

# Boaz Residence

## Addition & Renovation

332 Simon Road, Hudson, Ohio 44236 - PPN: 3200959



**RSA ARCHITECTS, LLC**

10 NORTH MAIN STREET

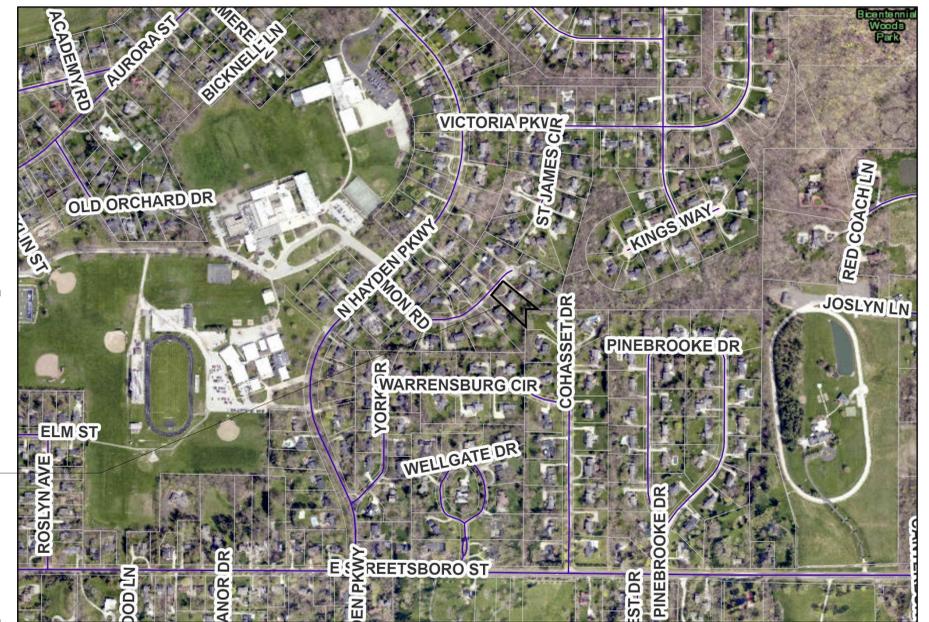
CHAGRIN FALLS, OHIO 44022

TELEPHONE: (440) 247-3990

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www.rsaarchitects.com

332 Simon Road,  
Hudson, Ohio 44236



### SITE LOCATION PLAN

SCALE: N.T.S.



### SCOPE OF PROJECT:

THE SCOPE OF THIS PROJECT IS A PARTIAL DEMOLITION OF, AND NEW ADDITION/RENOVATION TO, AN EXISTING TWO-STORY, WOOD-FRAMED HOUSE WITH A PARTIALLY FINISHED, BURIED BASEMENT. ADDITIONS INCLUDE A NEW FAMILY ROOM, BACK HALL, THREE-AND-A-HALF CAR ATTACHED GARAGE, EXTENDED DINING ROOM, NEW SUNROOM, NEW BREAKFAST ROOM, NEW VESTIBULE WITH COVERED FRONT PORCH, AND NEW MASTER SUITE. THE SECOND FLOOR WILL RECONFIGURED AND THE EXISTING ROOF AND SECOND FLOOR CEILING WILL BE REMOVED AND REPLACED. AN ELEVATOR WILL ALSO BE ADDED.

### CIVIL ENGINEER:

Gutoskey & Associates, Inc.  
10135 Gottschalk Pkwy, Suite 4  
Chagrin Falls, Ohio 44023  
Phone: 440-543-6900  
Fax: 440-543-7176  
Principal: Joe Gutoskey  
Email: joegutoskey@gutoskey.com

### ARCHITECT:

RSA Architects, LLC  
10 North Main Street  
Chagrin Falls, Ohio 44022  
Phone: 440-247-3990  
Fax: 440-247-3285  
Principal: Richard Siegfried  
Email: rsisiegfried@rsaarchitects.com  
Project Manager: Anthony Majc  
Email: amajc@rsaarchitects.com

### GENERAL NOTES: THE CONTRACTOR REFERS TO THE GENERAL CONTRACTOR OR SUB-CONTRACTOR RESPECTIVELY FOR THE WORK REFERRED TO HEREIN.

