

APPROVED: STAFF APPROVAL _____ DATE _____

APPROVED: ENGINEERING DEPT. APPROVAL _____ DATE _____

APPROVED: LANDSCAPE ARCHITECT APPROVAL _____ DATE _____

BUILDER: PULTE HOMES OF OHIO, LLC
ADDRESS: 382 MEDINA ROAD SUITE 1700, MEDINA, OHIO 44256
PHONE: 330-239-1587

CURVE	TABLE
CHORD	ANGLE
124.91'	60.00'
38.04'	61.79'
519.29'	58.87'

INITIAL SITE BENCHMARK:
SUMMIT COUNTY GEODESIC MONUMENT HD 118
STATE PLAN COORDINATE
N 572,745.849
E 2,250,915.841
ELEVATION = 1006.912 NAVD 1988

DIRT CALCULATION
cu yds CUT/FILL

OWNER:
ADDRESS:
PHONE:

NOTE:
FINAL LOCATION OF (3) TREES TO BE DETERMINED AND INSTALLED BY PURCHASER IN COMPLIANCE WITH CITY OF HUDSON LAND DEVELOPMENT CODE (1207.04J).

NOTES:
DOWNSPOUTS TO BE CONNECTED TO STORM SEWER CONNECTION
SUMP PUMP REQUIRED FOR FOOTER DRAINS

NOTE:
PURCHASER TO INSTALL MINIMUM OF 3 TREES PER MUNICIPAL REQUIREMENTS

NOTE:
PURCHASER TO INSTALL LANDSCAPING PER CITY OF HUDSON LANDSCAPING REQUIREMENTS

NOTE:
PER ARD, EGRESS WINDOW WELLS SHOULD BE NO MORE THAN 6" ABOVE FINISHED GRADE

GRAPHIC SCALE



(IN FEET) 1 inch = 20 ft.

PERCENTAGE OF LOT COVERAGE = 19.4%

HOUSE COVERAGE = 2,699 SQ.FT.
DRIVEWAY COVERAGE = 1,606 SQ.FT.
BALCONY COVERAGE = 230 SQ.FT.
TOTAL COVERAGE = 4,535 SQ.FT.

DATE OF SURVEY:
JUNE 28th, 2019

TYPE OF HOUSE:
PLAN # ELUCOTT
ELEVATION: NORTHERN CRAFTSMAN
GAR: 1 CAR SIDE REAR W/9' GARDEN BASEMENT & FIREPLACE



- ① - PROP 1" WAT CONN
- ② - PROP 4" PVC SIS CONN @ 1.08 MH 108 MAI
- ③ - PROP 6" PVC SIS CONN @ 1.08 MH 108 MAI

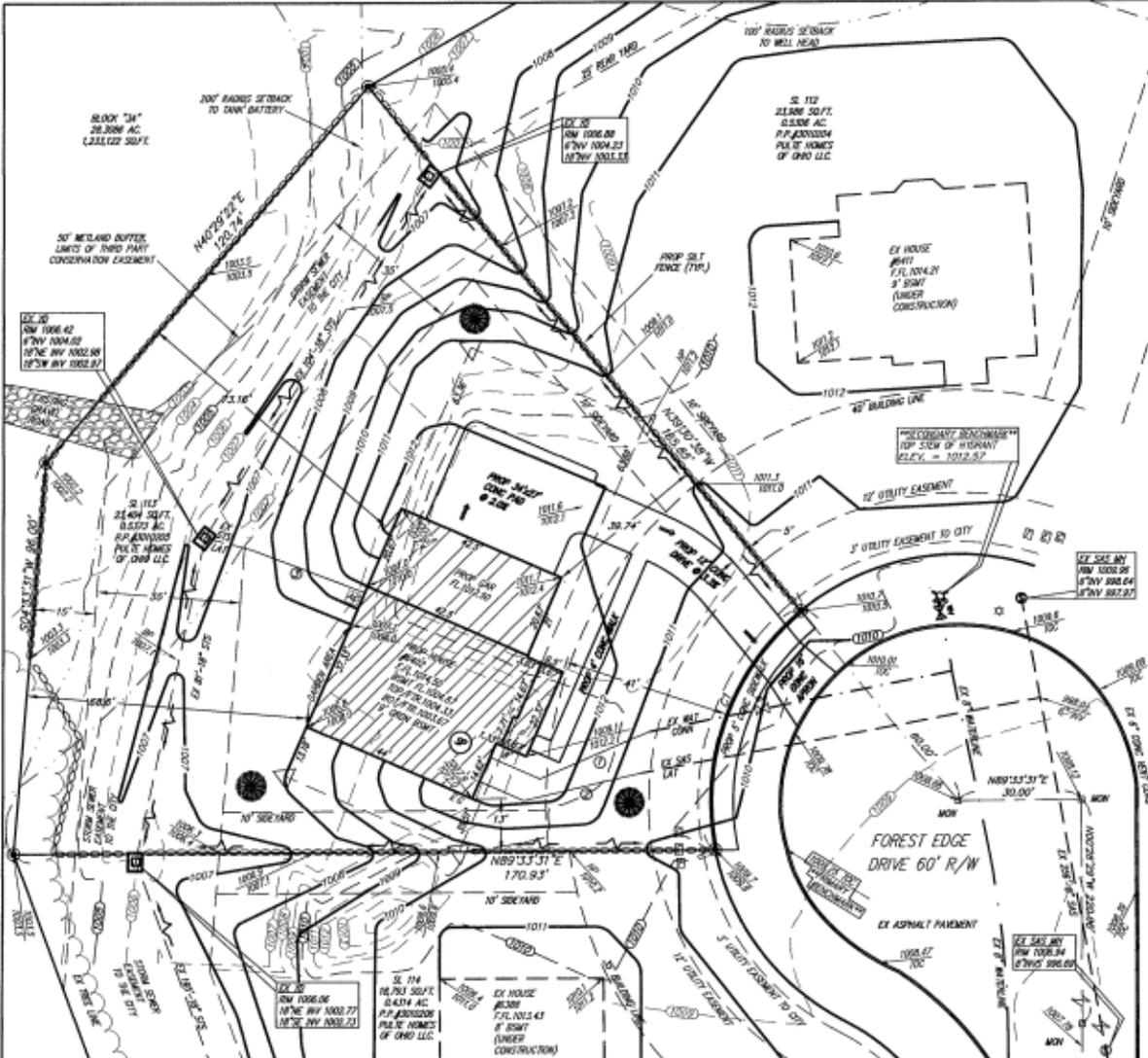
- LEGEND:
- = PROPOSED TREE
 - = EX MONUMENT
 - = EX CURB INLET
 - ⊕ = EX SANITARY MANHOLE
 - ⊙ = EX YARD DRAIN
 - ⊗ = IRON PIN SET 5/8"x20" REBAR CAPMED TALECON #8245
 - = EXISTING GRADE
 - - - = PROPOSED GRADE
 - ⊘ = PROP SLT FENCE
 - = INLET PROTECTION
 - ⊕ = EX HYDRANT
 - ⊕ = EX WATER VALVE
 - ⊕ = SUMP PUMP
 - ⊕ = EX STORM MANHOLE
 - = SWALE
 - = FLOW ARROW
 - ⊕ = AIR CONDITIONER
 - E = ELECTRIC CONNECTION
 - G = GAS CONNECTION
 - ▽ = OFFSET HUB
 - ⊕ = GAS LINE MARKER
 - ⊕ = CABLE PEDESTAL
 - ⊕ = ELECTRIC BOX
 - ⊕ = TELEPHONE PEDESTAL

