

EXTERIOR FINISH LEGEND			
KEY	ITEM/MATERIAL	SIZE/TYPE/COLOR	MANUFACTURER
Ⓐ	XXXX	XXXX	XXXX
Ⓑ	XXXX	XXXX	XXXX
Ⓒ	XXXX	XXXX	XXXX
Ⓓ	XXXX	XXXX	XXXX
Ⓔ	XXXX	XXXX	XXXX
Ⓕ	XXXX	XXXX	XXXX

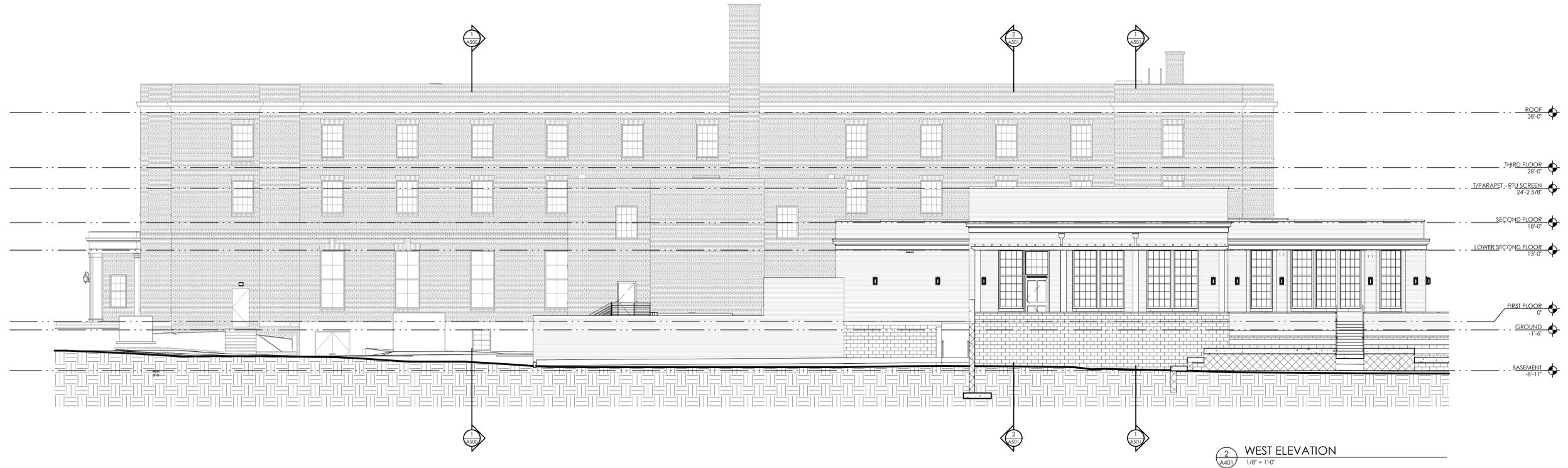
*All typical glazing to be insulated glazing system Ⓖ = laminated glass

GENERAL ELEVATION NOTES

- Field verify all existing conditions prior to demolition.
- Notify Architect immediately of any discrepancies between actual existing conditions and the construction documents.
- Coordinate demolition of interior walls with new walls to be constructed. See floor plan sheets for locations of existing walls which may remain.
- Prep surfaces as required for new finishes wherever existing floor and wall coverings are removed.
- Patch existing walls, columns, floors, and ceilings as required where demolished construction intersects existing construction to remain, damage repaired.
- In areas of demolition where existing finishes are to remain, all surfaces are to be protected.
- Provide temporary moisture protection as required during demolition.
- Notify the Architect immediately of any structural elements which are uncovered during the course of rehabilitation and which are found to be unsound or otherwise structurally deficient.
- See mechanical, plumbing, & electrical drawings for demolition scope of work otherwise not indicated as shown. Coordinate existing structure to remain with structural drawings prior to any demolition.
- Any & all existing wall art or memorabilia remaining is to be salvaged & returned to owner prior to demolition.
- Repair or replace existing masonry damaged during demolition and tuckpoint as required.
- Salvage existing brick to be removed. Brick shall be utilized for retooling of new openings.
- Complete abatement of asbestos containing materials prior to any subsequent demolition in the same area.

ELEVATION KEY NOTES

- Tuckpoint damaged brick. Use salvaged brick to replace broken bricks if applicable.
- New metal awning with integral light fixture.
- Replace damaged stone treads with new to match existing.
- New gutters and downspouts, color to be determined by Architect.
- New door fixed in place, provide painted drywall behind glazing. See floor plans/section.
- New aluminum chimney cap.
- New door fixed in place, floor infill beyond. Painted drywall to be provided at glazing intersecting with floor. See plans/section.
- New prefinished aluminum grill infill. Color bronze or match brick.



