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PROPERTY ADDRESS:
2899 RAVENNA STREET, HUDSON, OHIO 44236

SURVEY NUMBER: 2203.6673

POINTS OF INTEREST:
TIES PERPENDICULAR TO THE PROPERTY LINES ARE SHOWN IN RED.

CLIENT FILE NO:

LEGAL DESCRIPTION:
SITUATED IN THE CITY OF HUDSON, COUNTY OF SUMMIT, AND STATE OF OHIO, AND KNOWN AS BEING PART OF LOT 30 IN HUDSON TOWNSHIP, AND FURTHER DESCRIBED AS FOLLOWS: BEGINNING AT A SPIKE IN THE CENTER LINE OF THE HUDSON-RAVENNA ROAD, COUNTY HIGHWAY #102, S. 51 DEG. 33' E. 959 FEET FROM THE INTERSECTION OF SAID CENTERLINE WITH THE WEST LINE OF LOT 30; THENCE N. 0 DEG. 43' E. 197.57 FEET, PASSING OVER AN IRON PIPE AT 37.93 FEET, TO AN IRON PIPE; THENCE S. 89 DEG. 17' E. 198.36 FEET TO AN IRON PIPE IN THE GRANTOR'S EAST LINE, THENCE S. 2 DEG. 13' 54" W. 344.20 FEET TO A SPIKE IN THE ROAD CENTER, AND PASSING OVER AN IRON PIPE AT 35.46 FEET FROM SAID SPIKE; THENCE N. 51 DEG. 33' W. 239.30 FEET ALONG THE ROAD CENTER TO THE BEGINNING AND CONTAINING 1.2125 ACRES OF LAND, SURVEYED MAY 28, 1953 BY WALTER J. STOCKMAN.

BUYER: N/A

SELLER: N/A

LOT: PT. 30 BLOCK: PLAT: PG:

SUBDIVISION: CITY OF HUDSON

COUNTY: SUMMIT

CERTIFIED TO:

FIELD WORK DATE: 4/2/2022 SURVEY DATE: 04/10/22

REVISION HISTORY:
REV 1 4/11/2022



SURVEYORS CERTIFICATE
THIS MAP REPRESENTS A BOUNDARY RETRACEMENT SURVEY AND CONFORMS TO THE MINIMUM STANDARDS FOR BOUNDARY SURVEYS IN ACCORDANCE WITH THE OHIO ADMINISTRATIVE CODE CHAPTER 4733-37.

