

****THE CONTRACTOR MUST CHECK THE BENCHMARK WITH THE EOP GRADES PRIOR TO DIGGING THE FOUNDATION.****

****PRIMARY BENCHMARK****
TOC/BOC @ P/L BETWEEN SUBLOTS 23/24 ELEV = 1021.56

****SECONDARY BENCHMARK****
TOP STEM OF HYDRANT IN FRONT OF S/L 24 ELEV = 1024.78

HOUSE COVERAGE = 3,510 SQ.FT.
DRIVEWAY COVERAGE = 1,326 SQ.FT.
WALKWAY COVERAGE = 181 SQ.FT.
TOTAL COVERAGE = 5,017 SQ.FT.

NOTES:

- PURCHASER TO INSTALL LANDSCAPING PER CITY OF HUDSON LANDSCAPING REQUIREMENTS.
- ALL PROPOSED FOOTERS WILL REQUIRE SURVEY CERTIFICATION ONCE SET AND PRIOR TO THE COMPLETION OF HOME CONSTRUCTION

PERCENTAGE OF LOT COVERAGE = 14.3%

BUILDER: DREES HOMES
CLEVELAND DIVISION
6860 W. SNOWVILLE ROAD
SUITE 105, BRECKSVILLE, OH 44141-3242
440-746-6426

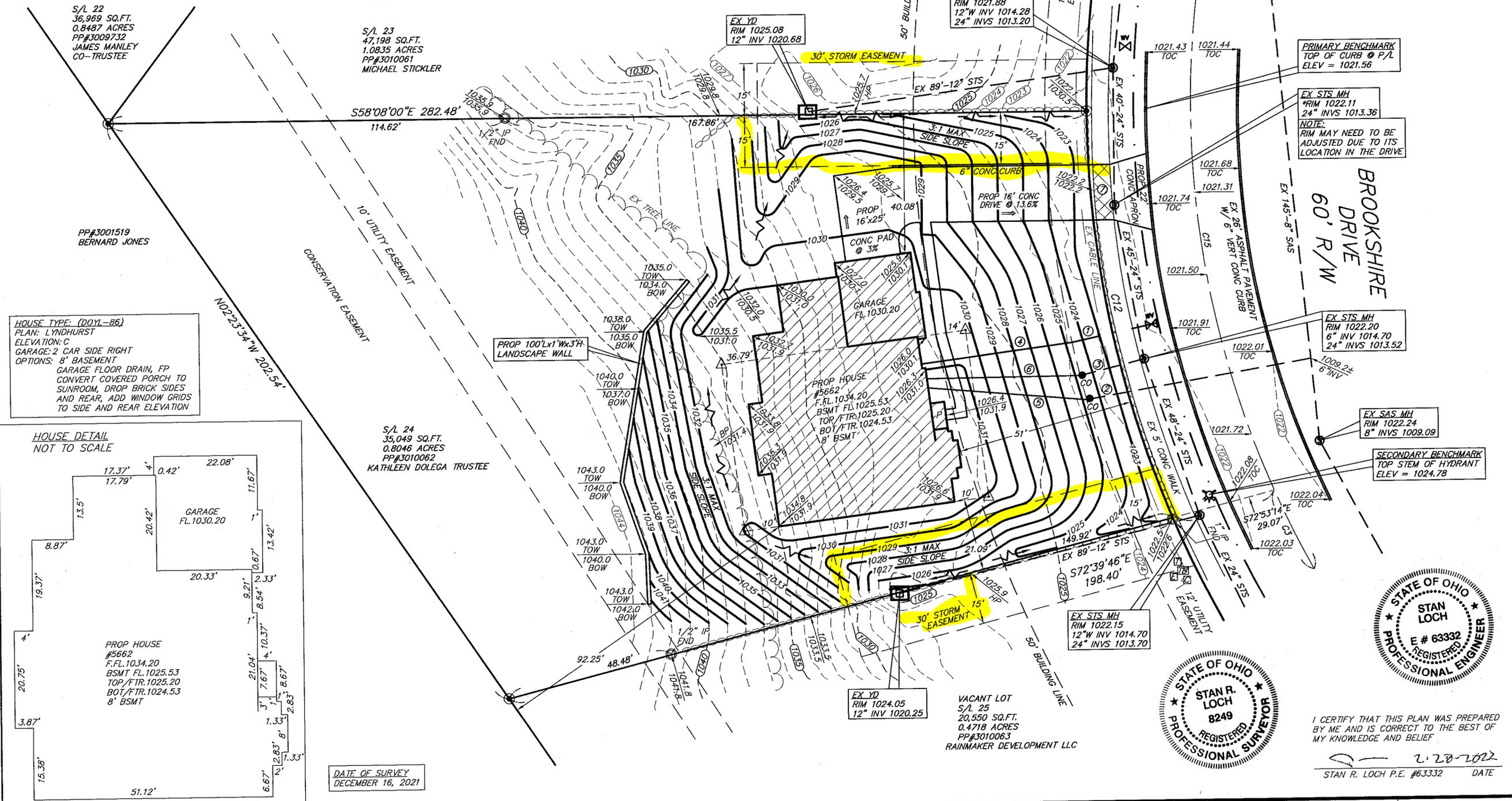
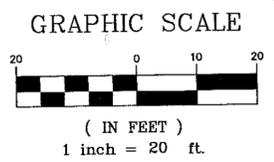
- ① = EX WAT CONN
- ② = EX 6" SAS LAT
- ③ = EX 6" STS LAT
- ④ = PROP WAT CONN
- ⑤ = PROP 6" PVC SAS CONN @ 1.0% MIN 10% MAX
- ⑥ = PROP 6" PVC STS CONN @ 1.0% MIN 10% MAX
- ⑦ = EX 5" CONC WALK TO BE REPLACED

LEGEND

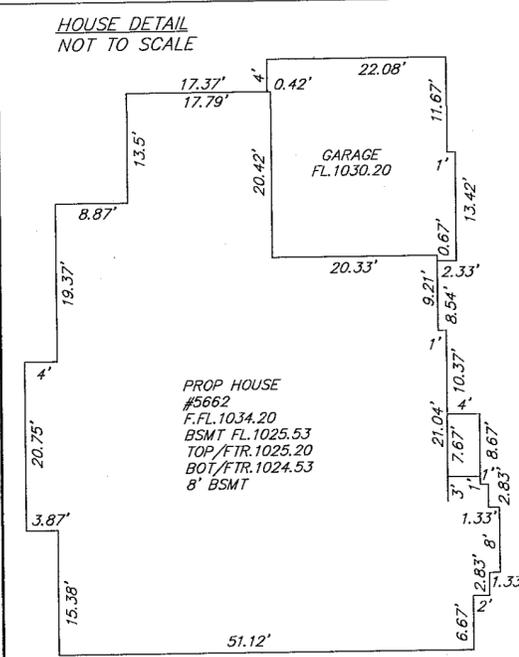
- = MONUMENT BOX
- = IRON PIN FND
- = IRON PIN SET
- ⊙ = 5/8"X30" REBAR CAPPED "AZTECH 8249"
- ⊕ = SANITARY MANHOLE
- ⊖ = STORM MANHOLE
- ⊗ = WATER VALVE
- ⊠ = FIRE HYDRANT
- ⊡ = ELECTRIC BOX
- ⊢ = TELEPHONE PEDESTAL
- ⊣ = CABLE PEDESTAL
- ⊤ = TRANSFORMER
- ⊥ = CLEANOUT
- ⊦ = OFFSET HUB
- ⊧ = ELECTRIC HOOKUP
- ⊨ = GAS HOOKUP
- ⊩ = PROP INLET PROTECTION
- ⊪ = SILT FENCE/FILTER SOCK
- ⊫ = TREE LINE
- = FLOW DIRECTION
- = SWALE
- = EXISTING GRADE
- - - = PROPOSED GRADE

