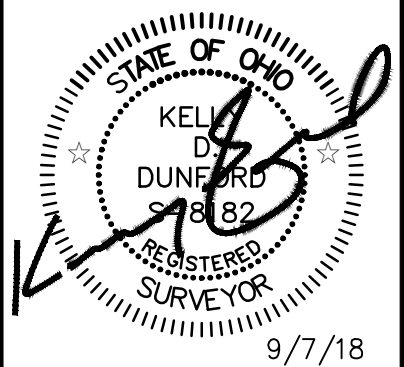




REVISIONS:

1. Added Topo - 8/14/18
2. Mirrored House Layout - 8/22/18
3. Moved House Back to a 56' Front Setback - 9/5/18
4. Added 1ft Jog at Porch & Moved House to a 54' Front Setback - 9/7/08

TOPOGRAPHIC SURVEY
& SITE PLAN
for
The Rupal Residence
by
LDA Builders, Inc.

Situated in the City of Hudson, County of Summit
and State of Ohio: And known as being Sublot 8
in the Lake Christine Subdivision, as
recorded in Doc. #56294530.

LEGEND

- 1000--- - Ex. Contour
- 999--- - PR. CONTOUR
- - Ex. Tree Line
- - PR. CLEARING
- - PR. SILT FENCE

PR. GRADE
Ex. Grade
PR. DRAINAGE

--- - TREE TO BE REMOVED

CE - PR. CONST.
ENTRANCE

Ex. = Existing PR. = PROPOSED

SA ST - Ex. San/Stm. MH.

T CB - Ex. Pedestals

--- - Ex. Hydrant

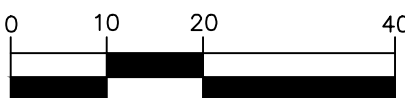
● - Iron Pin Fnd./Set

● - Iron Pipe Fnd.

■ - Mon. Fnd.

PR. CONSTRUCTION ENTRANCE
TO BE INSTALLED AS REQ'D.
& MAINTAINED THROUGHOUT
CONSTRUCTION.

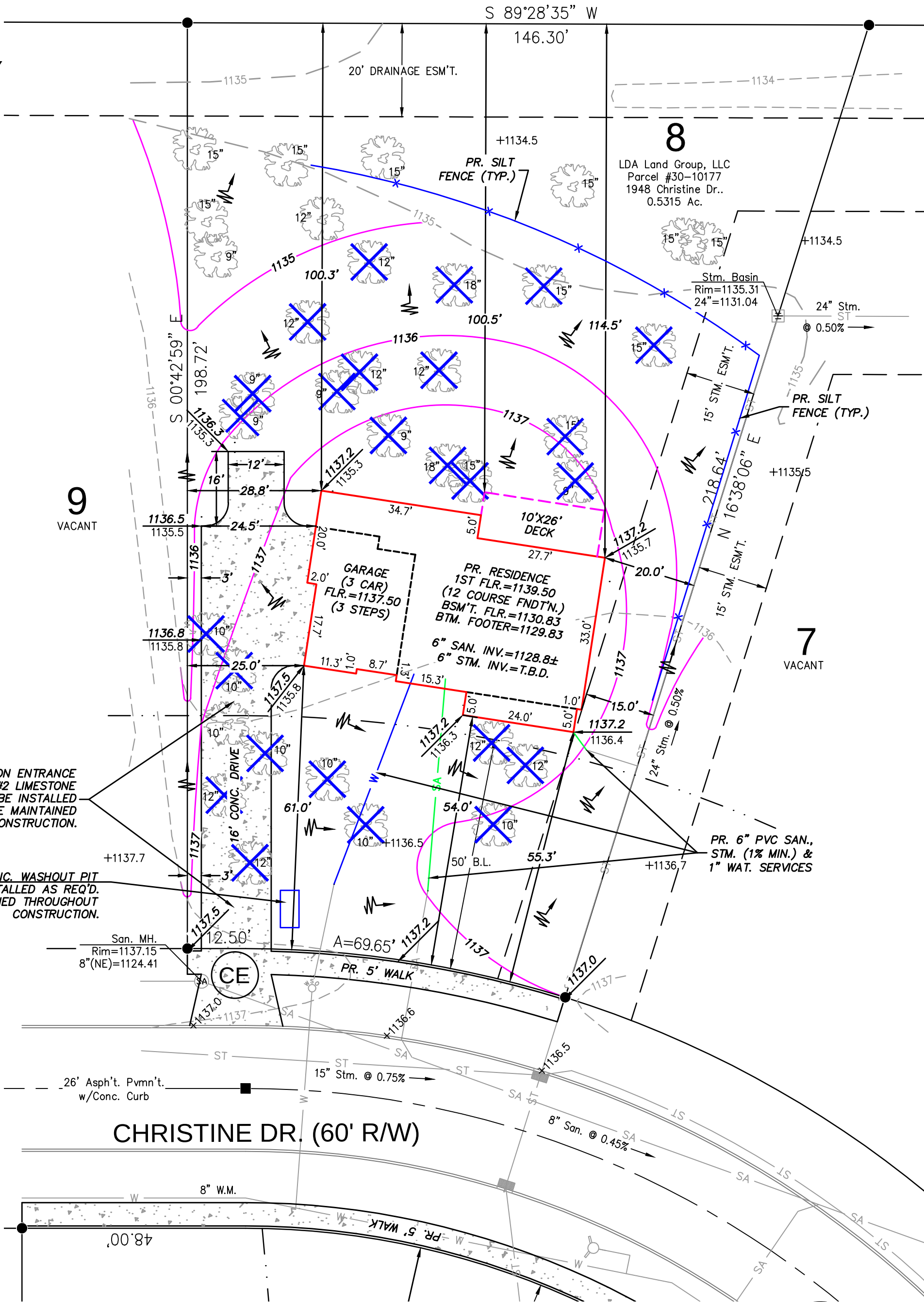
PR. CONC. WASHOUT PIT
TO BE INSTALLED AS REQ'D.
& MAINTAINED THROUGHOUT
CONSTRUCTION.