PRIMARY BENCHMARK: **
TOP OF BOC ELEV @ 17.7' IN FRONT OF SUBLOT 113 ON FOREST EDGE DRIVE ELEV = 1009.25

SECONDARY BENCHMARK**
TOP STEM OF HICKORY IN FRONT OF SUBLOT 112 ON FOREST EDGE DRIVE ELEV = 1012.57

THE CONTRACTOR MUST CHECK THE BENCHMARK WITH THE CURB GRADES PRIOR TO GRADING THE FOUNDATION.

NOTE:
ALL PROPOSED FOOTINGS WILL REQUIRE SURVEY CERTIFICATION ONCE SET AND PRIOR TO THE COMPLETION OF HOME CONSTRUCTION



I CERTIFY THAT THIS PLAN WAS PREPARED BY ME AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

STAN R. LOCH P.E. #63332 DATE 2-1-19

5425 WARNER ROAD - SUITE 12
VALLEY VIEW, OHIO 44255
440-602-9071



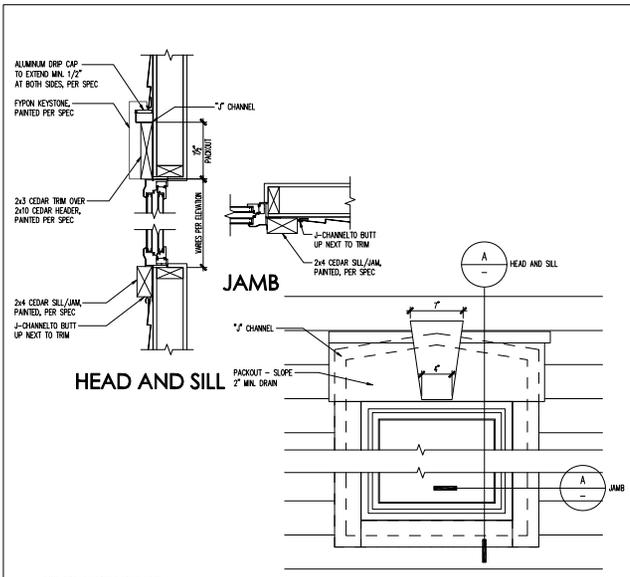
ENGINEERING and SURVEYING
Civil Engineering - Land Surveying

SHEET CONTENT

SITE PLAN FOR PULTE HOMES SUBLOT 113 6402 FOREST EDGE DRIVE IN THE RESERVE AT RIVER OAKS SUBDIVISION PH.3 SITUATED IN THE CITY OF HUDSON COUNTY OF SUMMIT STATE OF OHIO

NO.	DATE	REVISION	BY

SCALE	DATE
1" = 20'	04/11/2019
ASB	7-1-2019
REC	
DESIGNED BY	SR
DRAWN BY	SR
DATE	08/20
NO.	20142977-3
	SHEET 1 OF 1



Cleveland Division
387 Medina Rd. Suite 1700
Medina, OH 44256



Front Elevation - 9 - Northern Craftsman
Front and Rear Elevations

PRODUCTION MANAGER
Jenny Hebraman
DATE: 08/29/2019
RELEASE DATE: 08/29/2019

REV #	DATE / DESCRIPTION
1	
2	
3	
4	
5	
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8	
9	
10	

PROJECT TYPE: **SINGLE FAMILY**
COMMUNITY NAME: **RIVER OAKS LOT 113**
LAWSON COMMUNITY ID

CONCRETE FINISH: **GARAGE RIGHT**
SPECIFICATION LEVEL: **TBD**

PLAN NAME: **ELLICOTT**
SPEC PLAN NUMBER: **1640**
LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME: **PLAN 3840**