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Project No: 22-44
 Drawn / Checked: Author / Checker

Issue: Issue Title xx.xx

WEST & EAST
ELEVATIONS
A401

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EXTERIOR FINISH LEGEND			
KEY	ITEM/MATERIAL	SIZE/TYPE/COLOR	MANUFACTURER
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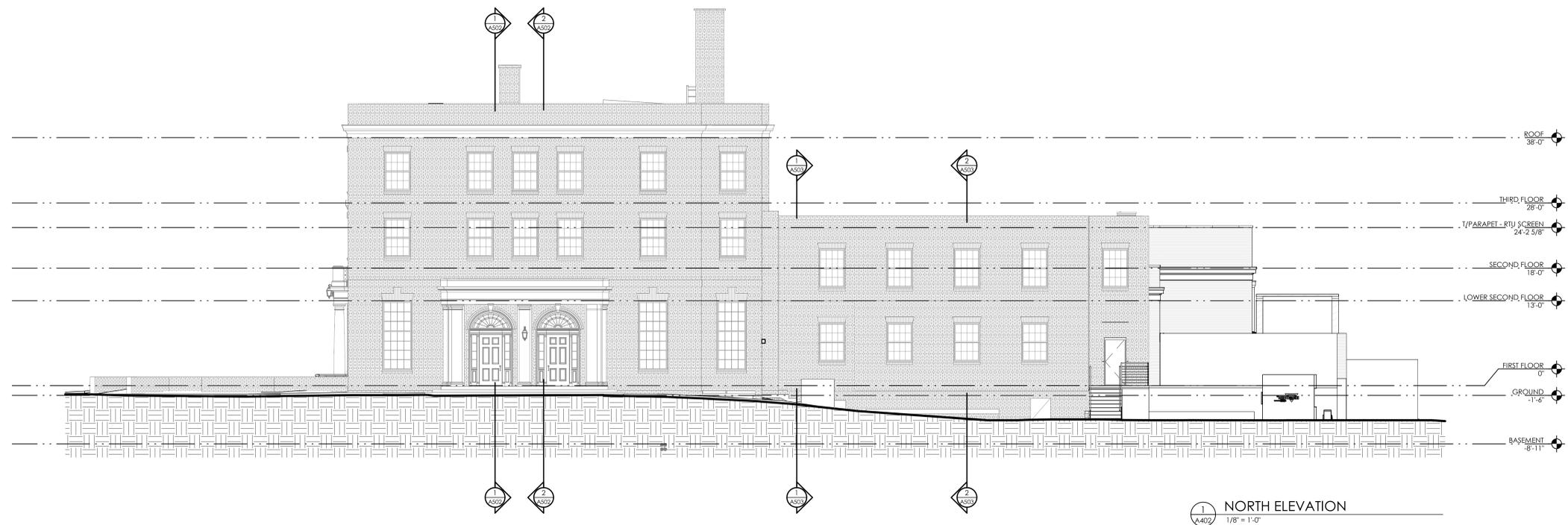
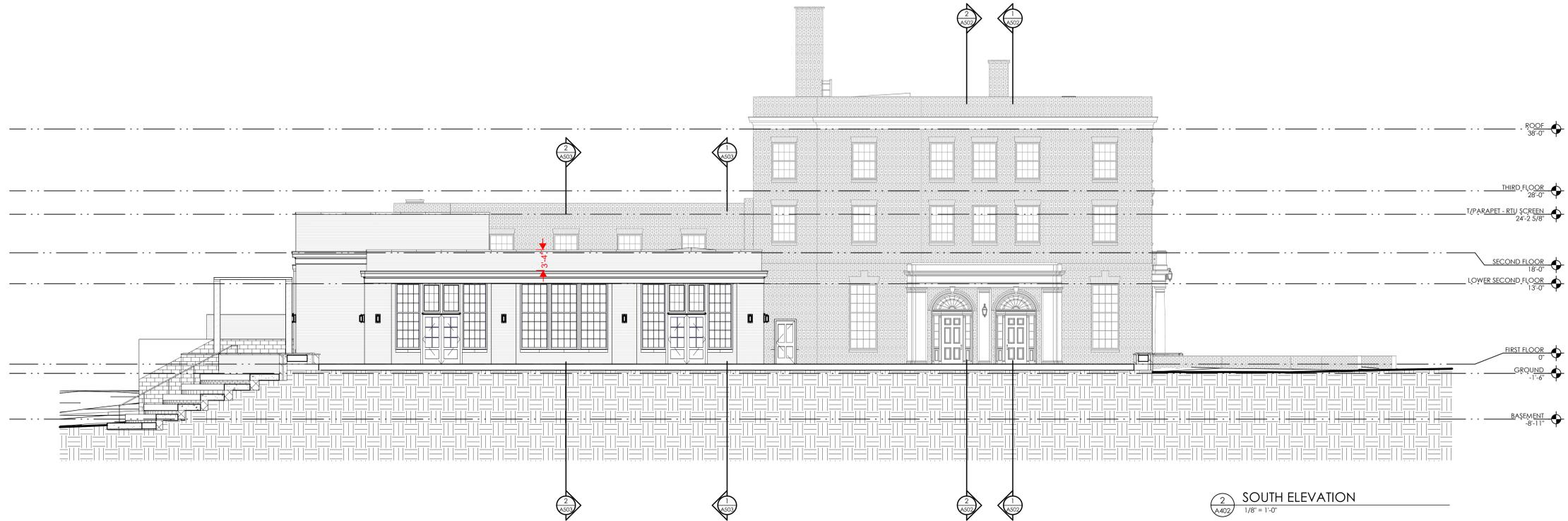
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NORTH & SOUTH ELEVATIONS
A402