SCALE: 1" = 20'

DATUM:

B.O.B.: RECORD PLAT
VERT: IMPROVEMENT PLANS



CONSTRUCTION NOTES:

1. The contractor must verify all foundation dimensions and proposed grades shown on this plan. Any errors resulting from failure to check or to notify the surveyor of any changes shall not be the responsibility of Apex Land Surveying.
2. All grades shall comply w/corresponding government office.
3. All swales must maintain a minimum slope of 1%.
4. Maintain positive yard drainage away from house.
5. Contractor to notify utilities protection services/ OUPS prior to construction.
6. Contractor shall verify location and depths of existing laterals & verify if proper connections can be made to house. Contact corresponding government office if discrepancies occur.
7. All sewer connections must maintain a minimum slope of 1%.
8. A foundation sump pump is required.
9. Silt fence must surround any excavation areas so that no silt escapes site.
10. There was no search for easements of record, right-of-ways, restrictive covenants, encumbrances, ownership title evidence, or any other facts that a title search may disclose.



Know what's below.
Call before you dig.

SURVEYED BY:

APEX LAND SURVEYING
KELLY D. DUNFORD, P.S. 8182
2858 FULMER DR., SILVER LAKE, OH
(330) 928-7750
ps8182@sbeglobal.net
www.apexlandsurveying.com

TITLE: TOPO & SITE PLAN

DATE: AUG. 2018

CLIENT: LDA BUILDERS

PROJ.: 2018063

SCALE: 1" = 20'

FILE: 2018063.dwg

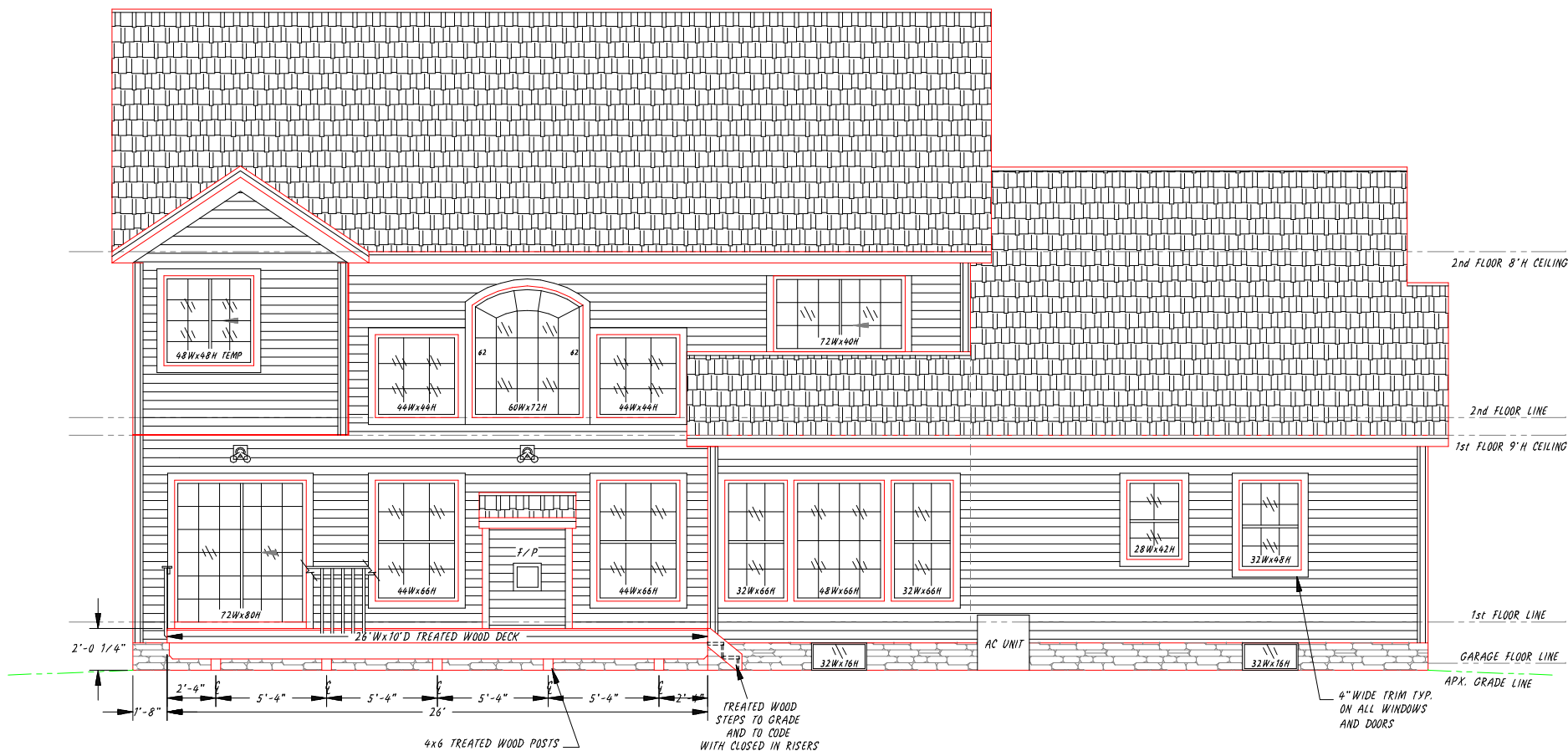
DRAWN BY: KDD

CHECKED BY: KDD

CREW: KDD

SHEET: 1 OF 1

SHEET SIZE: 17" X 22"



Rear Elevation

CUSTOMER

Chris & Valerie
Shaker

SCALE 1/8" = 1'

DATE 07/18/18

DRN JK

CHKD JK

APPROVED

REVISIONS

BY DATE



ILDA BUILDERS
INCORPORATED

Boston Hts., Ohio U.S.A. • Phone/Fax Clev(330) 528-3800 • Akron(330) 342-4240

TITLE CEDARWOOD MODIFIED 2 STORY (2877 sq.ft.) NO.