ENGINEER OF RECORD: **WILHELM & WILP ENGINEERING**
ARCHITECT OF RECORD: **BOBROS DESIGN - ARCHITECTS**

SHEET: **7.09a1**

PLOTED: Jun 18, 2019 7:59 AM From: Korum / P:\MS-3840-38-COLORING

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

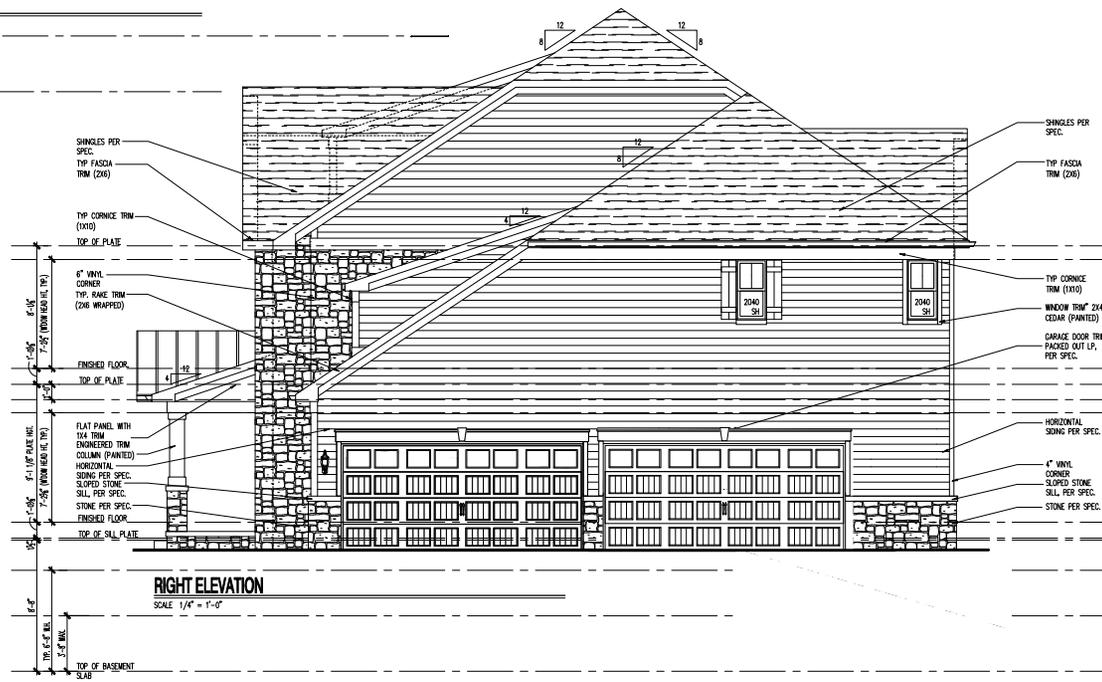
CONCRETE STEP, PER SPEC, MUST BE SAME WIDTH AS FRONT DOOR ASSEMBLY (INCLUDING SIDELIGHTS)

DE WICK - UP, PER SPEC

PLOTED: Jun 18, 2019 / From: kumar / J:\PAC-3840-30-1\DRAWING

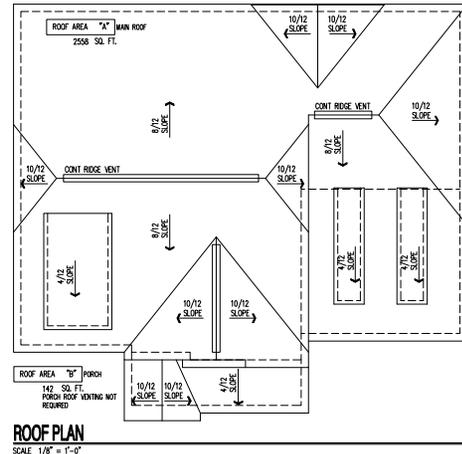


LEFT ELEVATION
SCALE 1/4" = 1'-0"



RIGHT ELEVATION
SCALE 1/4" = 1'-0"

ATTIC VENTILATION SCHEDULE											
9	ELEVATION	1ST FLOOR ROOF			2ND FLOOR ROOF			GARAGE ROOF			SHP
		AREA	REQD	SHP	AREA	REQD	SHP	AREA	REQD	SHP	
	WALL				4.26	4.33	N/A	N/A	N/A	N/A	
	EAVE				4.26	4.33	N/A	N/A	N/A	N/A	
	ROCK				5.53	5.58	N/A	N/A	N/A	N/A	



ROOF PLAN
SCALE 1/8" = 1'-0"