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C15	236.86'	275.00'	126.34'	229.60'	S27°38'43"W	49°20'55"
C12	120.75'	305.00'	61.18'	119.97'	S20°31'26"W	22°41'04"
C3	25.50'	275.00'	12.76'	25.50'	S05°37'41"W	5°18'50"



HOUSE TYPE: (DOYL-86)
PLAN: LYNDHURST
ELEVATION: C
GARAGE: 2 CAR SIDE RIGHT
OPTIONS: 8' BASEMENT
GARAGE FLOOR DRAIN, FP
CONVERT COVERED PORCH TO
SUNROOM, DROP BRICK SIDES
AND REAR, ADD WINDOW GRIDS
TO SIDE AND REAR ELEVATION



DATE OF SURVEY
DECEMBER 16, 2021



I CERTIFY THAT THIS PLAN WAS PREPARED BY ME AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF

STAN R. LOCH P.E. #63332 DATE 2.28.2022

NO.	DATE	DESCRIPTION	BY

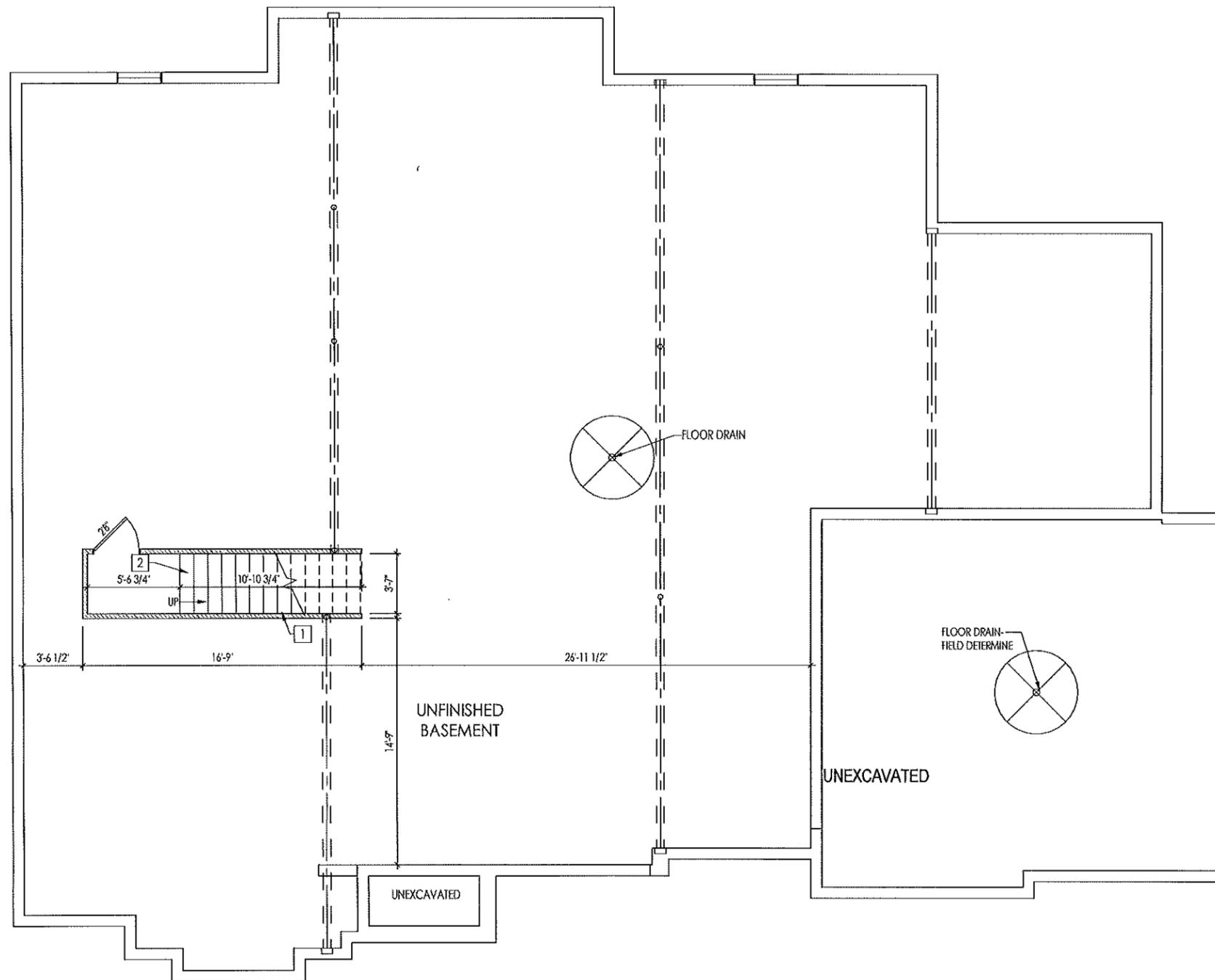
SITE PLAN FOR
DREES HOMES
DOYL 86
5662 BROOKSHIRE DRIVE
S/L 24 SUBDIVISION RE-PLAT OF NOTTINGHAM GATE ESTATES PHASE V
PLAT REC#56131967
CITY OF HUDSON, SUMMIT COUNTY, OHIO

5425 WARNER ROAD - SUITE 12
VALLEY VIEW, OHIO 44125
440-602-9071 FAX 216-369-0259

AZTECH
ENGINEERING and SURVEYING
Civil Engineering · Land Surveying

HORIZ. SCALE: 1" = 20'	VERT. SCALE:
DRAWN BY: CL	DATE: 2/28/2022
CHECKED BY: SRL	DRAWING NO.: 20213757
JOB NO.: 20213757	SHEET: 1 OF 1

REISSUED: 02/21/2022



General Notes:
 1. REFER TO SHEET ON.1 FOR GENERAL NOTES.
 2. REFER TO SELECTION SHEETS FOR FLOORING MATERIAL PRIOR TO CONSTRUCTING STAIRS TO DETERMINE RISER HEIGHTS.