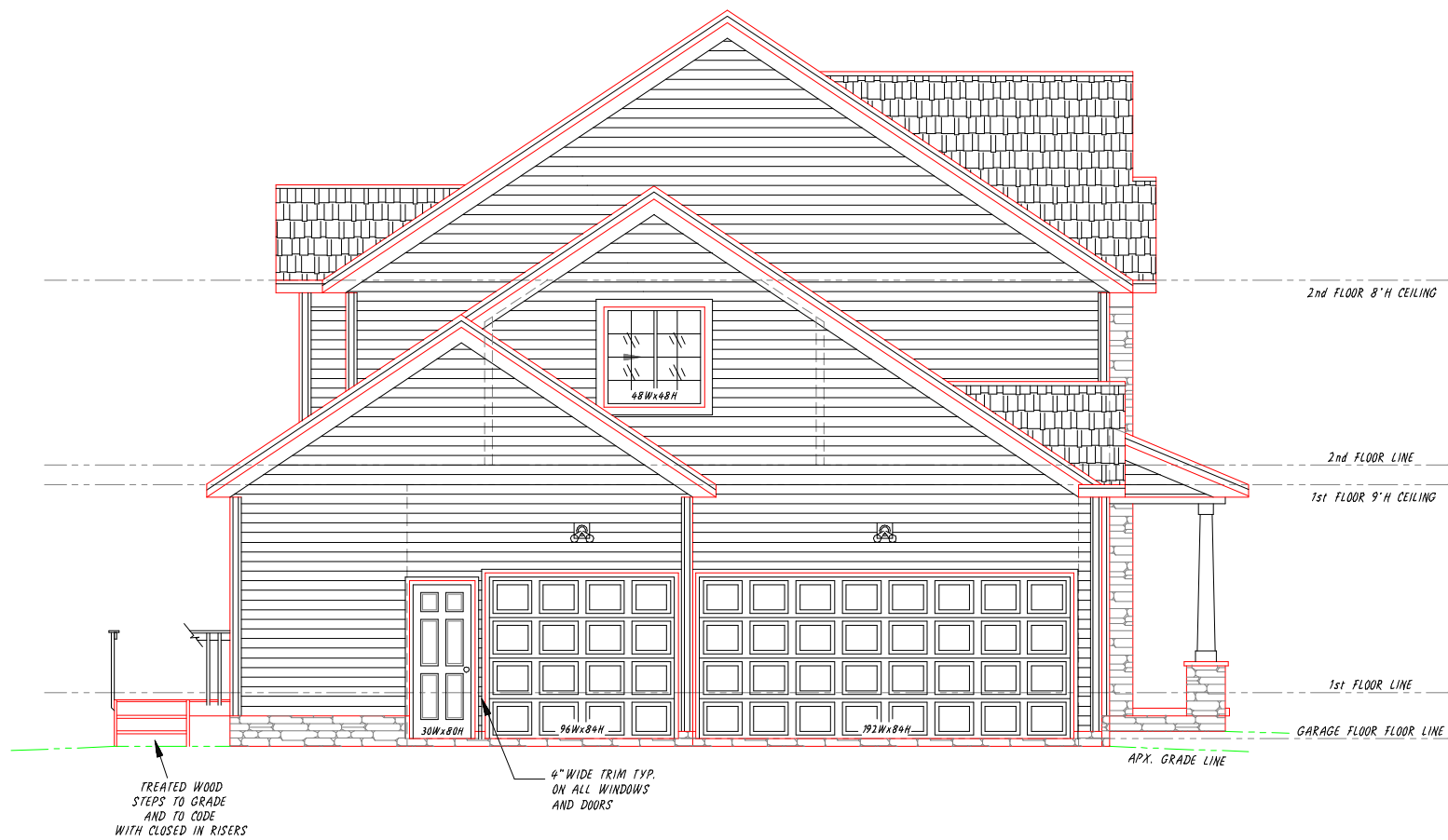
18-LC0008-12

REAR ELEVATION

1) CHANGE ENTRY / HALLWAY DOOR

TL

08/27/18



Left Side Elevation

CUSTOMER

Chris & Valerie
Shaker

SCALE 1/8" = 1'

DATE 07/28/18

DRN 1/2

23P018

REVISIONS

BY DATE

TL 08/27/18



IDA BUILDERS
INCORPORATED

Boston Hts., Ohio U.S.A. • Phone/Fax Clev(330) 528-3800 • Akron(330) 342-4240

TITLE CEDARWOOD MODIFIED 2 STORY (2877 sq.ft.) NO. 18-LC008-II

LEFT SIDE ELEVATION



Right Side Elevation

CUSTOMER

Chris & Valerie
Shaker

SCALE 1/8" = 1'

DATE 07/18/18

DRN JK

CHKD JK

TRNGD JK

REVISIONS

1) SHORTEN RIGHT END OF PORCH 1'

