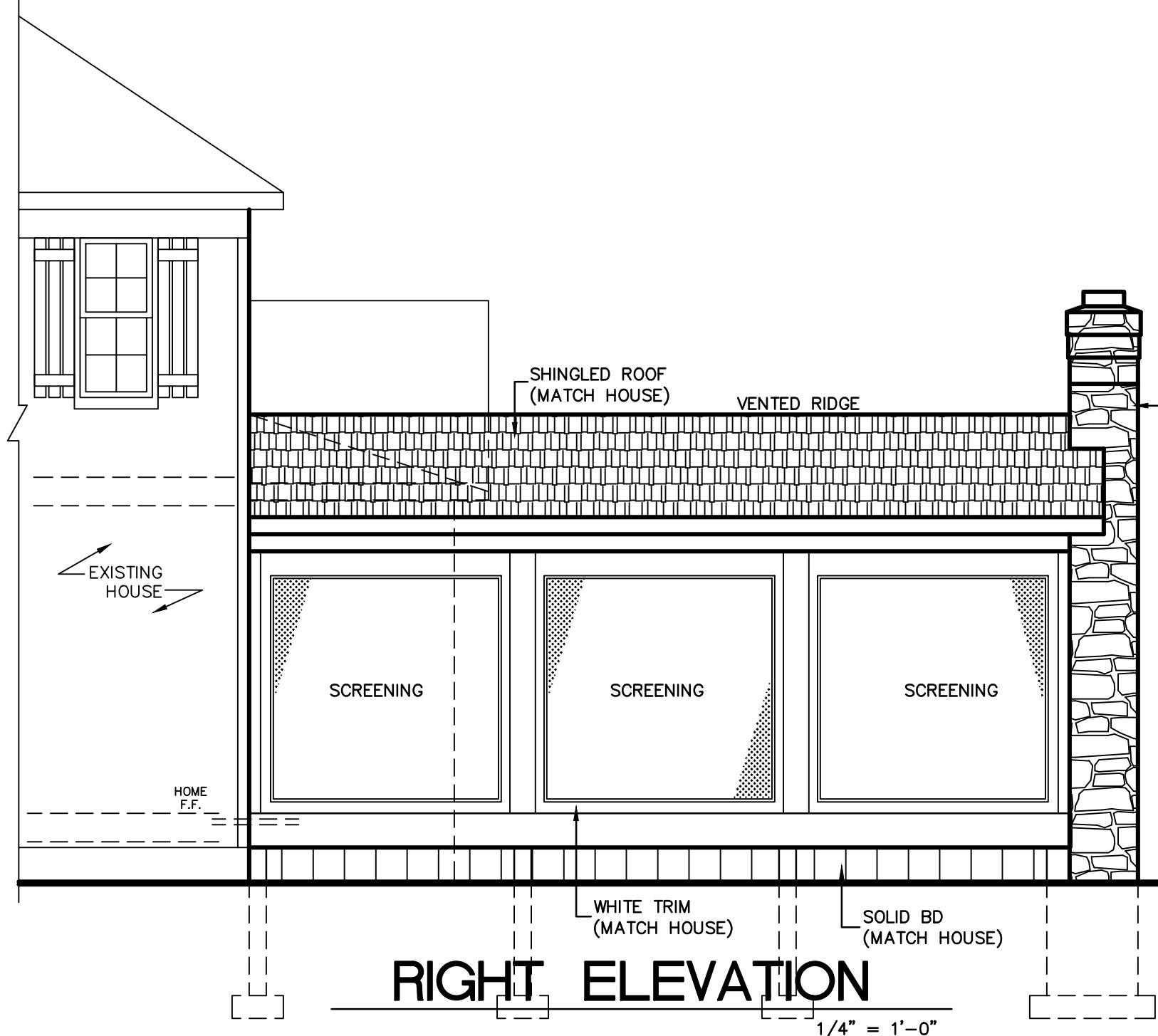
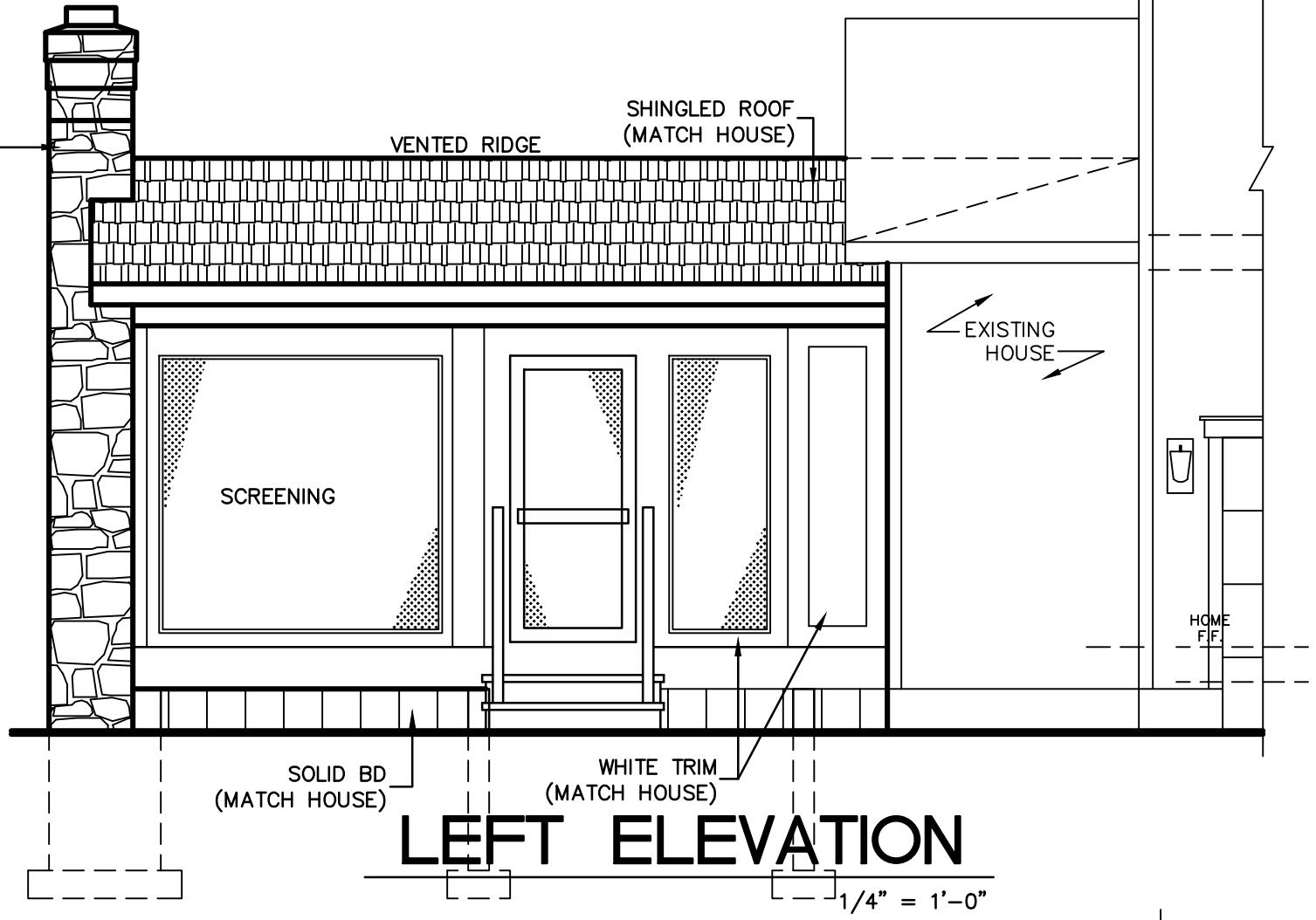


