

APPROVED: _____ DATE _____
STAFF APPROVAL

APPROVED: _____ DATE _____
ENGINEERING DEPT. APPROVAL

APPROVED: _____ DATE _____
LANDSCAPE ARCHITECT APPROVAL



ENGINEERING DEPARTMENT
 Approved
 Approved, as noted
 Rejected

Reviewed By: Anthony L. Calabro
8:02 am, Apr 07, 2021

BUILDER: PULTE HOMES OF OHIO, LLC.
ADDRESS: 387 MEDINA ROAD SUITE 1700, MEDINA, OHIO 44256
PHONE: 330-239-1587

OWNER: _____
ADDRESS: _____
PHONE: _____

NOTE: *****
PLEASE TAKE NOTICE. THE FOUNDATION SHOWN ON THIS SITE PLAN IS TAKEN FROM BASE PLANS ONLY. PROPER VERIFICATION WILL BE REQUIRED.

NOTE:
FINAL LOCATION OF (3) TREES TO BE DETERMINED AND INSTALLED BY PURCHASER IN COMPLIANCE WITH CITY OF HUDSON LAND DEVELOPMENT CODE (1207.04J).

INITIAL SITE BENCHMARK:
SUMMIT COUNTY GEODETIC MONUMENT HU 118
STATE PLAN COORDINATE
N 572,745.649
E 2,250,912.641
ELEVATION = 1006.912 NAVD 1988

NOTES:
DOWNSPOUTS TO BE CONNECTED TO STORM SEWER CONNECTION
SUMP PUMP REQUIRED FOR FOOTER DRAINS

NOTE:
PURCHASER TO INSTALL MINIMUM OF 3 TREES PER MUNICIPAL REQUIREMENTS

NOTE:
PURCHASER TO INSTALL LANDSCAPING PER CITY OF HUDSON LANDSCAPING REQUIREMENTS.

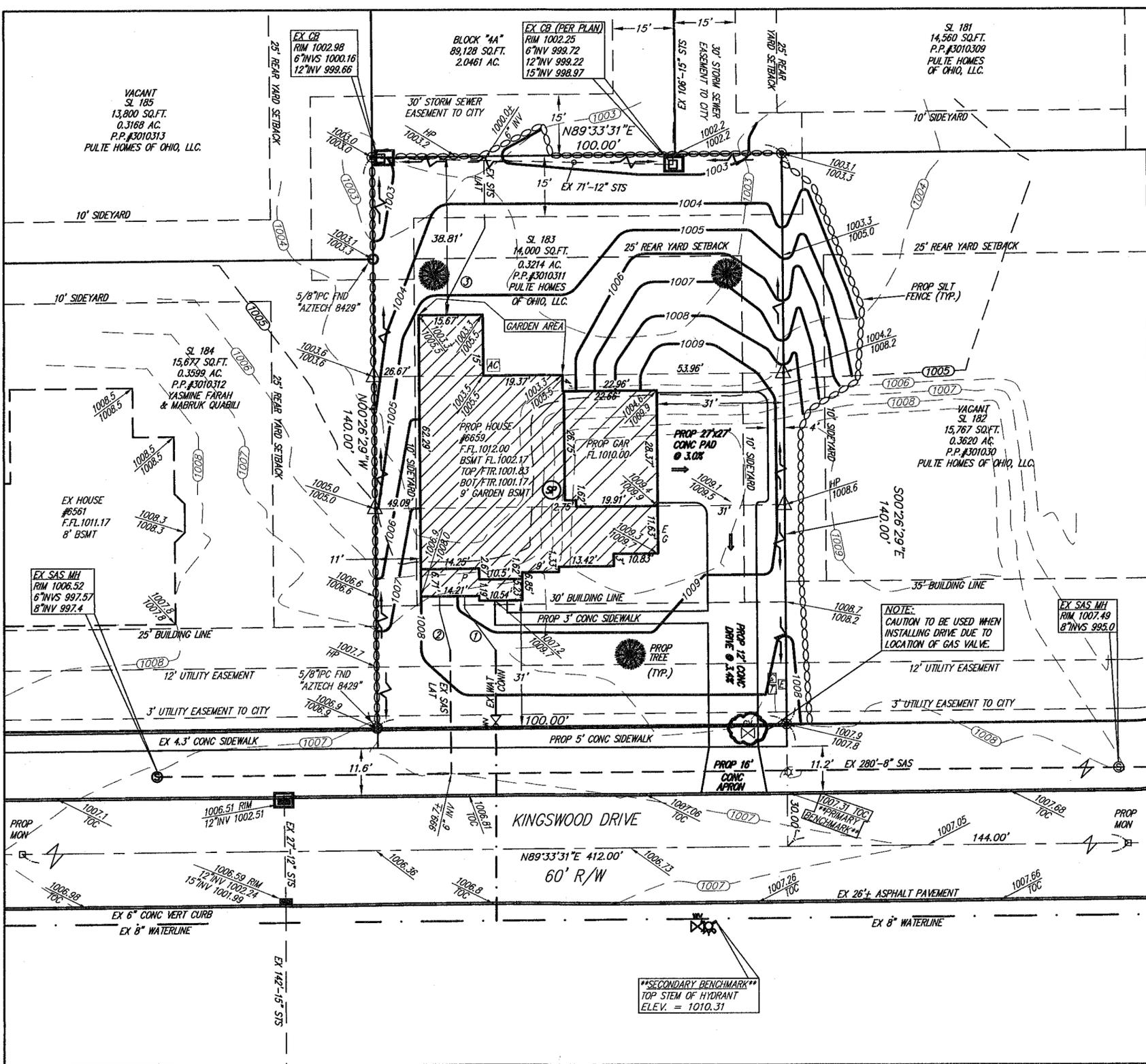
NOTE:
PER ARB, EGRESS WINDOW WELLS SHOULD BE NO MORE THAN 6" ABOVE FINISHED GRADE