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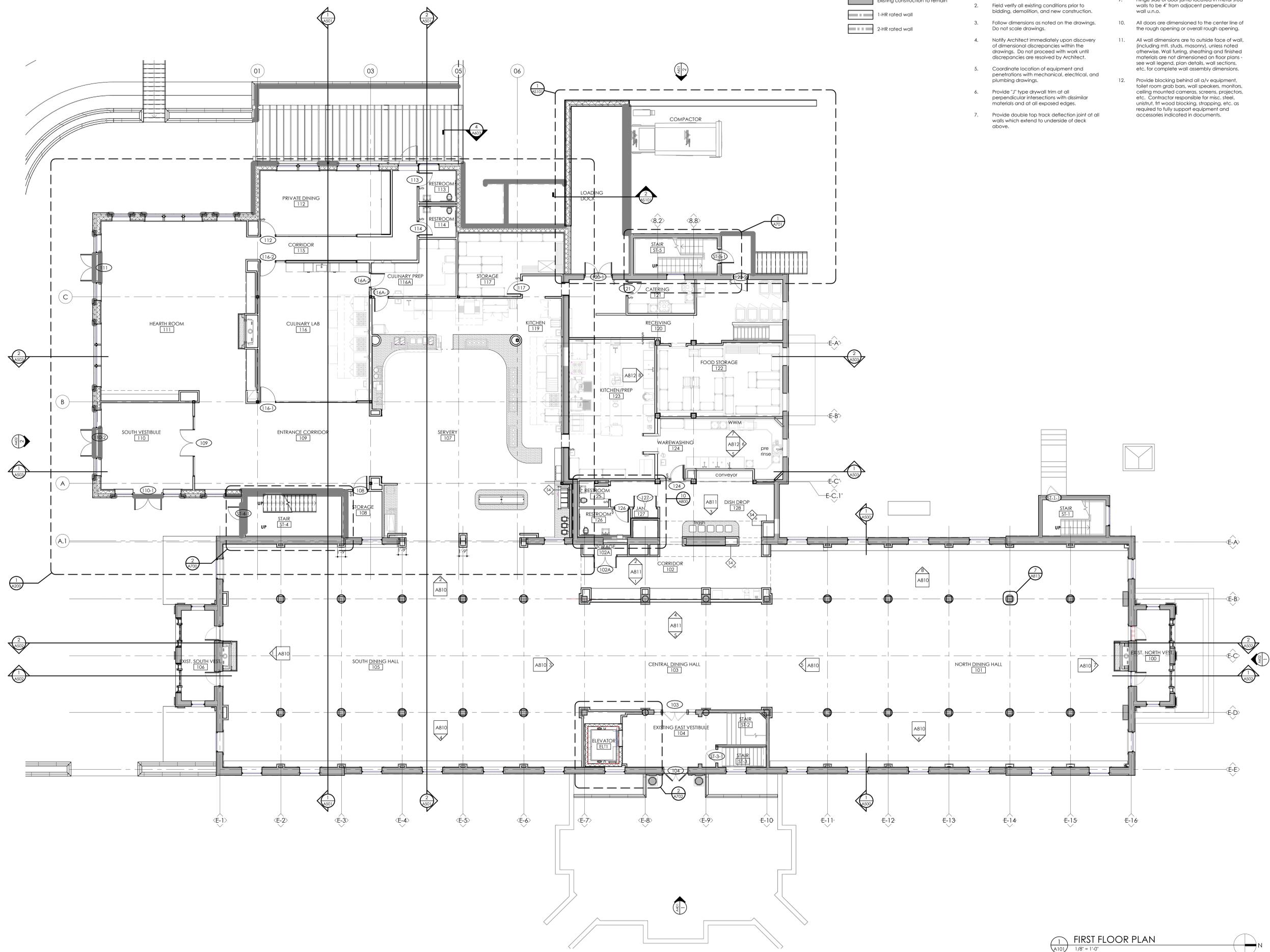
11/20/23 11:20:59 Address: 1778 College Street, Hudson, OH 44236 Project: WRA Ellsworth Hall

PLAN LEGEND

-  New wall construction
-  Existing construction to remain
-  1-HR rated wall
-  2-HR rated wall