SITE PLAN



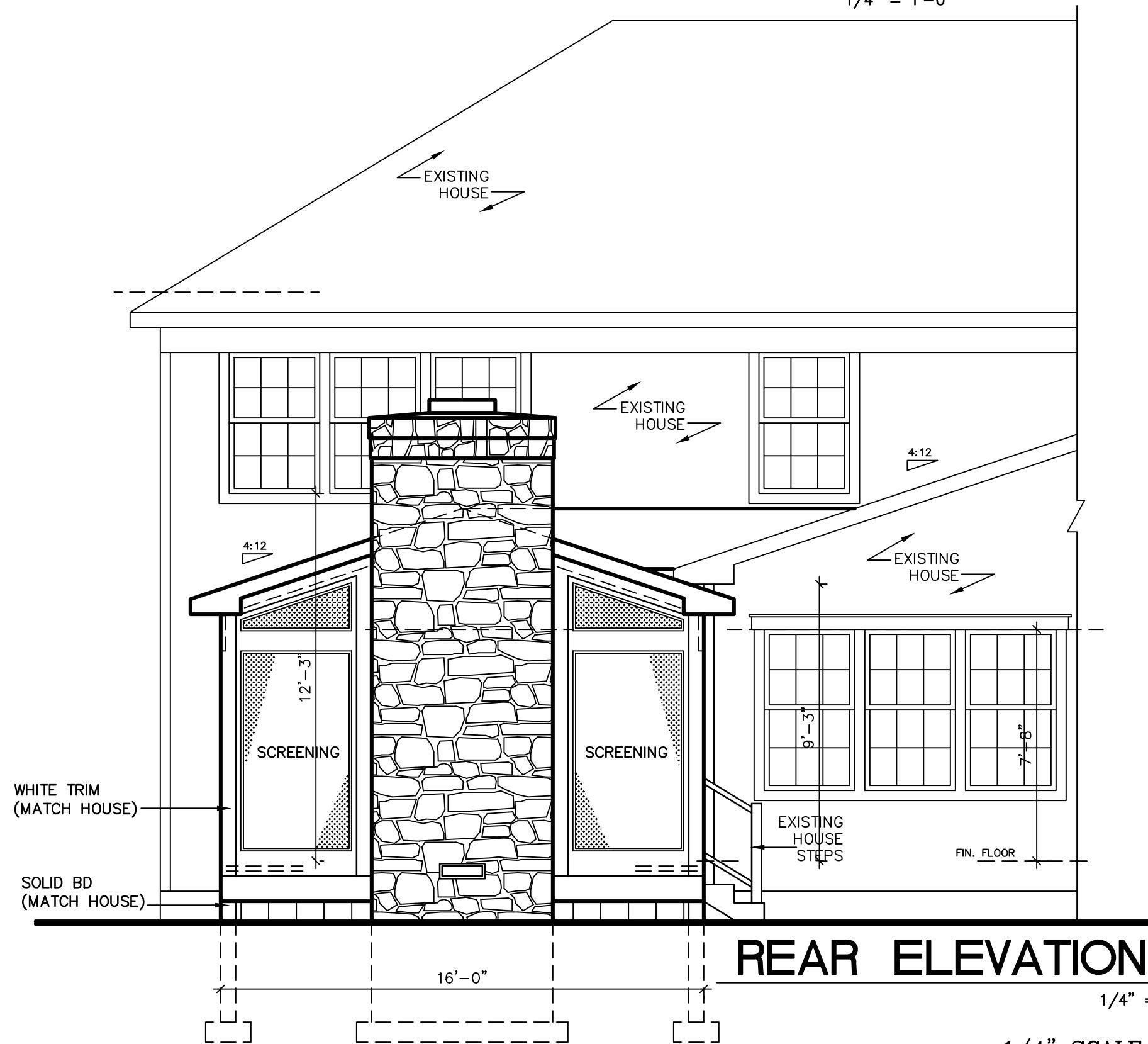
RIGHT ELEVATION



LEFT ELEVATION

NOTES :

1. ALL WORK TO BE CONSTRUCTED UNDER SUMMIT CO. , (CITY OF HUDSON) INSPECTION. BUILDING MATERIALS AND CONSTRUCTION TO MEET LOCAL CODES AND BASIC BUILDING CODE. ALL PROPER PERMITS MUST BE OBTAINED FOR ALL CONSTRUCTION WORK (WHICH HAS BEEN APPROVED BY PROPER DEPARTMENTS) PRIOR TO ANY CONSTRUCTION. ALL CONTRACTORS INCLUDING GENERAL, H.V.A.C., ELECTRICAL, PLUMBING AND FIRE SUPPRESSION MUST BE LICENSED TO DO WORK WITHIN THE GOVERNING MUNICIPALITY.
2. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO SHOW ALL WORK COMPLETE AND FUNCTIONING PROJECT, EVEN THOUGH EVERY ITEM INCIDENTAL TO THE WORK MAY NOT BE COMPLETELY DETAILED. IT IS ASSUMED THAT THE CONTRACTORS ARE SUFFICIENTLY SKILLED AND EXPERIENCED IN THEIR WORK TO ANTICIPATE THE NORMAL REQUIREMENTS OF A COMPLETE JOB. ALL SECTIONS, DETAILS, AND NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR SITUATIONS ELSEWHERE, UNLESS OTHERWISE SHOWN. WHERE METHODS OF INSTALLATION ARE NOT COMPLETELY COVERED ON THE DRAWINGS OR SPECIFICATIONS, THE INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S LATEST WRITTEN SPEC'S.
3. BY SUBMITTING BID TO OWNER, BIDDER INDICATES THAT HE HAS EXAMINED THE SITE AND THESE DRAWINGS THOROUGHLY AND HAS FAMILIARIZED HIMSELF WITH ALL FACTORS THAT MAY AFFECT COST, PROGRESS OR PERFORMANCE OF WORK.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL THE REQUIRED INSPECTIONS AND SHALL NOTIFY OFFICIALS WELL IN ADVANCE OF ALL SUCH INSPECTIONS.
5. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL DEBRIS AND GARBAGE RESULTING FROM THE EXECUTION OF THE WORK IN THIS PROJECT PRIOR TO ISSUANCE OF FINAL PAYMENT.
6. THESE DRAWINGS INDICATE INTENT ONLY. ALL CONTRACTORS SHALL FIELD VERIFY AND APPROVE ALL DIMENSIONS, LOCATIONS AND ALL EXISTING CONDITIONS AFFECTING THIS PROJECT PRIOR TO EXECUTION OF WORK.
7. CONTRACTOR TO PROVIDE SEALED ROOF TRUSSES SPEC. TO BUILDING DEPART.
8. IT IS UNDERSTOOD THAT THESE DRAWINGS AREA GENERIC WITH RESPECT TO CONSTRUCTION DETAILING, STRUCTURAL DETAILING AND FINISH DETAILING.
9. THE OWNER AND CONTRACTOR ACCEPTS ALL RESULTING DETAILS AND AESTHETICS, SPECIFIED OR UNSPECIFIED, AND UNDER NO CIRCUMSTANCES SHALL THE DESIGNER BE HELD RESPONSIBLE.