#### DOCUMENT OWNERSHIP:

ALL DRAWINGS AND SPECIFICATIONS PREPARED AS PART OF THIS COMMISSION ARE THE PROPERTY OF RSA ARCHITECTS, LLC AND WILL NOT BE TRANSFERRED OR USED ON ANY OTHER PROJECT WITHOUT WRITTEN AGREEMENT.

#### GENERAL REQUIREMENTS:

WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING:

- (1) PACKAGE CONTAINING BOTH SPECIFICATIONS AND DRAWINGS.
- (2) APPLICABLE STATE CODES AND THE RULES AND REGULATIONS OF GOVERNMENTAL AGENCIES AND UTILITY COMPANIES HAVING JURISDICTION OVER THE WORK.

#### INTENT OF CONTRACT DOCUMENTS:

THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTOR AND SUBCONTRACTOR.

IT IS UNDERSTOOD AND AGREED THAT THE ARCHITECT'S BASIC SERVICES DO NOT INCLUDE MECHANICAL, PLUMBING OR ELECTRICAL ENGINEERING OR DESIGN AND THAT SUCH SERVICES WILL BE PROVIDED FOR BY OTHERS. RSA ARCHITECTS, LLC ACCEPTS NO RESPONSIBILITY FOR THE MECHANICAL, PLUMBING OR ELECTRICAL ENGINEERING OR ERRORS IN THE DESIGN, ENGINEERING OR CONSTRUCTION OF THESE SYSTEMS.

#### WORKMANSHIP:

ALL WORKMANSHIP SHALL CONFORM TO ALL APPLICABLE BUILDING CODES, ORDINANCES, AND ACCEPTABLE BUILDING STANDARDS. THE CONTRACTOR SHALL PAY FOR ALL PERMITS AND FEES.

#### ON-SITE & EXISTING CONDITIONS VERIFICATION:

THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING HIS BID TO REVIEW THE PROJECT WITH THE OWNER AND TO BECOME FAMILIAR WITH EXISTING CONDITIONS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO COMMENCING THE WORK. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

#### COORDINATION OF THE WORK:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REVIEW AND COORDINATION OF THE DRAWINGS AND SPECIFICATIONS PRIOR TO BEGINNING OF CONSTRUCTION AND FOR THE WORK AND METHODS OF CONSTRUCTION.

#### INTERPRETATION OF CONTRACT DOCUMENTS:

ALL DRAWINGS ARE CONSIDERED TO BE PART OF THE CONSTRUCTION DOCUMENTS. IF ANY DISCREPANCIES OR AMBIGUITIES IN, OR OMISSIONS FROM THE DRAWINGS OR SPECIFICATIONS ARE FOUND, OR INQUIRIES RELATIVE TO THE MEANING OR INTENT OF THE CONTRACT DOCUMENTS ARISE, THEY SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO THE START OF CONSTRUCTION SO THAT A CLARIFICATION CAN BE ISSUED. SUCH INSTRUCTIONS AND OTHER ADDENDA ISSUED PRIOR TO DATE OF THE SIGNING OF THE AGREEMENT WILL BE CONSIDERED AS PART OF THE CONTRACT DOCUMENTS AND BE BINDING TO THE CONTRACTOR AND SUBCONTRACTOR. ANY WORK PERFORMED IN CONFLICT WITH THE CONTRACT DOCUMENTS OR ANY CODE REQUIREMENT SHALL BE CORRECTED BY THE CONTRACTOR AT THEIR EXPENSE. NOTES AND DETAILS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER THE GENERAL NOTES, WHERE NO DETAILS ARE GIVEN, CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR WORK AND IN ACCORDANCE WITH 'BEST PRACTICES'.

#### SUBSTITUTIONS:

THE CONTRACTOR SHALL PROVIDE ALL EQUIPMENT AND MATERIALS OF NEW, AND FIRST QUALITY, AS SPECIFIED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. CONTRACTOR MAY SUBSTITUTE MATERIALS WHICH ARE SIMILAR IN CHARACTERISTICS AND PERFORMANCE ONLY IF THEY CONFORM TO THE CURRENT EDITION OF THE RESIDENTIAL CODE OF OHIO. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ANY SUBSTITUTIONS ARE SUITABLE FOR THE INTENDED USE AND COMPATIBLE WITH OTHER MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION, MODIFICATIONS AND CHANGES WHICH MAY BE AFFECTED BY THE SUBSTITUTIONS.