Key Notes:

- 1 STAIRS TO BE ENCLOSED WITH FULL HEIGHT STUDS @ 16" O.C. AND DRYWALLED ON INTERIOR STAIRWELL ONLY TO BOTTOM OF THE RUN
- 2 RE: DETAIL C & D/7.03 FOR BASEMENT STAIR FRAMING DETAILS
- 3
- 4
- 5
- 6
- 7
- 8
- 9
- 10

Space for Architect Seal

RESIDENCE FOR:
SMITH
 5662 BROOKSHIRE DR.
 DREES ON YOUR LOT

Job Number: DOYL-0086-00	Drawing Date: 12/6/21	Coord Name: M. HYATT	Coord Phone: 859.578.4290
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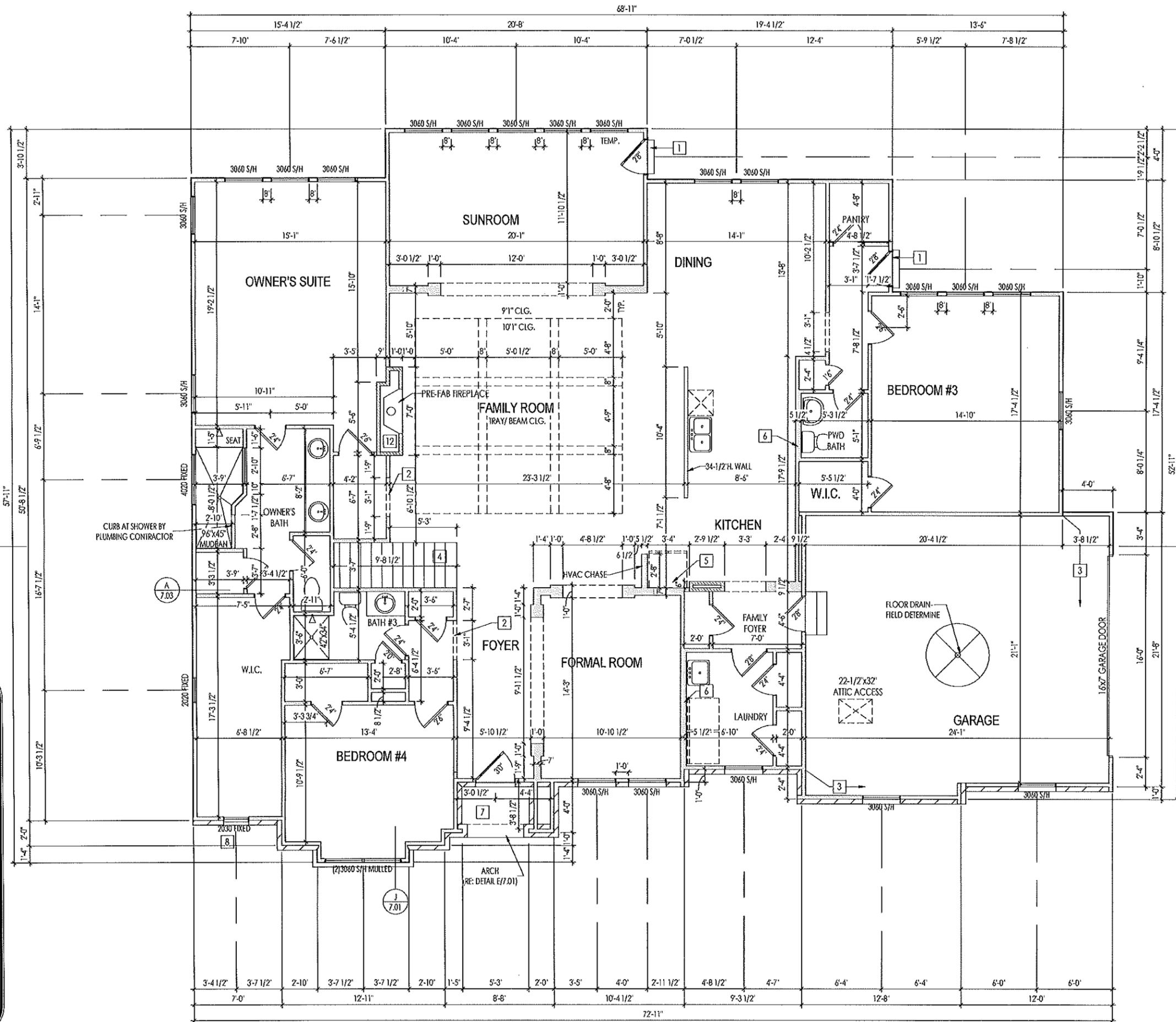
House Name:	Drawing Scale: 1/8" = 1'0"	Contract Drawn By: LJR
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the LYNDHURST

Born on Date: 12/23/2016	CDs Drawn By: BLC	Plan No.: PLAN_NM	Series: SERIES_NM
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<p style="font-size: 0.8em;">Copyright © 2016, [2020] The Drees Company, All Rights Reserved. 900 East 96th Street, Suite 100, Indianapolis, IN 46260 Phone: (317) 347-7300</p>	Sheet Information	1.02
		Basement Framing Plan Elevation 'C'

REISSUED: 02/24/2022



General Notes:

1. REFER TO SHEET 0N.1 FOR GENERAL NOTES.
2. ALL FIRST FLOOR CEILINGS TO BE 9'-1" ABOVE SUBFLOOR UNLESS OTHERWISE NOTED.
3. FRAME TOP OF ALL WINDOWS AT 1'-0 1/4" BELOW TOP OF PLATE UNLESS OTHERWISE NOTED.
4. ALL DROPPED, INTERIOR HEADERS (FALSE AND BEARING) ARE DROPPED 1'-0" FROM CEILING UNLESS CALCULATIONS REQUIRE LARGER HEADERS.
5. REFER TO SELECTION SHEETS FOR FLOORING MATERIAL PRIOR TO CONSTRUCTING STAIRS TO DETERMINE RISER HEIGHTS.

REFER TO SHEET 2.01S FOR STRUCTURAL INFORMATION

- Key Notes:**
- 1 PROVIDE DOOR BARRICADE
 - 2 FALSE HEADER
 - 3 GARAGE WALL HEIGHT: 10'-3 1/8" w/ 2x4's @ 12" O.C.
 - 4 RE: DETAIL C & D/7.03 FOR BASEMENT STAIR FRAMING DETAILS
 - 5 REFRIG. HEADER HELD TO 6'-8" A.F.F.
 - 6 DO NOT LOCATE TRUSS ABOVE PLUMBING WALL.
 - 7 CARPENTER TO DROP ELECTRICAL WIRE THROUGH PORCH CEILING FOR LIGHTS
 - 8 TOP OF WINDOW AT 2'-6 1/4" DOWN FROM CEILING
 - 9 FRAME SHOWER SEAT AT 18" HIGH, WITH 2x4 STUDS @ 16" O.C. AND COVER TOP AND SIDES WITH 5/8" WOOD SHEATHING, SLOPE TOP 3/4" FROM BACK TO FRONT FOR WATER RUN-OFF (CONTINUE OVER FRONT & BACK OF SEAT)
 - 10
 - 11
 - 12 DIRECT VENT FIREPLACE - REFER TO SELECTION SHEET FOR MODEL AND FIREPLACE DETAIL SHEET F-1 FOR FRAMING INFORMATION
 - 13