GENERAL PLAN NOTES

1. Civil ground floor finish floor elev. = XXX' Architectural main level finish floor elev. = XXX'-X".
2. Field verify all existing conditions prior to bidding, demolition, and new construction. Do not scale drawings.
3. Follow dimensions as noted on the drawings. Do not scale drawings.
4. Notify Architect immediately upon discovery of dimensional discrepancies within the drawings. Do not proceed with work until discrepancies are resolved by Architect.
5. Coordinate location of equipment and penetrations with mechanical, electrical, and plumbing drawings.
6. Provide "J" type drywall trim at all perpendicular intersections with dissimilar materials and at all exposed edges.
7. Provide double top track deflection joint at all walls which extend to underside of deck above.
8. All wood blocking and plywood sheathing shall be fire retardant treated.
9. Hinge side of door jamb located in metal stud walls to be 4" from adjacent perpendicular wall u.n.a.
10. All doors are dimensioned to the center line of the rough opening or overall rough opening.
11. All wall dimensions are to outside face of wall, (including mtl. studs, masonry), unless noted otherwise. Wall luring, sheathing and finished materials are not dimensioned on floor plans - see wall legend, plan details, wall sections, etc. for complete wall assembly dimensions.
12. Provide blocking behind all a/v equipment, toilet room grab bars, wall speakers, monitors, ceiling mounted cameras, screens, projectors, etc. Contractor responsible for misc. steel, unistrut, ft wood blocking, strapping, etc. as required to fully support equipment and accessories indicated in documents.



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FIRST FLOOR PLAN
A101

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1 FIRST FLOOR PLAN
 A101 1/8" = 1'-0"

GENERAL ROOF NOTES:

- Contractor shall supply all tapered insulation as required to achieve roof slopes as detailed on drawing. Roof to maintain a minimum of R20 at all locations.
- Coordinate mechanical/pumbing equipment such as fans, vent pipe penetrations, roof drains, and other misc. roof penetrations with mechanical drawings.
- Patch roof deck as required by fully welding new roof deck to existing.
- All existing roof drain locations and associated piping are to remain. Refer to plumbing drawings for new work. (XRD) indicates exist. roof drain location. (RD) indicates new roof drain location. (OD) indicates new overflow roof drain locations. (D.S.) indicates new down spouts.
- Slope all rigid insulation positively to drain, minimum slope 1/4" per foot. Slope all roof crickets a minimum of 1/2" per foot. Provide tapered insulation as necessary.
- Dimension of ice and water guard location measured parallel with roof slope, 3'-0" min.

ROOF PLAN KEY NOTES:

- New pre-finished aluminum fresh air louver; finish color to be determined by Architect. For sizing, refer to Mechanical.
- New pre-finished aluminum gutters; finish color to be determined by Architect.
- New pre-finished aluminum downspouts; finish color to be determined by Architect.
- Patch and repair roof where penetrations occur.
- Clean and restore all existing stone coping. Repair or replace any broken coping to match original stone in profile, color and texture. New EPDM roofing to cover backside of parapet up over top of limestone coping, cover with pre-finished aluminum cap.
- Existing skylight glazing and frame to be replaced with new skylights similar in character. Patch and repair adjacent surfaces, including concrete/masonry base.
- New roof drains; exact location & quantity to be field verified. New roof membrane to slope minimum 1/2" per foot to existing roof drain locations.

ROOF LEGEND:

-  EXISTING CONSTRUCTION TO REMAIN
-  NEW ROOF SYSTEM
-  CRICKET/ TAPERED ROOF INSULATION
-  ROOF WALKWAY PADS
-  ICE & WATER GUARD AT EAVES



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5 ROOF PLAN
 A104 1/8" = 1'-0"

ROOF PLAN
A104

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PLAN LEGEND

- New wall construction
- Existing construction to remain
- 1-HR rated wall
- 2-HR rated wall

GENERAL PLAN NOTES

1. Civil ground floor finish floor elev. = XXX'. Architectural main level finish floor elev. = XXX'-X".
2. Field verify all existing conditions prior to bidding, demolition, and new construction. Do not scale drawings.
3. Follow dimensions as noted on the drawings. Do not scale drawings.
4. Notify Architect immediately upon discovery of dimensional discrepancies within the drawings. Do not proceed with work until discrepancies are resolved by Architect.
5. Coordinate location of equipment and penetrations with mechanical, electrical, and plumbing drawings.
6. Provide "J" type drywall trim at all perpendicular intersections with dissimilar materials and at all exposed edges.
7. Provide double top track deflection joint at all walls which extend to underside of deck above.
8. All wood blocking and plywood sheathing shall be fire retardant treated.
9. Hinge side of door jamb located in metal stud walls to be 4" from adjacent perpendicular wall u.n.o.
10. All doors are dimensioned to the center line of the rough opening or overall rough opening.
11. All wall dimensions are to outside face of wall, (including mtl. studs, masonry), unless noted otherwise. Wall luring, sheathing and finished materials are not dimensioned on floor plans - see wall legend, plan details, wall sections, etc. for complete wall assembly dimensions.
12. Provide blocking behind all a/v equipment, toilet room grab bars, wall speakers, monitors, ceiling mounted cameras, screens, projectors, etc. Contractor responsible for misc. steel, unistrut, ft wood blocking, strapping, etc. as required to fully support equipment and accessories indicated in documents.

