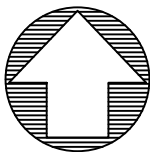
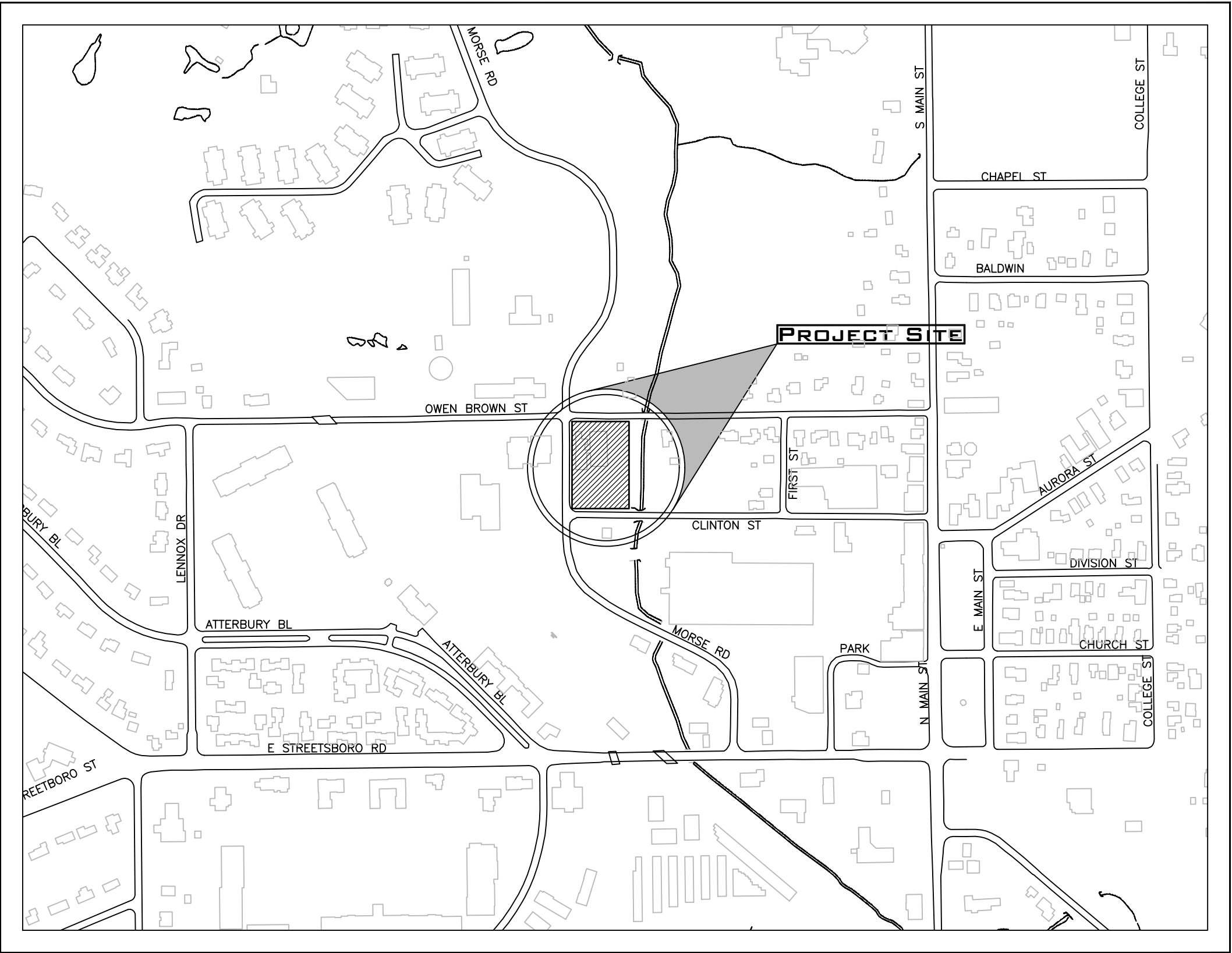


PRELIMINARY IMPROVEMENT PLANS FOR HUDSON VILLAGE TOWNHOMES

THE CITY OF HUDSON, COUNTY OF
SUMMIT AND STATE OF OHIO

INDEX TO DRAWINGS

TITLE PAGE	C1.01
EXISTING CONDITIONS	C2.01
SITE DEMOLITION PLAN	C2.02
SITE PLAN	C3.01
ENVIRONMENTAL INVENTORY / GREEN SPACE PLAN	C3.02
UTILITY PLAN	C4.01
GRADING PLAN	C5.01



VICINITY MAP
SCALE: 1" = 400'

DAVID PIETRANTONE P.E. #61756

DATE

PREPARED FOR:

HUDSON VILLAGE TOWNHOMES, LLC
200 PARK AVENUE - SUITE 220
ORANGE OHIO 44122
PHONE 440-840-3741

Preliminary
Not for Construction

RIVERSTONE
LAND SURVEYING - ENGINEERING - DESIGN
3800 LAKESIDE AVENUE - SUITE 100
CLEVELAND, OHIO 44114
PHONE: (216) 491-9640
WWW.RIVERSTONESURVEY.COM

2025-169

PLAN REVISIONS:
8-21-2025
CITY COMMENTS

PAGE REVISIONS:

ISSUED FOR:
PLANNING COMMISSION
8-11-2025
NOT FOR CONSTRUCTION

HUDSON VILLAGE TOWNHOMES
CLINTON ST, MORSE RD, & OWEN
BROWN ST, HUDSON, OH 44236
TITLE PAGE

Ohio Utilities Protection Service
Call 811
before you dig

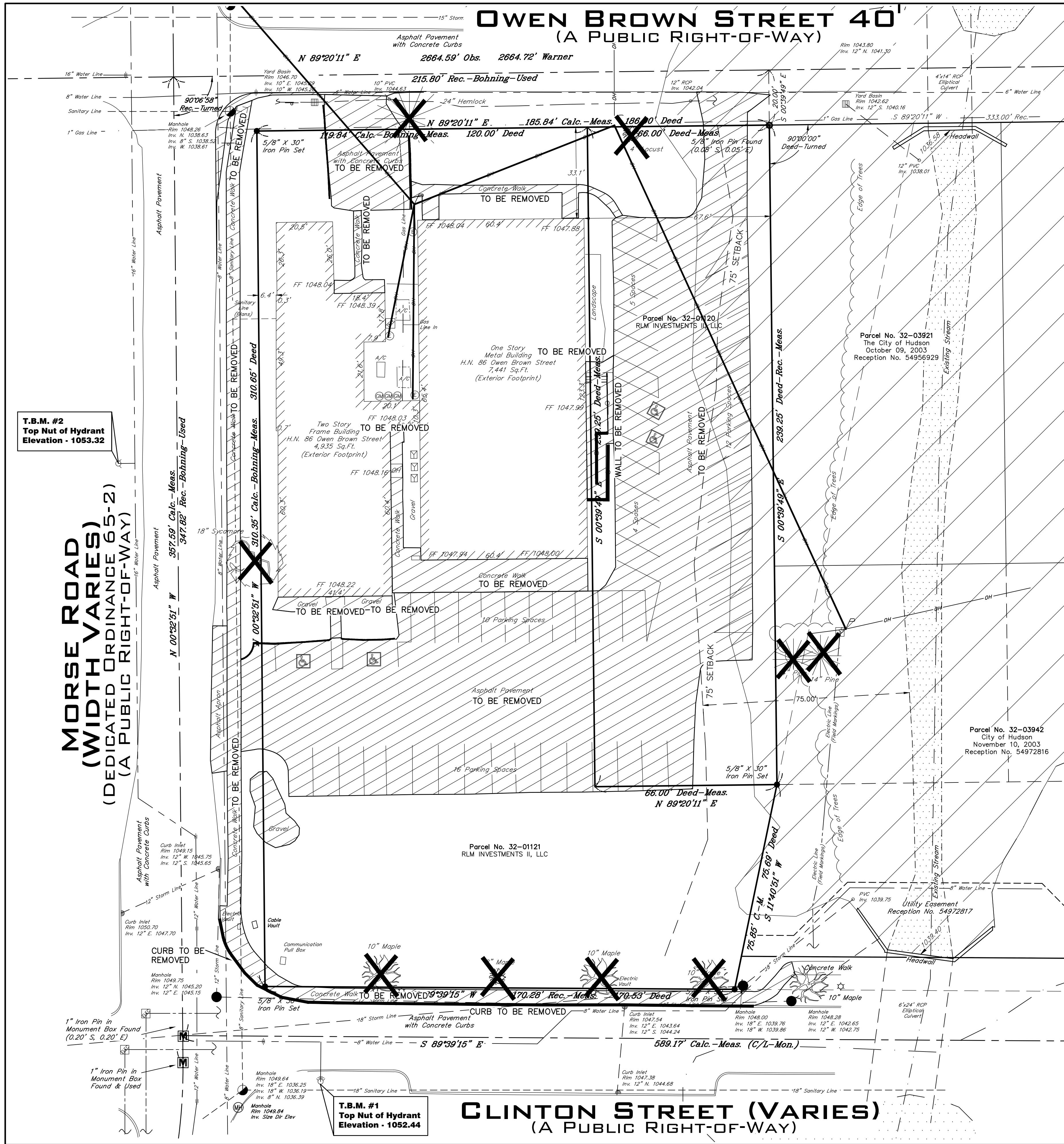
OGPUPS
Ohio Oil & Gas Producers Underground Protection Service
CAB 01/01/17-2024 or 01/1

C1.01



MORSE ROAD
(WIDTH VARIES)
(DEDICATED ORDINANCE 65-2)
(A PUBLIC RIGHT-OF-WAY)

T.B.M. #2
Top Nut of Hydrant
Elevation - 1053.32



T.B.M. #1
Top Nut of Hydrant
Elevation - 1052.44

CLINTON STREET (VARIES)
(A PUBLIC RIGHT-OF-WAY)

GENERAL SITE DEMOLITION NOTES:

CONTRACTOR SHALL COMPLETELY CLEAR SITE. REMOVAL SHALL INCLUDE BUT NOT LIMITED TO ALL PAVEMENTS, SIDEWALKS, CURBS, BUILDINGS, BASEMENTS, FOOTERS, FOUNDATIONS, PORCHES, STEPS, POLES, UTILITIES, BOLLARDS, WALLS, FENCES, TREES, LANDSCAPING AND ALL APPURTENANCES WITHIN THE SITE.

CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL PERMITS NECESSARY FOR SITE DEMOLITION AND SHALL BE RESPONSIBLE FOR ALL FEES.

CONTRACTOR SHALL CALL THE OHIO UTILITIES PROTECTION SERVICE (OUPS) A MINIMUM OF 48 HOURS BEFORE ANY DEMOLITION WORK.

CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL UTILITY DEMOLITION WORK WITH THE APPROPRIATE UTILITIES PRIOR TO DEMOLITION. ALL UTILITY CONNECTIONS SHALL BE REMOVED ACCORDING TO UTILITY COMPANY REQUIREMENTS.

SANITARY AND WATER CONNECTIONS TO REMAIN FOR REUSE SHALL BE LOCATED, INSPECTED AND MARKED IN THE FIELD. CONTRACTOR SHALL NOTIFY ENGINEER OF EXACT LOCATIONS AND ELEVATIONS. ALL OTHER CONNECTIONS NOT PROPOSED TO BE REUSED SHALL BE PLUGGED AND ABANDON PER UTILITY REQUIREMENTS.

SITE DEMOLITION LEGEND:



PAVEMENT (CONCRETE, ASPHALT OR GRAVEL) TO BE REMOVED - SAWCUT ALL PAVEMENTS & SIDEWALKS AT NEAREST CONTROL JOINT WHERE EXISTING PAVEMENT & SIDEWALKS SHALL REMAIN.