Space for Architect Seal

RESIDENCE FOR:
SMITH
5662 BROOKSHIRE DR.
DREES ON YOUR LOT

Job Number: DOYL-0086-00	Drawing Date: 12/6/21	Coord Name: M. HYATT	Coord Phone: 859.578.4290
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House Name:	Drawing Scale: 1/8" = 1'-0"	Contract Drawn By: LJR
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the LYNDHURST

Series: SERIES_NM
Plan No.: PLAN_NM

Born on Date: 12/23/2016	CDs Drawn By: BLC
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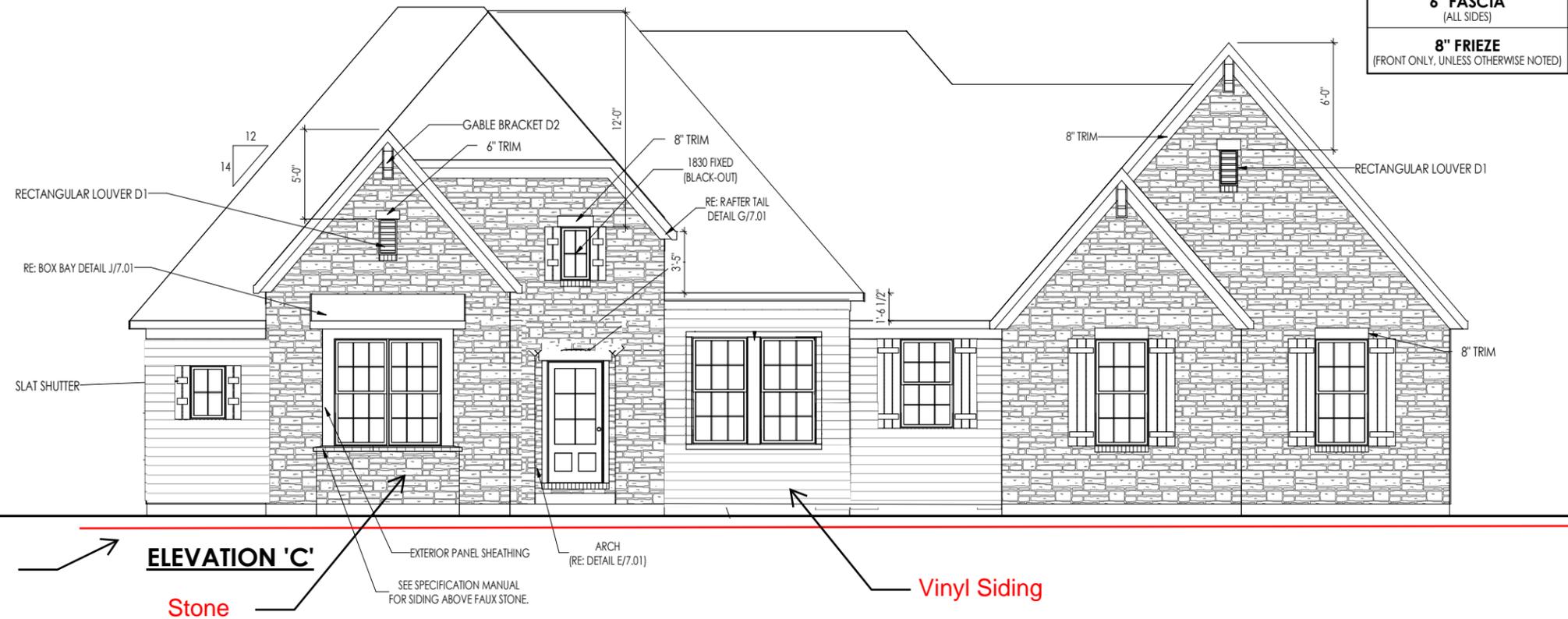
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2.01F

First Floor Framing Plan
Elevation 'C'

Sheet Information

TYPICAL TRIM:
6" FASCIA
 (ALL SIDES)
8" FRIEZE
 (FRONT ONLY, UNLESS OTHERWISE NOTED)



FRONT ELEVATION



REAR ELEVATION

General Notes:

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.
2. ROOFING MATERIAL PER SELECTIONS.

Key Notes:

- 1
- 2
- 3
- 4
- 5

BRICK and STONE LINTEL SCHEDULE

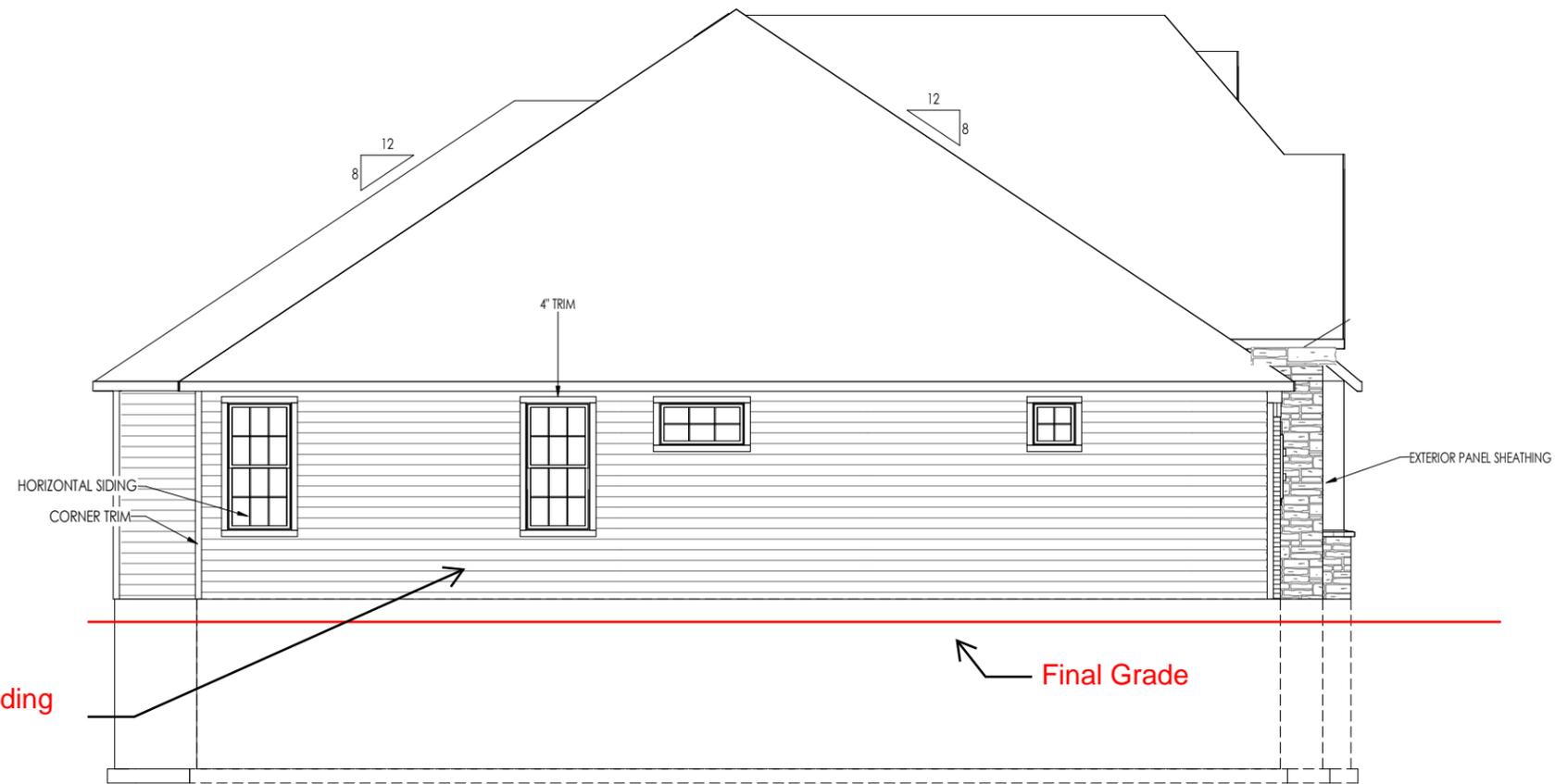
	SPAN	36" HIGH	48" HIGH	LINTEL SIZE	WINDOW ABOVE
*BRICK	Up to 6'-0"	---	---	L3 1/2 x 3 1/2 x 1/4	---
	Up to 8'-3"	---	---	L5 x 3 1/2 x 5/16	---
	Up to 9'-3"	---	---	L6 x 4 x 5/16	L7 x 4 x 3/8
	Up to 16'-3"	L7 x 4 x 3/8	L8 x 4 x 1/2	L8 x 4 x 1/2	**per Design
*STONE	Up to 6'-0"	---	---	L4 x 3 1/2 x 1/4	---
	Up to 8'-3"	---	---	L5 x 3 1/2 x 5/16	---
	Up to 9'-3"	---	L6 x 4 x 3/8	L7 x 4 x 3/8	**per Design
	Up to 16'-3"	---	L8 x 4 x 1/2	**per Design	**per Design

