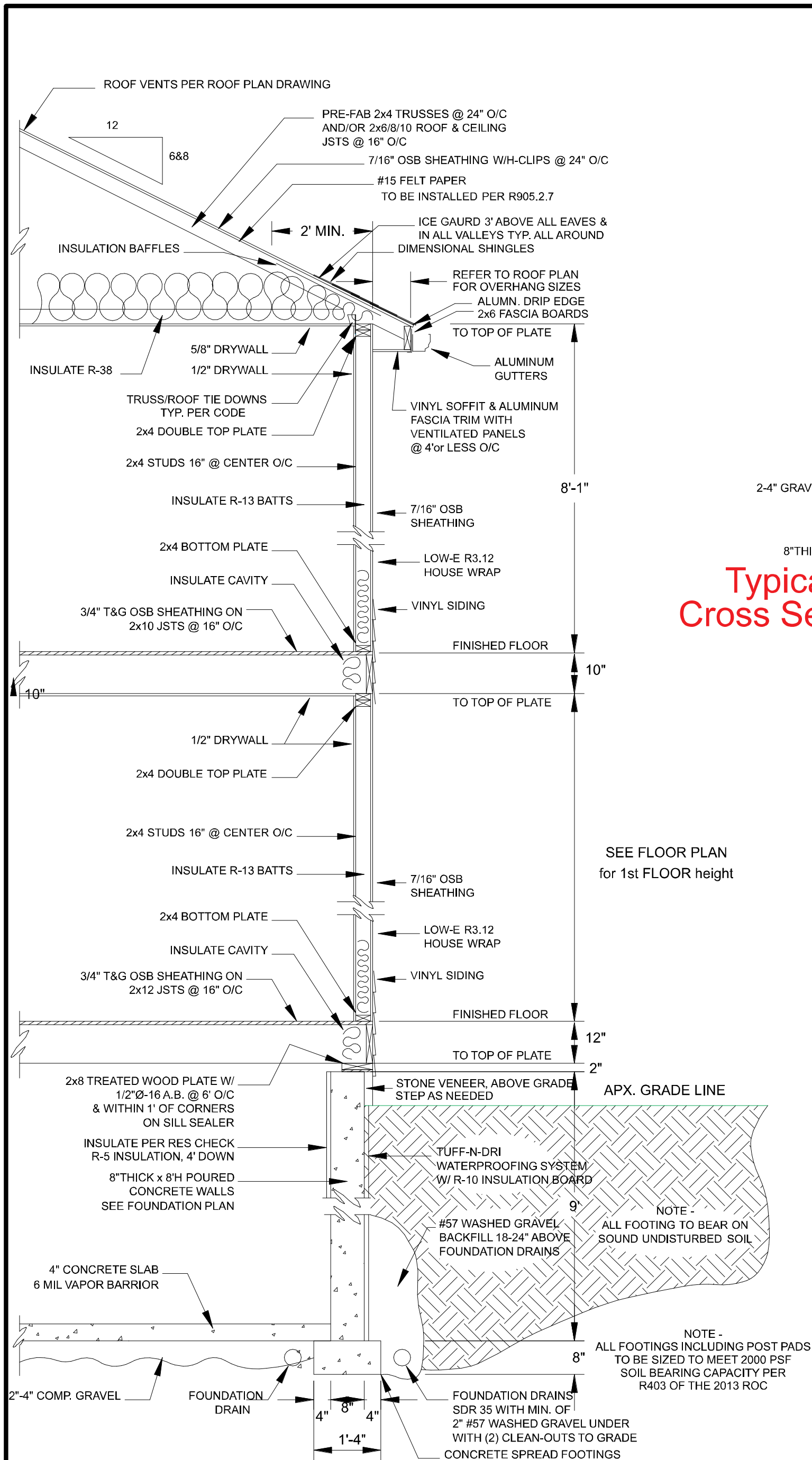
CUSTOMER
Virendra S. Patel

LDA BUILDERS
INCORPORATED
Boston Hts., Ohio U.S.A. * Clevel(330) 528-3800 * Akron(330) 342-4240
CUSTOM 2 STORY (3811 sq.ft.)
ROOF PLAN