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Medina, OH 44256



Front Elevation - 9 - Northern Craftsman
Side Elevations and Roof Plan

PRODUCTION MANAGER
Jesse Haldrup
RELEASE DATE: 06/19/2019

REV #	DATE	DESCRIPTION

PROJECT TYPE:
SINGLE FAMILY

COUNTY NAME:
RIVER OAKS

LOT NUMBER:
LOT 113

CONTRACT NUMBER:
GARAGE RIGHT

SPECIFICATION LEVEL:
TBD

PLAN NAME:
ELLICOTT

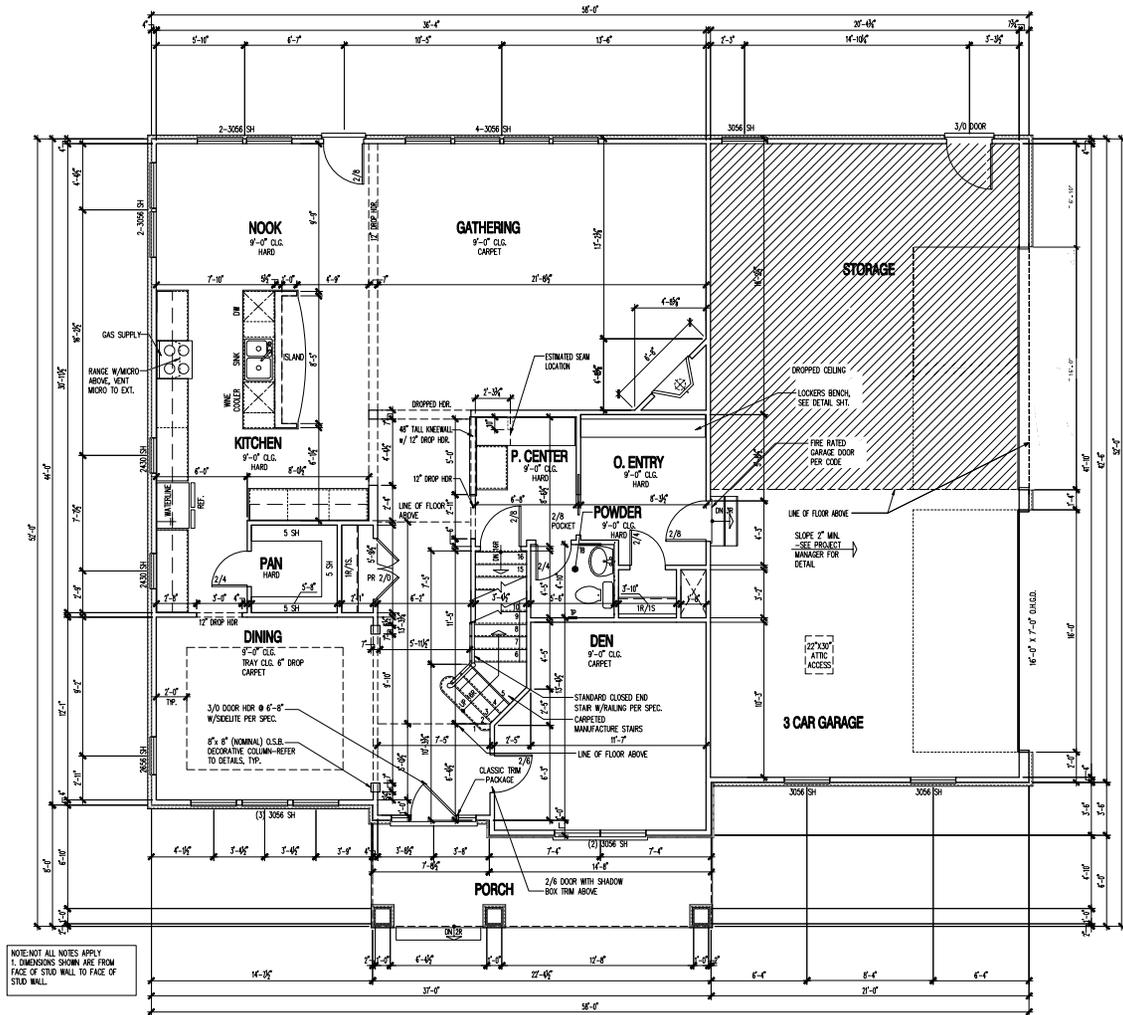
PROJECT NUMBER:
1640

LEGACY PLAN NUMBER / NAME:
PLAN 3840

SHEET:
7.09a3

ENGINEER OF RECORD: BULLIEN & KILP ENGINEERING
ARCHITECT OF RECORD: BOBBO DESIGN - ARCHITECTS

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



NOTE: NOT ALL NOTES APPLY
 1. DIMENSIONS SHOWN ARE FROM
 FACE OF STUD WALL TO FACE OF
 STUD WALL.

FIRST FLOOR PLAN
 1/4" = 1'-0"

Cleveland Division
 387 Medina Rd. Suite 1700
 Medina, OH 44256



First Floor Plan

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

REV.	DATE / DESCRIPTION
1	
2	
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10	