All Lintels: 4" Minimum bearing required each end
 * Brick is based on 40psf and Stone is based on 60psf
 ** Any lintels not described by the above parameters shall be specifically designed.

Space for Architect Seal

RESIDENCE FOR:
SMITH
 5662 BROOKSHIRE DR.
 DREES ON YOUR LOT

Job Number: DOYL-0086-00	Drawing Date: 12/6/21	Coord Name: M. HYATT	Coord Phone: 859.578.4290
House Name: the LYNDHURST		Drawing Scale: 1/8" = 1'0"	
Born on Date: 12/23/2016		CDs Drawn By: BLC	
Contract Drawn By: LJR		Series: SERIES_NM	
Plan No.: PLAN_NM			



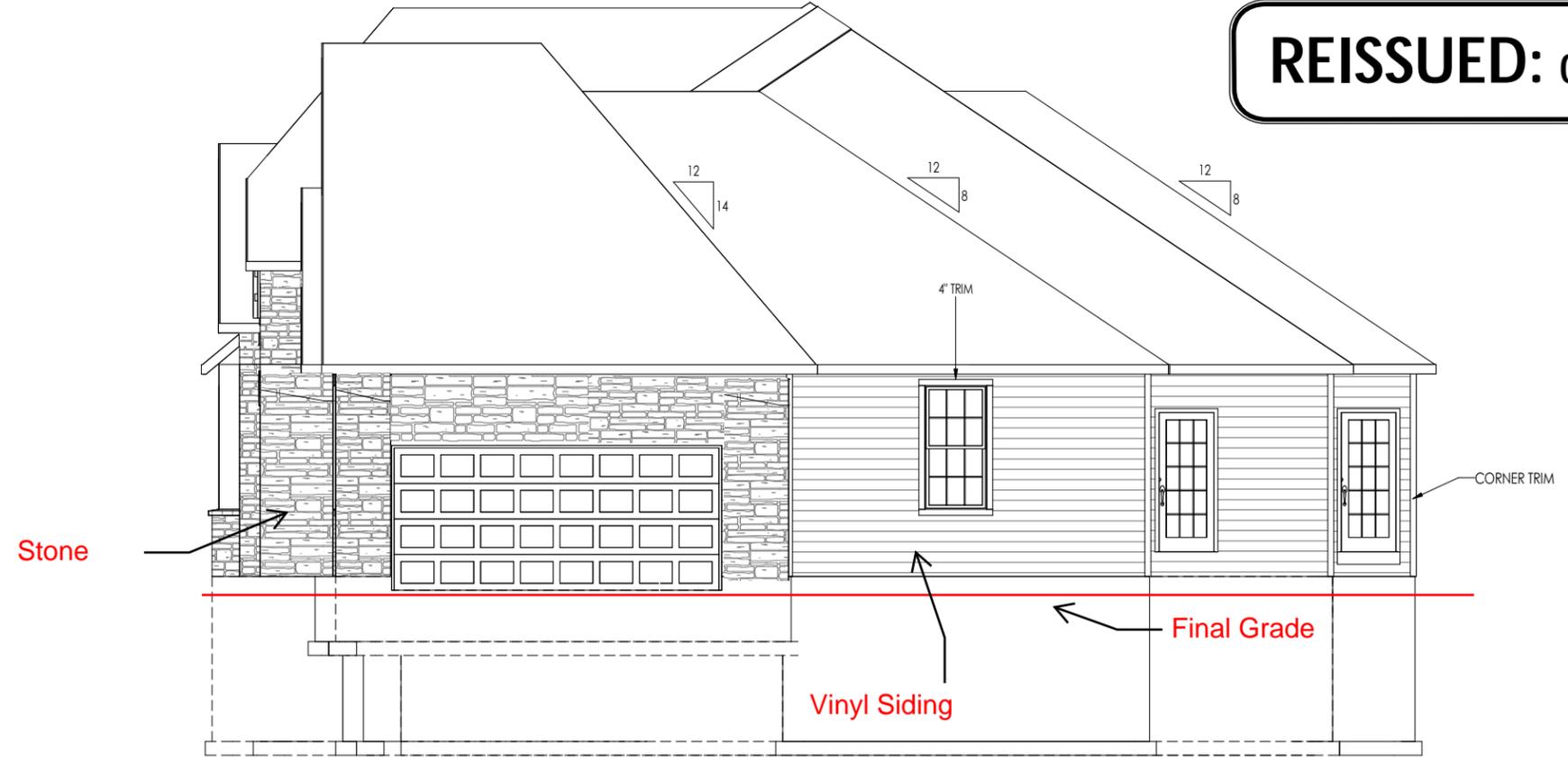
SIDE ELEVATION

TYPICAL TRIM:
6" FASCIA (ALL SIDES)
8" FRIEZE (FRONT ONLY, UNLESS OTHERWISE NOTED)

General Notes:
 1. REFER TO SHEET ON.1 FOR GENERAL NOTES.
 2. ROOFING MATERIAL PER SELECTIONS.
 3. SEE SHEET 6.01 FOR BRICK LINTEL SCHEDULE AS NEEDED.

