

Meeting Date:
April 17, 2025

Location:
7030 St Ives Blvd

Parcel Number
3006116

Request
A variance request for a
side yard setback

Applicant:
Brennan Szczepanski

Property Owner:
Brennan and Renee
Szczepanski

Zoning:
D3 – Outer Village
Residential
Neighborhood

Case Manager:
Lauren Coffman,
Associate Planner

Contents

- Application, 2-18-2025
- Site Plan, 2-18-2025
- Elevations, 2-18-2025
- Site Photos 4-10-2025



Location Map, City of Hudson GIS

Request:

A variance request of five (5) feet from the required side yard accessory structure setback of fifteen (15) feet, resulting in a side yard setback of ten (10) feet pursuant to section 1205.06(d)(5)(D)(4), “Property Development/Design Standards – Setbacks” of the City of Hudson Land Development Code in order to build a detached garage.

Adjacent Development:

The site is adjacent to residential development to the north, south, and west. The site is adjacent to Hudson Springs Park to the East.

Hudson Board of Zoning and Building Appeals	
April 17, 2025	DOCKET 2025-128

Project Background

The property is located in District 3 – Outer Village Residential Neighborhood and is situated on Saint Ives Blvd. The lot is approximately 0.71 acres and the house on the property was built in 1990. The owners purchased the property in 2022.

The applicant is requesting to construct a 24ft x 28ft (672 sq. ft) accessory structure to be used as a detached garage. The City of Hudson’s Land Development Code has the following regulation relative to the placement of accessory structures on a property –

- *1205.06(d)(5)(D)(4) – Minimum side yard setbacks. All other accessory structures: fifteen feet.*

The applicant is requesting a side yard setback variance of five (5) feet from the required fifteen (15) foot setback resulting in a side yard setback of ten (10) feet from the southern property line in order to build a detached garage.

The applicant states that the proposed placement of the accessory structure on the lot would preserve the visual alignment of the property, enhance the overall property value, and maintain a cohesive streetscape with the house. Additionally, the applicant states that the shape of the lot in question and orientation of the existing home makes it difficult to meet all Land Development Code requirements.

Considerations

Section 1204.03 of the Land Development Code describes the standards for review of variance requests. These standards are listed below, along with staff findings to assist in your determination. All findings are subject to additional testimony presented to the Board during the public hearing:

1. Whether the property in question will yield a reasonable return or whether there can be any beneficial use of the property without the variances:

The property in question will yield a reasonable return and there can be beneficial use of the property without the variance as the property in question already has an existing 2 car attached garage.

2. Whether the variance is substantial:

Staff notes that approximately 31 square feet of the total 672 sq. ft of the accessory structure is proposed to be located within the side yard setback.

3. Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer a substantial detriment as a result of the variances:

Staff notes the following:

- The lot is approximately 0.71 acres.
- The structure would be located entirely behind the main mass of the house in the rear yard.
- Staff notes an adjacent retaining wall and landscape mound. Question if the proposed 20 ft high measurement to the peak of the roof would be from average

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grade and how much of the structure would be obscured by the retaining wall and mound from the neighboring property.

4. Whether the variance would adversely affect the delivery of governmental services such as water and sewer:

The variance would not impact the delivery of governmental services.

5. Whether the applicant purchased the property with knowledge of the requirements.

The existing regulations were in effect when the owners purchased the property in 2022.

6. Whether the applicant's predicament can be obviated feasibly through some method other than a variance:

Staff questions if the applicant could reduce the overall size of the proposed structure in order to meet all Land Development Code requirements. Additionally, staff questions if the garage could be sited further to the rear of the property and angled to increase the side yard setback. Staff notes the rear yard setback for accessory structures is fifteen (15) feet.

7. Whether the spirit and intent behind the requirement would be observed and substantial justice done by granting the variance.

The Board of Zoning and Building Appeals shall weigh the above factors, along with given testimony in order to make this determination.

Additional Approvals

The proposal would also require the following:

- A design review with the Architectural and Historic Board of Review.
- Administrative review and approval.



25-128

Board of Zoning and
Building Appeals (BZBA)

Status: Active

Submitted On: 2/18/2025



Primary Location

7030 SAINT IVES BLVD
Hudson, OH 44236

Owner

SZCZEPANSKI BRENNAN J
SAINT IVES BLVD 7030
HUDSON, OH 44236

Applicant

 Brennan Szczepanski
 216-978-6490
 bszczepanski03@jcu.edu
 7030 Saint Ives
Hudson, OH 44236

Applicant and Property Owner Information

Applicant Relationship to Property Owner:*

Property Owner

Property Owner Name*

Brennan & Renee Szczepanski

Property Owner's E-Mail:*

brennan.szczepanski@swagelok.com

Property Owner Phone Number*

216-978-6490


Type of Hearing Request

Type of Request:*


Variance

Year Property Purchased*


2022

Code Required Regulation (please indicate feet, s.f. or height)* 

City requires 15 feet setback while our HOA requirement is 10 feet from the property line.

Requested Variance (please indicate the amount of the variance in feet, s.f. or height)* 

Approximately 31 sq feet of the total accessory structure - Only rear left corner

Resulting Set-Back (please indicate feet, s.f. or height)* 

10 feet from property line for back left corner for the accessory storage building. The average distance from the property line is more than 15 feet due to the angle of the property line and it's only the back left rear corner.

Explanation of Request and Justification:*

The requested variance amounts to only 5 feet 6 inches along the back wall and rear left side of 11 feet 2 inches, impacting approximately 31 square feet out of the total 672 square feet of the (24 x 28) accessory building. This represents only 4.6% of the total structure. The proposed placement preserves the visual alignment of the property and maintains a cohesive streetscape with the house. A well-positioned accessory structure enhances property value and curb appeal, benefiting both the homeowner and the neighborhood. The shape of the lot, given where the house was built, makes it challenging to build a storage accessory building to adhere to the 15 foot setback requirement even though our HOA bylaws state 10 feet away.

Supplemental Information for Determining Practical Difficulty

The property in question will yield a reasonable return and there can be a beneficial use of the property with the variance because:*

The proposed accessory building placement will allow for efficient use of the lot while maintaining the overall character of the neighborhood. The reduced setback will not negatively impact adjacent properties and the accessory building will still comply with safety and accessibility standards. Additionally, granting the variance will enable the homeowner to maximize the functional space of the property without causing undue hardship or diminishing property values.

The variance is
insubstantial

Describe why the variance is substantial or insubstantial*

The proposed placement fully meets the HOA 10-foot setback requirement. The only portion affected by this variance is a small corner of the accessory structure, making this a minor deviation from the city 15-foot property setback. The requested variance amounts to only 5 feet 6 inches along the back wall and rear left side of 11 feet 2 inches, impacting approximately 31 square feet out of the total 672 square feet of the accessory building. This represents only 4.6% of the total structure, making it a minimal and reasonable request.

**Would the essential character of the neighborhood
be substantially altered?***

no

**Explain why the request is the minimum amount necessary to make reasonable use of the property or
structure(s):***

The request is to reduce the setback from 15 to 10 feet is the minimum amount necessary to make reasonable use of the property while still adhering to practical design. Given the lot's dimensions, this variance allows for the construction of a functional accessory building without compromising access, usability or the integrity of the neighboring properties. A greater setback would create unnecessary limitations on the property's use and design while providing no significant benefit to the surrounding area.

**Would adjoining properties be negatively
impacted?***

no

Describe how the adjacent properties will not be affected.*

The placement does not block sightlines or negatively impact adjacent homes. There will never be any homes behind the property since the home backs up to Hudson Springs Park. In addition, Norway Spruce pine trees are placed along the property line which will block the structure.

**Will this request adversely affect public services
(mail, water, sewer, safety services, etc.)**

no

The situation cannot be feasibly solved by means other than a variance. Explain:*

Due to the elevation and how the house was positioned on the property this is the only location where the structure could be built due to these limitations.

The spirit and intent behind the zoning requirement would be observed and substantial justice done by granting the variance. Explain below:

Granting the variance would uphold the spirit and intent of the zoning requirement by ensuring the proposed accessory building remains compatible with the surrounding properties while allowing for the reasonable and practical use of the land. The reduced setback does not create any adverse impact on neighboring properties, public safety or the overall character of the neighborhood. Additionally, it ensures substantial justice by allowing the property owner to make functional use of the space without imposing an unnecessary hardship while still maintaining the goals of the zoning ordinance.