PRODUCTION MANAGER
 Jeremy Halderman
 CHECKED
 RELEASE DATE: 06/19/2019

PROJECT TYPE
SINGLE FAMILY

COUNTY AND
RIVER OAKS
LOT 113

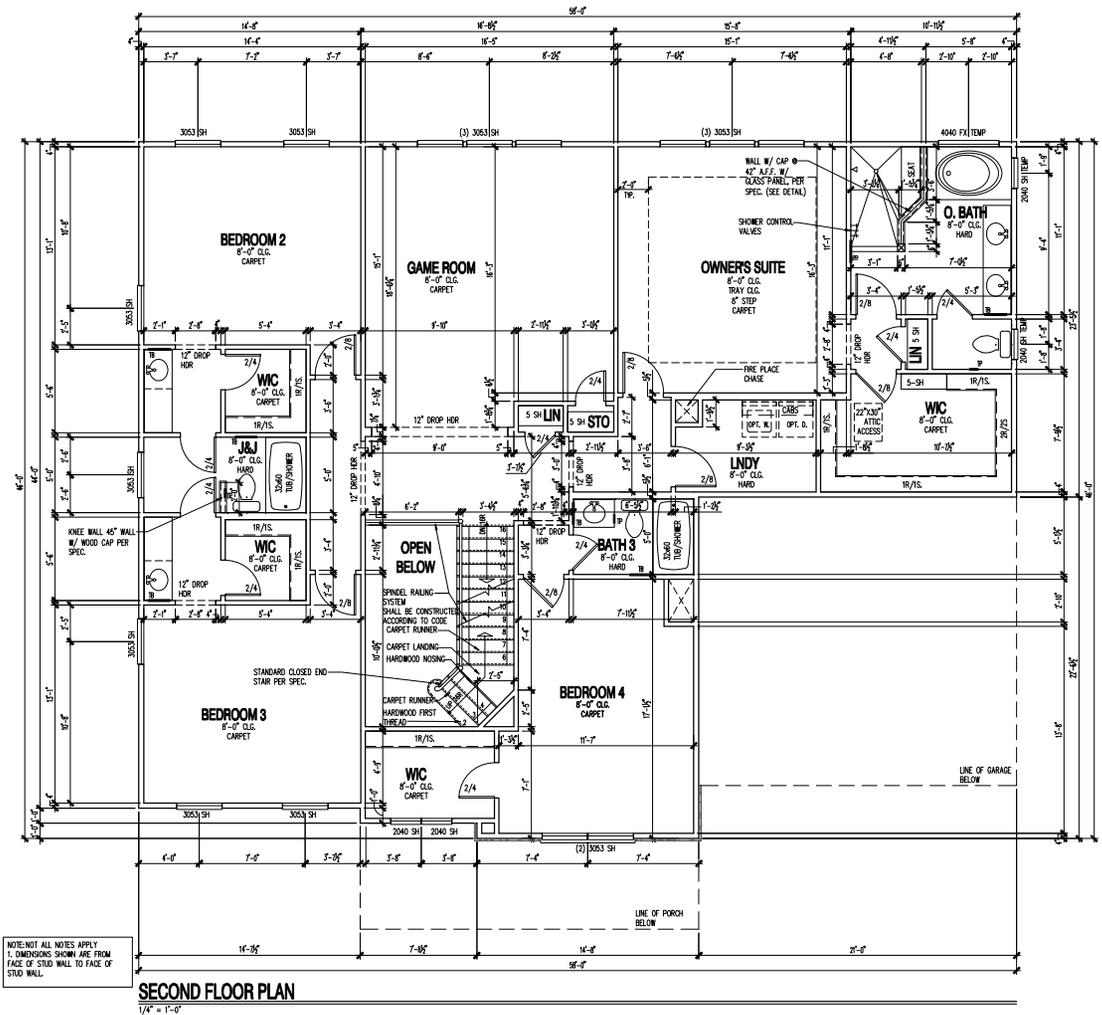
OWNER
GARAGE RIGHT

DESIGNATION LEVEL
TBD

PLAN NAME
ELLICOTT
 MFC PLAN NUMBER
1642
 LUNCH PLAN ID

LEGACY PLAN NUMBER / NAME
PLAN 3840

SHEET
2.10a



PRODUCTION MANAGER
Shirley Heston
REVISION DATE: 06/19/2019
REV # DATE / DESCRIPTION
△
△
△
△
△
△
△
△

PROJECT TYPE: **SINGLE FAMILY**

PROPERTY: **RIVER OAKS LOT 113**
LARSON COMMUNITY D

GARAGE FINISH: **GARAGE RIGHT**

SPECIFICATION LEVEL: **TBD**

PLAN NAME: **ELLICOTT**

WIC PLAN NUMBER: **163**

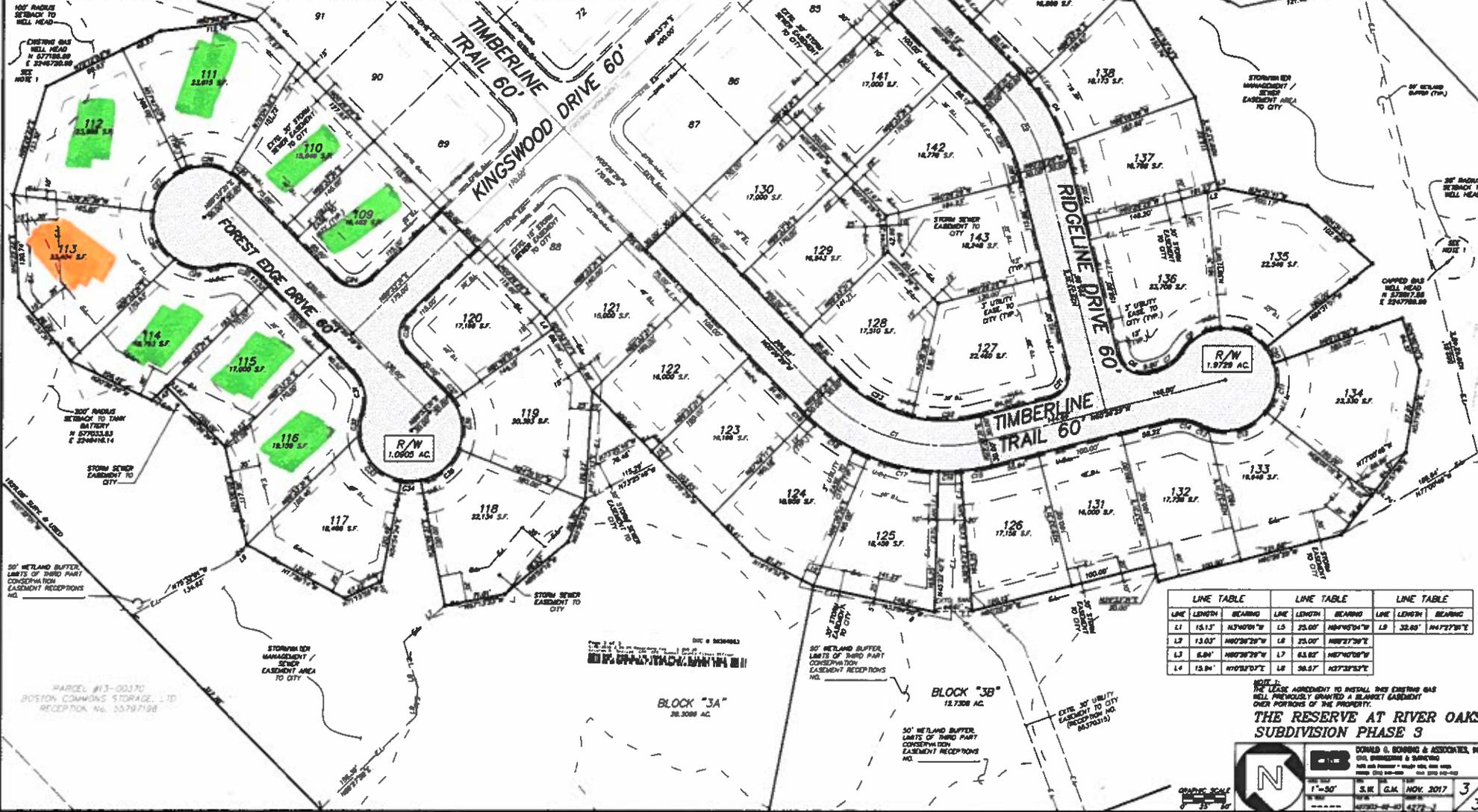
LARSON PLAN ID: **PLAN 3840**

LEGACY PLAN NUMBER / NAME: **PLAN 3840**

SHEET: **2.20a**

CURVE TABLE					CURVE TABLE					CURVE TABLE				
CURVE	RADIUS	LENGTH	CHORD	DELTA	CURVE	RADIUS	LENGTH	CHORD	DELTA	CURVE	RADIUS	LENGTH	CHORD	DELTA
C1	200.00'	320.44'	198.47'	208.00'	C11	200.00'	22.70'	27.83'	87.17°	C21	200.00'	47.43'	38.00'	48.43'
C2	200.00'	104.72'	83.00'	103.57'	C12	200.00'	70.17'	43.42'	70.20'	C22	170.00'	20.20'	40.00'	70.00'
C3	200.00'	171.87'	8.82'	171.87'	C13	200.00'	8.82'	4.80'	8.82'	C23	170.00'	57.48'	28.22'	88.20'
C4	230.00'	83.61'	48.20'	83.10'	C14	200.00'	37.20'	18.20'	38.63'	C24	200.00'	47.12'	38.00'	47.12'
C5	230.00'	16.90'	0.80'	16.90'	C15	230.00'	37.20'	18.20'	37.40'	C25	200.00'	16.10'	7.82'	16.10'
C6	30.00'	47.12'	38.00'	48.43'	C16	230.00'	38.90'	13.00'	38.90'	C26	200.00'	32.70'	27.83'	87.17°
C7	200.00'	37.20'	19.82'	38.83'	C17	230.00'	88.10'	43.00'	84.70'	C27	200.00'	32.70'	27.83'	87.17°