REAR ELEVATION

HOUSE REMODELING PLAN

5787 TIMBERLINE TRAIL , HUDSON , OHIO 44236
SUMMIT CO.

OWNER - JAMES STEPANEK

PARD # 3010074

1

OF 5

CONTRACTOR :
COCHRAN CONST.,llc
STOW , OHIO 44224
PHONE 330-329-4646
COCHRANREMODELING@GMAIL.COM

DRAWN BY:
COSTLOW AND ASSOC.
1865 ARNDALE RD.
STOW , OHIO 44224
(330) 688-9500

DATE:
3-8-2025
3-17-2025

1
CHANGE

1/4" SCALE-18X24
1/4" = 1'-0"

NOTES:

RESIDENTIAL CODE OF OHIO USED FOR DECKS:
 SECTION 507.3 -DECK FOOTINGS
 SECTION 317 -PROTECTION OF WOOD AND
 WOOD PRODUCTS AGAINST DECAY
 SECTION 507 - EXTERIOR DECKS
 SECTION 311 & 312 -STAIR, LANDING,
 HANDRAILS, AND GUARDS
 SECTION 502 - LEDGER BOARD ATTACHMENT

EXTERIOR WOOD WILL BE NATURALLY
 DURABLE OR QUALITY MARK AS
 PRESSURE-PRESERVATIVE-TREATED IN
 ACCORDANCE WITH AWPA U1.
 (GROUND-CONTACT TREATED WOOD)