PRIMARY BENCHMARK
TOC/BOC ELEV @ P/L IN FRONT OF SUBLOT 183
ELEV. = 1007.31

SECONDARY BENCHMARK
TOP STEM OF HYDRANT ACROSS FROM SUBLOT 183 ON KINGSWOOD DRIVE
ELEV. = 1010.31

THE CONTRACTOR MUST CHECK THE BENCHMARK WITH THE CURB GRADES PRIOR TO DIGGING THE FOUNDATION.

NOTE:
ALL PROPOSED FOOTERS WILL REQUIRE SURVEY CERTIFICATION ONCE SET AND PRIOR TO THE COMPLETION OF HOME CONSTRUCTION



GRAPHIC SCALE



(IN FEET) 1 inch = 20 ft.

PERCENTAGE OF LOT COVERAGE = 32.7%

HOUSE COVERAGE = 3,035 SQ.FT.
DRIVEWAY COVERAGE = 1,384 SQ.FT.
WALKWAY COVERAGE = 165 SQ.FT.
TOTAL COVERAGE = 4,584 SQ.FT.

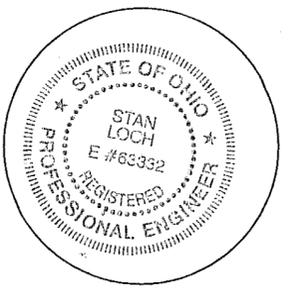
DATE OF SURVEY:
FEBRUARY 5th, 2021

TYPE OF HOUSE:
PLAN # EDINBURG
ELEVATION: CR2G
GAR: 3 CAR SD RT W/9' GRDN BSMT,
FIREPLACE, GATHERING ROOM EXT & SUNROOM

- 1 = PROP 1" WAT CONN
- 2 = PROP 6" PVC SAS CONN @ 1.0% MIN 10% MAX
- 3 = PROP 6" PVC STS CONN @ 1.0% MIN 10% MAX

LEGEND:

- = PROPOSED TREE
- = PROP MONUMENT
- ⊕ = EX CURB INLET
- ⊙ = EX SANITARY MANHOLE
- = EX YARD DRAIN
- ⊙ = IRON PIN SET 5/8"x30" REBAR CAPPED "AZTECH #8249"
- = EXISTING GRADE
- - - = PROPOSED GRADE
- ∞ = PROP SILT FENCE
- = INLET PROTECTION
- ⊕ = EX HYDRANT
- ⊕ = EX WATER VALVE
- ⊙ = SUMP PUMP
- ⊙ = EX STORM MANHOLE
- = SWALE
- ⇒ = FLOW ARROW
- AC = AIR CONDITIONER
- E = ELECTRIC CONNECTION
- G = GAS CONNECTION
- ▽ = OFFSET HUB
- = CABLE PEDESTAL
- = ELECTRIC BOX
- = TELEPHONE PEDESTAL
- ⊙ = IRON PIN FOUND
- ⊕ = LIGHT POST



I CERTIFY THAT THIS PLAN WAS PREPARED BY ME AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Stan R. Loch P.E. #63332 DATE 2-15-2021

5425 WARNER ROAD - SUITE 12
VALLEY VIEW, OHIO 44125
440-602-9071



FAX 216-369-0259

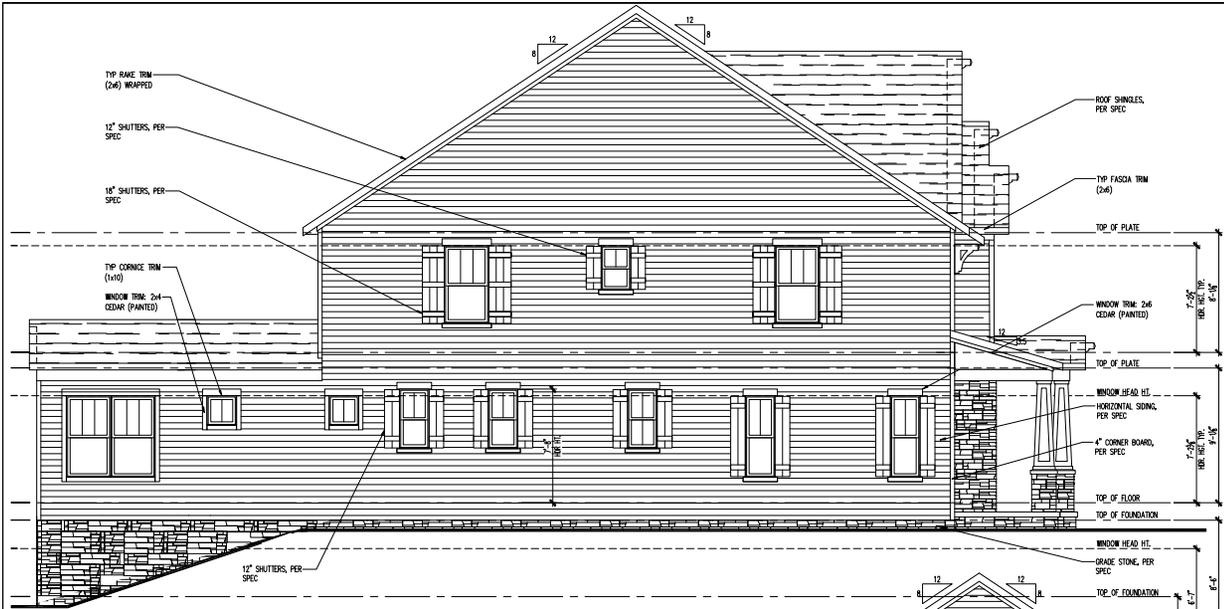
ENGINEERING and SURVEYING
Civil Engineering - Land Surveying

SHEET CONTENT

SITE PLAN FOR PULTE HOMES SUBLT 183
6659 KINGSWOOD COURT IN THE RESERVE AT RIVER OAKS SUBDIVISION PH.4 SITUATED IN THE CITY OF HUDSON COUNTY OF SUMMIT STATE OF OHIO

REVISIONS			
NO.	DATE	DESCRIPTION	BY

HORZ SCALE		VERT SCALE	
1" = 20'		1" = 20'	
DRAWN BY KEG		DATE 2-11-2021	
CHECKED BY SRL		DRAWING NO 20142977-4	
JOB NO 20142977-4		SHEET 1 OF 1	