WALL TAG KEY

- fill wall cavity with sound attenuation insulation
- fire rating (in hours)
- wall type variation

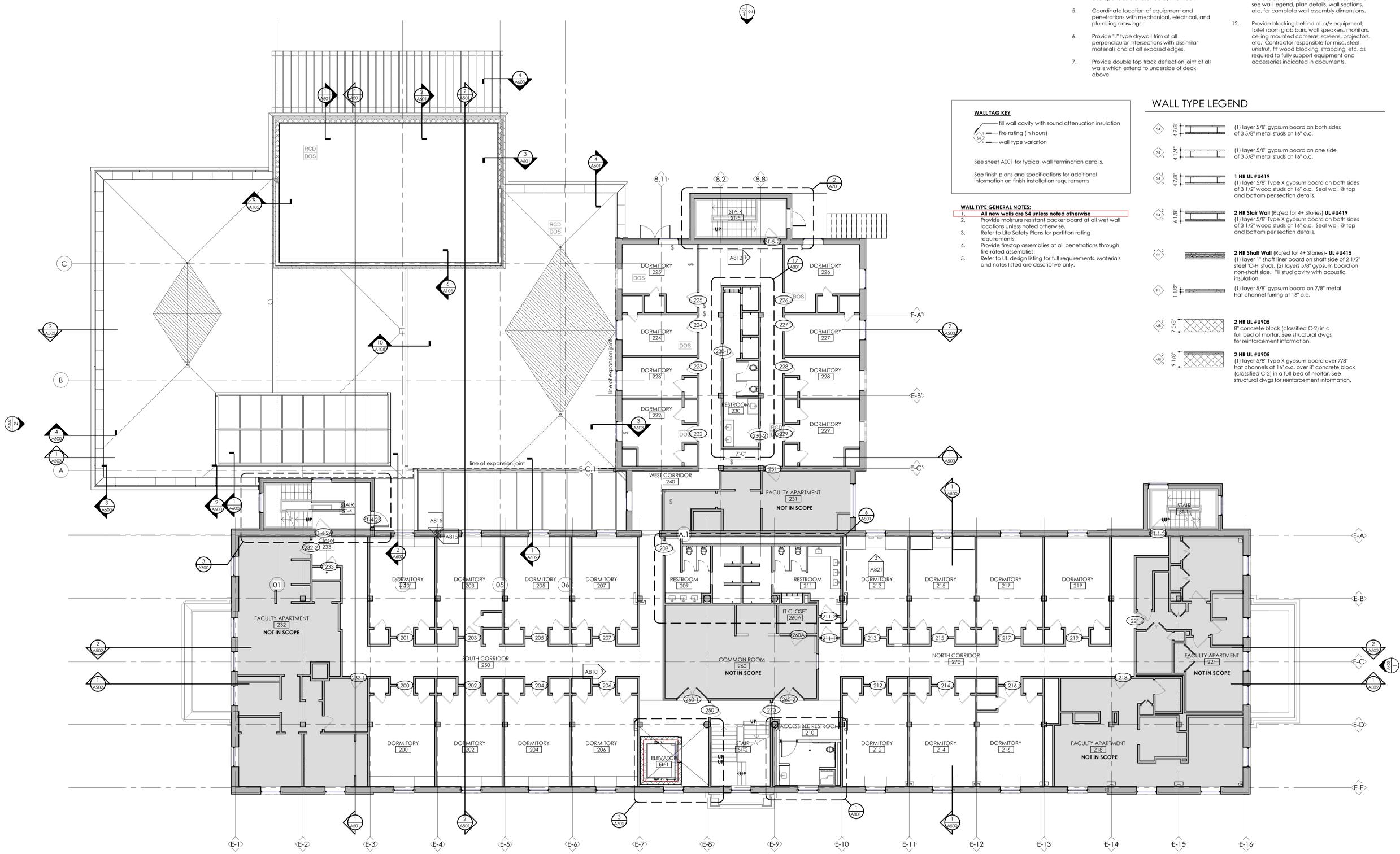
See sheet A001 for typical wall termination details.

See finish plans and specifications for additional information on finish installation requirements.

- WALL TYPE GENERAL NOTES:**
1. All new walls are 54' unless noted otherwise.
 2. Provide moisture resistant backer board at all wet wall locations unless noted otherwise. Refer to Life Safety Plans for partition rating requirements.
 3. Provide firestop assemblies at all penetrations through fire-rated assemblies. Refer to UL design listing for full requirements. Materials and notes listed are descriptive only.