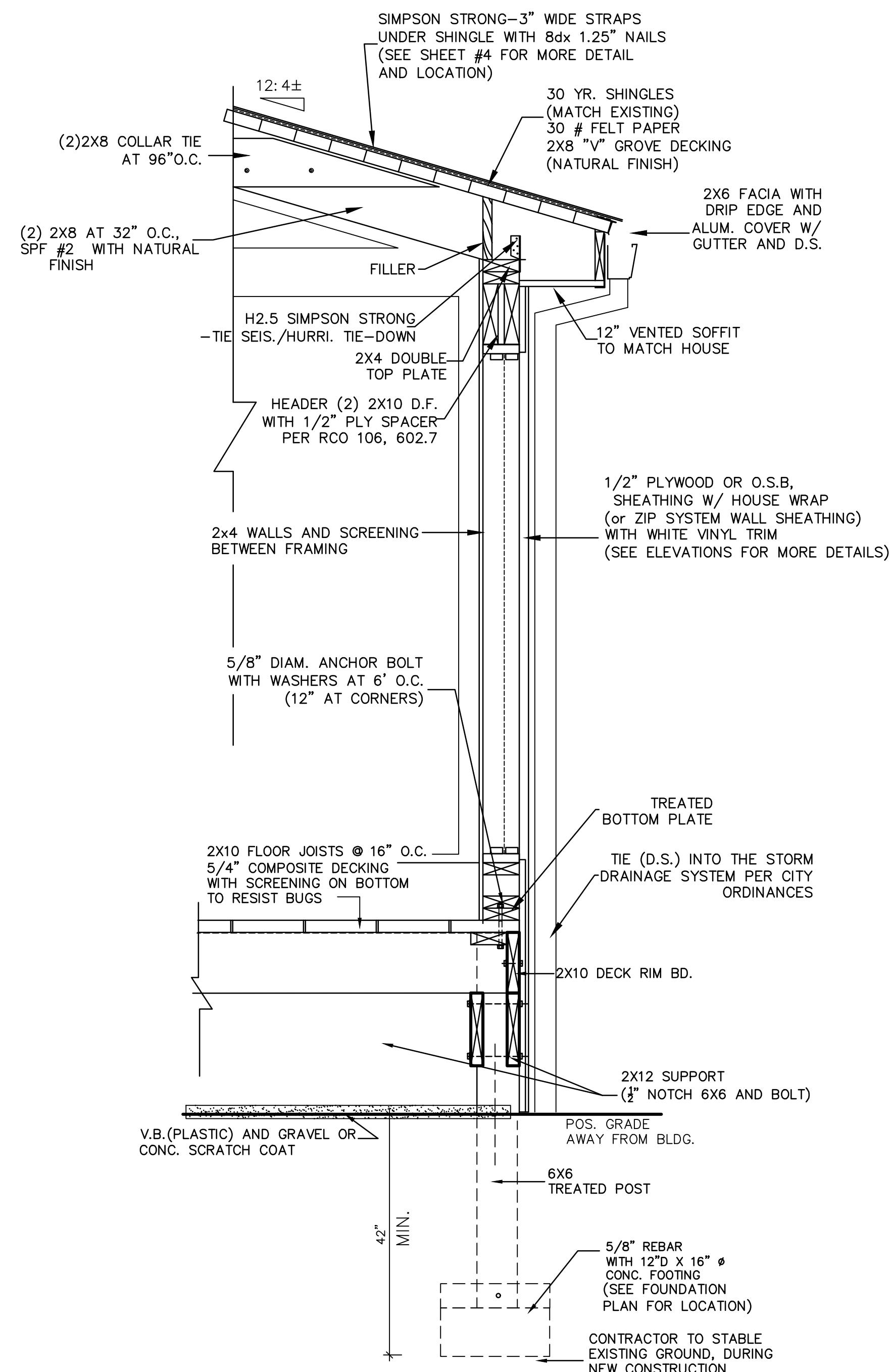
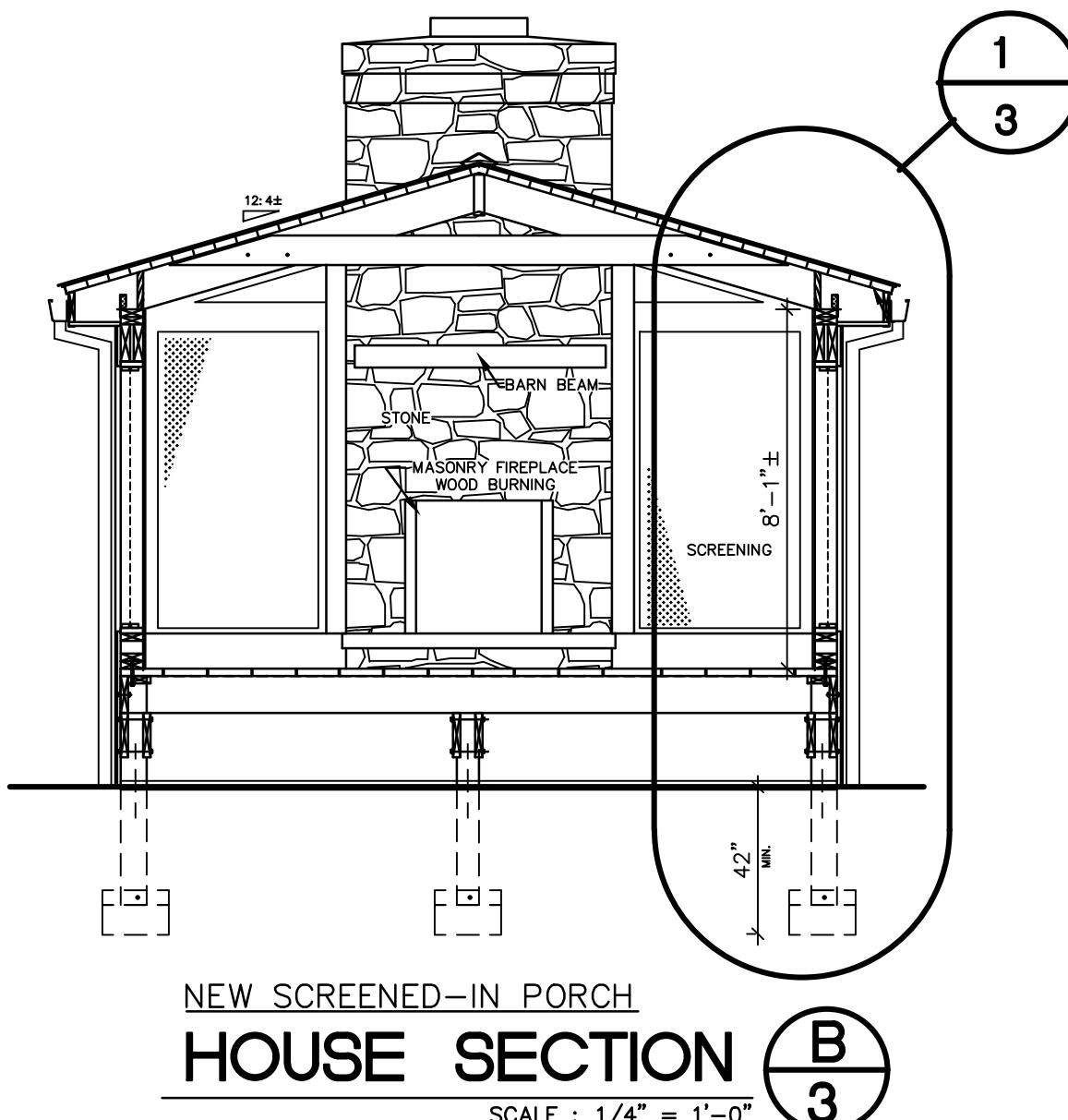
FASTENERS, HANGERS, NAILS, ECT.
 WILL BE HOT DIPPED ZINC-COATED
 GALVANIZED STEEL, STAINLESS STEEL,
 SILICON BRONZE OR COPPER.

