

APPROVED: _____ DATE _____
 STAFF APPROVAL

APPROVED: _____ DATE _____
 ENGINEERING DEPT. APPROVAL

APPROVED: _____ DATE _____
 LANDSCAPE ARCHITECT APPROVAL

BUILDER: PULTE HOMES OF OHIO, LLC.
 ADDRESS: 387 MEDINA ROAD SUITE 1700, MEDINA, OHIO 44256
 PHONE: 330-239-1587

CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C1	47.12'	30.00'	30.00'	42.43'	S44°33'31"W	90°00'00"
C2	9.03'	60.00'	4.53'	9.03'	N03°52'19"E	8°37'37"

INITIAL SITE BENCHMARK:
 SUMMIT COUNTY GEODETIC MONUMENT HU 118
 STATE PLAN COORDINATE
 N 572,745.649
 E 2,250,912.641
 ELEVATION = 1006.912 NAVD 1988

****PRIMARY BENCHMARK:****
 TOC/BOC ELEV @ P/L
 IN FRONT OF SUBLOT'S 88/120
 ELEV. = 1006.77

****SECONDARY BENCHMARK****
 TOP STEM OF HYDRANT
 IN FRONT OF SUBLOT'S 115/116
 ON FOREST EDGE DRIVE
 ELEV. = 1010.91

****THE CONTRACTOR MUST CHECK THE BENCHMARK WITH THE CURB GRADES PRIOR TO DIGGING THE FOUNDATION.****

OWNER: _____
 ADDRESS: _____
 PHONE: _____

NOTE:
 ALL PROPOSED FOOTERS WILL REQUIRE SURVEY CERTIFICATION ONCE SET AND PRIOR TO THE COMPLETION OF HOME CONSTRUCTION

DIRT CALCULATION
 _____ cu.yds. CUT/FILL

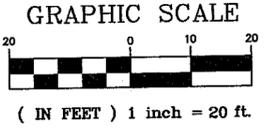
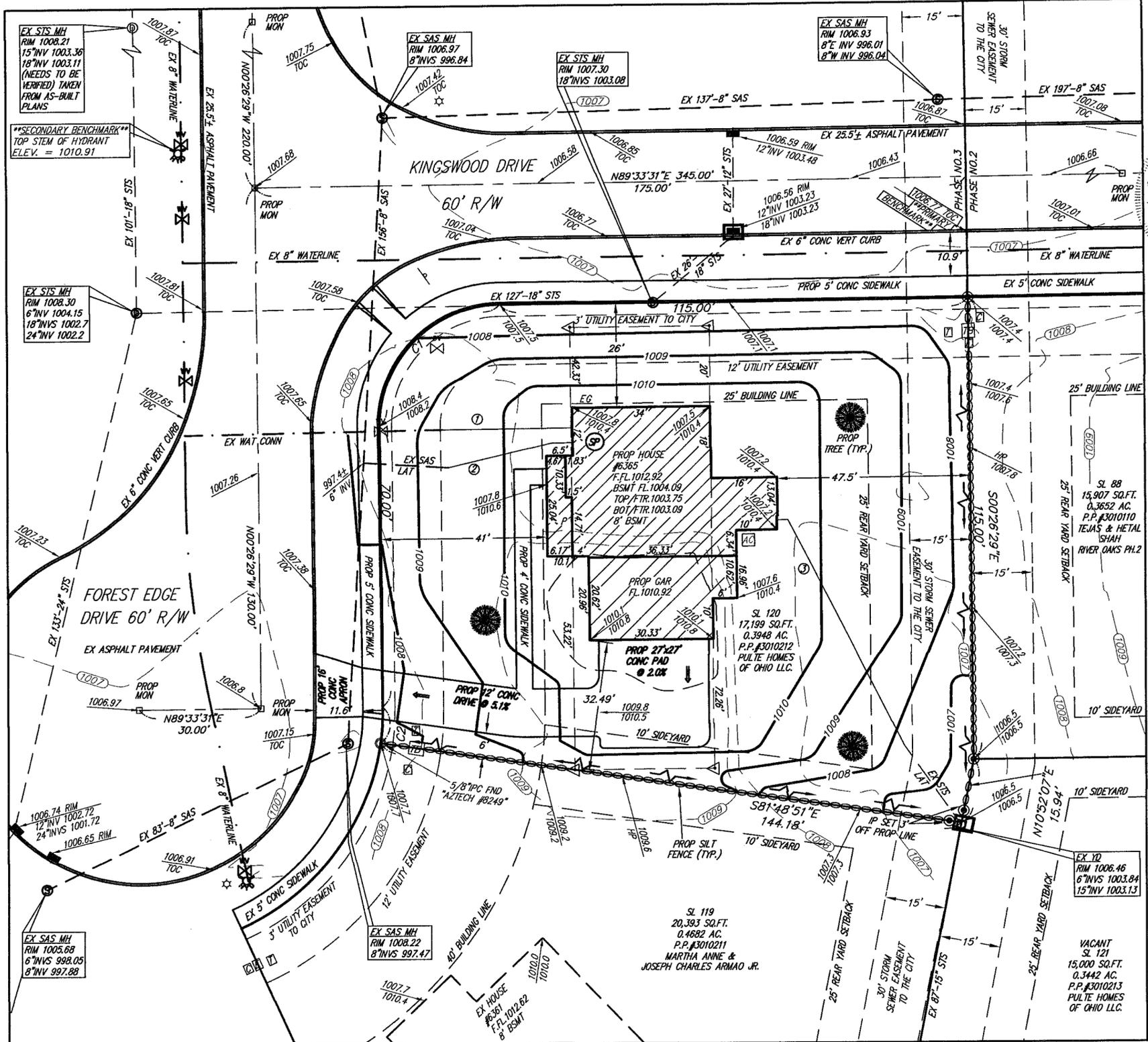
NOTE:
 FINAL LOCATION OF (3) TREES TO BE DETERMINED AND INSTALLED BY PURCHASER IN COMPLIANCE WITH CITY OF HUDSON LAND DEVELOPMENT CODE (1207.04).