WALL TYPE LEGEND

- (1) layer 5/8" gypsum board on both sides of 3 5/8" metal studs at 16" o.c.
- (1) layer 5/8" gypsum board on one side of 3 5/8" metal studs at 16" o.c.
- 1 HR UL #0419**
(1) layer 5/8" Type X gypsum board on both sides of 3 1/2" wood studs at 16" o.c. Seal wall @ top and bottom per section details.
- 2 HR SH-10 (Rq'd for 4+ Stories) UL #0419**
(1) layer 5/8" Type X gypsum board on both sides of 3 1/2" wood studs at 16" o.c. Seal wall @ top and bottom per section details.
- 2 HR SH-10 (Rq'd for 4+ Stories) UL #0415**
(1) layer 1" shaft liner board on shaft side of 2 1/2" steel 'C'-H' studs, (2) layers 5/8" gypsum board on non-shaft side. Fill stud cavity with acoustic insulation.
- (1) layer 5/8" gypsum board on 7/8" metal hat channel furring at 16" o.c.
- 2 HR UL #0905**
8" concrete block (classified C-2) in a full bed of mortar. See structural dwgs for reinforcement information.
- 2 HR UL #0905**
(1) layer 5/8" Type X gypsum board over 7/8" hat channels at 16" o.c. over 8" concrete block (classified C-2) in a full bed of mortar. See structural dwgs for reinforcement information.



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Project No: 22-44
Drawn / Checked: Author / Checker

Issue: Issue Title xx.xx.xx

PLAN LEGEND

- New wall construction
- Existing construction to remain
- 1-HR rated wall
- 2-HR rated wall

GENERAL PLAN NOTES

1. Civil ground floor finish floor elev. = XXX'. Architectural main level finish floor elev. = XXX'-X".
2. Field verify all existing conditions prior to bidding, demolition, and new construction. Do not scale drawings.
3. Follow dimensions as noted on the drawings. Do not scale drawings.
4. Notify Architect immediately upon discovery of dimensional discrepancies within the drawings. Do not proceed with work until discrepancies are resolved by Architect.
5. Coordinate location of equipment and penetrations with mechanical, electrical, and plumbing drawings.
6. Provide 1" type drywall firm at all perpendicular intersections with dissimilar materials and at all exposed edges.
7. Provide double top track deflection joint at all walls which extend to underside of deck above.
8. All wood blocking and plywood sheathing shall be fire retardant treated.
9. Hinge side of door jamb located in metal stud walls to be 4" from adjacent perpendicular wall u.n.o.
10. All doors are dimensioned to the center line of the rough opening or overall rough opening.
11. All wall dimensions are to outside face of wall, (including mtl. studs, masonry), unless noted otherwise. Wall lurring, sheathing and finished materials are not dimensioned on floor plans - see wall legend, plan details, wall sections, etc. for complete wall assembly dimensions.
12. Provide blocking behind all a/v equipment, toilet room grab bars, wall speakers, monitors, ceiling mounted cameras, screens, projectors, etc. Contractor responsible for misc. steel, unistrut, 1ft wood blocking, strapping, etc. as required to fully support equipment and accessories indicated in documents.

WALL TAG KEY

- fill wall cavity with sound attenuation insulation
- fire rating (in hours)
- wall type variation

See sheet A001 for typical wall termination details.