36' MIN. GUARD WILL BE PROVIDED
 ALONG OPEN-SIDES OF DECK WALKING
 SURFACE LOCATED 30" OR MORE
 ABOVE GRADE BELOW.

APPLICATION INFORMATION : NOTES

ALTERNATIVE DESIGNS : THIS RESIDENTIAL BUILDING
 DESIGN IS AN "ALTERNATIVE DESIGN" PER RCO 106.5.1
 IS HAS BEEN REVIEWED FOR ABOVE REQUIREMENTS.

TYPE OF IMPROVEMENT - NEW SCREENED IN ROOM
 TYPE OF USE - SINGLE FAMILY
 USE GROUP - R-1
 TYPE OF CONSTRUCTION - V-B (5-B)



WALL SECTION

SCALE : 3/4"=1'-0"

ON DRW R22-09 OR 25-03

R25-03
3

1/4" SCALE-18X24

OF 5

HOUSE REMODELING PLAN

5787 TIMBERLINE TRAIL, HUDSON, OHIO 44236
 SUMMIT CO.
 PARID # 3010074

OWNER - JAMES STEPANEK

CONTRACTOR :
 COCHRAN CONST.,llc
 STOW, OHIO 44224
 PHONE: 330-329-6646
 COCHRANREMODELING@GMAIL.COM

DRAWN BY:
 COSTLOW AND ASSOC.
 1865 ARNDALE RD.
 STOW, OHIO 44224
 (330) 688-9500
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 3-8-2025
 3-17-2025

1
CHANGE

LEGEND

\$	LIGHT SWITCH	\$	3 WAY LIGHT SWITCH
∅	GFIC	WP	WEATHER PROOF
∅	OUTLET-110V	∅	OUTLET-220V
Ⓐ	L.E.D.-OVERHEAD (PUCK) LIGHT OR SURFACE MOUNT		
Ⓛ	LED WALL SCONES		
Ⓑ	LIGHT / EXHAUST FAN , MIN 50 CFM AND EXHAUST DIRECTLY TO THE OUTSIDE.		
∅	TOP OUTLET WALL SWITCH ACTIVATED		
●	L.E.D. DRIVEWAY POST LAMP W/ WP RECEPTACLE		
●	L.E.D.-PENDANT TYPE LIGHT - OWNER TO VERIFY		
Ⓐ	SMOKE DETECTOR PER RCO R314.3 HARDWIRED AND INTERCONNECTED	Ⓐ	CARBON MONOXIDE DETECTOR PER RCO R315 , HARDWIRED AND INTERCONNECTED
Ⓑ	EXTERIOR FLOOD LIGHT		
∅	SOFFIT		
		CEILING "BIG ASS" FAN WITH LIGHT	
∅44	ABOVE COUNTER WALL MOUNTED RECEPTACLE		
	DISCONNECT NEMA 3R		

NOTES:

- 1.) ELECTRICAL CONTRACTOR TO REVIEW W/ OWNER / BUILDER TO VERIFY LAYOUT AND MODIFY PER THEIR REQUIREMENTS.
- 2.) ALL WORK TO BE IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE 2017, OR RECENT ADDITIONS.
- 3.) PER RESIDENTIAL CODE OF OHIO 3401 AND THE NEC, ALL BRANCH CIRCUITS OUTLETS WITHIN THE HABITABLE AREAS OF RESIDENTIAL BUILDINGS SHALL BE PROTECTED BY "ARC-FAULT CIRCUIT INTERRUPTER PROTECTION, OR AS REQUIRED WITHIN THE SAME SECTION, ALL SPECIFIED OUTLETS SHALL PROVIDE PERSONNEL PROTECTION VIA GROUND-FAULT CIRCUIT INTERRUPTER PROTECTION (GFCI).
- 4.) ALL INTERIOR AND EXTERIOR STAIRWAYS, INCLUDING LANDINGS AND TREADS SHALL BE ILLUMINATED PER RCO 303.7 AND RCO 303.8
- 5.) HARD WIRED SMOKE ALARMS SHALL BE PROVIDED AND INTERCONNECTED FOR EACH BEDROOM, ON EACH STORY, AND IN THE BASEMENT PER ORC 314. (NOT REQUIRED)
- 6.) CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE EACH SLEEPING AREA PER ORC 315. (NOT REQUIRED)

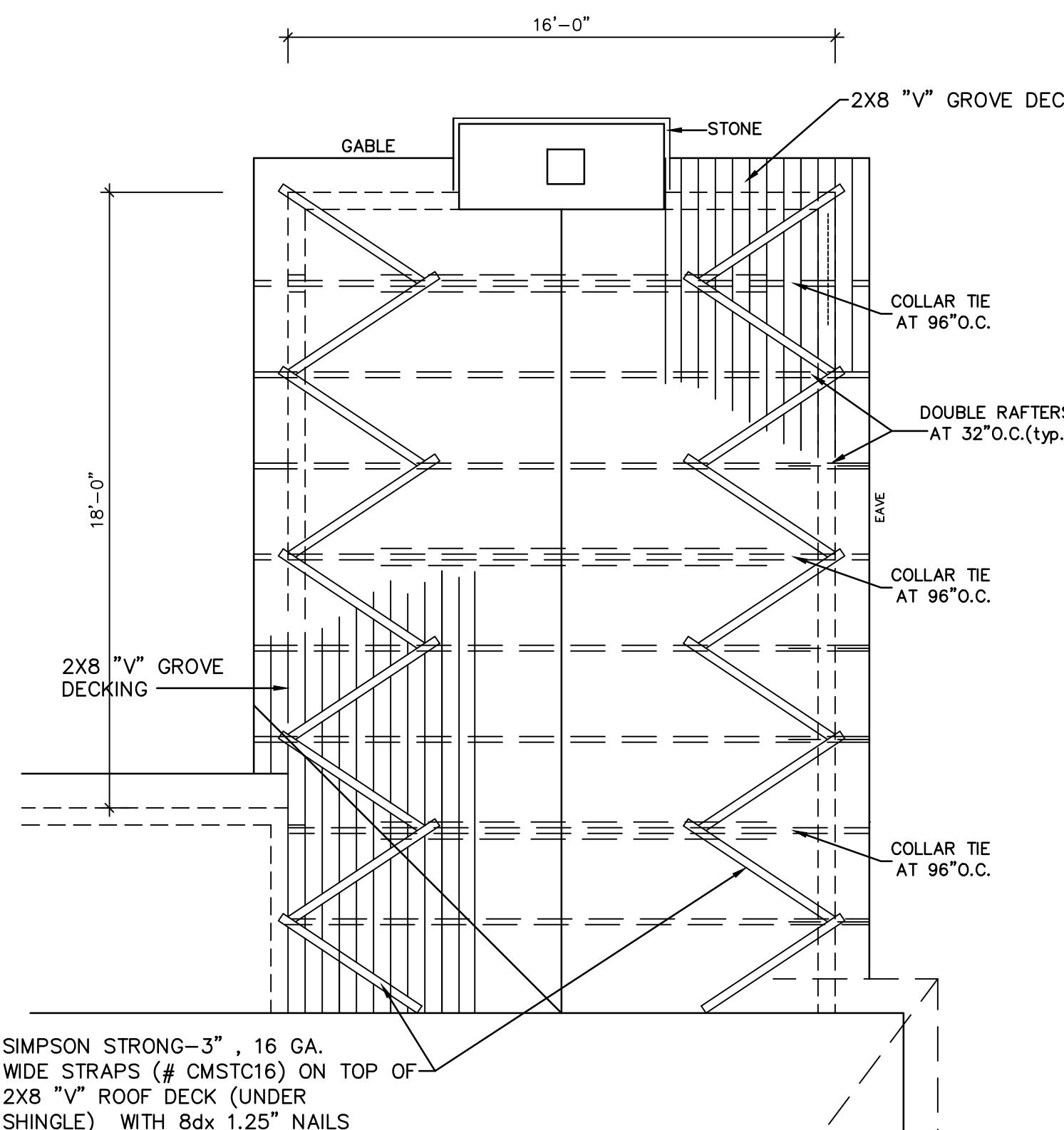
CONTRACTOR :
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STOW , OHIO 44224
PHONE 330-329-6646
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STEPHEN CORRAN