SITE DEMOLITION PLAN KEYNOTES:

- SAWCUT AND REMOVE CURB. CONTRACTOR SHALL SAWCUT AND REMOVE CURB PROVIDING A CLEAN SMOOTH EDGE AND ENSURE THE INTEGRITY OF THE PAVEMENT TO REMAIN.
- OVERHEAD LINES TO BE REMOVED OR RELOCATED. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION.
- UTILITY POLE TO BE REMOVED OR RELOCATED. CONTRACTOR SHALL COORDINATE REMOVAL OF POLE WITH UTILITY COMPANY PRIOR TO CONSTRUCTION.
- DURING DEMOLITION, THE CONTRACTOR SHALL LOCATE, EXPOSE, MARK, AND INSPECT EXISTING SANITARY AND WATER CONNECTIONS FOR REUSE. CONTRACTOR SHALL TELETYPE SEWER CONNECTION AND NOTIFY ENGINEER OF LOCATION, CONDITION, AND INVERT ELEVATIONS PRIOR TO CONSTRUCTION. CONTRACTOR TO COORDINATE REUSE WITH UTILITY COMPANIES PRIOR TO CONSTRUCTION.
- GAS CONNECTION TO BE PLUGGED AT MAIN AND REMOVED. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES PRIOR TO CONSTRUCTION.
- ASPHALT PAVEMENT TO BE REMOVED. CONTRACTOR SHALL SAWCUT AND REMOVE ASPHALT PAVEMENT. CONTRACTOR SHALL PROVIDE A CLEAN SMOOTH EDGE OF PAVEMENT AND ENSURE THE INTEGRITY OF THE PAVEMENT TO REMAIN.
- SIDEWALK TO BE REMOVED. SAWCUT AT THE NEAREST JOINT AND PROVIDE SMOOTH CLEAN EDGE AND ENSURE INTEGRITY OF PAVEMENT TO REMAIN.
- EXISTING ELECTRIC BOX TO BE REMOVED. COORDINATE WITH THE UTILITY COMPANIES PRIOR TO CONSTRUCTION.

LEGEND

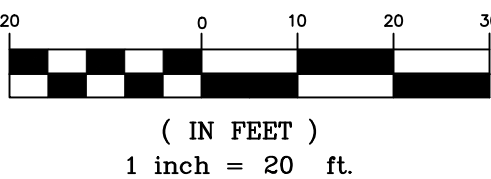
= Monument Box Found	= Iron Pin or Pipe Found	= Spot Elevation Tag
= 5/8" Iron Pin Set and Capped Riverstone Company PS 8740	= Hydrant	= Water Service Valve
= P.K. Nail	= Water Valve	= Water Meter
= Gas Meter	= Reducer	= Storm Manhole
= Utility Pole	= Sanitary Manhole	= Curb Inlet
= Light Pole	= Catch Basin	= Property Line
= Guy Anchor & Line	= Centerline	
= Telephone Box		
= Electric Box		
= Cable Box		
= Bollard		
= Cleanout / Test Tee		

Ex. Parcel line	Original Sublot Line	Original Lot Line	Centerline	Property Line	Right-of-way Line	Easement Line	Railroad Tracks
Existing	PROPOSED						

Electric Line	Gas Line	Sanitary/Combination Sewer	Storm Sewer	Waterline	Fence Line (Wooden)	Fence Line (Chain-Link)	Guardrail
Existing	PROPOSED						

Ac.	Acre	L.C.A.	Limited Common Area
Adj.	Adjacent	LF	Lineal Feet
A.F.N.	Auditor's File Number	M.E.	Match Existing
Asp.	Asphalt	Meas./M.	Measured
B.F.	Basement Floor	MH	Manhole
B.W.	Bottom of Wall	Obs.	Observed
Calc./C.	Calculated	Pg.	Page
CB	Catch Basin	P.P.N.	Permanent Parcel
C.C.M.R	Cuyahoga County Map	Number	Number
Records	Prop	Proposed	Proposed
C.L.F.	Chain-link Fence	Rec./R.	Record
Clr.	Clears	R/W	Right-of-way
C.O.	Clean Out	San.	Sanitary
Comb.	Combination	S.F.	Square Feet
Conc.	Concrete	S/L	Sublot
Conn.	Connection	Stm.	Storm
D.H.	Drill Hole	T.B.M.	Temporary Bench Mark
D.I.W.M.	Ductile Iron Water	TBR	To Be Removed
	Main	T/C	Top of Curb
		Tele	Telephone
		T.F.	Top Of Footer
		T.T.	Test Tee
		TW	Top of Wall
		Typ.	Typical
		Vol.	Volume
		Wat	Water

GRAPHIC SCALE



Preliminary
Not for Construction

RIVERSTONE
LAND SURVEYING - ENGINEERING - DESIGN
3800 LAKEVIEW AVENUE, SUITE 100
CLEVELAND, OHIO 44114
PHONE: (216) 491-9640
WWW.RIVERSTONEDESIGN.COM

2025-169

PLAN REVISIONS:
8-21-2025
CITY COMMENTS

PAGE REVISIONS:

ISSUED FOR:
PLANNING COMMISSION
8-11-2025
NOT FOR CONSTRUCTION

HUDSON VILLAGE TOWNHOMES
CLINTON ST, MORSE RD, & OWEN
BROWN ST, HUDSON, OH 44236
SITE DEMOLITION PLAN

Ohio Utilities Protection Service
Call 811
before you dig

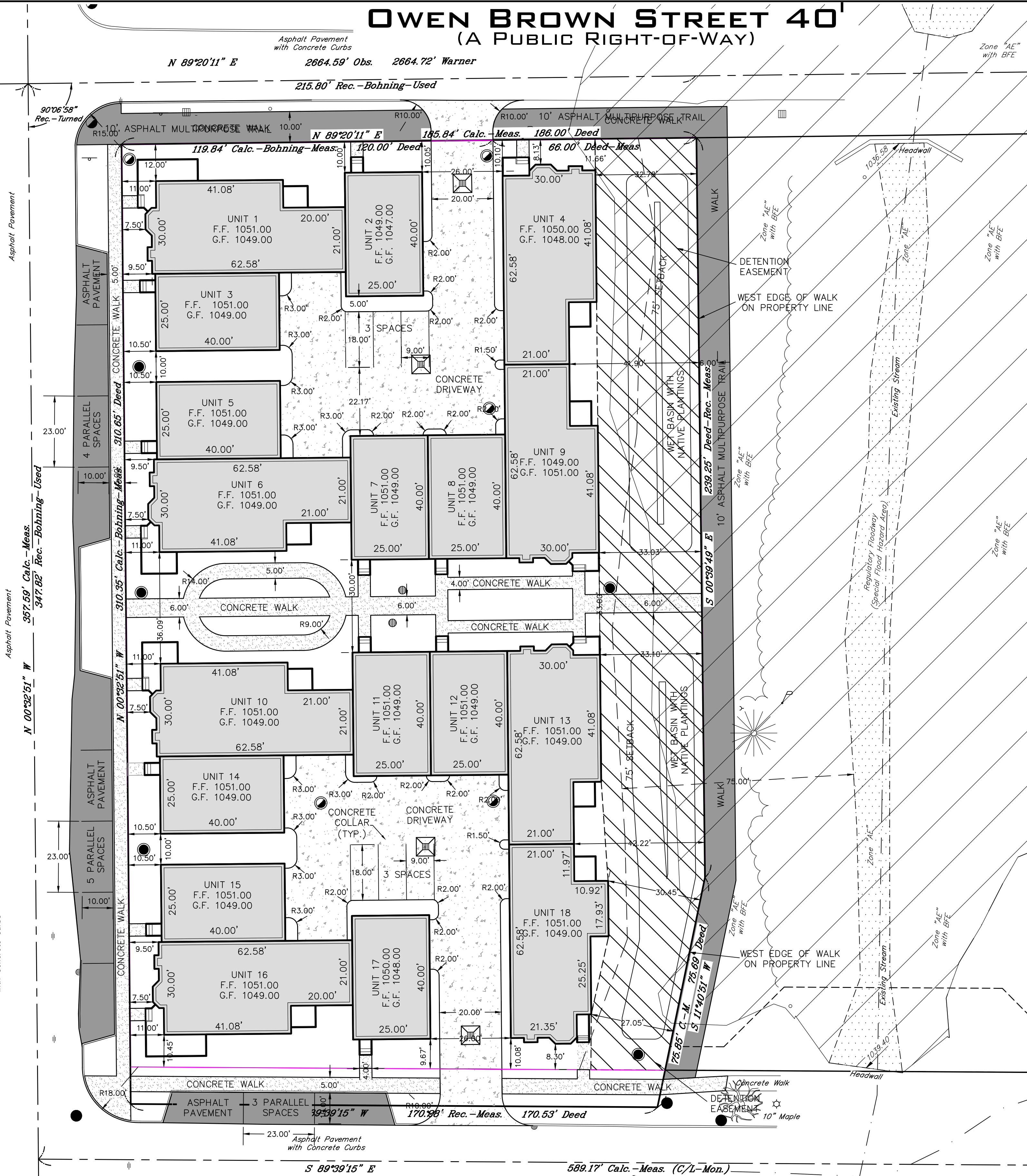
OUPUPS
Ohio Oil & Gas Producers Underground Protection Service
C&B 811 (717) 568-8311

C2.02

MORSE ROAD
(WIDTH VARIES)
(DEDICATED ORDINANCE 65-2)
(A PUBLIC RIGHT-OF-WAY)

OWEN BROWN STREET 40'
(A PUBLIC RIGHT-OF-WAY)

CLINTON STREET (VARIES)
(A PUBLIC RIGHT-OF-WAY)



SITE PLAN KEYNOTES:

- 1 END CURB PER END CURB TAPER DETAIL.
- 2 DETECTABLE WARNINGS, TRUNCATED DOMES.
- 3 SEAL JOINT BETWEEN EXISTING PAVEMENT AND PROPOSED ASPHALT PAVEMENT PER ODOT ITEM 705.04.

PAVEMENT LEGEND:

- ASPHALT PAVEMENT
- REINFORCED CONCRETE PAVEMENT
- CONCRETE WALKS

FLOOD ZONE LEGEND

- ZONE "AE" WITH BASE FLOOD ELEVATION
BFE 1046.00
(1% ANNUAL CHANCE FLOOD HAZARD)

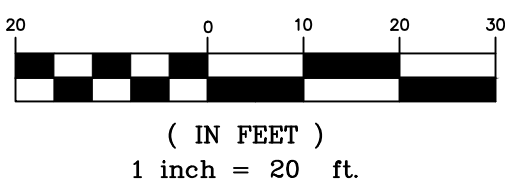
LEGEND

= Monument Box Found	= Spot Elevation Tag
= Iron Pin or Pipe Found	= Hydrant
= 5/8" Iron Pin Set and Capped Riverstone Company PS 8740	= Water Service Valve
= P.K. Nail	= Water Valve
= Gas Meter	= Water Meter
= Gas Valve	= Reducer
= Utility Pole	= Storm Manhole
= Light Pole	= Sanitary Manhole
= Guy Anchor & Line	= Curb Inlet
= Telephone Box	= Catch Basin
= Electric Box	= Property Line
= Cable Box	= Centerline
= Bollard	
= Cleanout / Test Tee	

Ex. Parcel line	Original Sublot Line	Original Lot Line	Centerline	Property Line	Right-of-way Line	Easement Line	Railroad Tracks
Electric Line	Gas Line	Sanitary/Combination Sewer	Storm Sewer	Waterline	Fence Line (Wooden)	Fence Line (Chain-Link)	Guardrail