2) CHANGE ENTRY / HALLWAY DOOR

BY

FL

FL

FL

FL

DATE

09/18/18

08/21/18

08/21/18

08/21/18

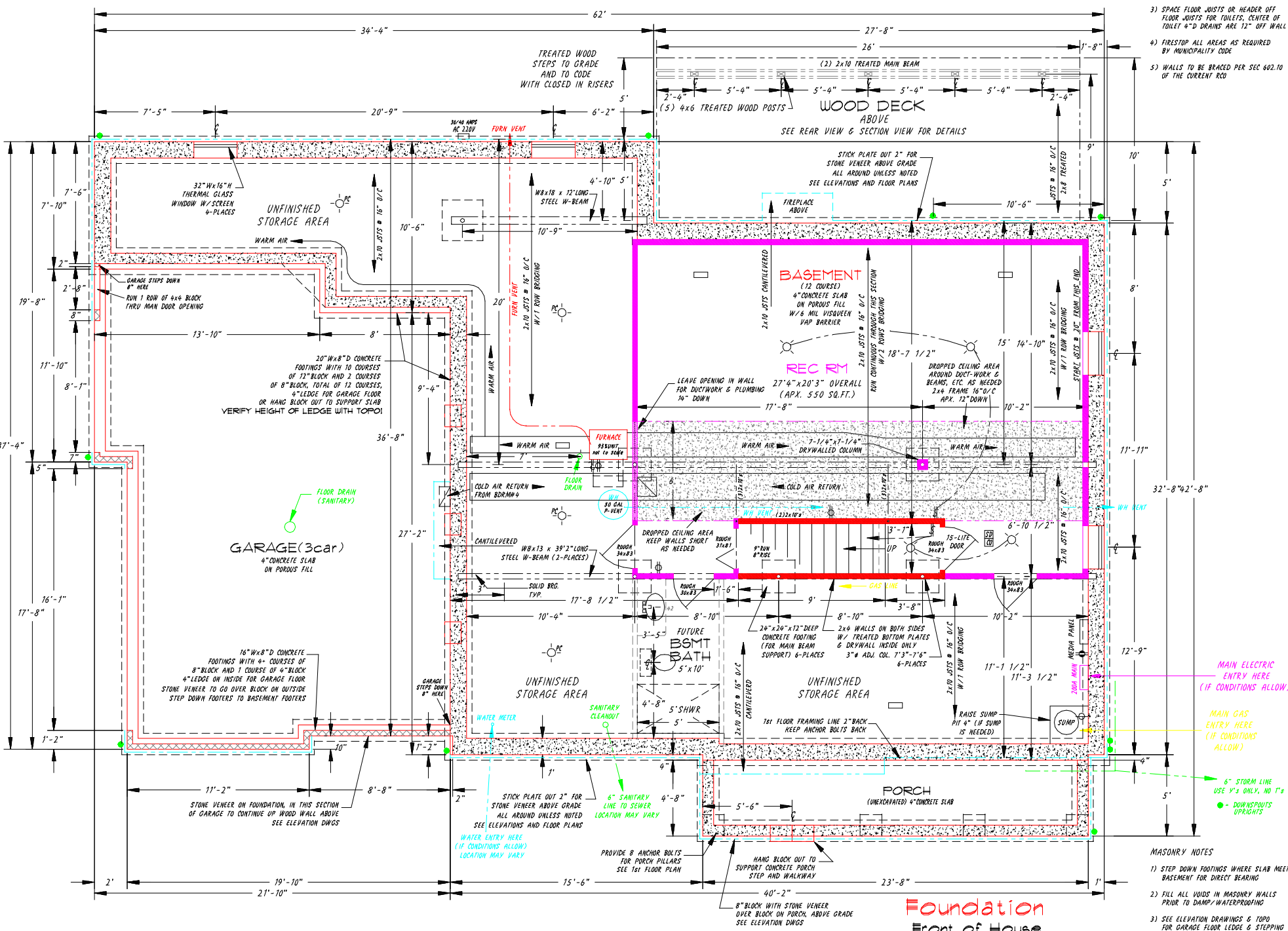


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INCORPORATED

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TITLE CEDARWOOD MODIFIED 2 STORY (2877 sq ft.) NO. 18-LC0008-13

RIGHT SIDE ELEVATION



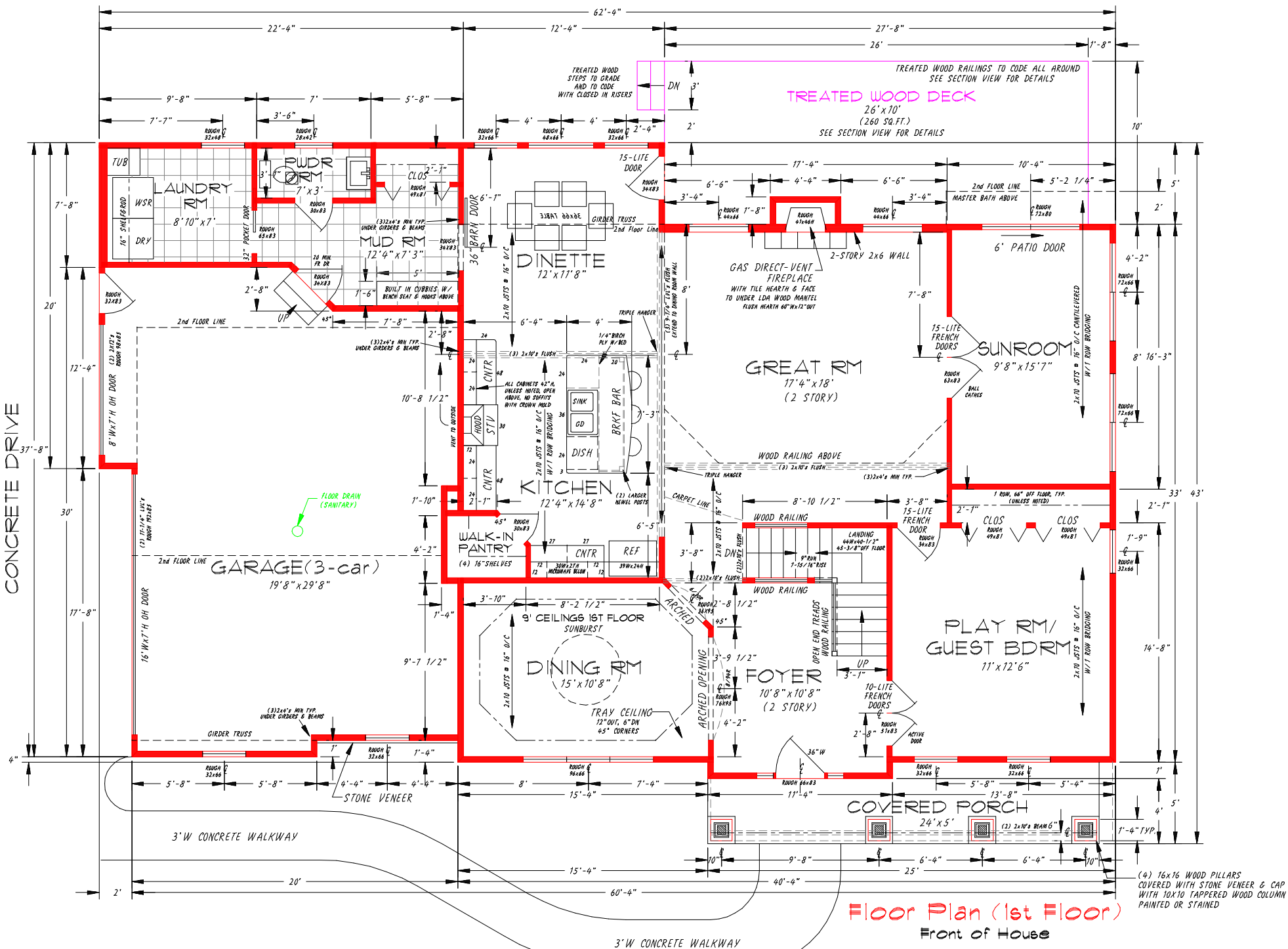
- FRAMING NOTES**
- 1) PROVIDE DOUBLE JOIST AND CROSS BLOCKING UNDER ALL PARALLEL WALLS
 - 2) ALL FRAMING LUMBER TO BE STRUCTURAL GRADE
 - 3) SPACE FLOOR JOISTS OR HEADER OFF FLOOR JOISTS FOR TOILETS, CENTER OF TOILET 4\"D DRAINS ARE 12\" OFF WALL
 - 4) FIRESTOP ALL AREAS AS REQUIRED BY MUNICIPALITY CODE
 - 5) WALLS TO BE BRACED PER SEC 602.10 OF THE CURRENT CODE

- MASONRY NOTES**
- 1) STEP DOWN FOOTINGS WHERE SLAB MEETS BASEMENT FOR DIRECT BEARING
 - 2) FILL ALL VOIDS IN MASONRY WALLS PRIOR TO DAMP/WATERPROOFING
 - 3) SEE ELEVATION DRAWINGS & TOPO FOR GARAGE FLOOR LEDGE & STEPPING OF BRICK/STONE VENEER