TITLE

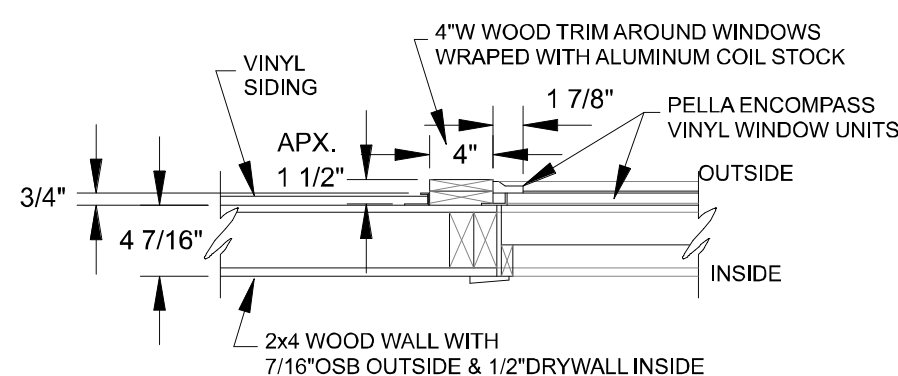
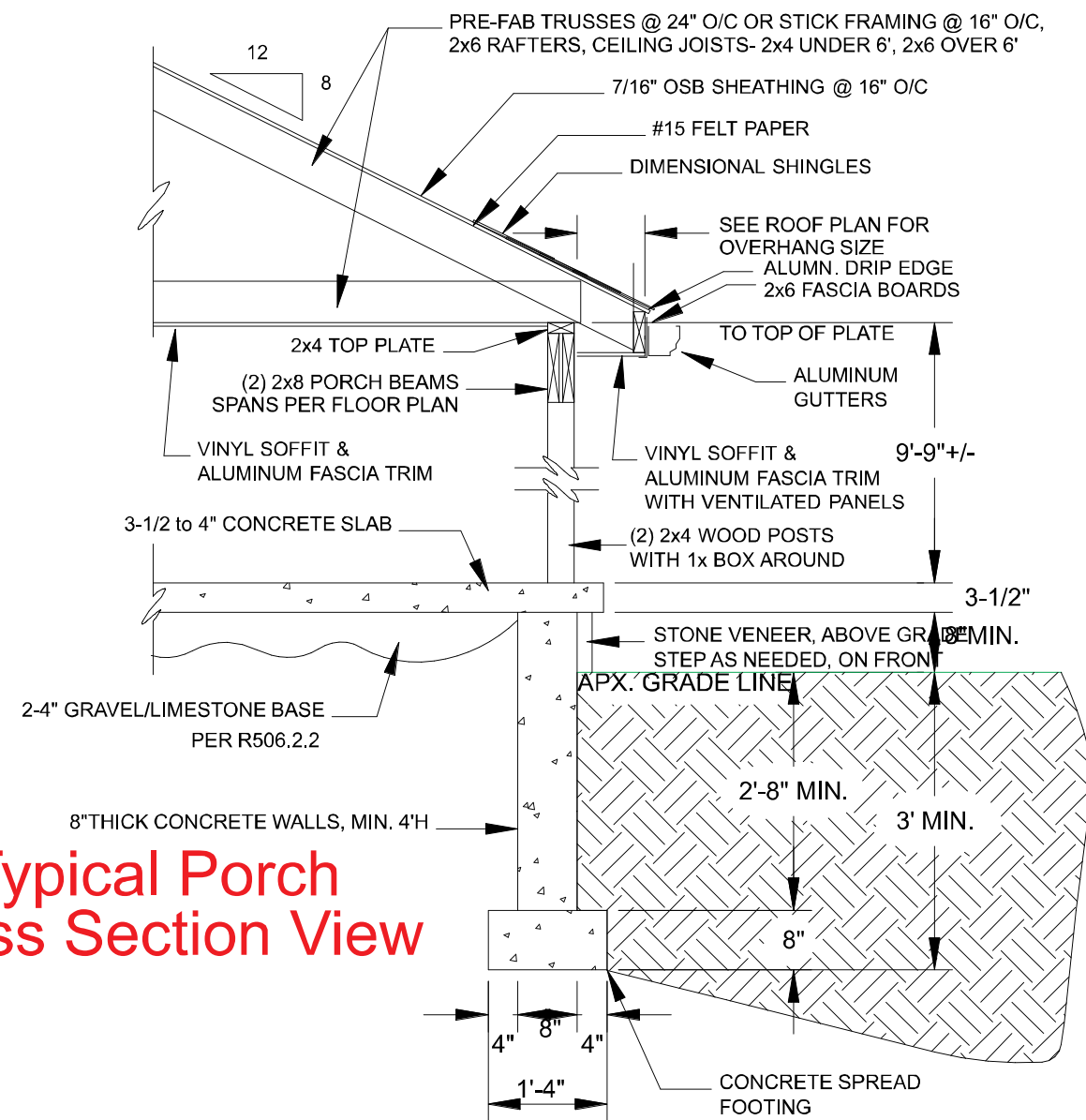
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17-S00A-25