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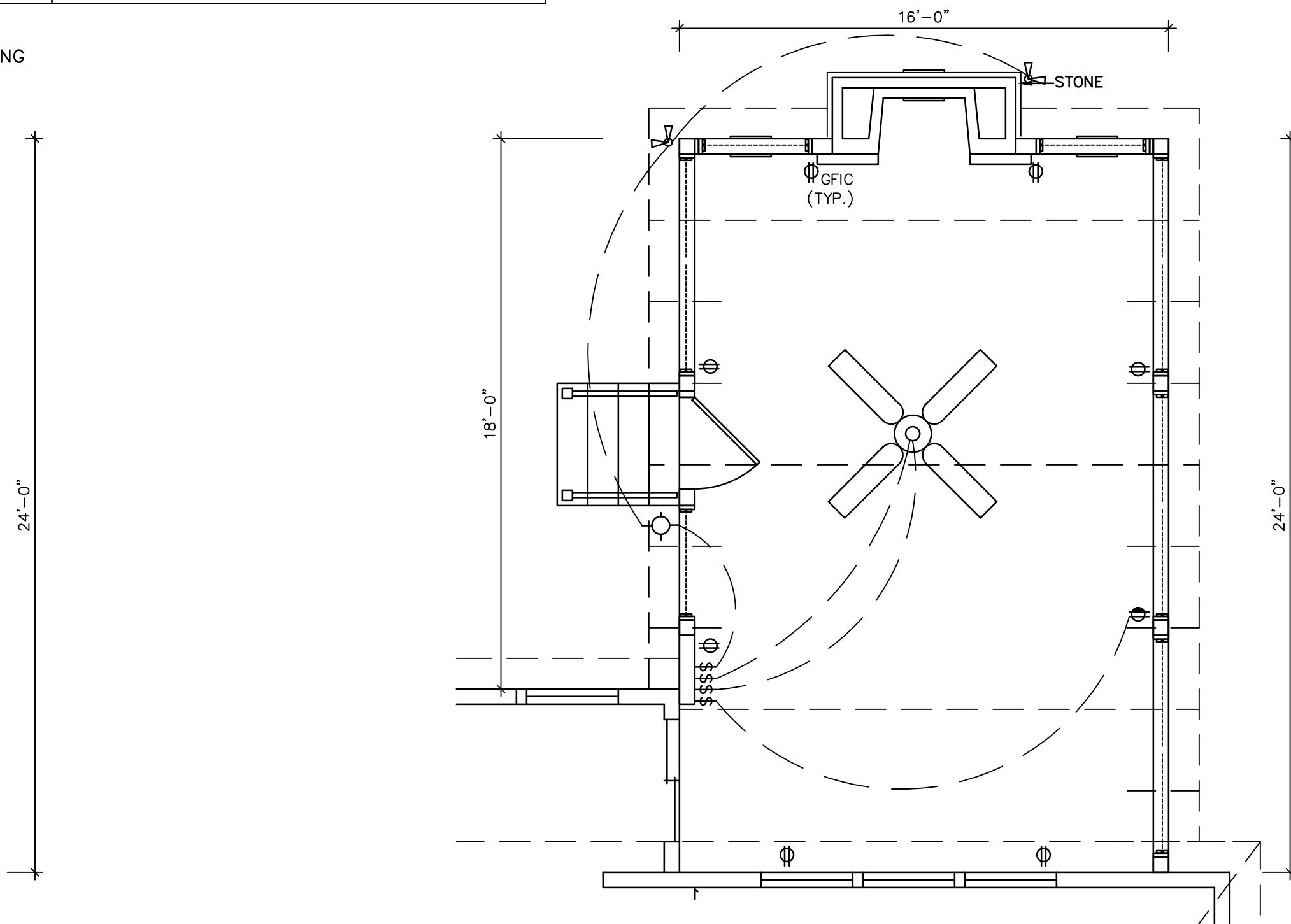
1
CHANGE

HOUSE REMODELING PLAN
OWNER - JAMES STEPANEK
5787 TIMBERLINE TRAIL , HUDSON , OHIO 44236
SUMMIT CO.
PARID # 3010074

R25-03
4
1/4" SCALE-18X24
OF 5



ROOF (RAFTER STRAPS) PLAN
1/4" = 1'-0"
NORTH



ELECT. PLAN
1/4" = 1'-0"
NORTH