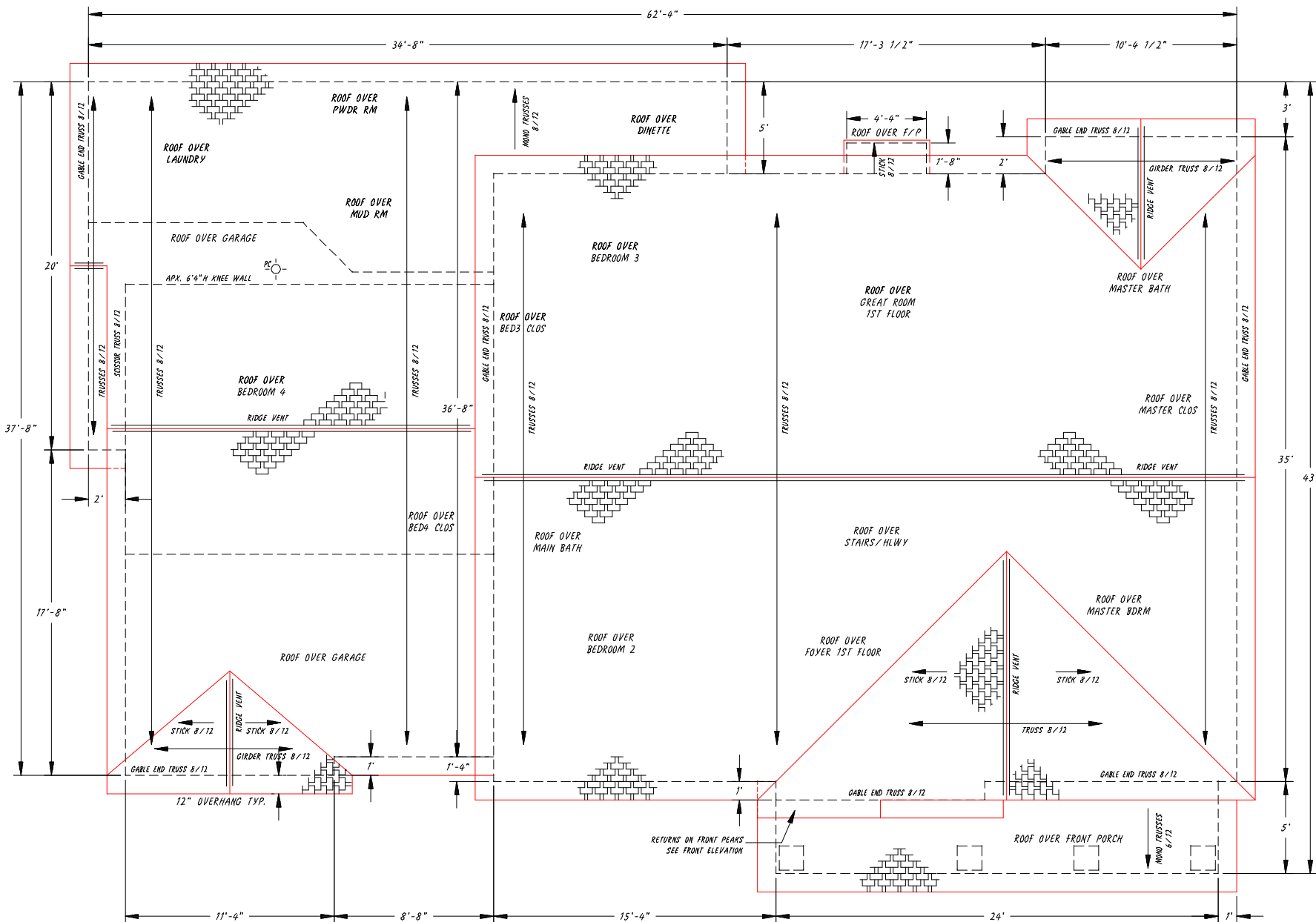
Foundation
Front of House

ILIDA BUILDERS INCORPORATED
Boston Hts., Ohio U.S.A. • Phone/Fax Cleveland (330) 528-3800 • A/cen(330) 542-4240
TITLE: REARWOOD MODIFIED 2 STORY (1877 sq ft.)
NO. 18-LC0008-22
FOUNDATION PLAN

DATE	BY	REVISIONS	SCALE	CUSTOMER
07/18/18	TL	1) SHORTEN RIGHT END OF PORCH 1'	1/8\"	Chris & Valerie Shaker
08/27/18	TL	2) CHANGE ENTRY / HALLWAY WOODS	1/8\"	



Floor Plan (1st Floor)
Front of House



NOTE - ROOF CONSTRUCTION TO BE
 TRUSSES @ 24" O/C & STICK FRAMING @ 16" O/C
 8/12 SIDETO/SIDE & 6/12 FRONT/TOBACK (UNLESS NOTED)

Roof Plan Front of House

CUSTOMER

Chris & Valerie
Shaker

SCALE 1/8" = 1'