LEFT ELEVATION

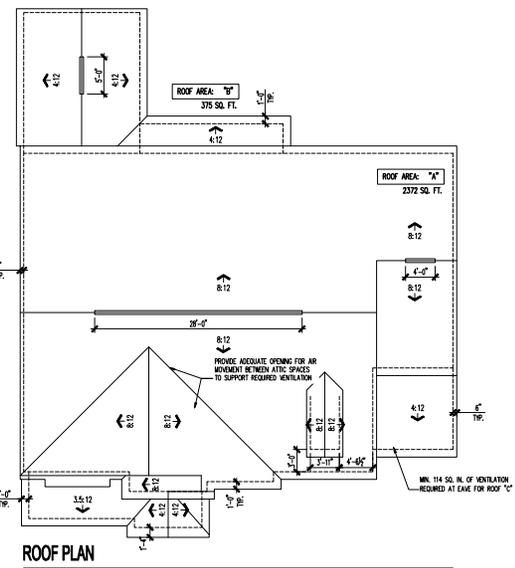
SCALE: 1/4" = 1'-0"

ATTIC VENT SCHEDULE									
ELEVATION CRDG									
ROOF AREA "A"		SQ FTG		2372		AT / NEAR RIDGE		AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT. LARGER	POT. SMALLER	RIDGE VENT	EAVE VENT	COVE. VENT	TOTAL VENT
TRUSS VENT ONLY	3.10	3.95	0.85	47.76	0	0	0	0	47.76
ATTAKE	4.30	2.98	41.8	0	0	0	0	0	41.8
TOTAL	7.40	7.93	100.00						
ADDITIONAL POT VENTS MAY BE REQUIRED IF BARRIERS/UNDERLAYS ARE AVAILABLE									
ROOF AREA "B"		SQ FTG		375		AT / NEAR RIDGE		AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT. LARGER	POT. SMALLER	RIDGE VENT	EAVE VENT	COVE. VENT	TOTAL VENT
TRUSS VENT ONLY	0.58	0.43	0.85	01.4	0	0	0	0	1.00
ATTAKE	0.75	0.43	0.85	47.25	0	0	0	0	1.00
TOTAL	1.33	1.25	100.00						
ADDITIONAL POT VENTS MAY BE REQUIRED IF BARRIERS/UNDERLAYS ARE AVAILABLE									



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



ROOF PLAN

SCALE: 1/8" = 1'-0"

PLOTTED: February 1, 2021 / Check Style / 7382-CR2G-04-RAW-01-020201

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Midwest Zone Office
1900 E. Golf Road, Suite 300
Schaumburg, Illinois 60173



Elevation Craftsman 2G
3 Car Side Entry
Side Elevations, Roof Plan And Ventilation Schedule