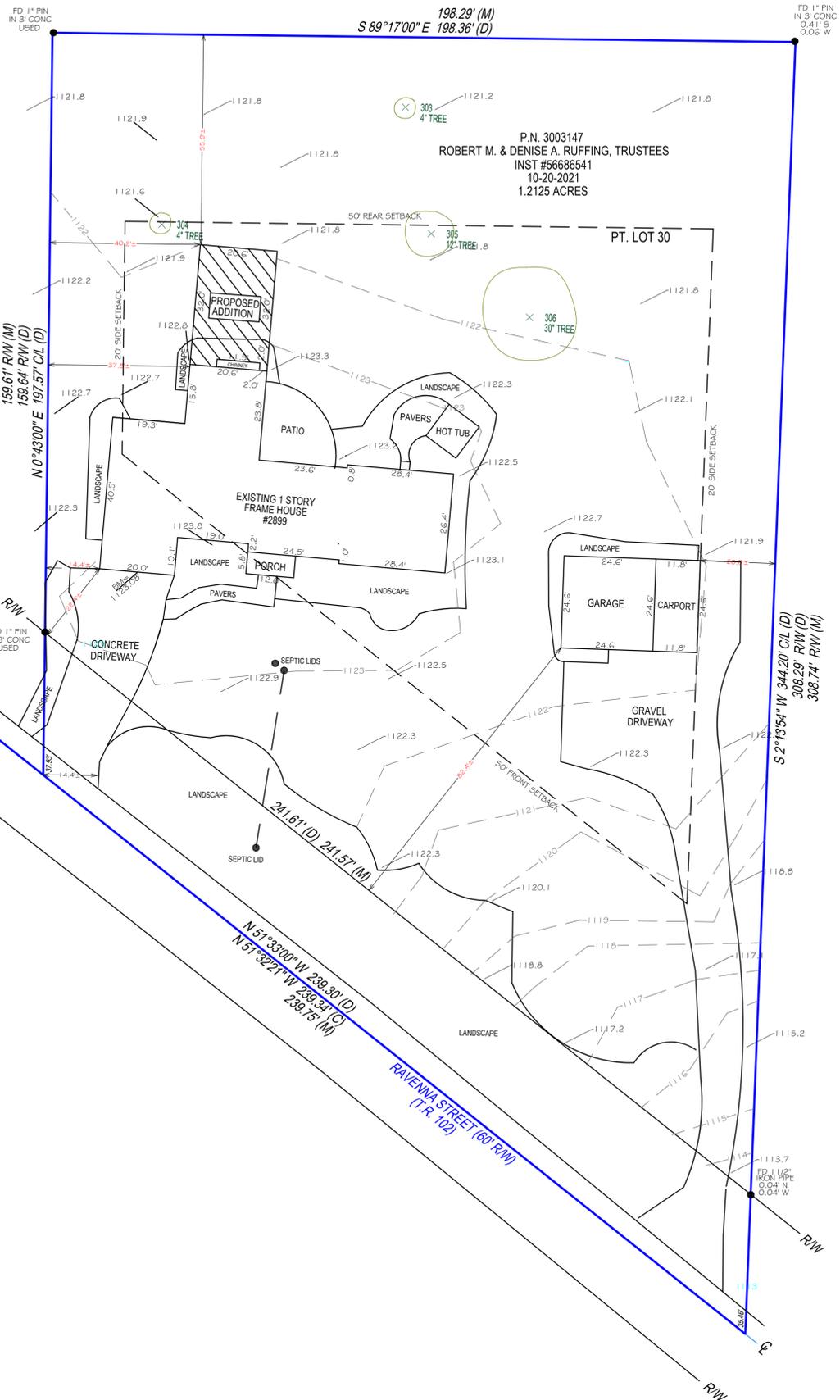
SITE PLAN FOR HOUSE ADDITION

FOR ROBERT & DENISE RUFFING
2899 RAVENNA ST
HUDSON, OHIO 44236

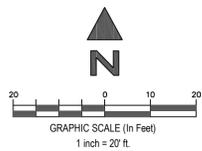
NOTES:

BENCHMARK, CENTER OF FRONT EDGE OF GARAGE FLOOR = 1123.08 (GPS - NAVD 1988)
THIS PLAN FOR SITE PURPOSES ONLY. REFER TO HOUSE PLANS FOR FOUNDATION AND FLOOR PLAN DETAILS AND DIMENSIONS.
THE SITE SHALL COMPLY WITH THE SPECIFICATIONS FOR INDIVIDUAL LOT PROTECTION AND EROSION AND SEDIMENT CONTROL FOR CONSTRUCTION SITES.
CONTOURS ARE SHOWN TO THE FOOT.

P.N. 3004448
LONNIE A. & JUDITH A. BLANEY
INST #55830310
1-10-2012



P.N. 3009985
JONATHAN H. & ANDREA VINOCUR
INST #56030299
9-28-2014



- GENERAL SURVEYORS NOTES:
1. Unless otherwise noted, the Legal Description used to perform this survey was supplied by others. This survey does not determine nor imply ownership of the lands or any fences shown hereon.
2. Alterations to this survey map and report by other than the signing surveyor are prohibited.
3. Dimensions are in feet and decimals thereof.
4. Any FEMA flood zone data contained on this survey is for informational purposes only.
5. Unless otherwise noted "SIRC" indicates a set iron rebar, a minimum half inch in diameter and 30 inches long.
6. If you are reading this survey in an electronic format, the information contained on this document is only valid if this document is electronically signed by the Professional Surveyor.
7. The information contained on this survey has been performed exclusively by and is the sole responsibility of Exacta Land Surveyors, LLC.
8. Due to varying construction standards, building dimensions are approximate and are not intended to be used for new construction or planning.

SURVEYORS LEGEND:
Table with columns for LINETYPES, ABBREVIATIONS, ME, SURFACE TYPES, and SYMBOLS. Includes symbols for Boundary Line, Center Line, Chain Link or Wire Fence, Easement, Edge of Water, Iron Fence, Overhead Lines, Structure, Survey Tie Line, Vinyl Fence, Wall or Party Wall, Wood Fence, Asphalt, Brick or Tile, Concrete, Covered Area, Water, Wood, Benchmark, Center Line, Central Angle or Delta, Common Ownership, Control Point, Catch Basin, Elevation, Fire Hydrant, Find or Set Monument, Guywire or Anchor, Manhole, Tree, Utility or Light Pole, Well, etc.