DATE 07/18/18

DRN JZ

2018

REVISIONS

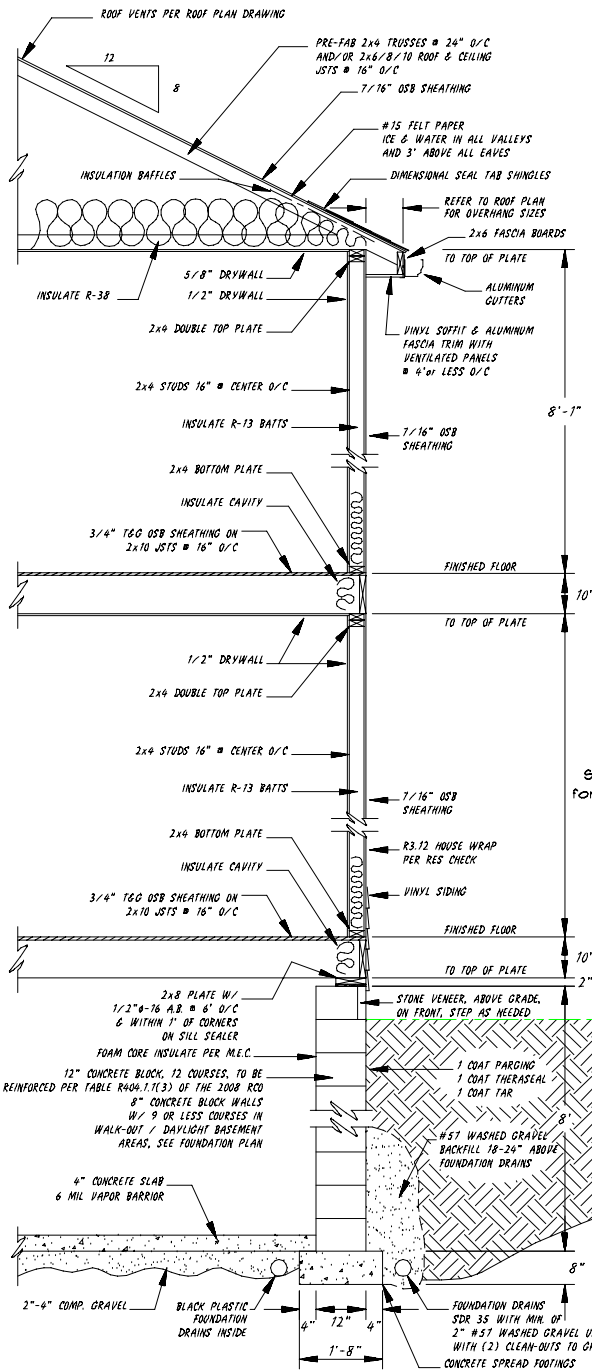
BY

DATE

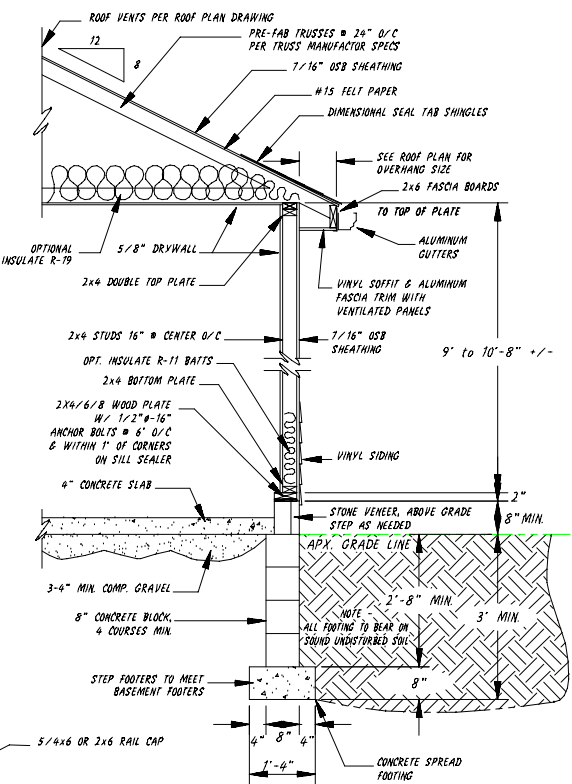
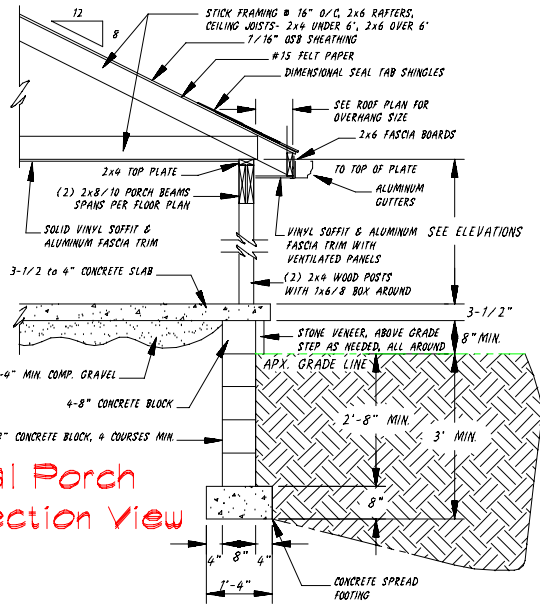
TL 09/18

1) SHORTEN RIGHT END OF PORCH 1'

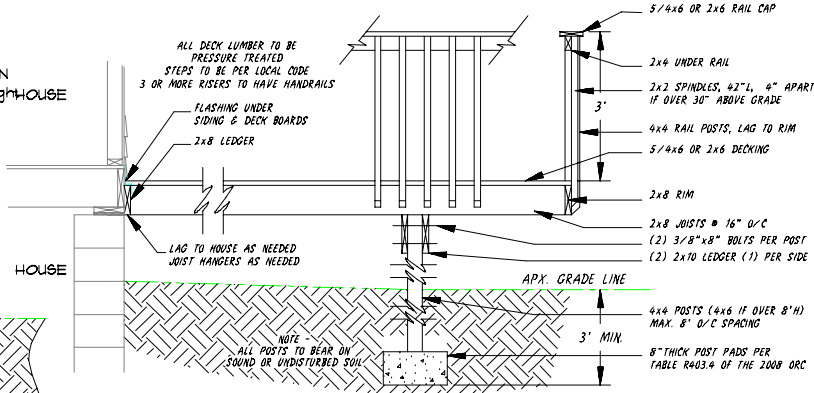




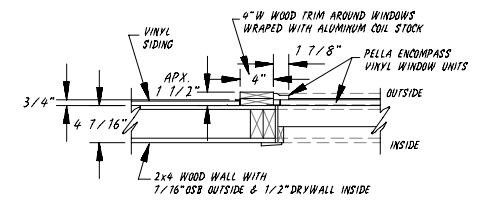
Typical Porch Cross Section View



Garage Wall Cross Section View



Deck Cross Section View (if applicable)



Typical Window Section View (Scale 1" = 1')