Key Notes:
 1 -
 2 -
 3 -
 4 -
 5 -

REISSUED: 02/24/2022



GARAGE SIDE ELEVATION

Space for Architect Seal

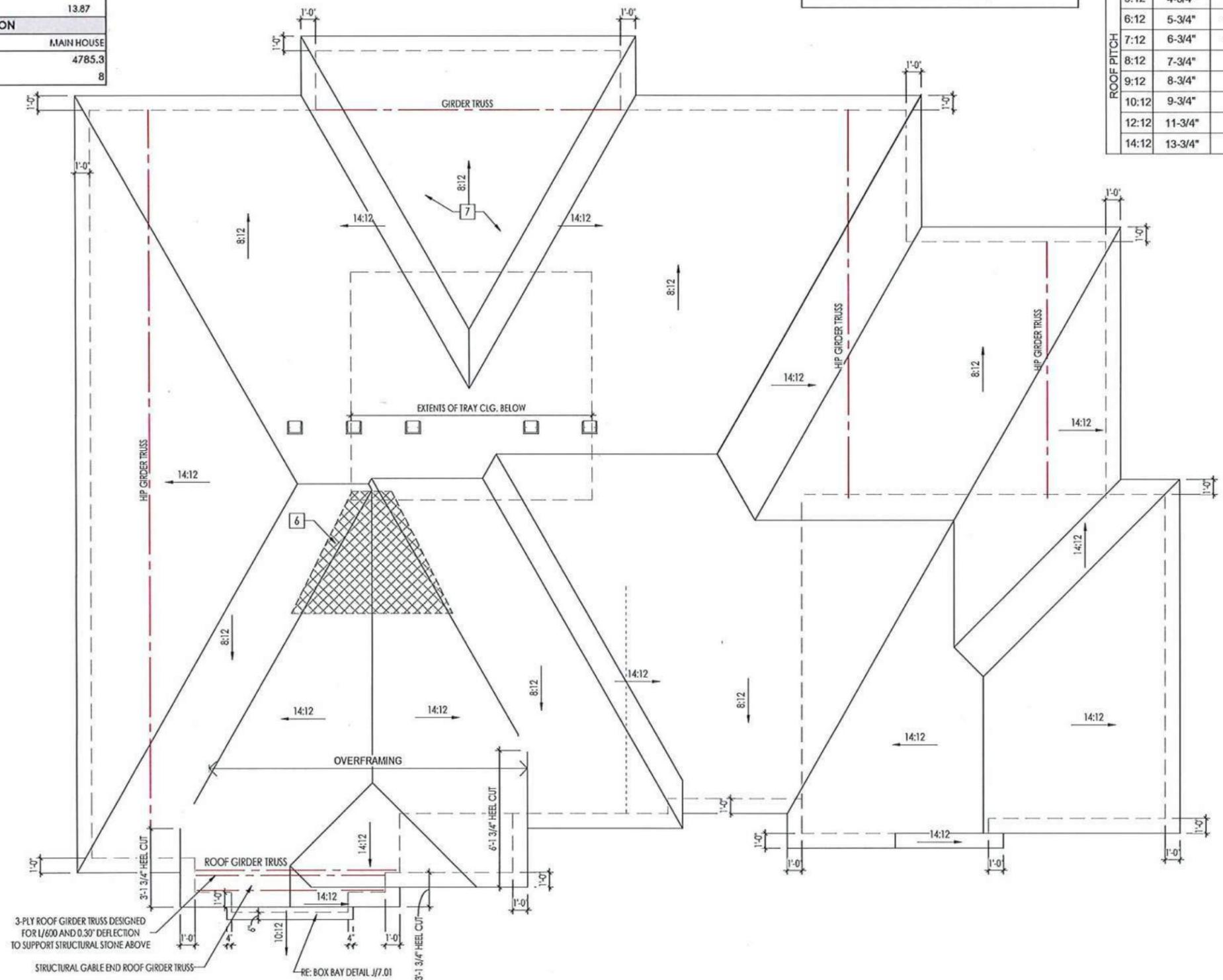
RESIDENCE FOR: SMITH 5662 BROOKSHIRE DR. DREES ON YOUR LOT			
Job Number: DOYL-0086-00	Drawing Date: 12/6/21	Coord Name: M. HYATT	Coord Phone: 859.578.4290
House Name: the LYNDHURST		Drawing Scale: 1/8" = 1'0"	
		Contract Drawn By: LJR	
		Series: SERIES_NM	
		Plan No.: PLAN_NM	
Born on Date: 12/23/2016	CDs Drawn By: BLC		

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ROOF VENTILATION	
CITY/SERIES:	CLEVELAND
	MAIN HOUSE
TOTAL ATTIC AREA:	3,681
REQUIRED NET FREE VENTILATION (ATTIC AREA/300):	12.27
ACTUAL NET FREE VENTILATION (UPPER + LOWER):	13.87
DOWNSPOUT CALCULATION	
	MAIN HOUSE
TOTAL DRAINABLE ROOF AREA:	4785.3
MINIMUM # OF DOWNSPOUTS:	8

TRUSS MANUFACTURER TO VERIFY THE FOLLOWING:
 [REFER TO SHEETS 2.01F AND/OR 2.02F]
 1) DO NOT LOCATE ROOF TRUSSES ABOVE PARALLEL PLUMBING WALLS
 2) DO NOT LOCATE ROOF TRUSSES ABOVE HVAC CHASES (OR LEAVE A MIN. 22-1/2" WIDE CLEAR SPACE OVER CHASE)

ROOF PITCH	HEEL CUT STANDARDS	
	OVERHANG	
	1'-0"	2'-0"
4:12	3-3/4"	7-3/4"
5:12	4-3/4"	9-3/4"
6:12	5-3/4"	11-3/4"
7:12	6-3/4"	13-3/4"
8:12	7-3/4"	N/A
9:12	8-3/4"	N/A
10:12	9-3/4"	N/A
12:12	11-3/4"	N/A
14:12	13-3/4"	N/A



3-PLY ROOF GIRDER TRUSS DESIGNED FOR L/600 AND 0.30" DEFLECTION TO SUPPORT STRUCTURAL STONE ABOVE

RE: BOX BAY DETAIL J/7.01

REISSUED: 02/21/2022

General Notes:
 1. REFER TO SHEET 0N.1 FOR GENERAL NOTES.