C8	200.00'	34.45'	20.24'	32.82'	C18	230.00'	88.10'	43.00'	84.70'	C28	200.00'	34.45'	20.24'	32.82'
C9	200.00'	32.70'	27.83'	87.17°	C19	230.00'	8.82'	4.80'	8.82'	C29	200.00'	34.45'	20.24'	32.82'
C10	200.00'	30.00'	16.14'	20.00'	C20	170.00'	22.00'	42.00'	88.00'	C30	200.00'	34.45'	20.24'	32.82'

CURVE TABLE				
CURVE	RADIUS	LENGTH	CHORD	DELTA
C31	200.00'	84.00'	30.42'	23.27'
C32	200.00'	24.14'	12.83'	23.97'
C33	200.00'	70.00'	40.00'	72.00'
C34	200.00'	23.17'	11.73'	23.63'
C35	200.00'	32.70'	27.83'	87.17°
C36	200.00'	32.70'	27.83'	87.17°
C37	200.00'	8.82'	4.82'	8.82°
C38	30.00'	47.12'	38.00'	48.43°



LINE TABLE		LINE TABLE		LINE TABLE	
LINE	LENGTH	BEARING	LINE	LENGTH	BEARING
L1	15.15'	N45°00'00"W	L5	25.00'	N45°00'00"W
L2	13.03'	N70°00'00"W	L6	25.00'	N45°00'00"W
L3	8.00'	N70°00'00"W	L7	43.82'	N45°00'00"W
L4	13.94'	N70°00'00"W	L8	38.57'	N72°30'00"W

THE LEGAL AGREEMENT TO INSTALL THE EXISTING GAS WELL PREVIOUSLY GRANTED A BLANKET EASEMENT OVER PORTIONS OF THE PROPERTY.

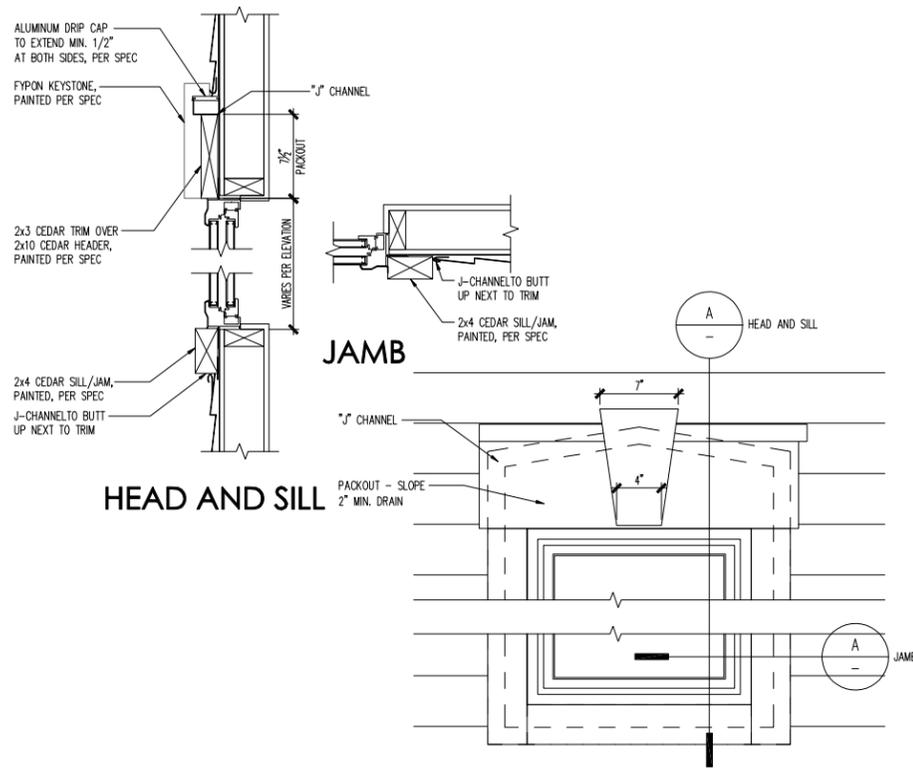
THE RESERVE AT RIVER OAKS SUBDIVISION PHASE 3




DONALD G. BONDRO & ASSOCIATES, INC.
 CIVIL ENGINEERING & SURVEYING
 1000 W. PARKWAY • SUITE 100 • BOSTON, MA 02119
 TEL: 617-267-1000 FAX: 617-267-1001

DATE: 11-17-17
 S.I.R. G.M. NOV. 2017 3

Lot 109



OHIO
HUDSON
COMMUNITY DEVELOPMENT
DEPARTMENT

Approved

3/5/19

Zoning Certificate #:
19-95

Cleveland Division
387 Medina Rd. Suite 1700
Medina, OH 44256



Front Elevation - 1
Front and Rear Elevations

PRODUCTION MANAGER
Jammy Hehzman
CURRENT RELEASE DATE: 01/17/2019

REV #	DATE	DESCRIPTION

PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS LOT 109
LAWSON COMMUNITY ID