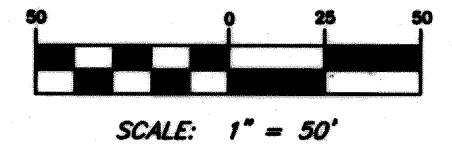
- CONSTRUCTION NOTES (2013 CODE)
- 1) ALL ROOF PITCHES TO BE AN 8/12 SIDE TO SIDE & A 8/12 FRONT TO BACK, UNLESS NOTED, INCLUDING GARAGES, PORCHES & CHIMNEYS
 - 2) ALL PARALLEL WALLS TO HAVE DOUBLE JOISTS AND CROSS BLOCKING UNDER THEM
 - 3) GARAGE WALLS, BETWEEN GARAGE & HOUSE, AND GARAGE CEILING TO HAVE 5/8" FIRECODE DRYWALL
 - 4) BLOCK WALLS TO BE REINFORCED PER TABLE R404.1.1(3) OF THE 2013 ROC AND HAVE HORIZONTAL DOWEL WALL EVERY APX. 3 COURSES
 - 5) ALL HEADERS TO BE A MIN. OF (2) 2x10'S WITH 7/16" OSB CENTER, OR LARGER AS INDICATED ON FLOOR PLANS
 - 6) ALL ROOF STICK FRAMING & OVERBUILDS TO BE A MIN. OF 2x6 FOR SPANS UNDER 16'. A MIN. OF 2x8 FOR SPANS 16' TO 18' AND INCLUDE 2x8 SHOE PLATES, 2x8 RIDGE BOARDS AND 2x4 COLLAR TIES
 - 7) TRUSS ANCHORS TO BE INSTALLED PER SECTION R802.70.5 OF THE 2013 ROC
 - 8) ALL DEAD AND LIVE LOADS TO BE PER THE 2013 ROC, AND MINIMUM UNIFORMITY DISTRIBUTED LIVE LOADS TO BE PER TABLE R301.3
 - 9) THE MAIN DOOR BETWEEN THE HOUSE AND GARAGE IS TO COMPLY WITH SECTION R301.1 OF THE 2013 ROC

Main House Wall Cross Section View

CHADDS FORD SETTLEMENTS ADDITION
CAB. L SLIDES 145-149

CURVE DATA													
CURVE	DELTA	RADIUS	TANGENT	CHORD	LENGTH	CHORD BEARING	CURVE	DELTA	RADIUS	TANGENT	CHORD	LENGTH	CHORD BEARING
C1	73°00'00"	200.00'	147.99'	237.93'	254.82'	S54°12'59"E	C10	52°43'51"	70.00'	34.70'	62.17'	64.42'	S38°07'47"E
C2	90°00'00"	25.00'	25.00'	35.36'	39.27'	S45°42'59"E	C11	12°16'41"	70.00'	7.53'	14.97'	15.00'	S5°37'31"E
C3	53°15'00"	230.00'	115.30'	206.15'	213.76'	S64°05'29"E	C12	49°06'44"	70.00'	31.98'	58.18'	60.00'	S25°04'11"W
C4	17°21'05"	230.00'	35.10'	69.39'	69.65'	S82°02'27"E	C13	49°06'40"	70.00'	31.98'	58.18'	60.00'	S74°10'53"W
C5	20°45'13"	230.00'	42.12'	82.86'	83.31'	S62°59'18"E	C14	49°06'36"	70.00'	31.98'	58.18'	60.00'	N56°42'29"W
C6	15°08'42"	230.00'	30.58'	60.62'	60.80'	S45°02'20"E	C15	56°58'24"	70.00'	37.99'	66.77'	69.61'	N3°39'58"W
C7	45°20'56"	25.00'	10.44'	19.27'	19.79'	S60°08'27"E	C16	68°49'42"	25.00'	17.13'	28.26'	30.03'	N9°35'38"W
C8	287°38'09"	70.00'	51.20'	82.65'	351.41'	S61°00'09"W	C17	46°42'30"	170.00'	73.40'	134.78'	138.59'	N67°21'44"W
C9	18°19'13"	70.00'	11.29'	22.29'	22.38'	S73°39'19"E	C18	90°00'00"	25.00'	25.00'	35.36'	39.27'	S44°17'01"W

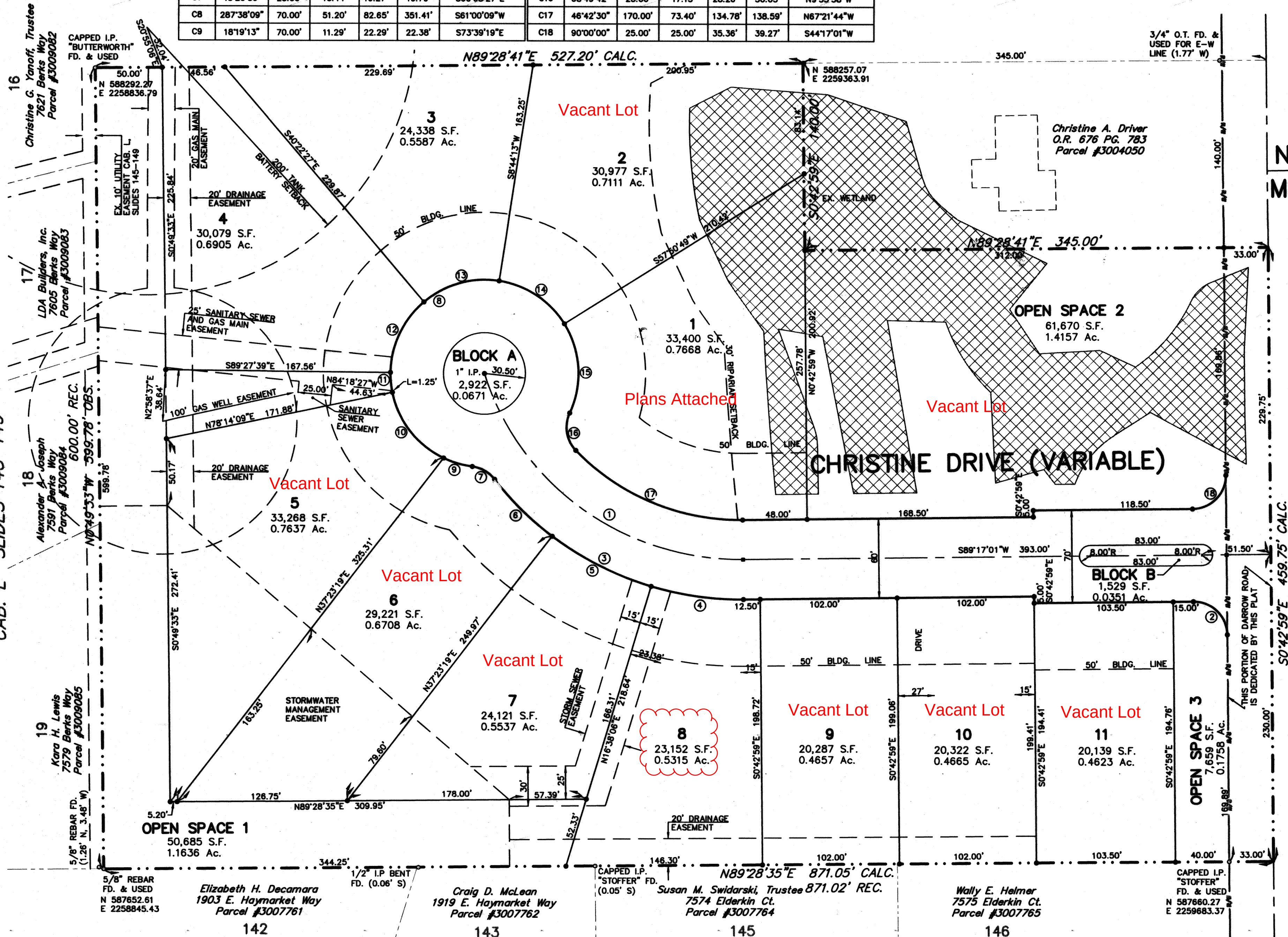
- LEGEND**
- 5/8" IRON PINS TO BE SET AT ALL LOT CORNERS (WITH IDENTIFICATION CAPS 7604)
 - IRON PIN FOUND AS NOTED
 - MONUMENT BOX WITH 1" IRON PIN TO BE SET
 - MONUMENT BOX WITH 1" IRON PIN FOUND AS NOTED