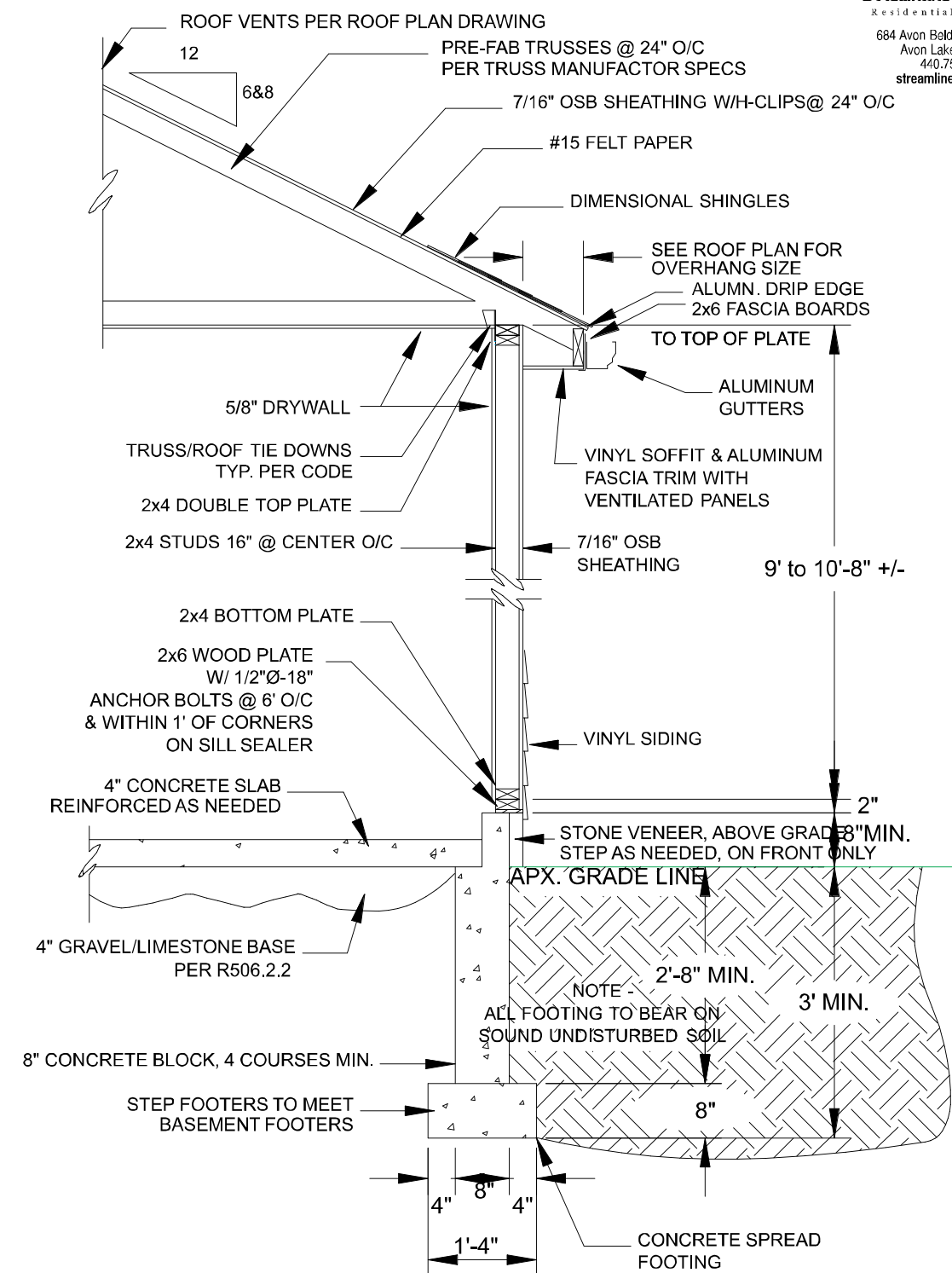
Main House Wall Cross Section View

Typical Porch Cross Section View



Typical Window Section View

(Scale 1" = 1')



Garage Wall Cross Section View

CONSTRUCTION NOTES (2013)

- 1) ALL ROOF PITCHES TO BE AN 8/12 SIDE TO SIDE & A 6/12 FRONT TO BACK, UNLESS NOTED, INCLUDING GARAGES, PORCHES & CANTILEVERS
- 2) ALL PARALLEL WALLS TO HAVE DOUBLE JOISTS AND CROSS BLOCKING UNDER THEM
- 3) GARAGE WALLS, BETWEEN GARAGE & HOUSE, AND GARAGE CEILING TO HAVE 5/8" FIRECODE DRYWALL

TABLE R404.1.2(3) OF THE 2013 ROC

- 5) ALL HEADERS TO BE A MIN. OF (2) 2x10'S WITH 7/16" OSB CENTER, OR LARGER AS INDICATED ON FLOOR PLANS
- 6) ALL ROOF STICK FRAMING & OVERBUILDS TO BE A MIN. OF 2x6 FOR SPANS UNDER 14', A MIN. OF 2x8 FOR SPANS 14' TO 18' AND INCLUDE 2x8 SHOE PLATES, 2x8 RIDGE BOARDS AND 2x4 COLLAR TIES
- 7) TRUSS ANCHORS TO BE INSTALLED PER SECTION R802.10.5 OF THE 2013 ROC.
- 8) ALL DEAD AND LIVE LOADS TO BE PER THE LIVE LOADS TO BE PER TABLE R301.5
- 9) THE MAIN DOOR BETWEEN THE HOUSE AND GARAGE IS TO COMPLY WITH SECTION R302.6 OF THE 2013 ROC.

sheets area formatted for 17x22