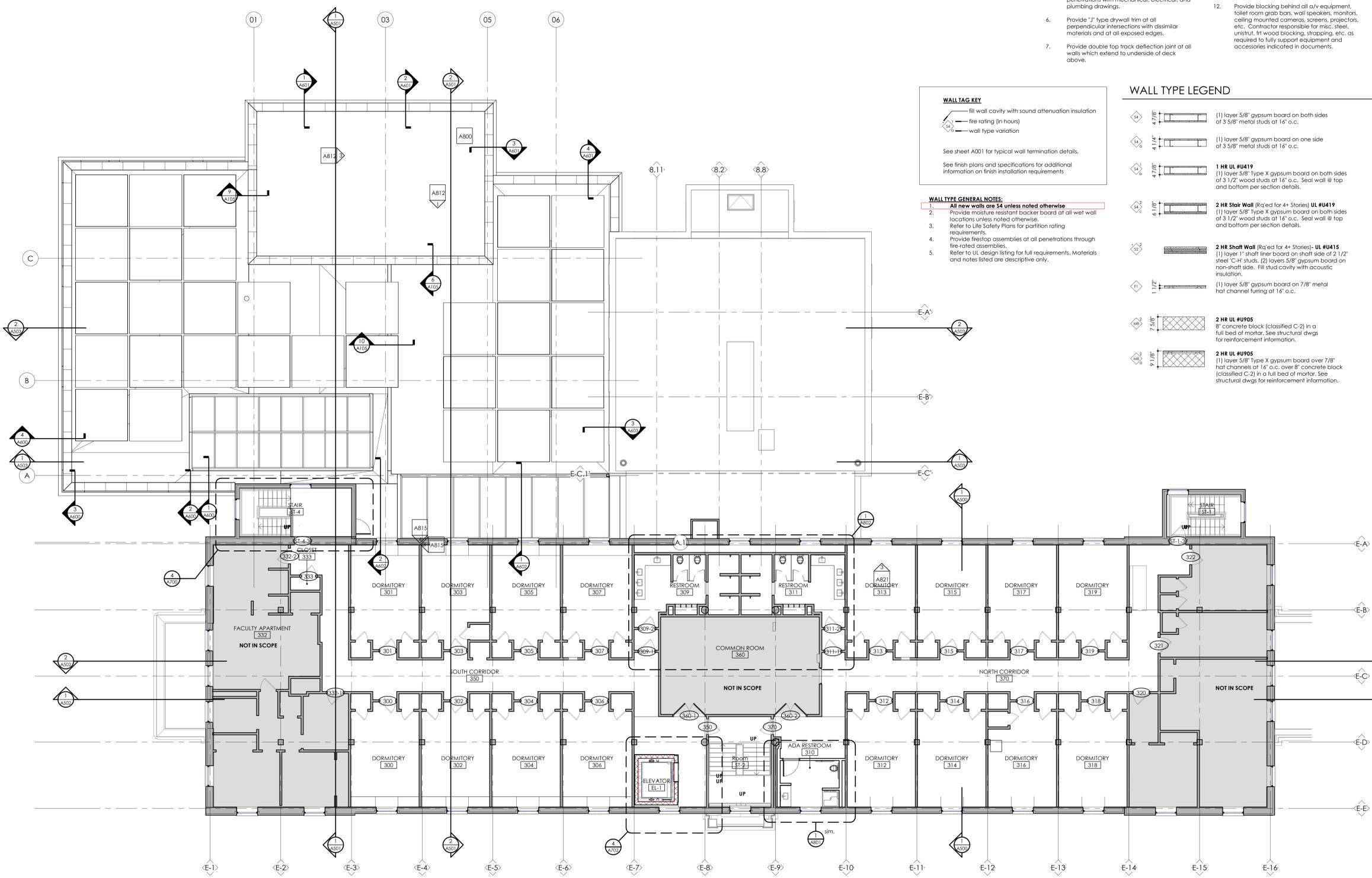
See finish plans and specifications for additional information on finish installation requirements.

WALL TYPE GENERAL NOTES:

1. All new walls are 54' unless noted otherwise.
2. Provide moisture resistant backer board at all wet wall locations unless noted otherwise. Refer to Life Safety Plans for partition rating requirements.
3. Provide firestop assemblies at all penetrations through fire-rated assemblies. Refer to UL design listing for full requirements. Materials and notes listed are descriptive only.

WALL TYPE LEGEND

- (1) layer 5/8" gypsum board on both sides of 3 5/8" metal studs at 16" o.c.
- (1) layer 5/8" gypsum board on one side of 3 5/8" metal studs at 16" o.c.
- 1 HR UL #0419 (1) layer 5/8" Type X gypsum board on both sides of 3 1/2" wood studs at 16" o.c. Seal wall @ top and bottom per section details.
- 2 HR SHOT WALL (Rq'd for 4+ Stories) UL #0419 (1) layer 5/8" Type X gypsum board on both sides of 3 1/2" wood studs at 16" o.c. Seal wall @ top and bottom per section details.
- 2 HR SHOT WALL (Rq'd for 4+ Stories) - UL #0415 (1) layer 1" shaft liner board on shaft side of 2 1/2" steel C-H studs, (2) layers 5/8" gypsum board on non-shaft side. Fill stud cavity with acoustic insulation.
- (1) layer 5/8" gypsum board on 7/8" metal hat channel lurring at 16" o.c.
- 2 HR UL #0905 8" concrete block (classified C-2) in a full bed of mortar. See structural dwgs for reinforcement information.
- 2 HR UL #0905 (1) layer 5/8" Type X gypsum board over 7/8" hat channels at 16" o.c. over 8" concrete block (classified C-2) in a full bed of mortar. See structural dwgs for reinforcement information.



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PLAN LEGEND

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-  1-HR rated wall
-  2-HR rated wall

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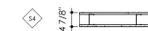
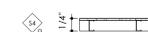
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-  wall type variation