Key Notes:

- 1
- 2
- 3
- 4
- 5
- 6 NO ROOF DECKING UNDER OVERFRAMING IN THIS AREA TO ALLOW FOR PROPER ATTIC VENTILATION
- 7 ROOF OVERFRAMING @ 24" O.C.
- 8 -
- 9 -
- 10 -

Space for Architect Seal

RESIDENCE FOR:
SMITH
 5662 BROOKSHIRE DR.
 DRESSES ON YOUR LOT

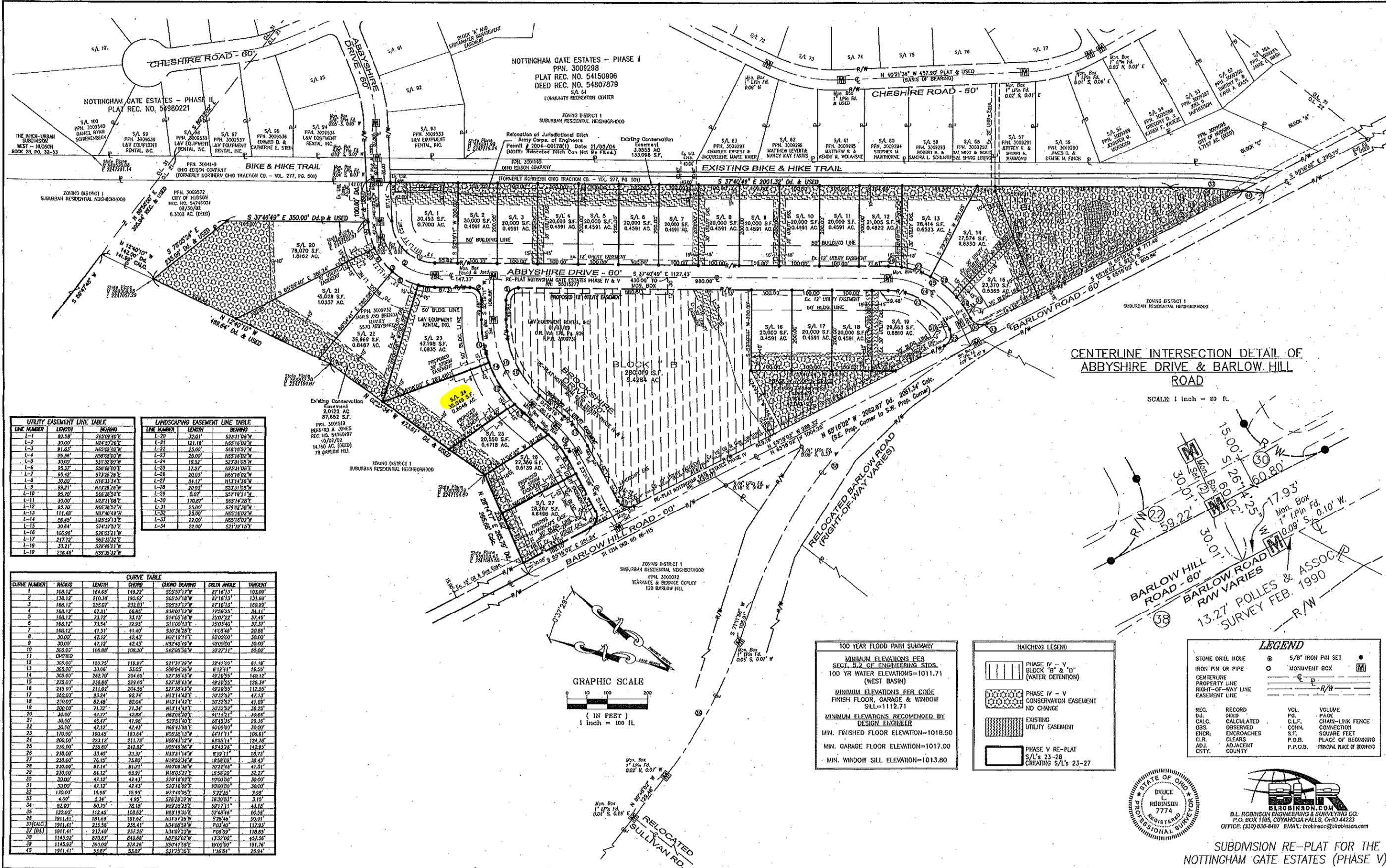
Job Number: DOYL-0086-00	Drawing Date: 12/6/21	Coord Name: M. HYATT	Coord Phone: 859.578.4290
House Name:		Drawing Scale: 1/8" = 1'0"	Contract Drawn By: LJR
the LYNDHURST			Series: SERIES_NM
Born on Date: 12/23/2016	CDs Drawn By: RLC	Plan No.: PLAN_NM	

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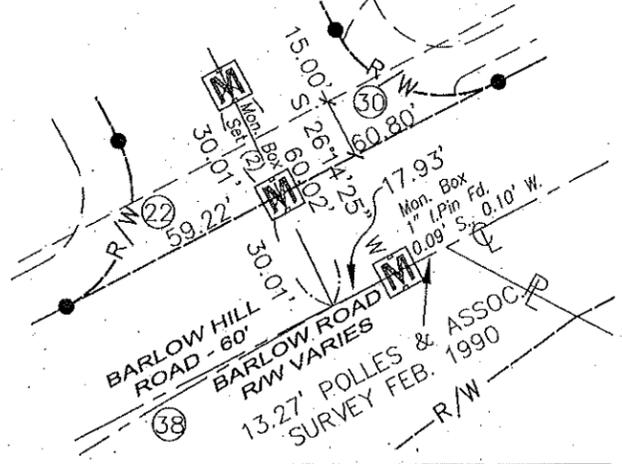
2.04

Roof Plan
Elevation 'C'



**CENTERLINE INTERSECTION DETAIL OF
ABBYSHIRE DRIVE & BARLOW HILL
ROAD**

SCALE: 1 inch = 20 ft.



UTILITY EASEMENT LINE TABLE

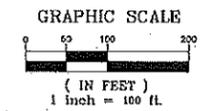
LINE NUMBER	LENGTH	BEARING
L-1	82.58'	S85°29'42"E
L-2	23.00'	N82°20'20"E
L-3	81.64'	N85°19'00"W
L-4	85.36'	N58°02'02"W
L-5	32.00'	S31°52'30"W
L-6	85.37'	S85°18'00"E
L-7	85.37'	S32°25'28"E
L-8	32.00'	N16°13'12"E
L-9	88.21'	N73°24'28"W
L-10	86.20'	S66°24'32"E
L-11	32.00'	N23°31'08"E
L-12	88.20'	N68°28'32"W
L-13	111.68'	N07°45'14"W
L-14	88.45'	N85°59'13"E
L-15	30.64'	S74°39'37"E
L-16	166.89'	S28°23'21"W
L-17	247.72'	S65°35'32"E
L-18	33.21'	S27°48'21"W
L-19	276.46'	N89°35'32"W