REVISIONS

NO.	DATE	ITEM



RUFFING RESIDENCE ADDITION

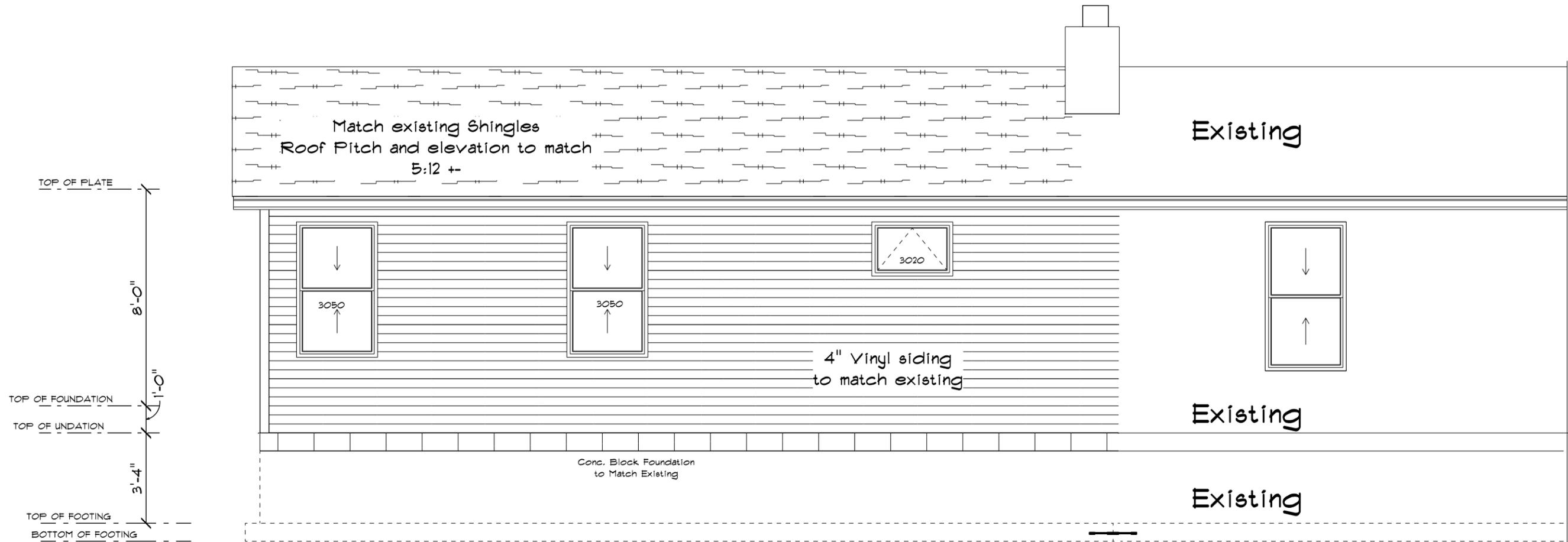
2899 RAVENNA ROAD, HUDSON OHIO 44236

PROJ. # 30-03147

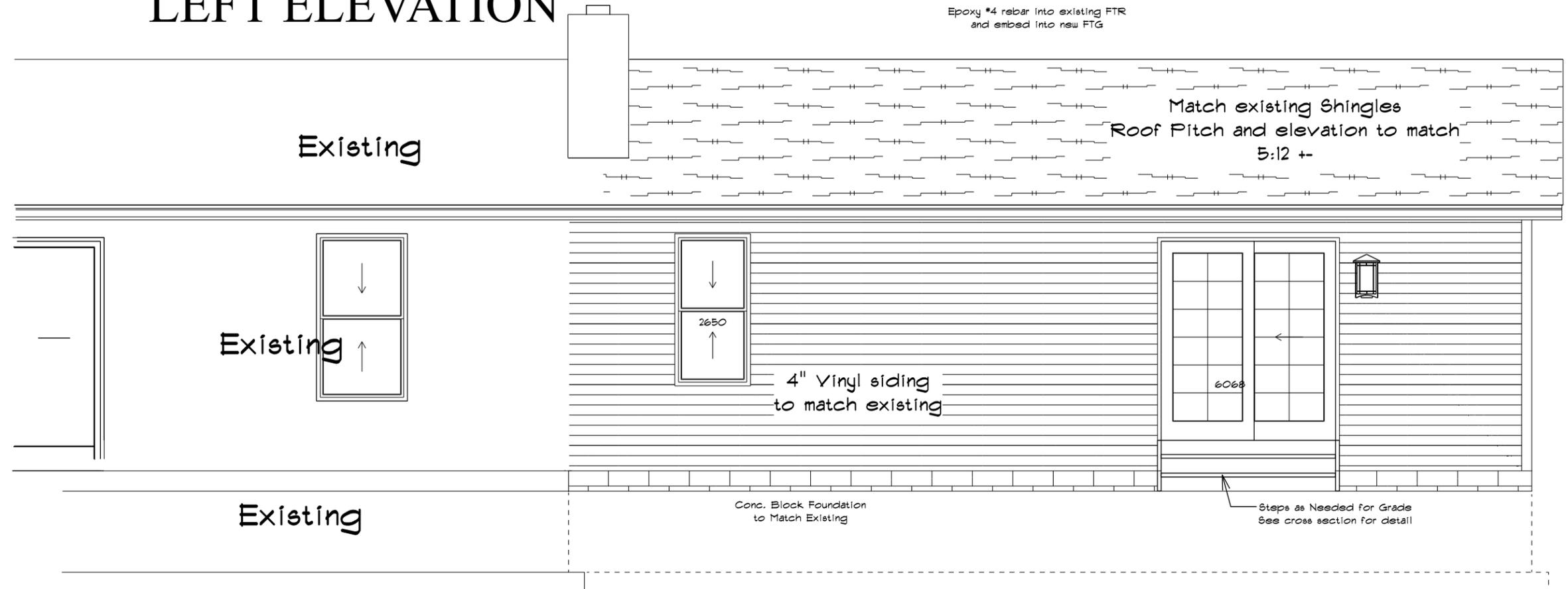
A-2



DATE: 3-12-22



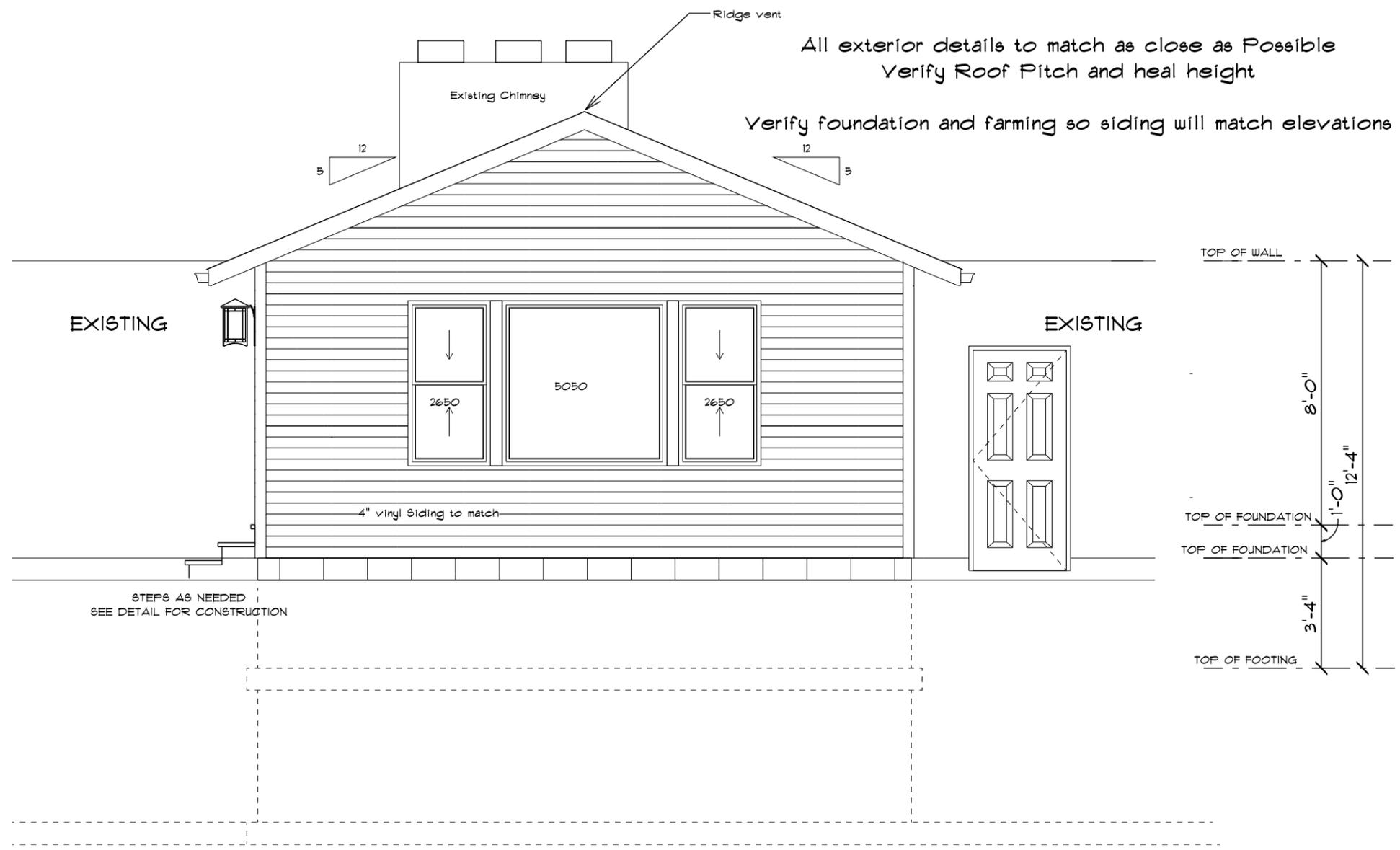
LEFT ELEVATION



RIGHT ELEVATION

REVISIONS