GARAGE HANDING
GARAGE LEFT

SPECIFICATION LEVEL
TBD

PLAN NAME
HOLBROOK
NPC PLAN NUMBER
TBD
LAWSON PLAN ID

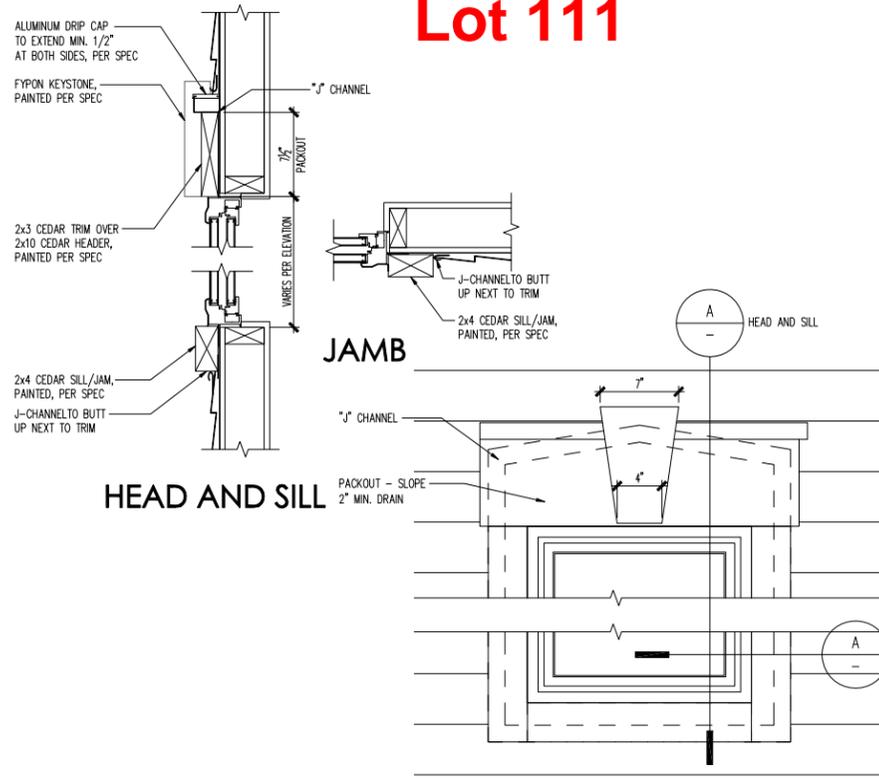
LEGACY PLAN NUMBER / NAME
PLAN 3140

SHEET
7.01a1

Lot 110 - Vacant



Lot 111



A WINDW TRIM DETAIL
SCALE: 1 1/2"=1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

Administrative change approved 5/14/19.
Window removed from proposal.



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

OHIO
HUDSON
COMMUNITY DEVELOPMENT
DEPARTMENT

Approved

5/14/19

Zoning Certificate #:
5375

Cleveland Division
387 Medina Rd. Suite 1700
Medina, OH 44256



Front Elevation - 3
Front and Rear Elevations

PRODUCTION MANAGER
Jamey Hishzman
CURRENT RELEASE DATE: 11/08/2018

REV #	DATE	DESCRIPTION

PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS LOT 111
LAWSON COMMUNITY ID