Ac.	Acre	L.C.A.	Limited Common Area
Adj.	Adjacent	LF	Lineal Feet
A.F.N.	Auditor's File Number	M.E.	Match Existing
Asp.	Asphalt	Meas./M.	Measured
B.F.	Basement Floor	MH	Manhole
BW	Bottom of Wall	Obs.	Observed
Calc./C.	Calculated	Pg.	Page
CB	Catch Basin	P.P.N.	Permanent Parcel Number
C.C.M.R	Cuyahoga County Map Records	Prop	Proposed
C.L.F.	Chain-link Fence	Rec./R.	Record
Clr.	Cleare	R/W	Right-of-way
C.O.	Clean Out	San.	Sanitary
Comb.	Combination	S.F.	Square Feet
Conc.	Concrete	S/L	Sublot
Conn.	Connection	Stm.	Storm
D.H.	Drill Hole	T.B.M.	Temporary Bench Mark
D.I.W.M.	Ductile Iron Water	TBR	To Be Removed
Elev	Elevation	T/C	Top of Curb
Encr.	Encroaches	Tele	Telephone
Ex.	Existing	T.F.	Top Of Footer
F.F.	Finished Floor	T.T.	Test Tee
GUT	Gutter	TW	Top of Wall
Inv	Invert	Typ.	Typical
		Vol.	Volume
		Wat	Water

GRAPHIC SCALE



Preliminary
Not for Construction

RIVERSTONE
LAND SURVEYING - ENGINEERING - DESIGN
3800 LAKESIDE AVENUE, SUITE 100
CLEVELAND, OHIO 44114
PHONE: (216) 491-9640
WWW.RIVERSTONEDESIGN.COM

2025-169

PLAN REVISIONS:
8-21-2025
CITY COMMENTS

PAGE REVISIONS:

ISSUED FOR:
PLANNING COMMISSION
8-11-2025
NOT FOR CONSTRUCTION

HUDSON VILLAGE TOWNHOMES
CLINTON ST, MORSE RD, & OWEN
BROWN ST, HUDSON, OH 44236
SITE PLAN

Ohio Utilities Protection Service
Call 811
before you dig

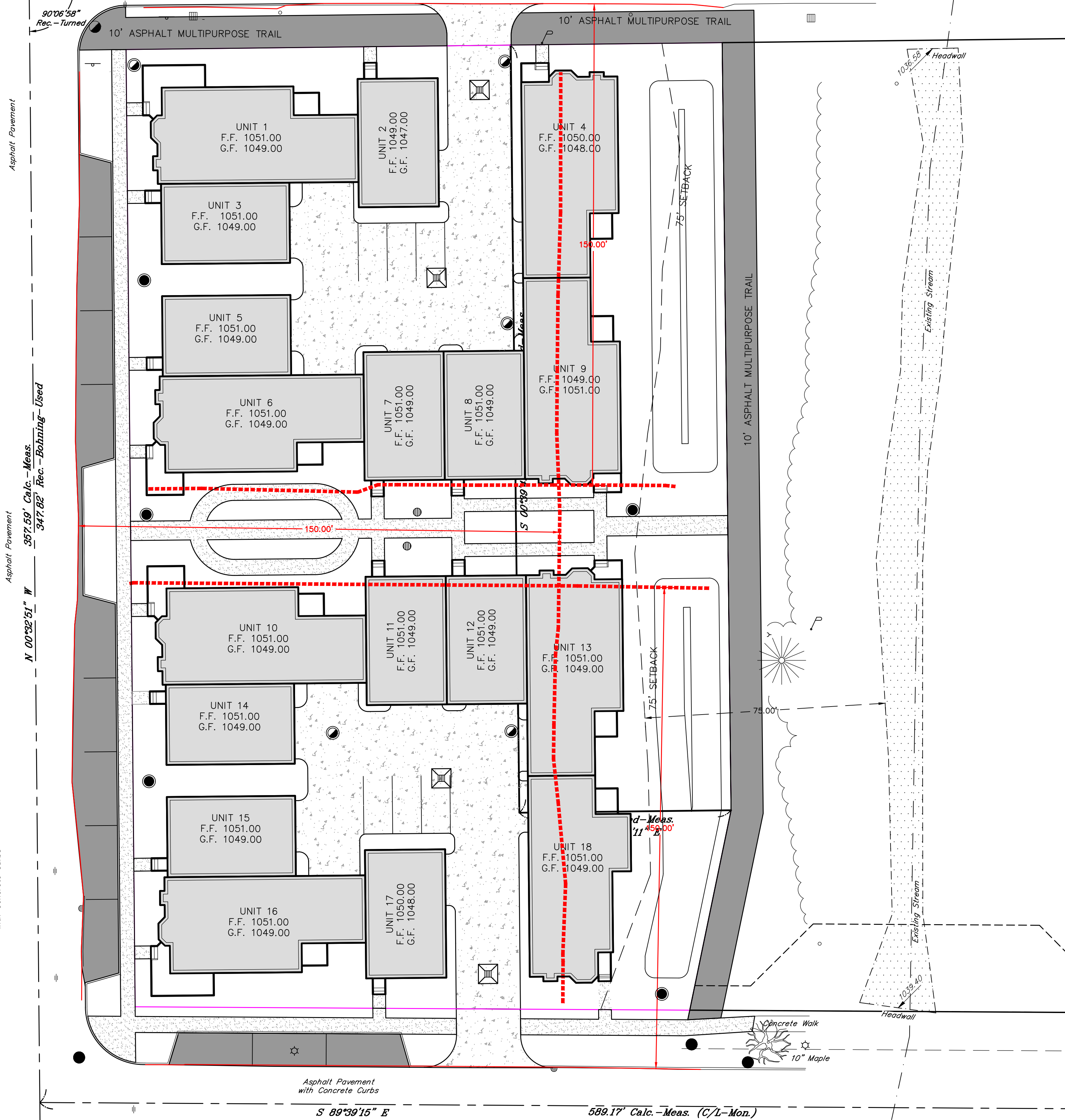
OGPUPS
Ohio Oil & Gas Producers Underground Protection Service
CER 0161715-2004 or 011

C3.01

MORSE ROAD
(WIDTH VARIES)
(DEDICATED ORDINANCE 65-2)
(A PUBLIC RIGHT-OF-WAY)