The circumstance leading to this request was not caused by current owner. It was caused by:*

If the house was built parallel with the lot, this would not have been an issue in the proposed location. Due to the house being approved on an angle and not parallel with the street, a minimal variance is being requested which aligns with our HOA 10 foot setup back requirements.

List any special circumstances particular to the property/lot (i.e.: exceptional irregularity, narrowness, shallowness or steepness) these circumstances are:*

The house was built on an angle on the property and does not align with the property lines like the rest of the houses in the neighborhood and was probably built on an angle due to the property being built on a hill. The whole property does not have a flat spot except where the proposed location is.

BZBA Meeting Information

The following persons are authorized to represent this application with respect to all matters associated with the project*

Brennan & Renee Szczepanski

By checking this box, I do hereby certify that I am authorized to represent the property owner and to accept any conditions that the Board may impose.*



By checking this box, I do hereby certify that the information to the City of Hudson in and with this application is true and accurate and consents to employees and/or agents of the City of Hudson entering upon the premises of this application for purposes of inspection and verification of information pertaining to the application, and if this application is approved, to verify conformance to requirements and conditions of such approval. I acknowledge that City reviews or approvals do not absolve the subject property from deed restrictions, easements, or homeowner association covenants, restrictions, or regulations regarding structures and uses on the property. *



Board Meeting Date

 AHBR

☐

 BZBA

☐

 Planning Commission

☐

Internal

 **Company Name**

 **Variances**

 **Meeting Date**

 **District**

SITE PLAN
FOR
Brennan Szczepanski

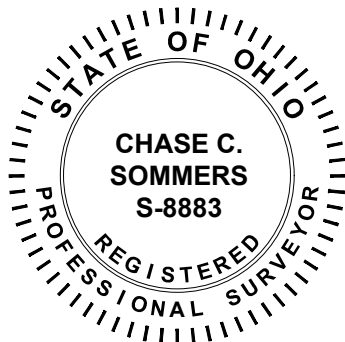
SITUATED IN THE CITY OF HUDSON, COUNTY OF SUMMIT AND STATE OF OHIO AND KNOWN AS BEING SUBLOT NO. 43 IN ST. ANDREWS COMMONS SUBDIVISION IN THE TOWNSHIP OF HUDSON, AS SHOWN BY THE RECORDED PLAT IN CABINET D, SLIDES 502-512 OF SUMMIT COUNTY PLAT RECORDS.

Surveyor's Notes & Basis of Bearings:

This map was prepared without the benefit of a Title Report and is not intended to reflect all easements, encumbrances, or other items affecting the title to the property shown hereon.

The basis of bearings for this survey, as shown, is the rear line of the subject property, based on St. Andrews Commons Subdivision, Cabinet D, Slides 502-512 and is to an assumed meridian used to denote angles only. Distances are in feet and decimal parts thereof. All set pins are 5/8" x 30" rebar with a yellow cap inscribed "ECS Surveying PS. 8883". References used are listed hereon. This map was prepared from a survey performed by me or under my direction in May, 2024, and meets the requirements defined in Chapter 4733-37 of the Ohio Revised Code, *Minimum Standards for Boundary Surveys*. This map is not valid unless signed and stamped by Surveyor.

Chase Sommers, PS 8883



Curve Table

Curve	Radius	Arc Length	Chord Length	Chord Bearing	Delta Angle
C1	1974.15' R	200.34' R	200.26' R	N 02°35'41" E	5°48'52" R
C2	1974.15' R	198.30' R	198.21' R	N 08°22'47" E	5°45'19" R
C3	797.03' R&U	391.91' R&U	387.97' R&U	N 02°49'46" W	28°10'23" R&U
C4	822.03' R	40.04' R	40.04' R	S 09°51'42" W	2°47'28" R
C5	822.03' R	162.60' R	162.34' R	S 02°47'58" W	11°20'00" R
C6	822.03' R	155.31' R	155.08' R	S 08°16'48" E	10°49'30" R
C7	772.03' R&U	56.18' R&U	56.16' R&U	N 11°47'48" W	4°10'08" R&U
C8	50.00' R&U	48.51' R&U	48.63' R&U	N 41°40'22" W	55°34'59" R&U
C9	75.00' R&U	73.83' R&U	70.70' R&U	N 41°20'29" W	56°14'42" R&U
C10	75.00' R	96.81' R	90.23' R	N 23°45'40" E	73°57'35" R
C11	75.00' R	90.00' R	84.70' R	N 84°52'54" W	68°45'18" R
C12	75.00' R	114.19' R	103.47' R	N 06°53'15" W	87°14'00" R
C13	50.00' R	44.54' R	43.08' R	N 11°12'36" E	51°02'17" R
C14	822.03' R	8.85' R	8.85' R	S 14°00'02" E	0°37'00" R

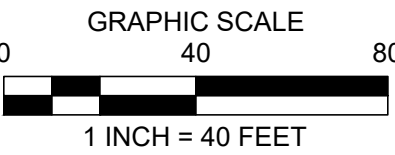
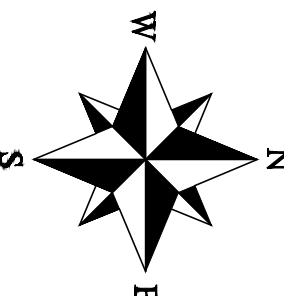
References:

- R1 Summit County GIS,
R2 Plat of St. Andrews Commons Subdivision
Cabinet D, Slides 502-512
R3 Subject deed as shown
R4 Adjoining deeds as shown

Survey Legend:

- Capped Iron Pin (CIP) Found as Noted
● Capped Iron Pin Set
○ Iron Pin (IP) Found as Noted
■ Monument Box (MB) Found as Noted
○ Tree

- C/L — Centerline
— — Record Property Line
— R/W — Right of Way (R/W) Line
— PL — Subject Property Line (PL)
— Building
— Deck
— Edge of Driveway



Sheet
1 of 1

Standard Abbreviations

- AFN - Automatic File Number
C - Calculated
CL - Centerline
CLR - Clear of the PL
CSR - City Survey Records
D - Deed Record
DOC - Document Number
F - Found
INST - Instrument Number
M - Measured
OVR - Over the PL
PL - Property Line
P - Plat
PPN - Permanent Parcel Number
R - Record Distance
R/W - Right-of-Way
S/L - Sublot
U - Used