NO.	DATE	ITEM



RUFFING RESIDENCE ADDITION

2899 RAVENNA ROAD, HUDSON OHIO 44236

PROJ. # 30-03147

A-1



DATE: 3-12-22

REVISIONS

NO.	DATE	ITEM



RUFFING RESIDENCE ADDITION

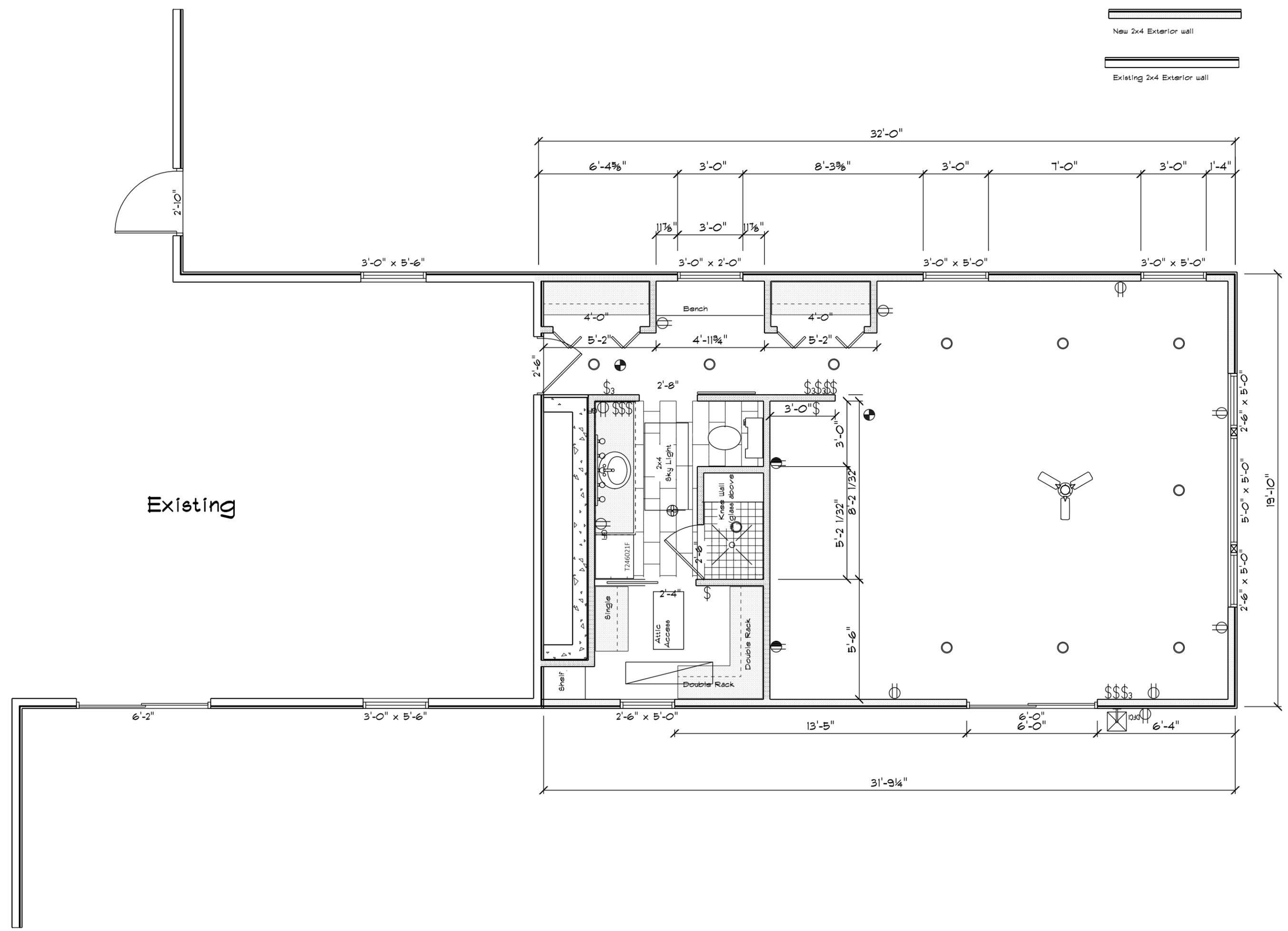
2899 RAVENNA ROAD, HUDSON OHIO 44236

PROJ. # 30-03147

A-3



DATE: 3-12-22



REVISIONS

NO.	DATE	ITEM