PRODUCTION NUMBER
2382-300-01-01
DATE: 02/03/2021

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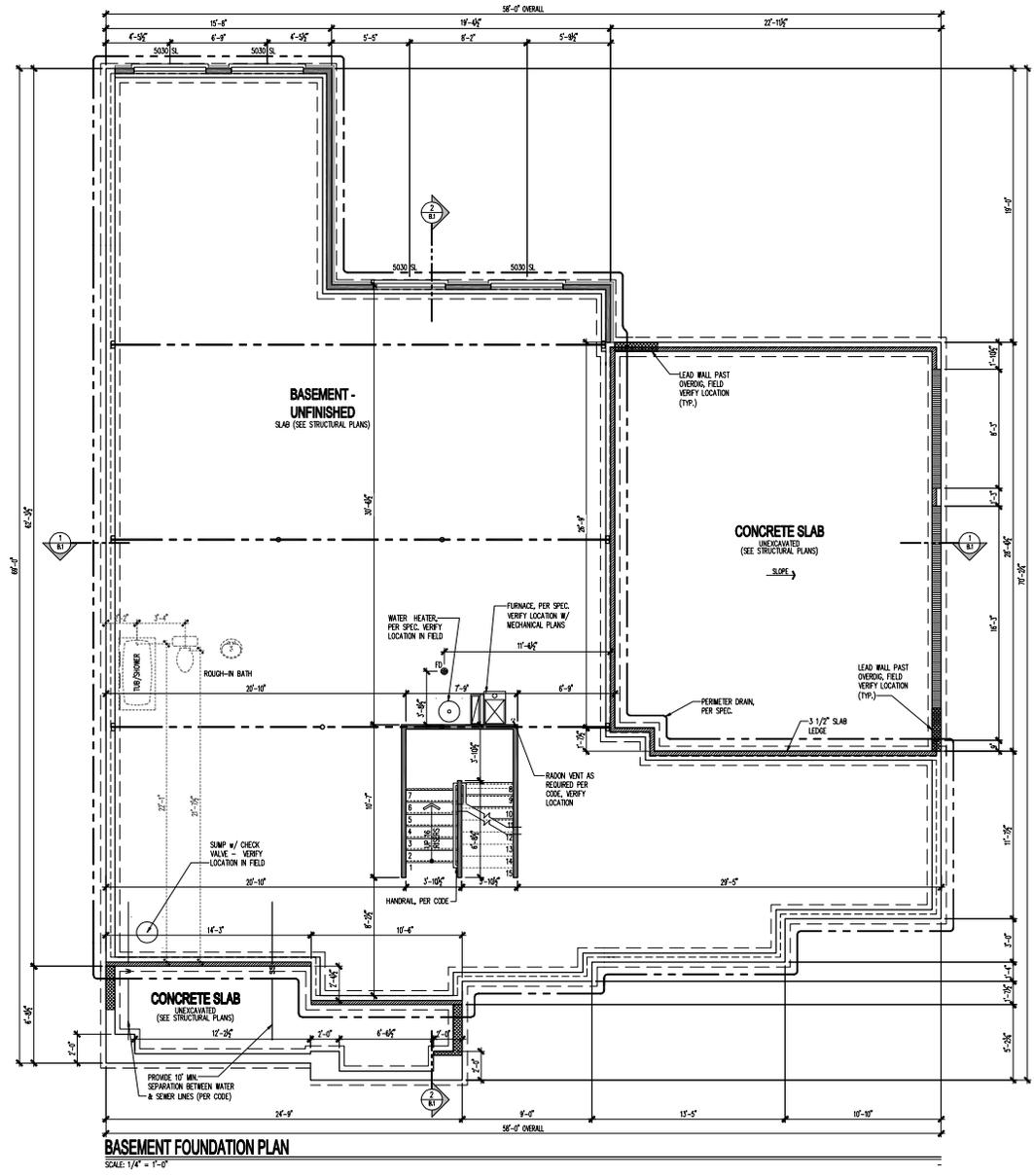
CR2G
EDINBURG
INC. PLAN NUMBER
2382-300-01-01
SHEET NO. 01
LOT 183

SHEET
A3-CR2G
38842

FOUNDATION NOTES

GENERAL SPECIFICATIONS

1. WHERE DISCREPANCIES BETWEEN SOILS REPORT AND STRUCTURAL DRAWINGS OCCUR, CONTACT THE STRUCTURAL ENGINEER.
2. FINISH GRADE SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE.
3. SURFACE WATER TO DRAIN AWAY FROM STRUCTURE. THE GRADE SHALL FALL A MINIMUM OF 4" WITHIN THE FIRST 10 FEET (2X FOR IMPERVIOUS SURFACES) IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES.
4. GARAGE SLAB SHALL SLOPE A MIN. OF 2" AWAY FROM STRUCTURE.
5. CONCRETE STOODS AND PORCH/PATIO SLABS SHALL SLOPE A MIN. OF 1/4" PER FOOT AWAY FROM STRUCTURE.
6. PROVIDE BEARING LEDGE FOR MASONRY AS INDICATED BY STRUCTURAL DRAWINGS.
7. FOR ADDITIONAL INFORMATION SEE STRUCTURAL DRAWINGS AND NOTES.