NOTES:
 DOWNSPOUTS TO BE CONNECTED TO STORM SEWER CONNECTION
 SUMP PUMP REQUIRED FOR FOOTER DRAINS

NOTE:
 PURCHASER TO INSTALL MINIMUM OF 3 TREES PER MUNICIPAL REQUIREMENTS

NOTE:
 PURCHASER TO INSTALL LANDSCAPING PER CITY OF HUDSON LANDSCAPING REQUIREMENTS.

NOTE:
 PER ARB, EGRESS WINDOW WELLS SHOULD BE NO MORE THAN 6" ABOVE FINISHED GRADE



PERCENTAGE OF LOT COVERAGE = 23.1%

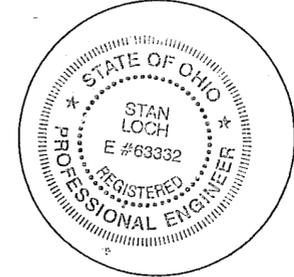
HOUSE COVERAGE = 2,368 SQ.FT.
 DRIVEWAY COVERAGE = 1,374 SQ.FT.
 WALKWAY COVERAGE = 235 SQ.FT.
 TOTAL COVERAGE = 3,977 SQ.FT.

DATE OF SURVEY:
 JANUARY 6th, 2020

TYPE OF HOUSE:
 PLAN # HOLBROOK
 ELEVATION: 1
 GAR: 3 CAR SIDE RIGHT W/8' BASEMENT
 SUNROOM & FIREPLACE

- ① = PROP 1" WAT CONN
- ② = PROP 6" PVC SAS CONN @ 1.0% MIN 10% MAX
- ③ = PROP 6" PVC STS CONN @ 1.0% MIN 10% MAX

- LEGEND:**
- = PROPOSED TREE
 - = PROP MONUMENT
 - = EX CURB INLET
 - = EX SANITARY MANHOLE
 - = EX YARD DRAIN
 - = IRON PIN SET 5/8" X 30" REBAR CAPPED "AZTECH #8249"
 - = EXISTING GRADE
 - - - = PROPOSED GRADE
 - = PROP SILT FENCE
 - = INLET PROTECTION
 - ⊕ = EX HYDRANT
 - ⊕ = EX WATER VALVE
 - ⊕ = SUMP PUMP
 - ⊕ = EX STORM MANHOLE
 - = SWALE
 - = FLOW ARROW
 - ⊕ = AIR CONDITIONER
 - E = ELECTRIC CONNECTION
 - G = GAS CONNECTION
 - ▽ = OFFSET HUB
 - ⊕ = CABLE PEDESTAL
 - ⊕ = ELECTRIC BOX
 - ⊕ = TELEPHONE PEDESTAL
 - ⊕ = SIGN
 - ⊕ = GAS VALVE



I CERTIFY THAT THIS PLAN WAS PREPARED BY ME AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

1-14-2020
 STAN R. LOCH P.E. #63332 DATE

5425 WARNER ROAD - SUITE 12
 VALLEY VIEW, OHIO 44125