RUFFING RESIDENCE ADDITION

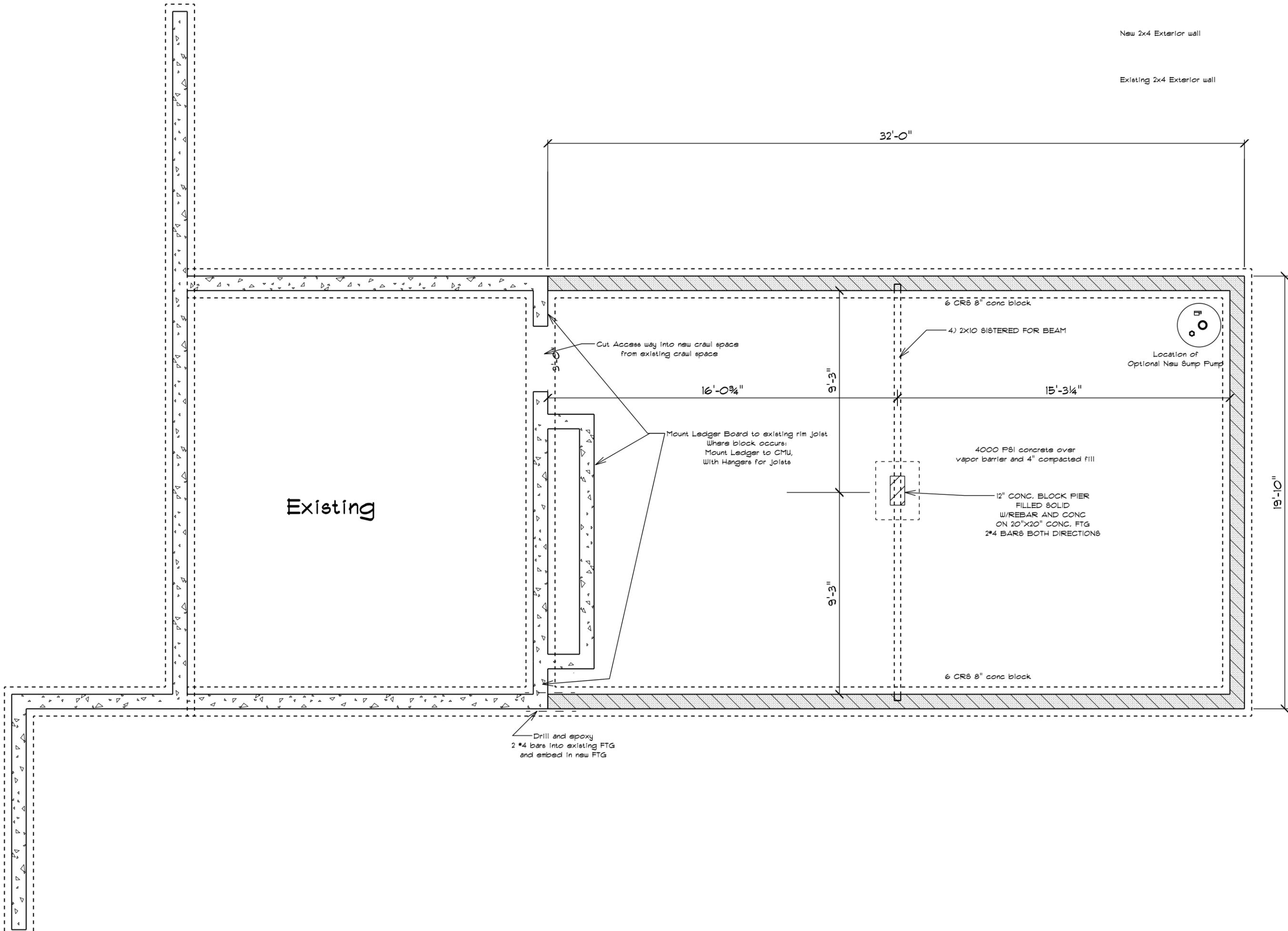
2899 RAVENNA ROAD, HUDSON OHIO 44236

PROJ. # 30-03147

A-3



DATE: 3-12-22



New 2x4 Exterior wall
Existing 2x4 Exterior wall

32'-0"

19'-10"

Existing

16'-0 3/4"

9'-3"

15'-3 1/4"

9'-3"

6 CRS 8" conc block

4) 2X10 SISTERED FOR BEAM