LANDSCAPING EASEMENT LINE TABLE

LINE NUMBER	LENGTH	BEARING
L-20	32.01'	S23°31'08"W
L-21	121.19'	S62°16'02"W
L-22	25.00'	S89°19'52"W
L-23	25.00'	N65°16'02"W
L-24	19.52'	S23°31'08"W
L-25	17.87'	N23°31'08"E
L-26	20.00'	N85°18'02"E
L-27	14.17'	N11°14'06"E
L-28	20.00'	S23°31'08"W
L-29	5.07'	S27°19'11"W
L-30	170.67'	S65°14'28"E
L-31	25.00'	S27°02'30"W
L-32	23.00'	N85°16'02"E
L-33	22.00'	N65°16'02"E
L-34	22.00'	S21°30'16"E

CURVE TABLE

CURVE NUMBER	RADIUS	LENGTH	CHORD BEARING	DELTA ANGLE	TANGENT	
1	168.12'	164.63'	148.22'	S25°57'12"W	87°16'13"	123.89'
2	138.12'	210.38'	190.62'	S65°57'16"W	87°16'13"	131.89'
3	168.12'	258.07'	232.01'	S65°57'12"W	87°16'13"	160.89'
4	168.12'	67.31'	66.85'	S38°07'12"W	27°56'25"	34.11'
5	168.12'	73.72'	73.15'	S14°02'18"W	23°07'22"	37.45'
6	168.12'	73.54'	72.95'	S11°02'12"W	23°03'40"	37.37'
7	168.12'	41.51'	41.40'	S32°56'28"E	14°08'46"	20.85'
8	30.00'	42.12'	42.43'	N87°18'11"E	92°00'00"	30.00'
9	30.00'	42.12'	42.43'	N32°40'19"W	92°00'00"	30.00'
10	308.00'	108.88'	108.50'	S42°06'36"W	22°27'11"	85.02'
11	0.00000					
12	305.00'	120.73'	118.87'	S21°31'28"W	22°41'03"	81.18'
13	305.00'	33.06'	33.05'	S66°24'36"W	6°12'41"	16.59'
14	303.00'	262.70'	254.62'	S27°58'43"W	49°20'55"	140.12'
15	275.00'	236.88'	223.62'	S27°58'43"W	49°20'55"	126.34'
16	245.00'	211.82'	204.55'	S17°38'43"W	49°20'55"	112.65'
17	200.00'	182.24'	174.24'	N11°14'42"E	20°32'52"	41.65'
18	200.00'	82.48'	82.04'	N11°14'42"E	20°32'52"	16.25'
19	200.00'	71.72'	71.34'	N11°14'42"E	20°32'52"	16.25'
20	30.00'	42.77'	42.83'	N82°03'20"E	91°14'24"	30.65'
21	30.00'	45.47'	45.56'	S29°51'40"E	82°45'35"	29.38'
22	30.00'	42.12'	42.43'	N87°18'11"E	92°00'00"	30.00'
23	170.00'	150.45'	143.64'	N92°51'12"W	64°11'17"	108.81'
24	200.00'	221.12'	211.73'	N92°43'12"W	65°55'14"	124.28'
25	230.00'	255.80'	242.81'	N92°48'06"W	67°43'26"	142.85'
26	230.00'	33.40'	33.37'	N33°31'14"W	8°19'11"	16.73'
27	230.00'	76.15'	75.89'	N19°02'34"W	18°58'02"	38.43'
28	230.00'	82.14'	81.71'	N27°06'36"W	20°23'46"	41.51'
29	230.00'	64.12'	63.91'	N18°03'22"E	15°58'50"	32.27'
30	30.00'	42.12'	42.43'	S27°18'02"E	92°00'00"	30.00'
31	30.00'	42.12'	42.43'	S27°18'02"E	92°00'00"	30.00'
32	170.00'	155.55'	148.95'	N27°49'06"E	57°22'45"	7.98'
33	4.00'	6.34'	6.34'	S76°28'32"W	76°28'32"	3.17'
34	52.00'	60.25'	58.19'	N82°52'12"E	52°12'11"	43.16'
35	122.00'	112.45'	108.52'	N81°19'55"E	52°48'46"	66.58'
36	181.41'	181.69'	181.62'	N34°52'28"W	5°26'45"	90.91'
37(CALC)	181.41'	235.55'	235.41'	N34°03'59"W	7°03'40"	117.93'
37 (CALC)	181.41'	237.49'	237.25'	N34°07'20"W	7°06'59"	118.65'
38	1145.92'	873.87'	848.84'	N27°20'20"W	43°22'00"	452.56'
39	1145.92'	350.00'	328.28'	N24°11'56"E	18°00'00"	191.76'
40	181.41'	53.87'	53.87'	S17°25'16"E	1°36'54"	26.94'



100 YEAR FLOOD PATH SUMMARY

MINIMUM ELEVATIONS PER
SECT. 6.2 OF ENGINEERING STDS.
100 YR WATER ELEVATIONS=1011.71
(WEST BASIN)

MINIMUM ELEVATIONS PER CODE
FINISH FLOOR, GARAGE & WINDOW
SILL=1112.71

MINIMUM ELEVATIONS RECOMMENDED BY
DESIGN ENGINEER

MIN. FINISHED FLOOR ELEVATION=1018.50

MIN. GARAGE FLOOR ELEVATION=1017.00

MIN. WINDOW SILL ELEVATION=1013.80

HATCHING LEGEND

PHASE IV - V
BLOCK 'B' & 'D'
(WATER DETENTION)

PHASE IV - V
CONSERVATION EASEMENT
NO CHANGE

EXISTING
UTILITY EASEMENT

PHASE V RE-PLAT
S/L'S 23-28
CREATING S/L'S 23-27

LEGEND

STONE DRILL HOLE 5/8" IRON PIN SET

IRON PIN OR PIPE MONUMENT BOX

CENTERLINE
PROPERTY LINE
RIGHT-OF-WAY LINE
EASEMENT LINE

REC. D.D. RECORD
CALC. CALCULATED
OBS. OBSERVED
ENCR. ENCROACHES
CLR. CLEARS
ADJ. ADJACENT
CITY. CITY

VOL. VOLUME
PG. PAGE
C.L.F. CHAIN-LINK FENCE
CON. CONNECTION
S.F. SQUARE FEET
P.O.B. PLACE OF BEGINNING
P.P.O.B. PRINCIPAL PLACE OF BEGINNING



BL ROBINSON, CON.
BL ROBINSON ENGINEERING & SURVEYING CO.
P.O. BOX 1105, CUYAHOGA FALLS, OHIO 44223
OFFICE: (330) 838-8487 EMAIL: brobinson@brobinson.com

**SUBDIVISION RE-PLAT FOR THE
NOTTINGHAM GATE ESTATES (PHASE V)**

S/L 24 SUBJECT PROPERTY
5662 BROOKSHIRE DRIVE



S/L 23 Abbeyshire Drive Adjacent Property



S/L 26 Brookshire Drive



S/L 27, 5634 Brookshire Drive



**BLOCK B ACROSS THE STREET
FROM SUBJECT PROPERTY**



S/L 25 VACANT LOT LEFT OF
SUBJECT PROPERTY