GARAGE HANDING
GARAGE LEFT

SPECIFICATION LEVEL
TBD

PLAN NAME
ELLCOTT
NPC PLAN NUMBER
1643
LAWSON PLAN ID

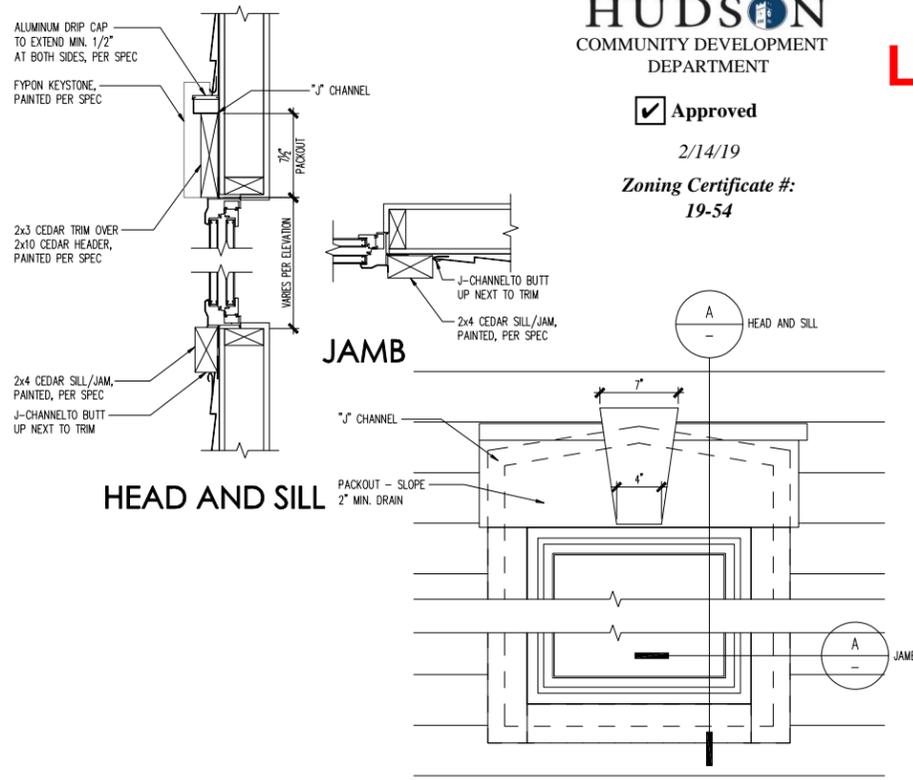
LEGACY PLAN NUMBER / NAME
PLAN 3840

SHEET
7.03a2

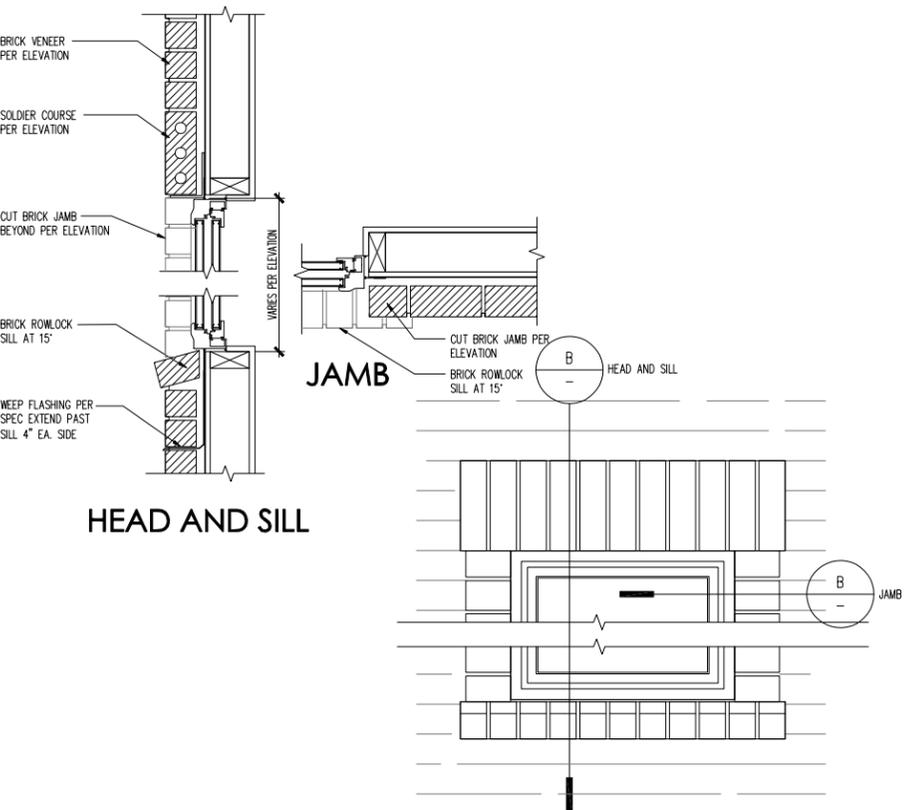
(c) Copyright PulteGroup, Inc. - 2013
 NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS
 ENGINEER OF RECORD: MULHERN & KULP ENGINEERING
 ARCHITECT OF RECORD: GODOLCO DESIGN - ARCHITECTS

PLOTTED: November 8, 2018 / Greenh.inch / PLAN-3840-RD-FLU.DWG

Approved
2/14/19
Zoning Certificate #:
19-54



A WNDW TRIM DETAIL
SCALE: 1 1/2" = 1'-0"



B WNDW TRIM DETAIL
SCALE: 1 1/2" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

PRODUCTION MANAGER
Jamey Heinzman
CURRENT RELEASE DATE: 01/08/2019

REV #	DATE	DESCRIPTION

PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS LOT 114
LAWSON COMMUNITY ID

GARAGE HANDING
GARAGE RIGHT

SPECIFICATION LEVEL
TBD

PLAN NAME
ATWATER
NPC PLAN NUMBER
1642
LAWSON PLAN ID

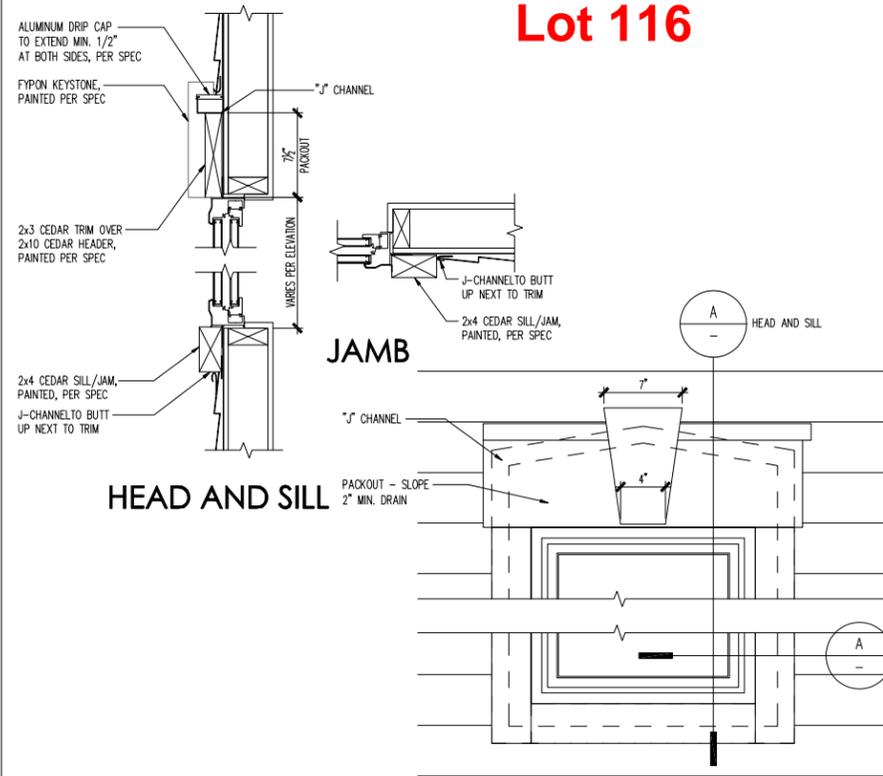
LEGACY PLAN NUMBER / NAME
PLAN 3295

SHEET
7.03a2

Lot 115 - vacant



Lot 116



OHIO
HUDSON
COMMUNITY DEVELOPMENT
DEPARTMENT

Approved

2/14/19

Zoning Certificate #:
19-52

Cleveland Division
387 Medina Rd. Suite 1700
Medina, OH 44256



Elevation - #1
Front and Rear Elevations

PRODUCTION MANAGER
Jammy Heshzman
CURRENT RELEASE DATE: 01/07/2019

REV #	DATE	DESCRIPTION

PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS LOT 116
LAWSON COMMUNITY ID

GARAGE HANDING
GARAGE LEFT

SPECIFICATION LEVEL
TBD

PLAN NAME
ATWATER
NPC PLAN NUMBER
1642
LAWSON PLAN ID
LEGACY PLAN NUMBER / NAME
PLAN 3295

SHEET
7.01a1