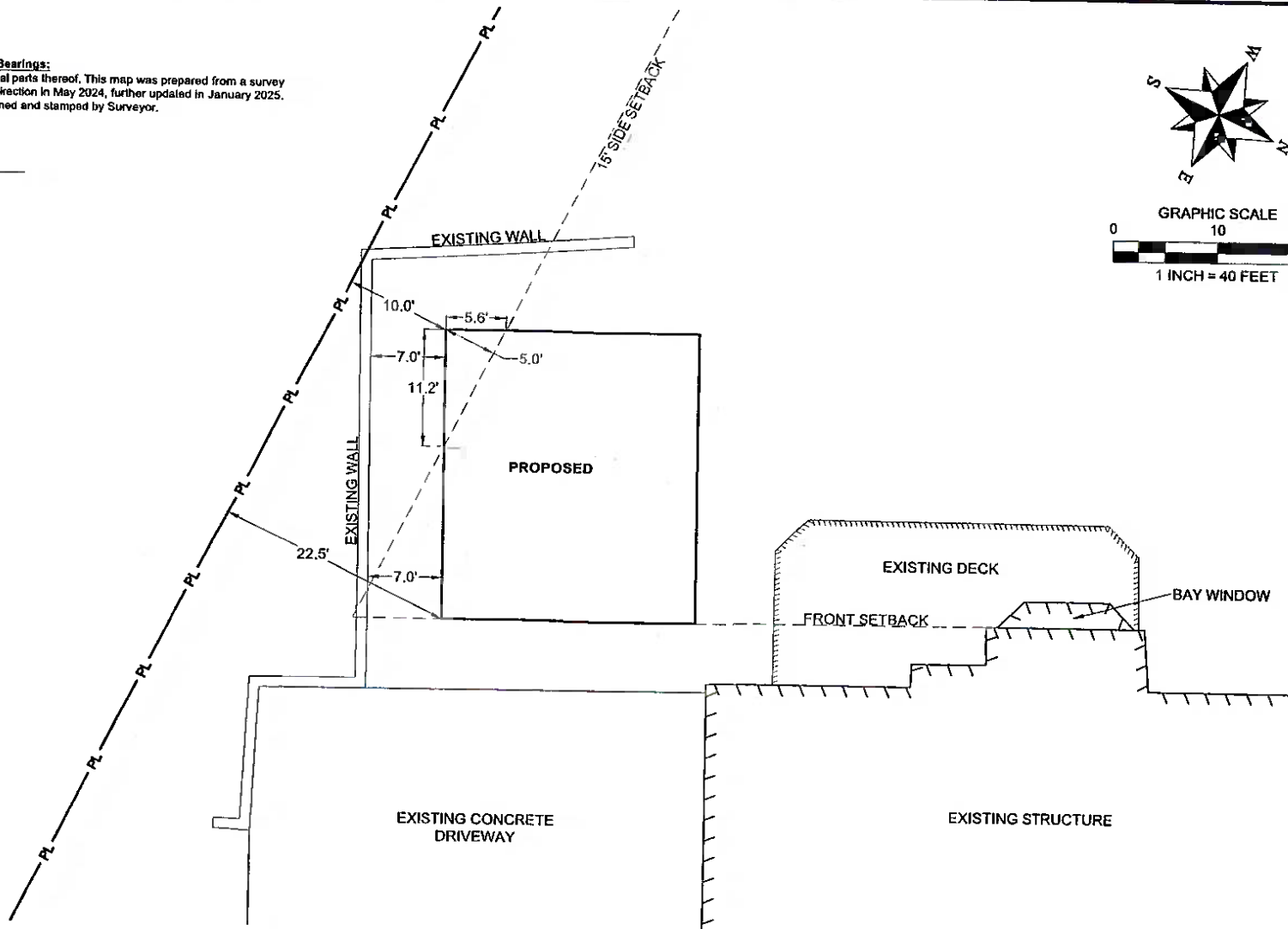
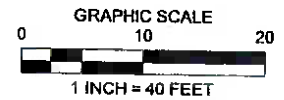
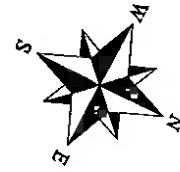
Site Plan
7030 St. Ives Boulevard
Hudson, Ohio

Revision Table			
R1	3/19/2025	Revise wall location	
R0	2/10/2025	Original Issue	
Number	Date	Description	
Job Number	Drafted by:	Reviewed by:	Drawing name:
24-081	ES	CS	24-081 Boundary

Surveyor's Notes & Basis of Bearings:

Distances are in feet and decimal parts thereof. This map was prepared from a survey performed by me or under my direction in May 2024, further updated in January 2025. This map is not valid unless signed and stamped by Surveyor.

Chase Sommers, PS 8883



Revision Table		
R0	1/30/25	Original Issue
No.	Date	Description

Job Number
24-081

Drafted by:
CS/ES

Drawing name:
24-081 BOUNDARY

Reviewed by:
CS/ES

Brennan Szczepanski

24X28 HERITAGE GARAGE

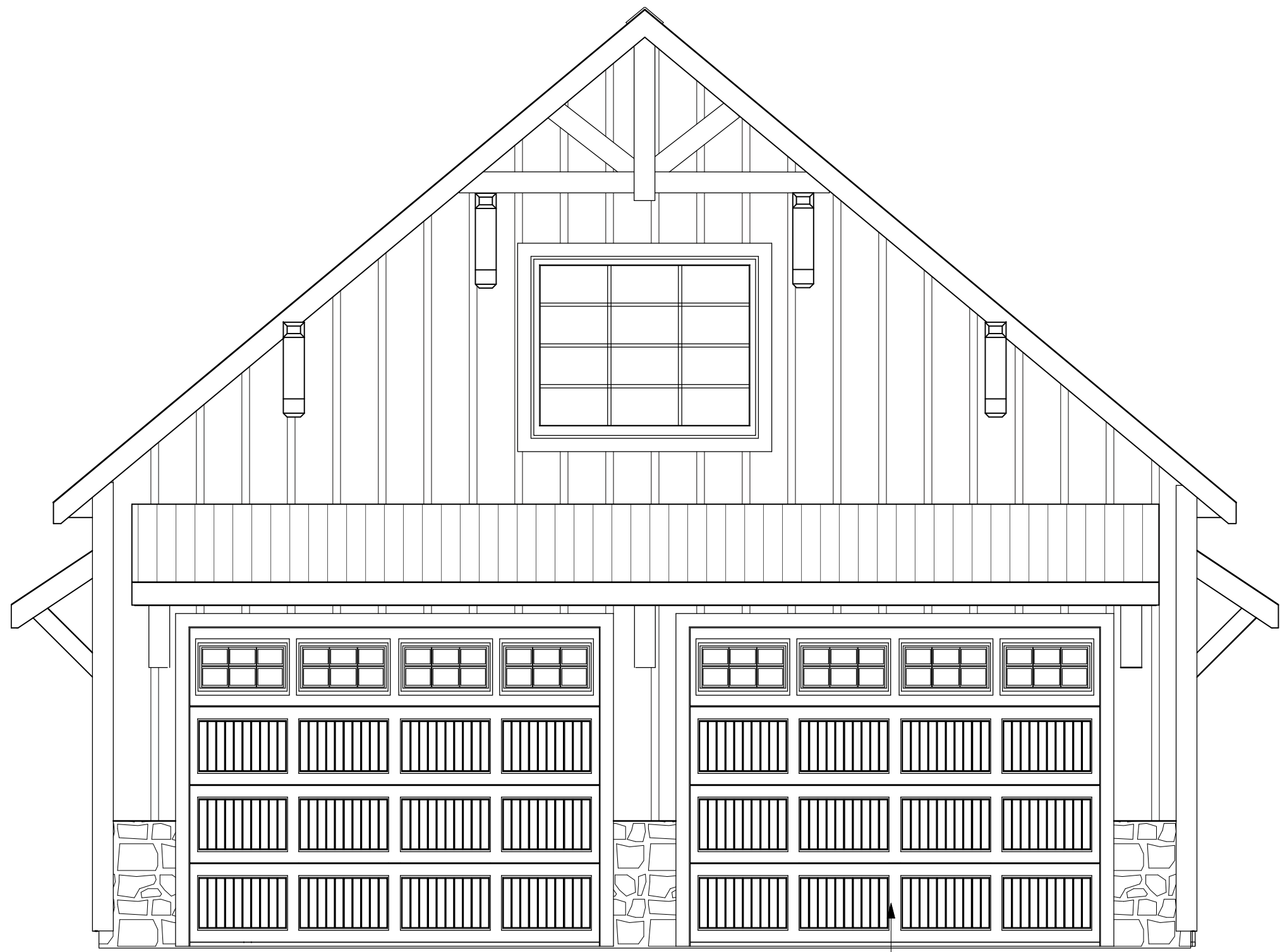
GENERAL NOTES:

March 2025

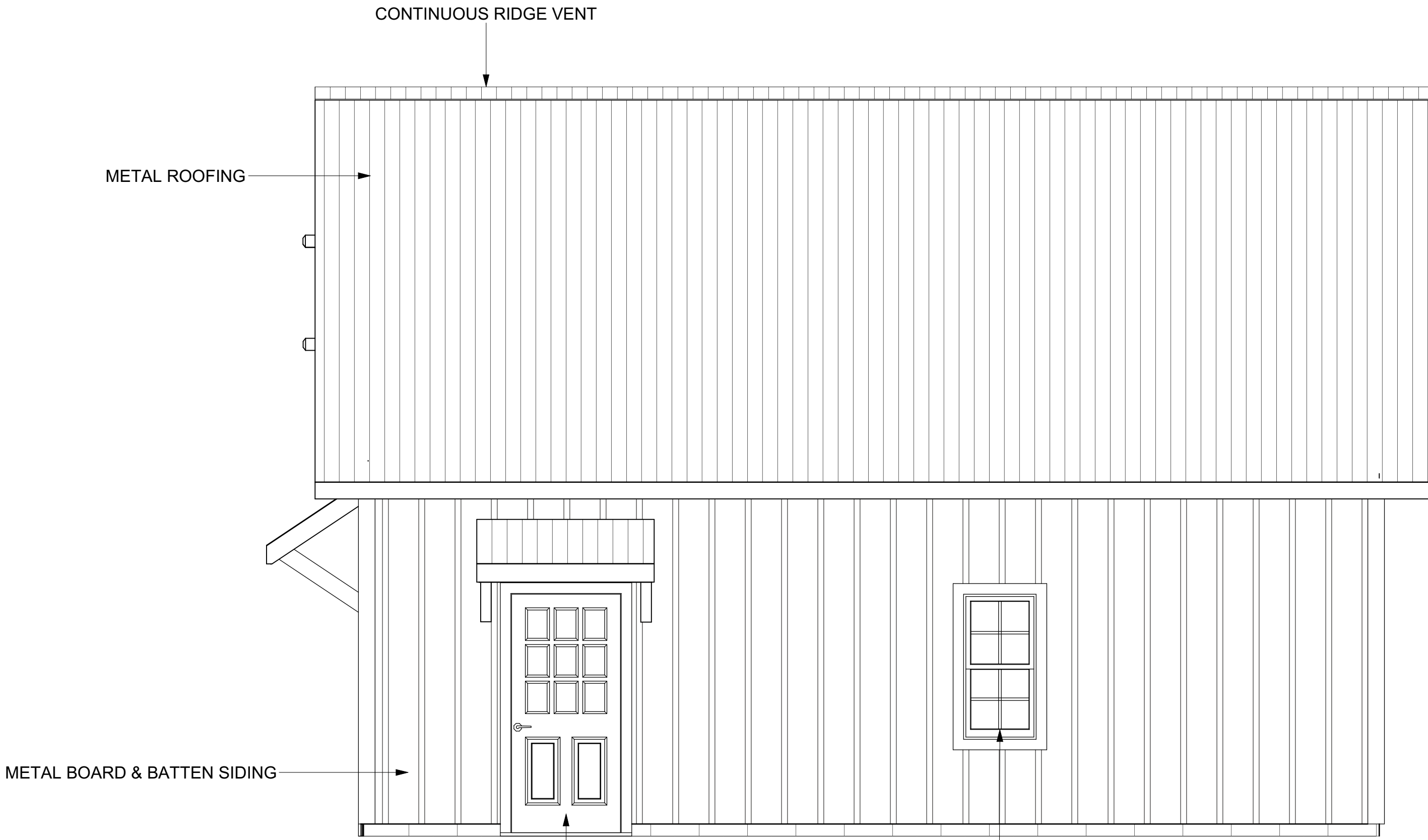
DESIGN CRITERIA:

BUILDING DESIGN:

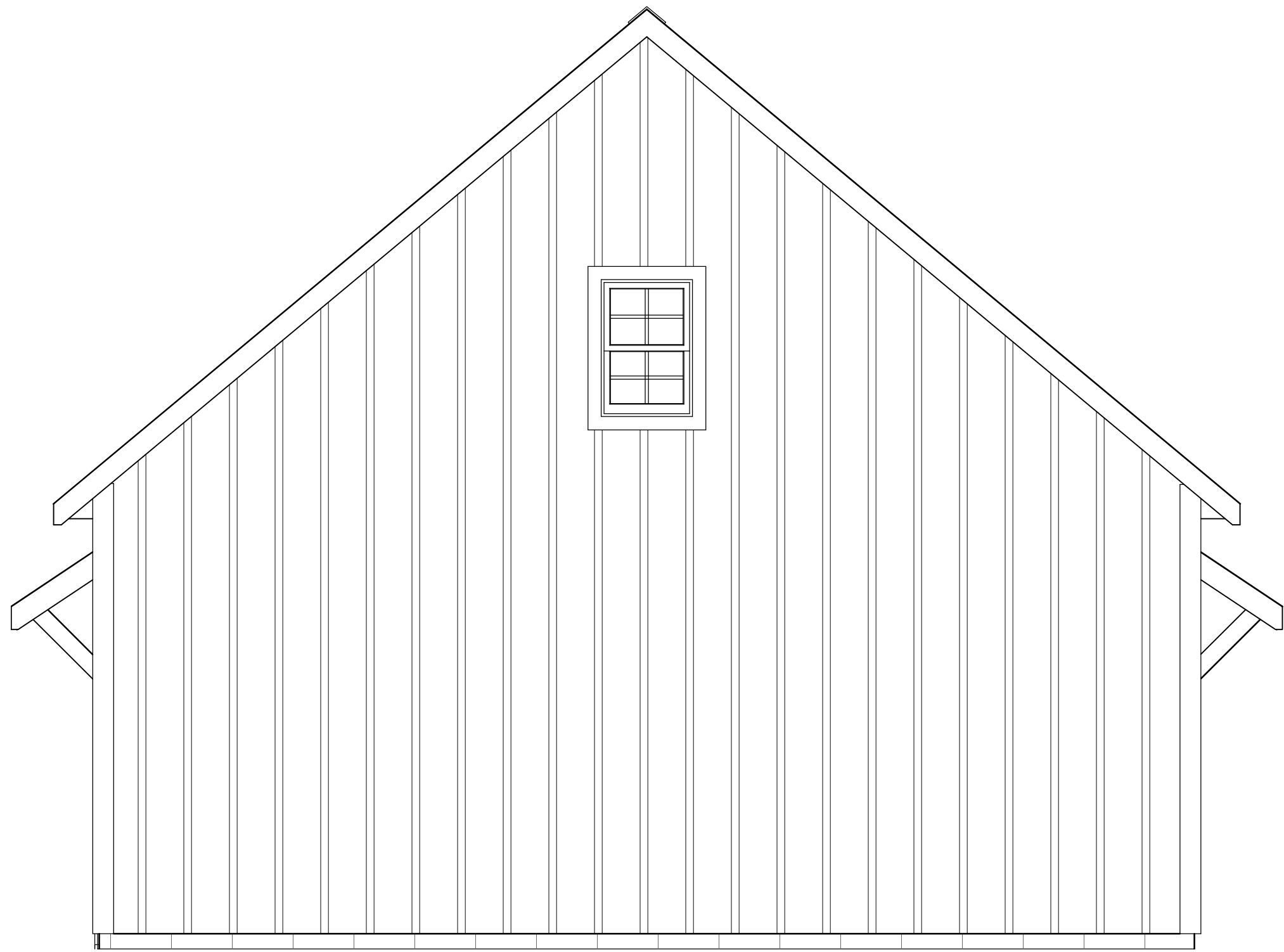




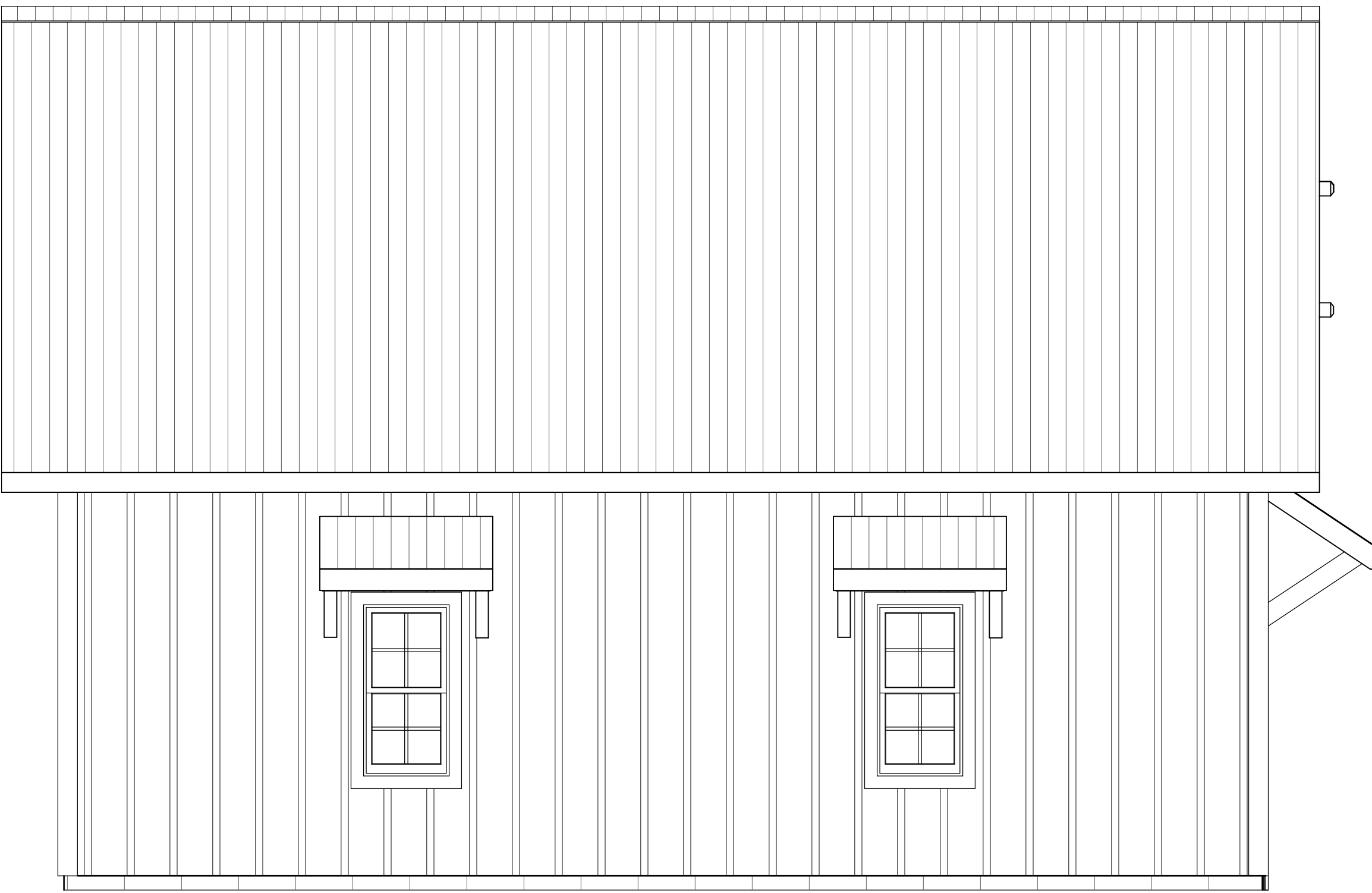
FRONT EXTERIOR ELEVATION
3/8" SCALE



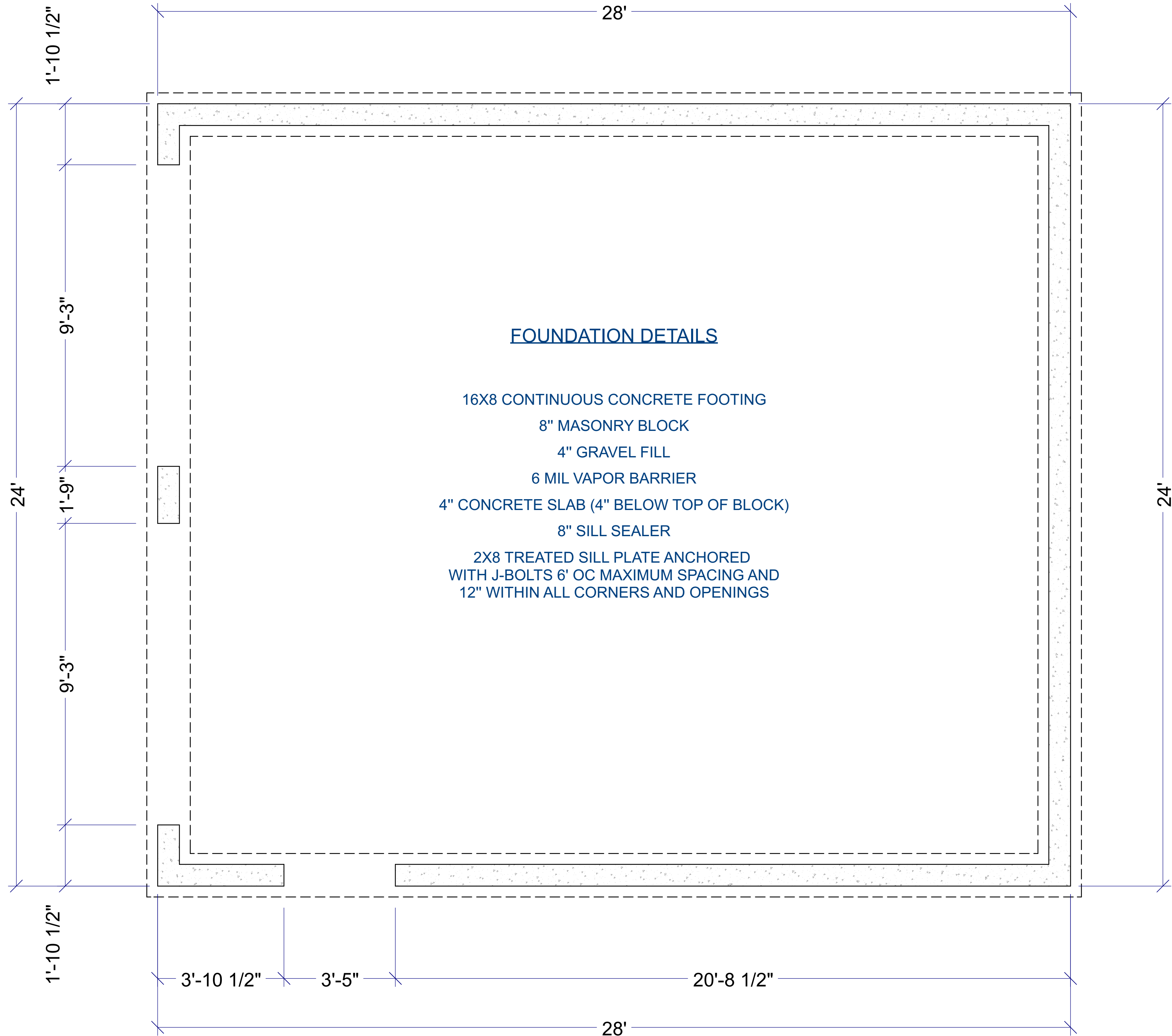
RIGHT EXTERIOR ELEVATION
3/8" SCALE



REAR EXTERIOR ELEVATION
3/8" SCALE



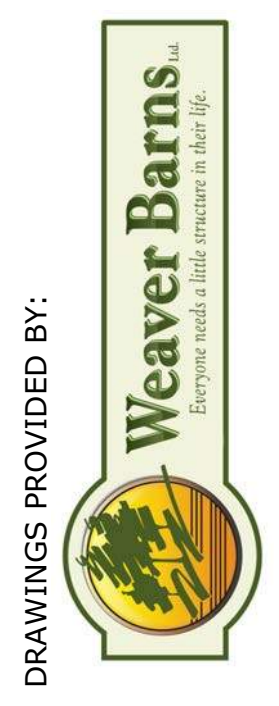
LEFT EXTERIOR ELEVATION
3/8" SCALE



FOUNDATION DETAILS

- 16X8 CONTINUOUS CONCRETE FOOTING
- 8" MASONRY BLOCK
- 4" GRAVEL FILL
- 6 MIL VAPOR BARRIER
- 4" CONCRETE SLAB (4" BELOW TOP OF BLOCK)
- 8" SILL SEALER
- 2X8 TREATED SILL PLATE ANCHORED WITH J-BOLTS 6' OC MAXIMUM SPACING AND 12" WITHIN ALL CORNERS AND OPENINGS

SCALE
1/2" = 1'



DRAWINGS PROVIDED BY:

FOUNDATION PLAN

REVISED:

2/12/2025

DRAWN BY:

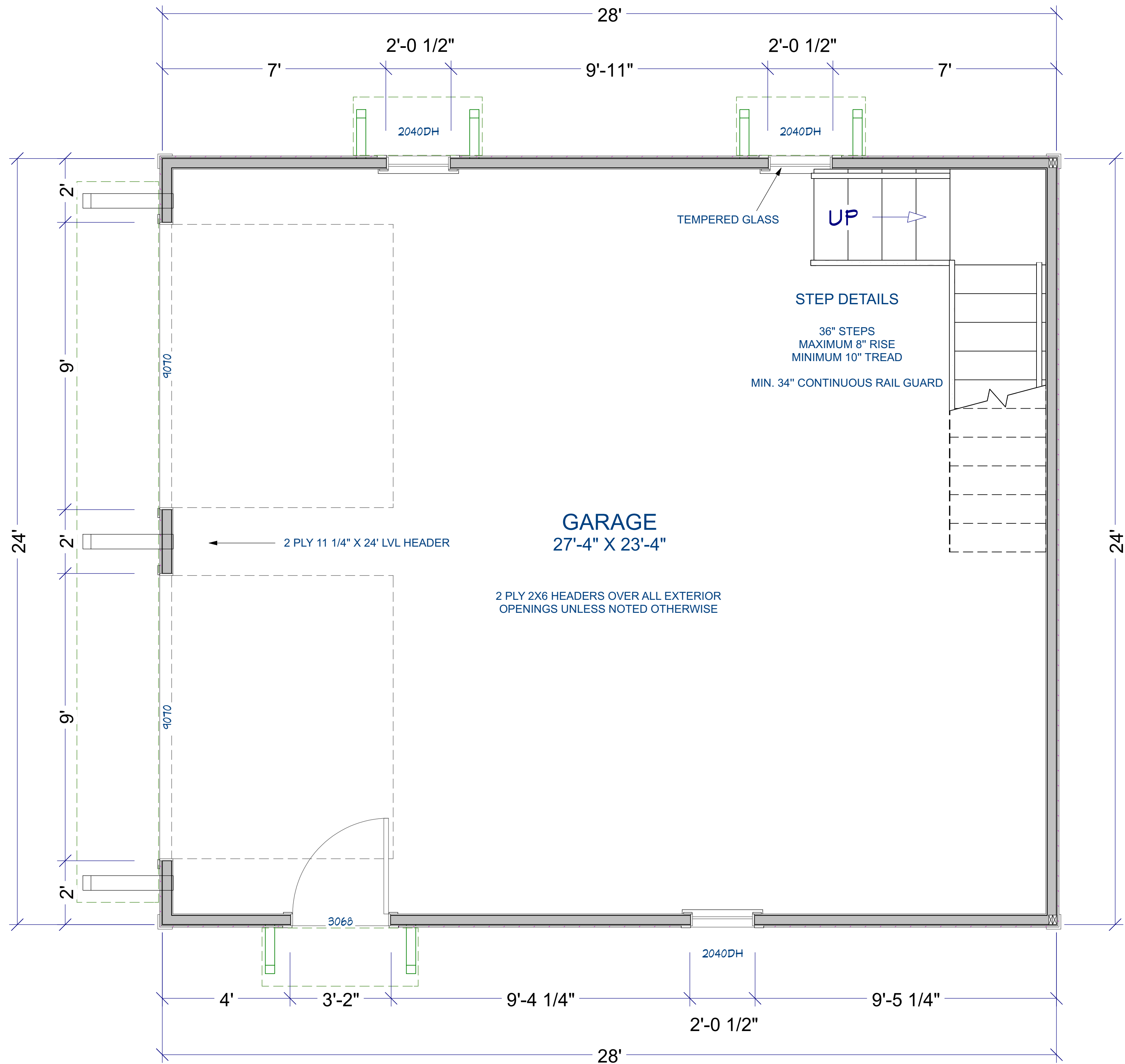
MLM

SHEET SIZE:

24" X 36"

SHEET:

A-2



SCALE
1/2" = 1'



DRAWINGS PROVIDED BY:

FIRST FLOOR PLAN

REVISED:

2/12/2025

DRAWN BY:

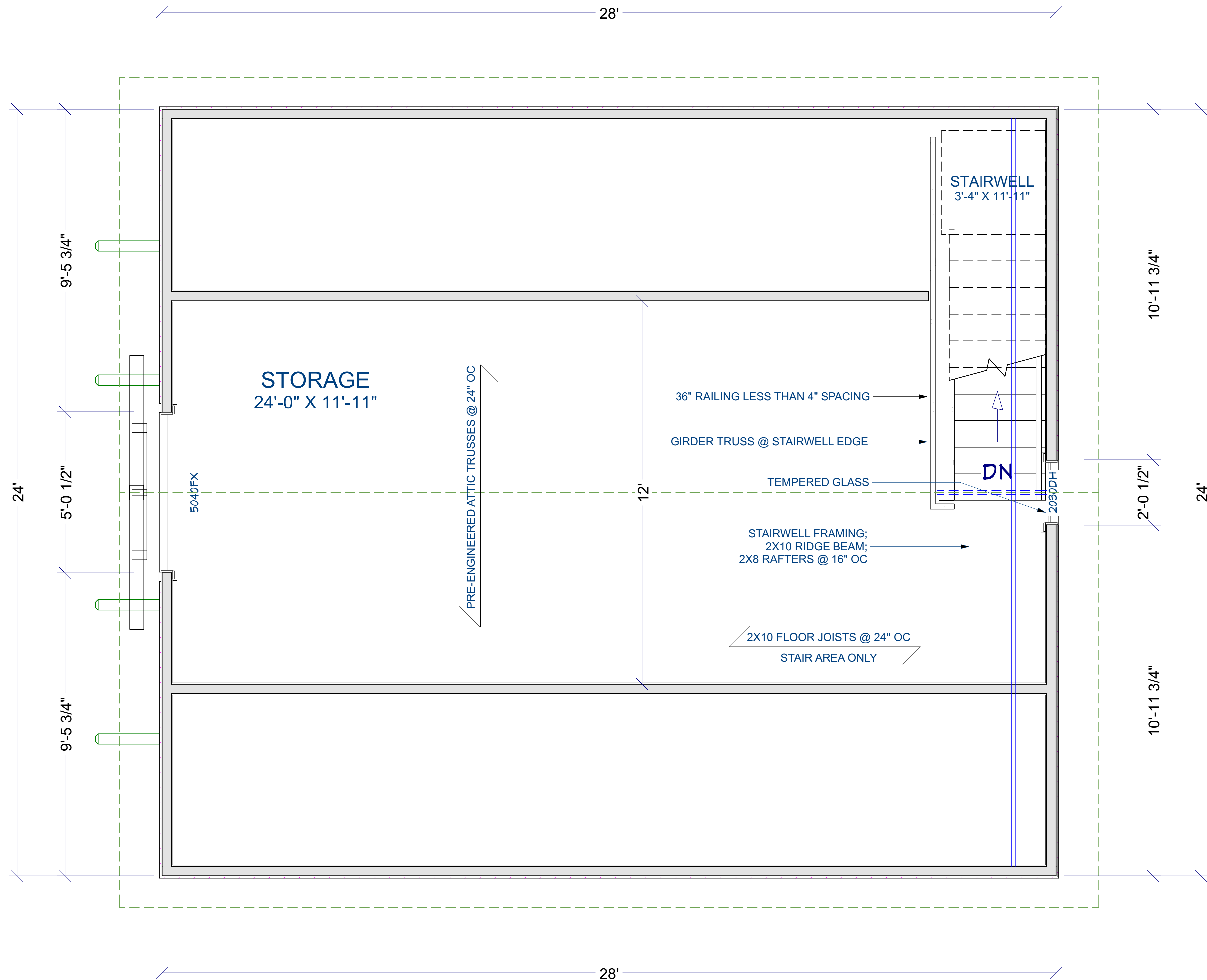
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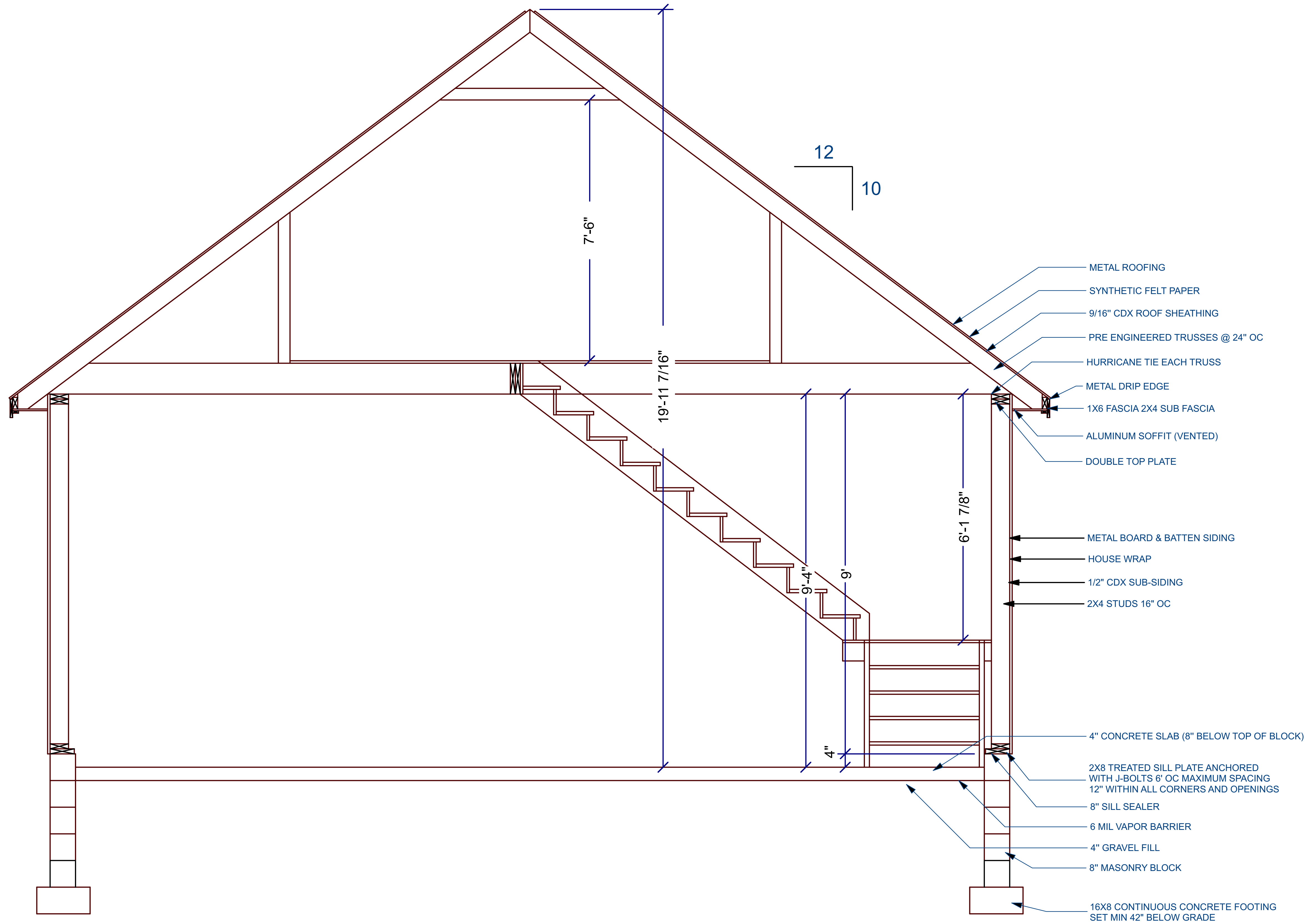
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A-3