Location of
Optional New Sump Pump

4000 PSI concrete over
vapor barrier and 4" compacted fill

12" CONC. BLOCK PIER
FILLED SOLID
W/REBAR AND CONC
ON 20"X20" CONC. FTG
2#4 BARS BOTH DIRECTIONS

6 CRS 8" conc block

Cut Access way into new crawl space
from existing crawl space

Mount Ledger Board to existing rim joist
Where block occurs:
Mount Ledger to CMU,
With Hangers for Joists

Drill and epoxy
2 #4 bars into existing FTG
and embed in new FTG

REVISIONS

NO.	DATE	ITEM



RUFFING RESIDENCE ADDITION

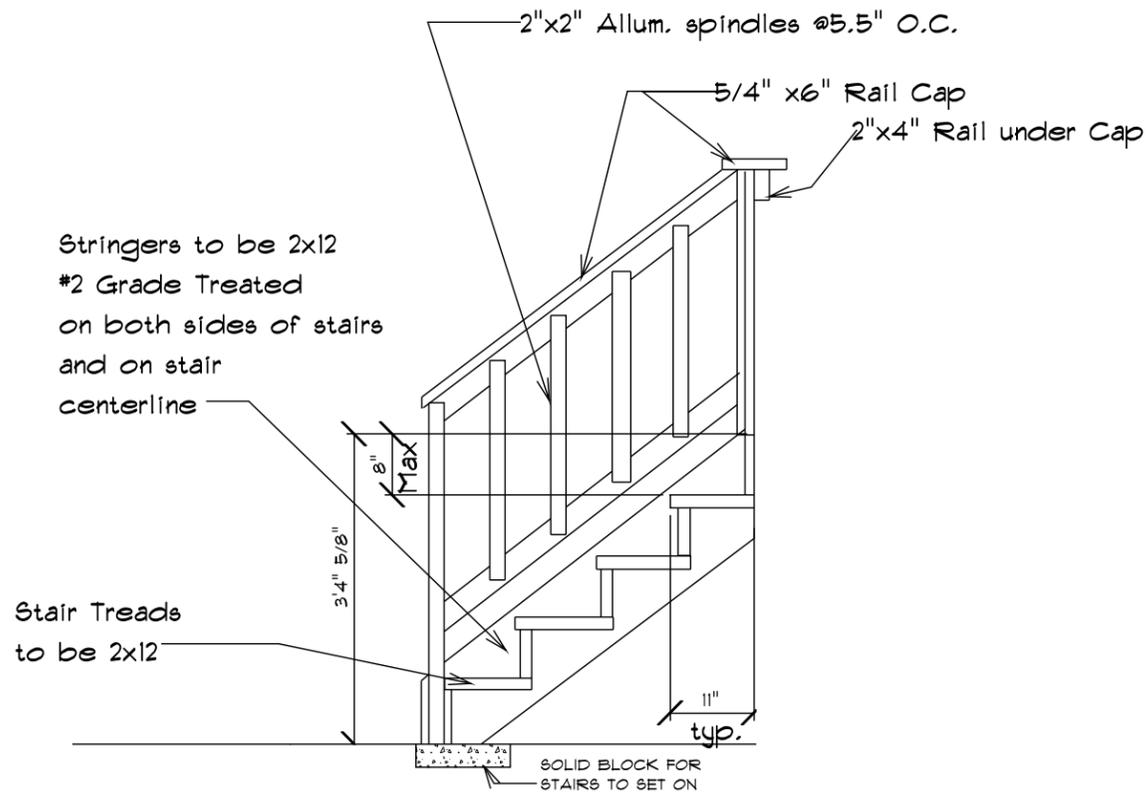
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PROJ. # 30-03147