OWEN BROWN STREET 40'
(A PUBLIC RIGHT-OF-WAY)

CLINTON STREET (VARIES)
(A PUBLIC RIGHT-OF-WAY)



T.B.M. #2
Top Nut of Hydrant
Elevation - 1053.32

T.B.M. #1
Top Nut of Hydrant
Elevation - 1052.44

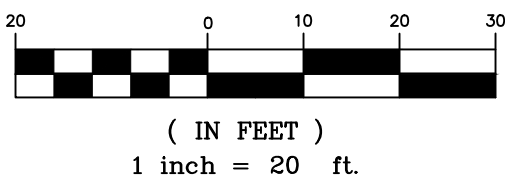
LEGEND

[M] = Monument Box Found	[Spot Elevation Tag] = Spot Elevation Tag
[O] = Iron Pin or Pipe Found	[Hydrant] = Hydrant
[5/8" Iron Pin Set and Capped Riverstone Company PS 8740] = 5/8" Iron Pin Set and Capped Riverstone Company PS 8740	[Water Service Valve] = Water Service Valve
[P.K. Nail] = P.K. Nail	[Water Valve] = Water Valve
[Gas Meter] = Gas Meter	[Water Meter] = Water Meter
[Gas Valve] = Gas Valve	[Reducer] = Reducer
[Utility Pole] = Utility Pole	[Storm Manhole] = Storm Manhole
[Light Pole] = Light Pole	[Sanitary Manhole] = Sanitary Manhole
[Guy Anchor & Line] = Guy Anchor & Line	[Curb Inlet] = Curb Inlet
[Telephone Box] = Telephone Box	[Catch Basin] = Catch Basin
[Electric Box] = Electric Box	[Property Line] = Property Line
[Cable Box] = Cable Box	[Centerline] = Centerline
[Bollard] = Bollard	
[Cleanout / Test Tee] = Cleanout / Test Tee	

Ex. Parcel line	Original Sublot Line	Original Lot Line	Centerline	Property Line	Right-of-way Line	Easement Line	Railroad Tracks
Electric Line	Gas Line	Sanitary/Combination Sewer	Storm Sewer	Waterline	Fence Line (Wooden)	Fence Line (Chain-Link)	Guardrail

Ac.	Acre	L.C.A.	Limited Common Area
Adj.	Adjacent	L.F.	Lineal Feet
A.F.N.	Auditor's File Number	M.E.	Match Existing
Asp.	Asphalt	Meas./M.	Measured
B.F.	Basement Floor	MH	Manhole
B.W.	Bottom of Wall	Obs.	Observed
Calc./C.	Calculated	Pg.	Page
CB	Catch Basin	P.P.N.	Permanent Parcel Number
C.C.M.R.	Cuyahoga County Map	Prop.	Proposed
C.L.F.	Chain-link Fence	Rec./R.	Record
Clr.	Clears	R/W	Right-of-way
C.O.	Clean Out	San.	Sanitary
Comb.	Combination	S.F.	Square Feet
Conc.	Concrete	S/L	Sublot
Conn.	Connection	Stm.	Storm
D.H.	Drill Hole	T.B.M.	Temporary Bench Mark
D.I.W.M.	Ductile Iron Water	TBR	To Be Removed
Elev	Elevation	T/C	Top of Curb
Encr.	Encroaches	Tele	Telephone
Ex.	Existing	T.F.	Top Of Footer
F.F.	Finished Floor	T.T.	Test Tee
GUT	Gutter	TW	Top of Wall
Inv	Invert	Typ.	Typical
		Vol.	Volume
		Wat	Water

GRAPHIC SCALE



Preliminary
Not for Construction

RIVERSTONE
LAND SURVEYING · ENGINEERING · DESIGN
3800 LAKESIDE AVENUE · SUITE 100
CLEVELAND, OHIO 44114
PHONE: (216) 491-9640
WWW.RIVERSTONESURVEY.COM

2025-169

PLAN REVISIONS:
8-21-2025
CITY COMMENTS

PAGE REVISIONS:

ISSUED FOR:
PLANNING COMMISSION
8-11-2025
NOT FOR CONSTRUCTION

HUDSON VILLAGE TOWNHOMES

CLINTON ST, MORSE RD, & OWEN
BROWN ST, HUDSON, OH 44236

SCHEMATIC FIRE
ACCESS PLAN

Ohio Utilities Protection Service
Call 811
before you dig

OGPUPS
Ohio Oil & Gas Producers Underground Protection Service
CAB 610/171-2586 or 811

C3.02

**MORSE ROAD
(WIDTH VARIES)
(DEDICATED ORDINANCE 65-2)
(A PUBLIC RIGHT-OF-WAY)**

T.B.M. #1
Top Nut of Hydrant
Elevation - 1052.44

Preliminary
Not for Construction

RIVERSTONE
LAND SURVEYING - ENGINEERING - DESIGN
3800 LAKESIDE AVENUE - SUITE 100
CLEVELAND - OHIO - 44114
PHONE: (216) 491-2000 FAX: (216) 491-9640
WWW.RIVERSTONESURVEY.COM

PLAN REVISIONS:
8-21-2025
CITY COMMENTS

PAGE REVISIONS:

ISSUED FOR:
PLANNING COMMISSION
8-11-2025
NOT FOR CONSTRUCTION

HUDSON VILLAGE TOWNHOMES

CLINTON ST, MORSE RD, & OWEN
BROWN ST. HUDSON. OH 44236

ENVIRONMENTAL INVENTORY /
GREEN SPACE PLAN

Ohio Utilities Protection Service
Call 811
before you dig

OGPUPS
Oil & Gas Producers Underground Protection Service

23.03

GREEN SPACE LEGEND:

GREEN SPACE ON PROPERTY

GREEN SPACE WITHIN THE R/W

EXISTING STREAM

PROPOSED WET DETENTION BASIN

DETENTION BASIN EASEMENT AREA

ZONE "AE" WITH BASE
FLOOD ELEVATION
BFE 1046.00
(1% ANNUAL CHANCE
FLOOD HAZARD)