#### MANUFACTURER'S PRODUCTS AND FABRICATIONS:

ALL MANUFACTURER'S AND FABRICATOR'S PRINTED WARNING FOR HANDLING OF THEIR PRODUCTS MUST BE STRICTLY OBSERVED. ALSO AS PER LOCAL CODES AND OTHER REQUIREMENTS.

ALL PRODUCTS AND MATERIALS MUST BE PROVIDED AND INSTALLED IN STRICT ACCORDANCE WITH THE RECOMMENDATIONS OF THE MANUFACTURER. IN THE EVENT OF CONFLICT BETWEEN THE DRAWINGS OR THE SPECIFICATIONS AND THE MANUFACTURER'S RECOMMENDATIONS, NOTIFY THE ARCHITECT AND OBTAIN CLARIFICATION BEFORE PROCEEDING WITH THE WORK.

#### GUARANTEE:

CONTRACTOR SHALL GUARANTEE THAT ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE FREE FROM DEFECTS IN MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FOLLOWING COMPLETION OF ALL WORK AND THAT ALL DEFECTS ARISING WITHIN THIS PERIOD OF TIME SHALL BE CORRECTED, REPAIRED OR REPLACED WITHIN 30 DAYS OF NOTIFICATION OF SUCH DEFECTS BY OWNER OR ARCHITECT.

#### LIABILITY INSURANCE:

THE CONTRACTOR SHALL CARRY FOR THIS PROJECT CONTRACTORS PUBLIC LIABILITY INSURANCE (INCLUDING PRODUCT AND COMPLETED OPERATIONS) IN THE AMOUNT OF NOT LESS THAN \$1,000,000.00 PER OCCURRENCE OF BODILY INJURY AND THE SAME AMOUNT FOR PROPERTY DAMAGE.

#### CONSTRUCTION MATERIALS:

ALL MATERIALS SHALL BE STORED ON THE SITE AS DIRECTED BY THE OWNER.

#### CONSTRUCTION DEBRIS:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EXCESS DIRT AND DEBRIS FROM THE EXCAVATION, DEMOLITION AND CONSTRUCTION AS REQUIRED.

#### FIREPLACE NOTES:

PREFABRICATED FIREPLACES AND FLUES, IF REQUIRED, ARE TO BE ULL APPROVED AND INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.

#### MISCELLANEOUS NOTES:

THE BUILDING IS NOT STRUCTURALLY STABLE UNTIL ALL CONNECTIONS, FRAMING, SHEAR WALLS, X BRACING, AND EXTERIOR LOAD BEARING WALLS ARE COMPLETE AND HAVE ACHIEVED DESIGN STRENGTH. THE CONTRACTOR IS SOLELY RESPONSIBLE TO MAINTAIN STRUCTURAL STABILITY DURING ERECTION AND CONSTRUCTION. TEMPORARY BRACING SYSTEMS ARE NOT TO BE REMOVED UNTIL STRUCTURAL WORK IS COMPLETE.

ALL ANGLED WALLS ON THE FLOOR PLANS ARE AT A 45 DEGREE ANGLE, UNLESS OTHERWISE NOTED.

NOTE: ADJUST OVERHANGS TO PROVIDE CLEARANCE FOR WINDOWS TO OPEN, IF REQUIRED. ADJUST OVERHANGS TO MAINTAIN CONSTANT LEVEL WHEN THE PLANS CALL FOR (2) DIFFERENT PITCHES AT A HIP.

FINISHED SQUARE FOOTAGES ARE MEASURED TO THE OUTSIDE OF ALL WALLS. THEY INCLUDE INTERIOR FIREPLACES AND EVERY LOCATION IN WHICH THE FLOOR JOISTS PROJECT FROM THE FOUNDATION.