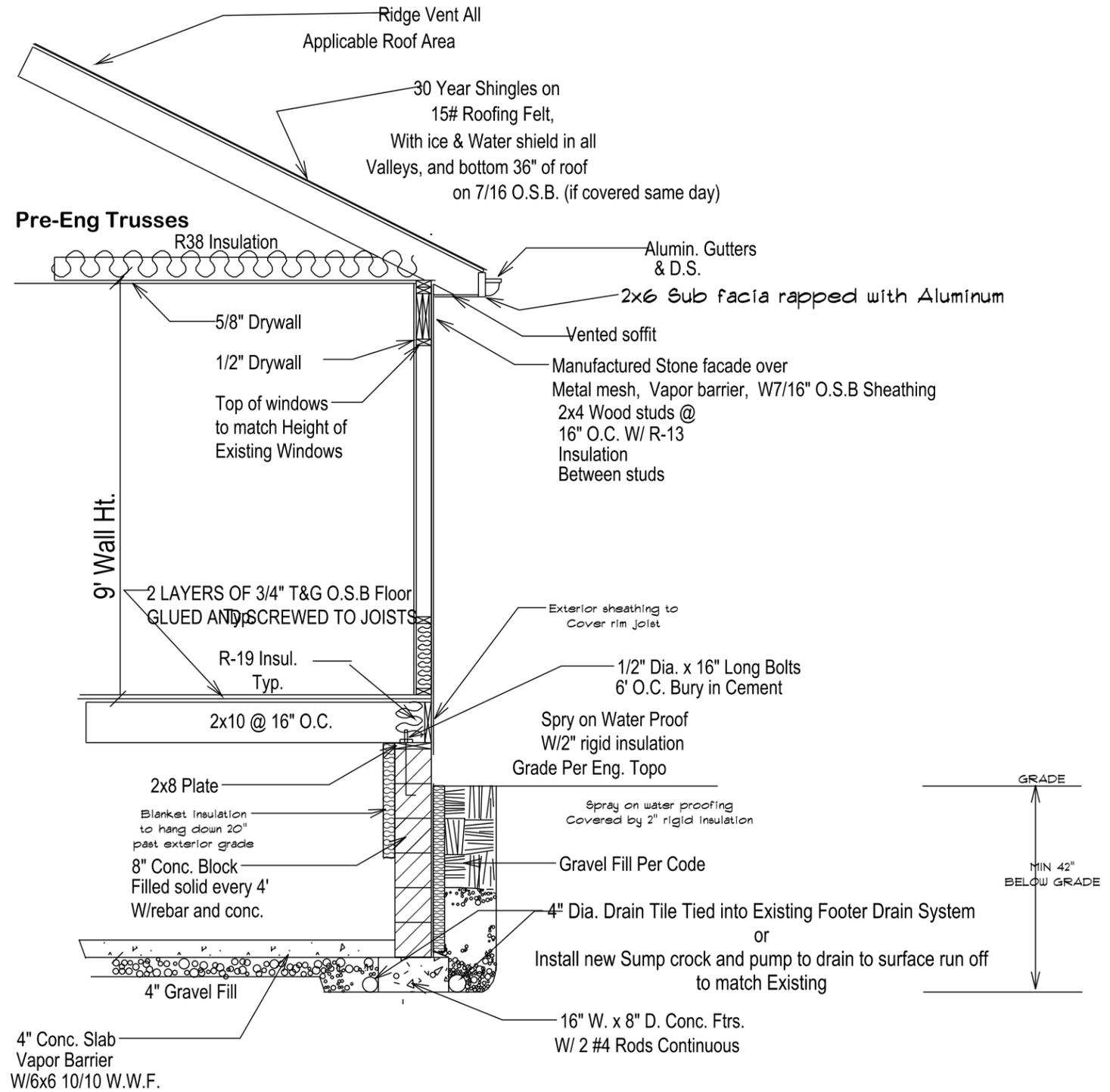
A-5



DATE: 3-12-22



STAIR Cross Section



Typical Cross Section

Scale: 3/8" = 1'