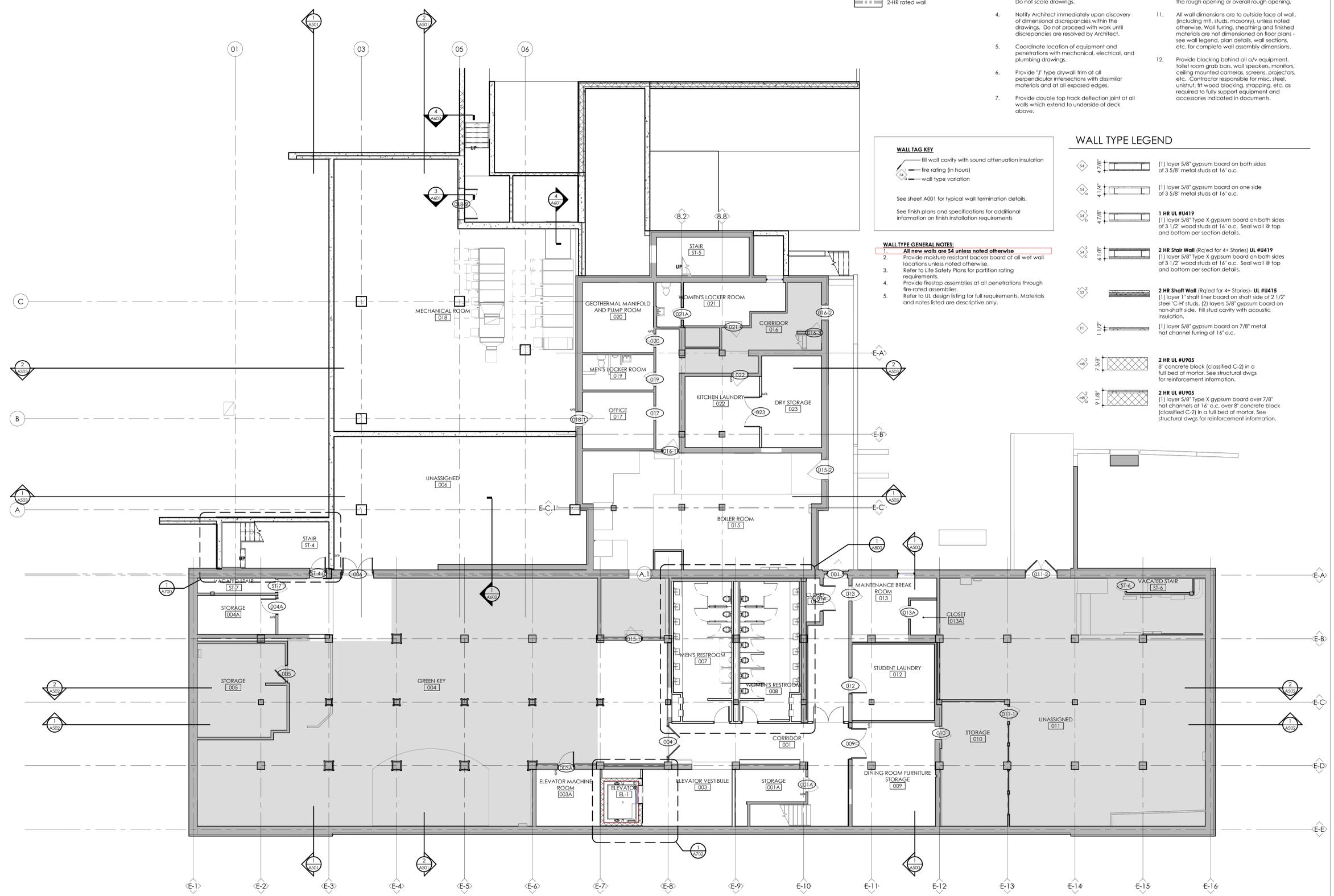
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WALL TYPE LEGEND

-  4' (1) layer 5/8" gypsum board on both sides of 3 5/8" metal studs at 16" o.c.
-  4 1/4' (1) layer 5/8" gypsum board on one side of 3 5/8" metal studs at 16" o.c.
-  4 7/8' **1 HR UL #0419** (1) layer 5/8" Type X gypsum board on both sides of 3 1/2" wood studs at 16" o.c. Seal wall @ top and bottom per section details.
-  6' **2 HR Stair Wall (Rq'd for 4+ Stories)- UL #0419** (1) layer 5/8" Type X gypsum board on both sides of 3 1/2" wood studs at 16" o.c. Seal wall @ top and bottom per section details.
-  6 1/2' **2 HR Shaft Wall (Rq'd for 4+ Stories)- UL #0415** (1) layer 1" shaft liner board on shaft side of 2 1/2" steel C-H studs, (2) layers 5/8" gypsum board on non-shaft side. Fill stud cavity with acoustic insulation.
-  7' (1) layer 5/8" gypsum board on 7/8" metal hat channel lurring at 16" o.c.
-  7 5/8' **2 HR UL #0905** 8" concrete block (classified C-2) in a full bed of mortar. See structural dwgs for reinforcement information.
-  8 1/8' **2 HR UL #0905** (1) layer 5/8" Type X gypsum board over 7/8" hat channels at 16" o.c. over 8" concrete block (classified C-2) in a full bed of mortar. See structural dwgs for reinforcement information.



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BASEMENT FLOOR PLAN
 1/8" = 1'-0"

BASEMENT FLOOR PLAN
A100