PLOTTED: February 1, 2022 / PLOT: K:\user / 2382-300-00-185-A0-1.dwg

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Midwest Zone Office
1900 E. Golf Road, - Suite 300
Schaumburg, Illinois 60173



Basement Foundation Plan

PRODUCTION MANAGER	DATE
W/PLN	02/02/2022
DATE	02/02/2022
REV #	DATE / DESCRIPTION
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GRADE HAVING
RIGHT

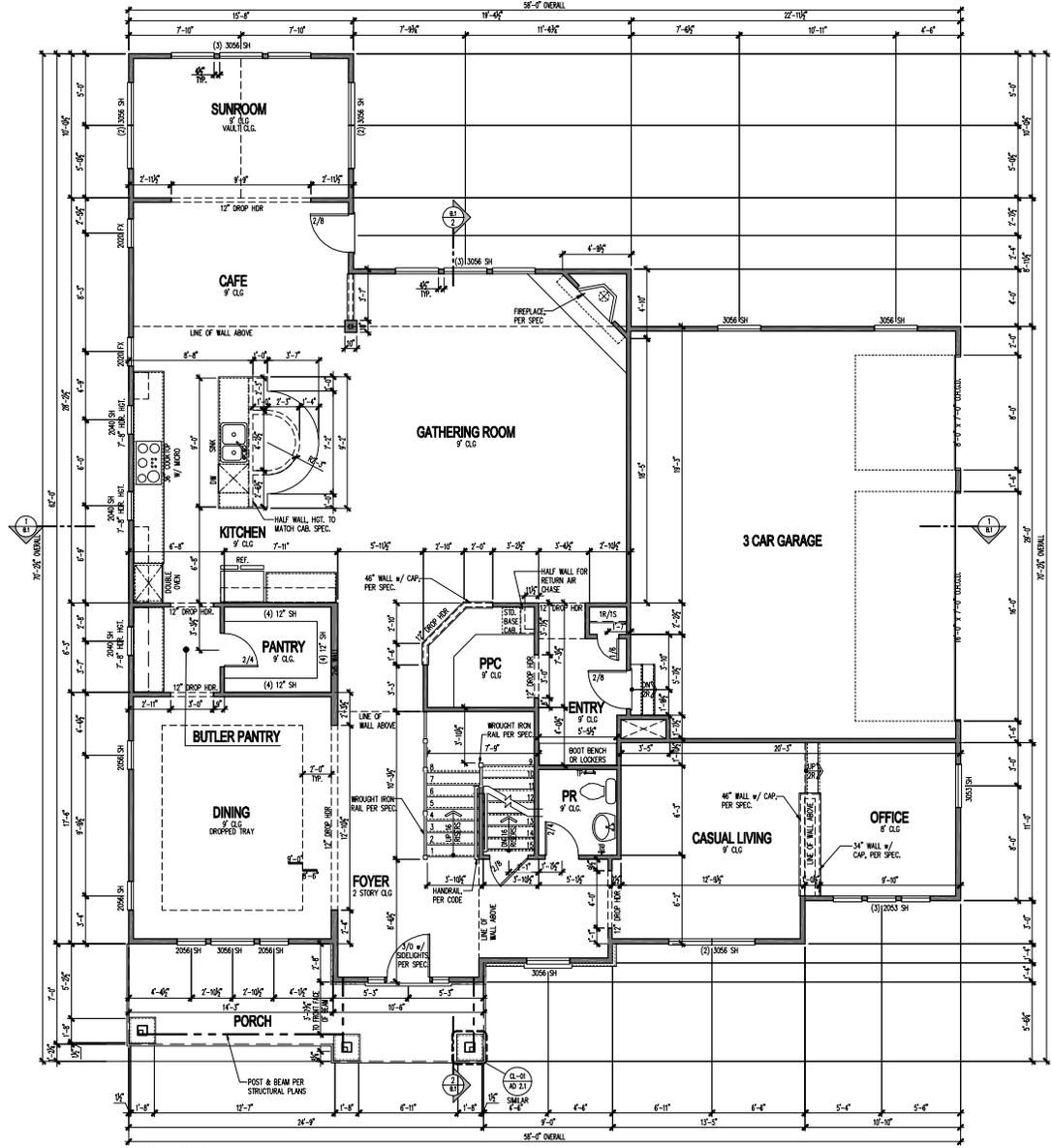
EDINBURG
INC. PLAN NUMBER
2382 300 00 NPC
PROJECT PLAN #
LOT 185