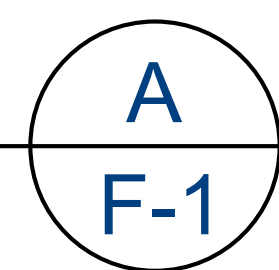


SCALE
1/2" = 1'



MAIN EXTERIOR WALL SECTION

SCALE: 3/4" = 1'



DRAWINGS PROVIDED BY:



CROSS SECTIONS

REVISED:

2/12/2025

DRAWN BY:

MLM

SHEET SIZE:

24" X 36"

SHEET:

S-1



MiTek USA, Inc.
16023 Swingley Ridge Rd
Chesterfield, MO 63017
314-434-1200

Re: 233196
Keim - DuCarme Garage

The truss drawing(s) referenced below have been prepared by MiTek USA, Inc. under my direct supervision based on the parameters provided by Hostetler's Metal & Truss.

Pages or sheets covered by this seal: 158643637 thru 158643639

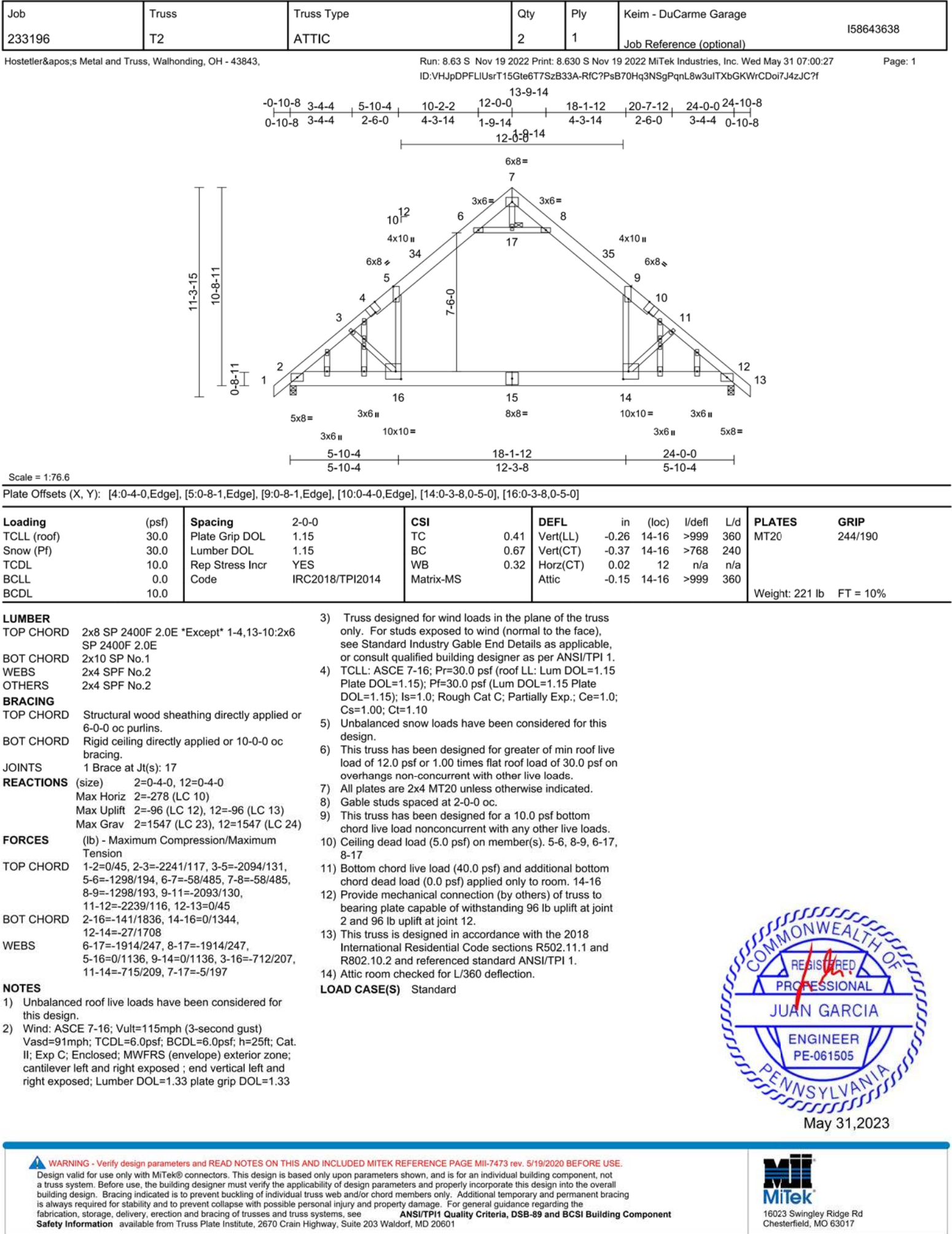
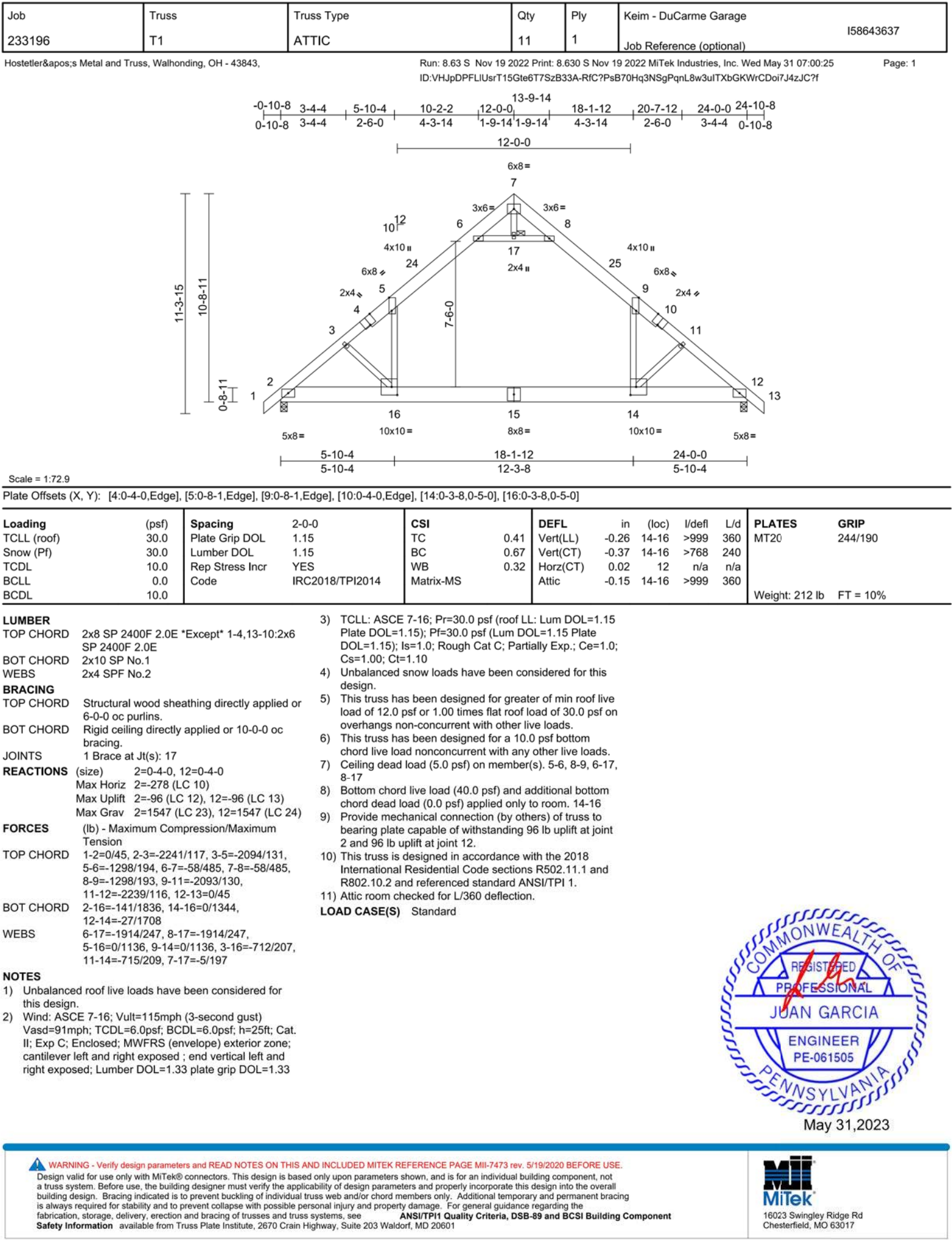
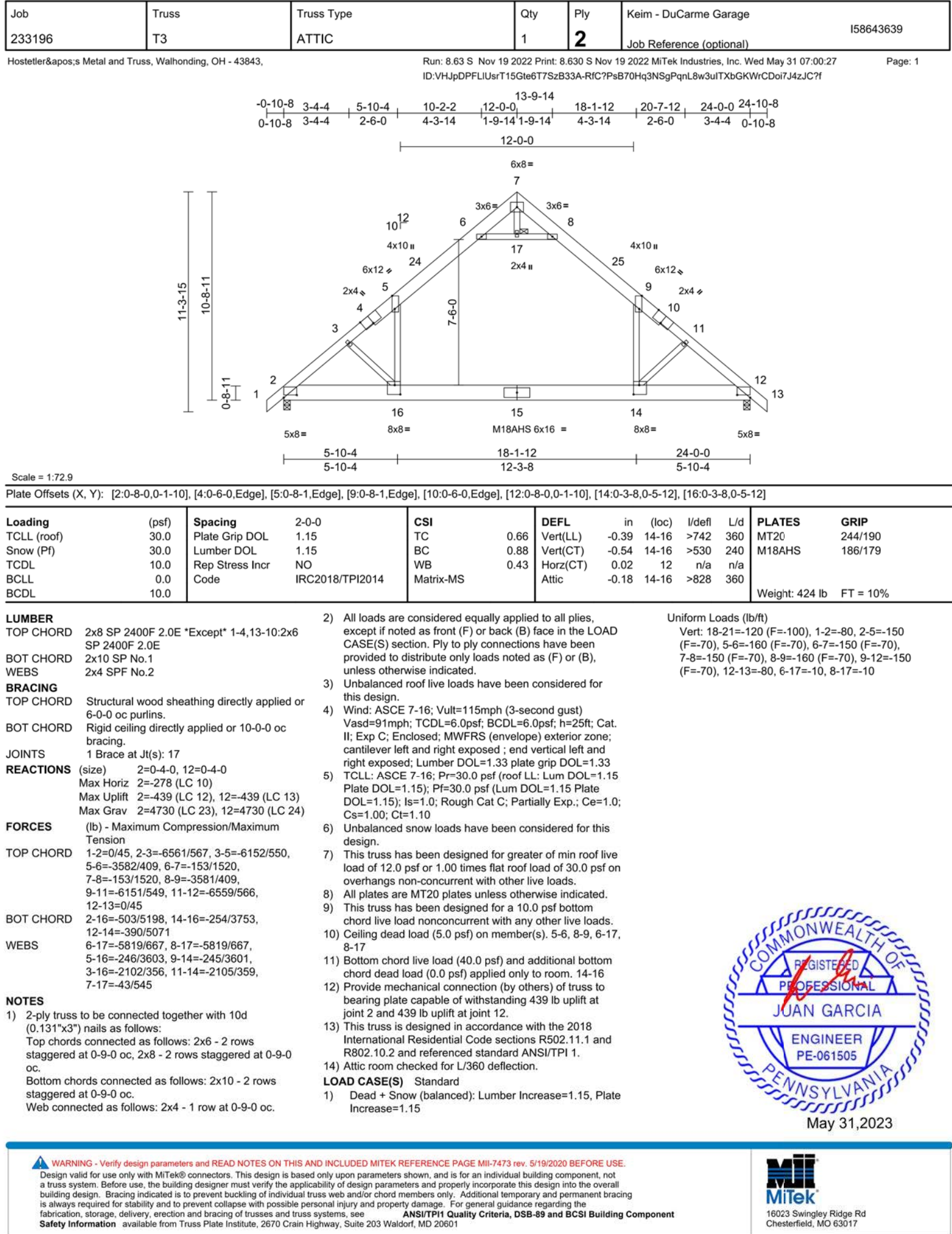
My license renewal date for the state of Pennsylvania is September 30, 2023.



May 31, 2023

Garcia, Juan

IMPORTANT NOTE: The seal on these truss component designs is a certification that the engineer named is licensed in the jurisdiction(s) identified and that the designs comply with ANSI/TPI 1. These designs are based upon parameters shown (e.g., loads, supports, dimensions, shapes and design codes), which were given to MiTek or TRENCO. Any project specific information included is for MiTek's or TRENCO's customers file reference purposes only, and was not taken into account in the preparation of these designs. MiTek or TRENCO has not independently verified the applicability of the design parameters or the designs for any particular building. Before use, the building designer should verify applicability of design parameters and properly incorporate these designs into the overall building design per ANSI/TPI 1, Chapter 2.



DRAWINGS PROVIDED BY:



TRUSSES

Rich & Anne DuCarme
110 Sweetbriar Rd
Canonsburg, PA 15317

REVISED:

2/12/2025

DRAWN BY:

MLM

SHEET SIZE:

24" X 36"

SHEET:

S-2

