INDEX OF ECOLOGICAL INTEGRITY

	PRE-DEVELOPMENT	POST DEVELOPMENT
PARCEL AREA	1.3195 ACRES	1.2723 ACRES
PROJECT LIMITS	1.478 ACRES	
IMPERVIOUS AREA	0.802 ACRES	0.8230 ACRES
OPEN SPACE	0.518 ACRES	0.4493 ACRES
% IMPERVIOUS	60.8%	64.7%

POST DEVELOPMENT AREA BREAKDOWN:

BUILDING/PORCH 0.5763 ACRES

WALKS 0.0490 ACRES

PAVEMENT 0.1977 ACRES

DETENTION AREA 0.1060 ACRES

GREEN SPACE 0.3433 ACRES

THE NATIONAL RESOURCE CONSERVATION SERVICE WEB SOIL SURVEY OF SUMMIT COUNTY IDENTIFIES THE SOILS ON SITE AS MAHONING SILT LOAM (MgA) WHICH ARE CLASSIFIED AS A HYDROLOGICAL GROUP D SOILS, MAHONING URBAN LAND (Mn) WHICH ARE CLASSIFIED AS A HYDROLOGICAL GROUP D SOILS, ORRVILLE SILT LOAM (MgA) WHICH ARE CLASSIFIED AS A HYDROLOGICAL GROUP B/D SOILS.

EXISTING TREES ON SITE 6" AND LARGER

#	TYPE	SIZE	COMMENTS
①	LOCUST	4"	OUTSIDE R/W, TO BE REMOVED, TREE GROWING AROUND POWER LINES
②	PINE	24"	WITHIN R/W, TO BE REMOVED FOR ASPHALT MULTIPURPOSE TRAIL
③	SYCAMORE	18"	WITHIN R/W, TO BE REMOVED FOR NEW CITY SIDEWALK
④	MAPLE	10"	OUTSIDE R/W, TO BE REMOVED FOR NEW CITY SIDEWALK
⑤	MAPLE	2"	OUTSIDE R/W, TO BE REMOVED FOR NEW CITY SIDEWALK
⑥	MAPLE	10"	OUTSIDE R/W, TO BE REMOVED FOR NEW CITY SIDEWALK
⑦	MAPLE	10"	OUTSIDE R/W, TO BE REMOVED FOR NEW CITY SIDEWALK
⑧	MAPLE	10"	WITHIN R/W, TO REMAIN
⑨	PINE	14"	ON HUDSON PROPERTY, TO BE REMOVED FOR ASPHALT MULTIPURPOSE TRAIL
⑩	PINE	14"	ON HUDSON PROPERTY, TO REMAIN

SITE IS LOCATED IN THE DEVELOPED AREA
(NO COLOR) ON THE INDEX OF ECOLOGICAL
INTEGRITY (IEI) MAP.

GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft

MORSE ROAD
(WIDTH VARIES)
(DEDICATED ORDINANCE 65-2)
(A PUBLIC RIGHT-OF-WAY)

T.B.M. #2
Top Nut of Hydrant
Elevation - 1053.32

OWEN BROWN STREET 40'
(A PUBLIC RIGHT-OF-WAY)

UTILITY PLAN KEYNOTES:

- 1 1" WATER CONNECTION PER CITY OF HUDSON STANDARDS.
2 6" SANITARY SEWER CONNECTION.

Preliminary
Not for Construction

RIVERSTONE
LAND SURVEYING - ENGINEERING - DESIGN
3800 LAKESIDE AVENUE, SUITE 100
CLEVELAND, OHIO 44114
PHONE: (216) 491-9640
WWW.RIVERSTONEDESIGN.COM

2025-169

PLAN REVISIONS:
8-21-2025
CITY COMMENTS

PAGE REVISIONS:

ISSUED FOR:
PLANNING COMMISSION
8-11-2025
NOT FOR CONSTRUCTION

HUDSON VILLAGE TOWNHOMES
CLINTON ST, MORSE RD, & OWEN
BROWN ST, HUDSON, OH 44236
UTILITY PLAN

Ohio Utilities Protection Service
Call 811
before you dig

OGPUPS
Ohio Oil & Gas Producers Underground Protection Service
C&B 811 (715) 586-6311

C4.01

LEGEND

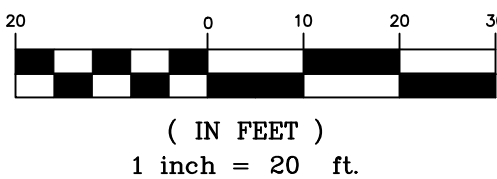
	Monument Box Found		Spot Elevation Tag
	Iron Pin or Pipe Found		Hydrant
	5/8" Iron Pin Set and Capped Riverstone Company PS 8740		Water Service Valve
	P.K. Nail		Water Valve
	Gas Meter		Water Meter
	Gas Valve		Reducer
	Utility Pole		Storm Manhole
	Light Pole		Sanitary Manhole
	Guy Anchor & Line		Curb Inlet
	Telephone Box		Catch Basin
	Electric Box		Property Line
	Cable Box		Centerline
	Bollard		
	Cleanout / Test Tee		

Ex. Parcel line	Original Sublot Line	Original Lot Line	Centerline	Property Line	Right-of-way Line	Easement Line	Railroad Tracks

Electric Line	Gas Line	Sanitary/Combination Sewer	Storm Sewer	Waterline	Fence Line (Wooden)	Fence Line (Chain-Link)	Guardrail