SHEET
A0
B-1.1

FLOORPLAN NOTES

GENERAL SPECIFICATIONS

1. ALL ANGLED WALLS (OTHER THAN THOSE AT 90°) SHALL BE CONSIDERED TO BE AT 45° UNLESS NOTED OTHERWISE.
2. ALL NON-BEARING WALLS TO BE 2-1/4" STUDS AT 24" O.C. KITCHEN AND DULCE PLANNING CENTER WALLS INSECE CHAIRS ARE TO BE FING. SHALL BE FINISHED AT 1/2" O.C.
3. PROVIDE A 1-1/2" OR LARGER SOLID CORE WOOD DOOR, SOLID CORE STEEL DOOR OR HONEYCOMB CORE STEEL DOOR, OR 20 MINUTE FIRE-RATED DOOR EQUIPPED WITH A SELF-CLOSING DEVICE BETWEEN GARAGE AND LIVING SPACE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
4. PROVIDE FIRE SEPARATION BETWEEN DWELLING AND GARAGE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
5. PROVIDE 1/2" DRYWALL AT WALLS, CEILING AND UNDERSIDE OF STAIR ASSEMBLY ACCESSIBLE SPACE UNDER STAIRS IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
6. ALL GLAZING INSTALLED IN HAZARDOUS LOCATIONS AS DEFINED BY THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE SHALL HAVE A PERMANENT DESIGNATION OR LABEL AFFIXED TO EACH PANE OF GLAZING BEARING THE MANUFACTURER'S LABEL SHOWING THE TYPE AND THICKNESS OF GLASS. FOR OTHER THAN TEMPERED GLASS, LABELS MAY BE OMITTED PROVIDED THE BUILDING OFFICIAL APPROVES THE USE OF A CERTIFICATE, AFFIDAVIT OR OTHER EVIDENCE CONFIRMING COMPLIANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
7. ALL BATH AND SHOWER FLOORS AND WALLS ABOVE BATHS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT NOT LESS THAN 72" ABOVE THE FLOOR FOR THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
8. PROVIDE 1/2" WALL SHEATHING WITH Joints AS DRAFT STOP WITH BATT INSULATION FILING ALL JOINTS AT EXTERIOR WALLS ADJACENT TO TUBS AND SHOWERS.
9. ALL REQUIRED GUARDRAILS AND CHAIRRAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. GUARDS SHALL NOT BE LESS THAN 36" HIGH MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE AND NOT LESS THAN 34" HIGH MEASURED VERTICALLY FROM THE SLOPED PLANE THAT ADJUNS THE TREAD NOSINGS.
10. ALL REQUIRED HANDRAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. HANDRAILS SHALL BE PROVIDED ON AT LEAST THE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH 4 OR MORE RISERS. HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34" OR MORE THAN 38" AS MEASURED VERTICALLY FROM THE SLOPED PLANE THAT ADJUNS THE TREAD NOSINGS AND SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE NOT LESS THAN 1-1/2" BETWEEN THE WALL AND THE HANDRAIL.
11. BASEMENTS, HABITABLE ATTICS AND ALL SLEEPING ROOMS MUST HAVE AT LEAST ONE EMERGENCY ESCAPE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. THE EMERGENCY ESCAPE MUST HAVE A 5.7" SPOCLEAR OPENING AND A SILL HEIGHT OF NO MORE THAN 44" ABOVE FINISHED FLOOR. ESCAPE WINDOWS AT GRADE LEVEL MUST HAVE A MIN. OF 5.0 SF OF OPEN AREA. REQUIRED CLEAR OPENINGS SHALL BE A MINIMUM OF 20" HIGH AND 20" WIDE. EMERGENCY ESCAPES WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GRADE MUST HAVE A WINDOW WELL AND LADDER IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES.
12. FOR ADDITIONAL INFORMATION SEE STRUCTURAL DRAWINGS AND NOTES.