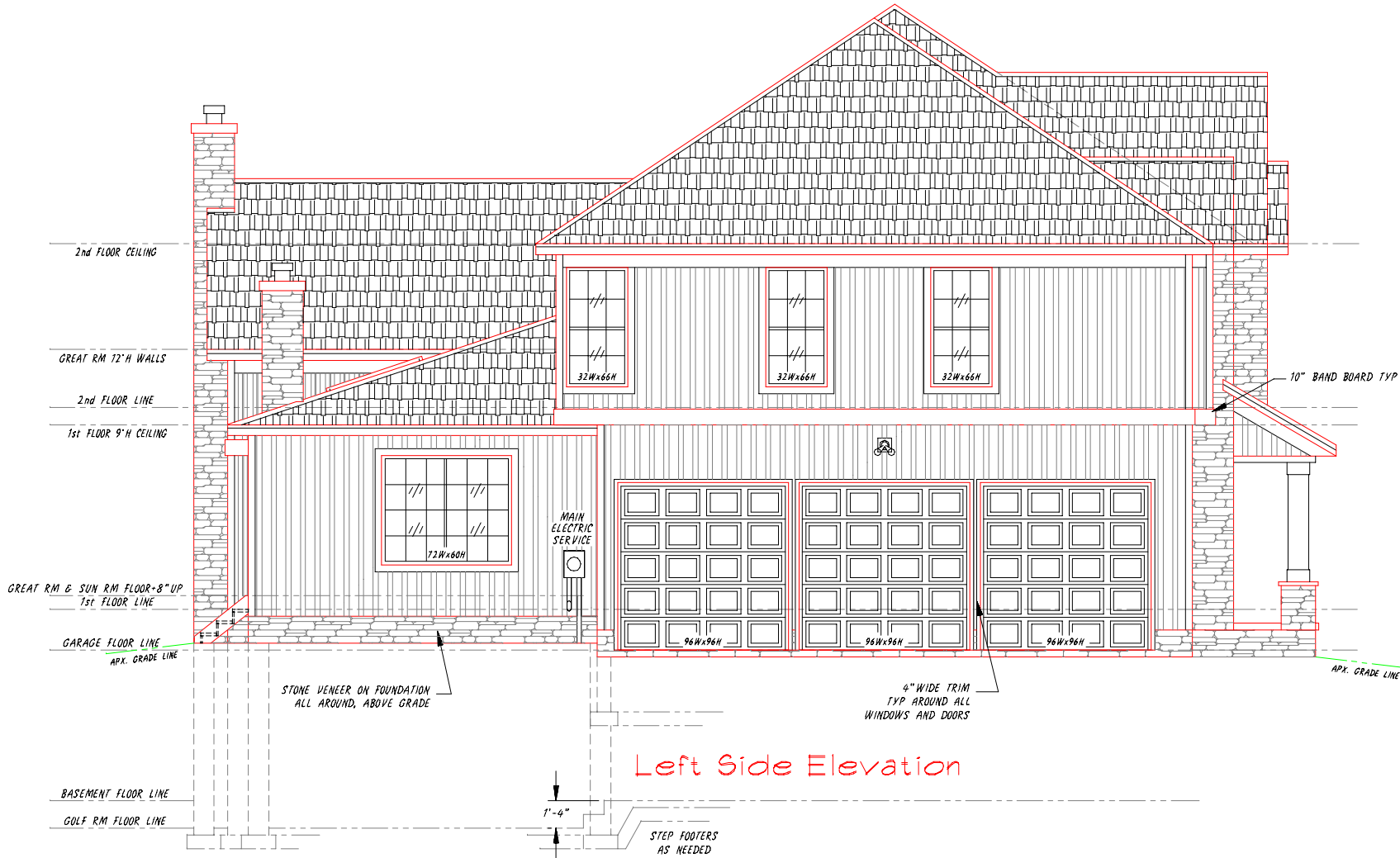
N. PARTRIDGE MEADOWS DRIVE

BASIS OF BEARINGS:
OHIO STATE PLANE
COORDINATES NAD 83,
OHIO NORTH ZONE.
COMB. FACTOR 0.9999006

DARROW ROAD 66' (S.R. 91)



CHADDS FORD SETTLEMENTS PHASE III
CAB. I SLIDES 888-893



CUSTOMER

**Ryan & Janelle
Burnheimer**

SCALE 1/8" = 1'

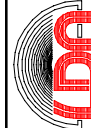
DATE 08/18

DRN J

CHKD

REVISIONS

BY DATE



**LIDA BUILDERS
INCORPORATED**
Boston Hts., Ohio U.S.A. • Phone/Fax Cleveland (330) 528-3800 • Akron (330) 342-4240

YORKSHIRE II, MODIFIED 2 STORY (3602 sq.ft.)

NO. 18-LC001-II

LEFT SIDE ELEVATION



Right Side Elevation

CUSTOMER

Ryan & Janelle
Burnheimer

SCALE 1/8" = 1'

DATE 08/13/18

DRN 1/1

CHK'D

28/03/18

REVISIONS

BY DATE



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INCORPORATED

Boston Hts., Ohio U.S.A. • Phone/Fax Cleveland (330) 528-3800 • Akron (330) 342-4240

YORKSHIRE II, MODIFIED 2 STORY (3602 sq.ft.)

NO.

18-LC001-13

RIGHT SIDE ELEVATION