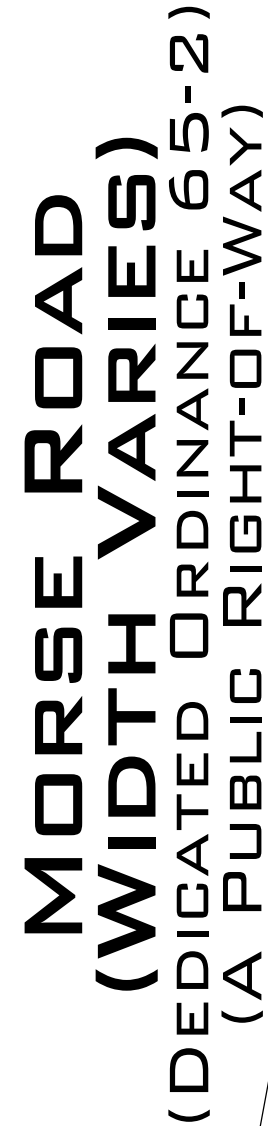
Ac.	Acre	L.C.A.	Limited Common Area
Adj.	Adjacent	LF	Lineal Feet
A.F.N.	Auditor's File Number	M.E.	Match Existing
Asp.	Asphalt	Meas./M.	Measured
B.F.	Basement Floor	MH	Manhole
B.W.	Bottom of Wall	Obs.	Observed
Calc./C.	Calculated	Pg.	Page
CB	Catch Basin	P.P.N.	Permanent Parcel Number
C.C.M.R	Cuyahoga County Map	Prop	Proposed
C.L.F.	Chain-link Fence	Record	Record
Clr.	Clears	R/W	Right-of-way
C.O.	Clean Out	San.	Sanitary
Comb.	Combination	S.F.	Square Feet
Conc.	Concrete	S/L	Sublot
Conn.	Connection	Strm.	Storm
D.H.	Drill Hole	T.B.M.	Temporary Bench Mark
D.I.W.M.	Ductile Iron Water	TBR	To Be Removed
Elec	Electric	T/C	Top of Curb
Elev	Elevation	Tele	Telephone
Encr.	Encroaches	T.F.	Top Of Footer
Ex.	Existing	T.T.	Test Tee
F.F.	Finished Floor	TW	Top of Wall
GUT	Gutter	Typ.	Typical
Inv	Invert	Vol.	Volume
		Wat	Water

GRAPHIC SCALE



CLINTON STREET (VARIES)
(A PUBLIC RIGHT-OF-WAY)

T.B.M. #1
Top Nut of Hydrant
Elevation - 1052.44



T.B.M. #2
Top Nut of Hydrant
Elevation - 1053.32

T.B.M. #1
Top Nut of Hydrant
Elevation - 1052.44

OWEN BROWN STREET 40'
(A PUBLIC RIGHT-OF-WAY)

CLINTON STREET (VARIES)
(A PUBLIC RIGHT-OF-WAY)

Preliminary
Not for Construction

RIVERSTONE

LAND SURVEYING - ENGINEERING - DESIGN
3800 LAKESIDE AVENUE - SUITE 100
CLEVELAND - OHIO - 44114
PHONE: (216) 491-2000 FAX: (216) 491-9644
WWW.RIVERSTONESURVEY.COM

2025-169

PLAN REVISIONS:
8-21-2025
CITY COMMENTS

PAGE REVISIONS:

ISSUED FOR:
PLANNING COMMISSION
8-11-2025
NOT FOR CONSTRUCTION

HUDSON VILLAGE TOWNHOMES
CLINTON ST, MORSE RD, & OWEN
BROWN ST, HUDSON, OH 44236

GRADING PLAN

Call 811 before you dig

DGPUPS 
Gas Producers Underground Protection Service
Call (614) 715-2984 or 811

C5.01

LEGEND

FLOOD ZONE LEGEND

ZONE "AE" WITH BASE FLOOD ELEVATION
BFE 1046.00
(1% ANNUAL CHANCE FLOOD HAZARD)

 = Monument Box Found  = Iron Pin or Pipe Found  = 5/8" Iron Pin Set and Capped Rivestone Company PS 8740  = P.K. Nail  = Gas Meter  = Gas Valve  = Utility Pole  = Light Pole  = Guy Anchor & Line  = Telephone Box  = Electric Box  = Cable Box  = Ballard  = Cleanout / Test Tee		 = Spot Elevation Tag  = Hydrant  = Water Service Valve  = Water Valve  = Water Meter  = Reduced Manhole  = Sanitary Manhole  = Curb Inlet  = Catch Basin  = Property Line  = Centerline	
Ex. Parcel line Original Sublot Line Original Lot Line Centerline Property Line Right-of-way Line Easement Line Railroad Tracks			
Electric Line Gas Line Sanitary/Combination Sewer Storm Sewer Waterline Fence Line (Wooden) Fence Line (Chain-Link) Guardrail		Existing PROPOSED	
Ac.	Acres	L.C.A.	Limited Common Area
Adj.	Adjacent	L.F.	Linear Feet
A.N.	Auditor's File Number	M.E.	Match Existing
Asp.	Asphalt	Meas./M.	Measured
B.F.	Basement Floor	MH	Manhole
BW	Bottom of Wall	Obs.	Observed
Calc./C.	Calculated	Pg.	Page
CB	Catch Basin	P.P.N.	Permanent Parcel
C.C.M.R	Cuyahoga County Map	Prop	Number
	Records	Prop	Proposed
C.L.F.	Chain-link Fence	Rec./R.	Record
Clr.	Clears	R/W	Right-of-way
C.O.	Clean Out	San.	Sanitary
Comb.	Combination	S.F.	Square Feet
Conc.	Concrete	S/L	Sublot
Conn.	Connection	Stm.	Storm
D.H.	Drill Hole	T.B.M.	Temporary Bench Mark
D.I.W.M.	Ductile Iron Water	TBR	To Be Removed
	Main	T/C	Top of Curb
Elec	Electric	T/E	Telephone
Elev	Elevation	T.F.	Top of Footer
Encr.	Encroaches	T.T.	Test Tee
Ex.	Existing	TW	Top of Wall
F.F.	Finished Floor	Typ.	Typical
GUT	Gutter	Vol.	Volume
Inv	Invert	Wat	Water

GRAPHIC SCALE

(IN FEET)

1 inch = 20 ft.