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

PLOTTED: February 1, 2023 / 1:40:44 PM / 2382-EDINBURG-DW-1004-PLAN-1.DWG

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Midwest Zone Office
1900 E. Golf Road, Suite 300
Schaumburg, Illinois 60173



REV.	DATE	DESCRIPTION
1	02/01/2023	ISSUE FOR PERMITS
2	02/01/2023	REVISED PER COMMENTS
3	02/01/2023	REVISED PER COMMENTS
4	02/01/2023	REVISED PER COMMENTS
5	02/01/2023	REVISED PER COMMENTS
6	02/01/2023	REVISED PER COMMENTS
7	02/01/2023	REVISED PER COMMENTS
8	02/01/2023	REVISED PER COMMENTS
9	02/01/2023	REVISED PER COMMENTS
10	02/01/2023	REVISED PER COMMENTS
11	02/01/2023	REVISED PER COMMENTS
12	02/01/2023	REVISED PER COMMENTS

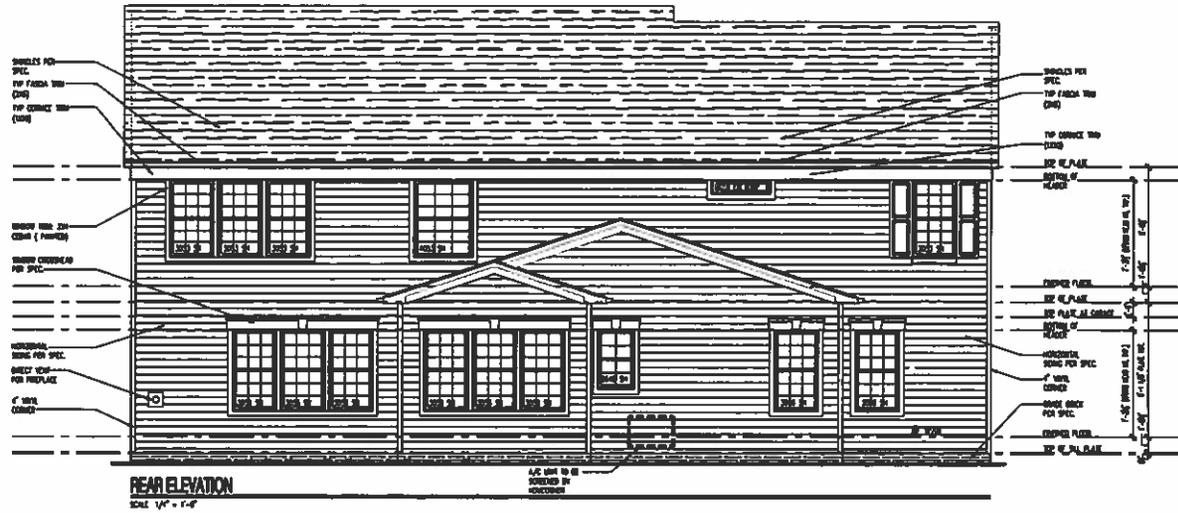
PRODUCTION MANAGER
Sara Kram
DATE: 02/01/2023
PRINTED DATE: 02/01/2023

REV. & DATE / DESCRIPTION

CRISIS HANDLING
RIGHT

EDINBURG
INC. PLAN NUMBER
2382-300-00 NPC
SHEET NO. 0
LOT 183

SHEET
A1
4-1.1



REAR ELEVATION
SCALE 1/4" = 1'-0"



FRONT ELEVATION
SCALE 1/4" = 1'-0"

Cleveland Division
387 Medina Rd. Suite 1700
Medina, OH 44256



Division - J
Front and Rear Elevation

ENGINEER OF RECORD: MAUREN A. DEMP, ARCHITECTS
 ARCHITECT OF RECORD: CONNOR L. DEMME, ARCHITECTS
 100% COMPLETE SET OF DRAWINGS FOR PERMITS AND CONSTRUCTION. THIS SET INCLUDES ALL NECESSARY NOTES AND SPECIFICATIONS.

PROJECT TYPE	SINGLE FAMILY
PROJECT NAME	RIVER GAINS LOT 157
OWNER	CONOR L. DEMME
PROJECT ADDRESS	GARAGE LEFT
PREPARED FOR	TBD
DATE	11/11/2023
PROJECT NUMBER	7.01a2

DRAWN: CONNOR L. DEMME / 11/11/23 DATE: 11/11/23 10:00 AM