 440-602-9071

AZTECH
 FAX 216-369-0259
 ENGINEERING and SURVEYING
 Civil Engineering · Land Surveying

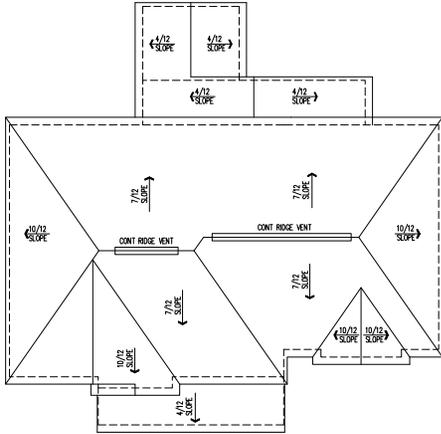
SHEET CONTENT

SITE PLAN FOR PULTE HOMES SUBLOT 120
 6365 FOREST EDGE DRIVE IN THE RESERVE AT RIVER OAKS SUBDIVISION PH.3 SITUATED IN THE CITY OF HUDSON COUNTY OF SUMMIT STATE OF OHIO

REVISIONS			
NO.	DATE	DESCRIPTION	BY

HORIZ. SCALE	VERT. SCALE
1" = 20'	1" = 20'
DRAWN BY KEG	DATE 1-14-2020
CHECKED BY SRL	DRAWING NO Site-Plans
JOB NO 20142977-3	SHEET 1 OF 1

ATTIC VENTILATION SCHEDULE													
1 REVISION	ST FLOOR VENT			2ND FLOOR VENT			3RD FLOOR VENT			TOTAL			
	LOC	AREA	NO. VENT	LOC	AREA	NO. VENT	LOC	AREA	NO. VENT	LOC	AREA	NO. VENT	
	200	840	238	300	147	238							
	TOTAL	130	432	238	130	238							



ROOF PLAN
SCALE 1/8" = 1'-0"



LEFT ELEVATION
SCALE 1/4" = 1'-0"



RIGHT ELEVATION
SCALE 1/4" = 1'-0"

Cleveland Division
387 Medina Rd. Suite 1700
Medina, OH 441256



Elevation - 1
Side Elevations and Roof Plan

PRODUCTION MANAGER
SHEENA PHELPS
DATE: 01/29/2020

REVISIONS

1	
2	
3	
4	
5	
6	
7	
8	
9	
10	

PROJECT TYPE: **SINGLE FAMILY**

COMMUNITY NAME: **RIVER OAKS LOT 120**

LAWSON COMMUNITY ID:

GARAGE FINISHING: **GARAGE RIGHT**

SPECIFICATION LEVEL: **TBD**

LOT NAME: **HOLBROOK**

SEC PLAN NUMBER: **TBD**

LAWSON PLAN ID: **PLAN 3140**

SHEET
7.01a2

ENGINEER OF RECORD: MALLINEN & SAUER ENGINEERS ARCHITECT OF RECORD: GEORGE DESIGN - ARCHITECTS NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 25X34 SHEETS - TYPICAL SHEETS REPRESENT 1/2" SCALE PLOTS