NOT INCLUDED IN SQUARE FOOTAGES: WINDOW BOXES WHERE THE FLOOR JOISTS DO NOT PROJECT FROM THE FOUNDATION, 2-STORY ENTRIES, GARAGE, DECKS, PORCHES, UNFINISHED STORAGE AREAS, BASEMENTS OR ANY OTHER UNFINISHED AREAS.

#### BETTERMENT

IF, DUE TO DESIGN PROFESSIONAL'S ERROR, ANY REQUIRED ITEM OR COMPONENT OF THE PROJECT IS OMITTED FROM DESIGN PROFESSIONAL'S CONSTRUCTION DOCUMENTS, DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR PAYING THE COST TO ADD SUCH ITEM OR COMPONENT TO THE EXTENT THAT SUCH ITEM OR COMPONENT WOULD HAVE BEEN OTHERWISE NECESSARY TO THE PROJECT OR OTHERWISE ADDS VALUE OR BETTERMENT TO THE PROJECT. IN NO EVENT WILL DESIGN PROFESSIONAL BE RESPONSIBLE FOR ANY COST OR EXPENSE THAT PROVIDES BETTERMENT, UPGRADE OR ENHANCEMENT OF THE PROJECT.

#### PROPERTY PROTECTION:

PRECAUTIONS SHALL BE TAKEN TO PROTECT THE GROUNDS, PLANTINGS, DRIVE, ETC. FROM ANY DAMAGE. DAMAGE INCURRED AS A RESULT OF CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED TO MATCH EXISTING AT THE CONTRACTOR'S EXPENSE.

#### POST CONSTRUCTION NOTES:

AT THE COMPLETION OF THE PROJECT AND DURING THE PROJECT AS NECESSARY, CONTRACTOR SHALL THOROUGHLY CLEAN ALL WORK, INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING:

- REMOVAL OF MORTAR SPLATTERS OR STAINS FROM ALL INTERIOR AND EXTERIOR FINISHES
- REMOVAL OF MASONRY WATERPROOFING ABOVE FINISH GRADE
- REMOVAL OF ANY SPLATTERS OR STAINS FROM EXTERIOR SIDING, ROOFING, OR OTHER EXTERIOR MATERIALS
- REMOVAL OF ALL STAINS FROM ALL EXPOSED CONCRETE WORK, WITH EXCEPTION OF CRAWL SPACE CONCRETE.
- REMOVAL OF STAINS AND CLEANING OF ALL INTERIOR FINISHES (COUNTERTOPS, PLUMBING FIXTURES, FLOORING, ETC.)
- THOROUGH CLEANING OF FAUCET SCREENS AND PLUMBING TRAPS
- VACUUMING OF ALL FLOORS, FOLLOWED BY WET MOPPING OF ALL HARD SURFACE FLOORS
- DUSTING OF ALL WALLS, CEILINGS, TRIMS, DOORS, WINDOWS, CABINETS, ETC., INCLUDING THE INTERIOR SURFACES OF ALL CABINETS
- REMOVAL OF ALL WINDOW AND DOOR STICKERS, INCLUDING GLUE RESIDUE, PAINT OR STAIN OVERLAPPING ON GLASS AND OTHER GLASS SPLATTERS
- POLISHING OF ALL WINDOWS, MIRRORS OR SURFACES WITH REFLECTIVE OR TRANSPARENT QUALITIES.
- ADDITIONALLY, CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL, INCLUDING VACUUMING, OF ALL CONSTRUCTION, OR OTHER DEBRIS, FROM JOIST, RAFTER, STUD, OR OTHER CAVITIES, PRIOR TO GYPSUM BOARD, INSULATION, FINISH FLOORING OR SURFACING

#### RADON:

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INFORM THE OWNER (OR IF THE OWNER IS ACTING AS HIS OR HER OWN CONTRACTOR, TO KNOW) THAT ALL HOUSES HAVE A POTENTIAL TO HAVE RADON LEVELS WHICH MAY EXCEED THE RECOMMENDED LEVELS ESTABLISHED BY THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY. THE GC AND/OR OWNER SHALL DECIDE WHAT ACTION, IF ANY, SHOULD BE TAKEN CONCERNING RADON. IT IS NOT THE RESPONSIBILITY OF RSA ARCHITECTS, LLC, TO DETERMINE IF A RADON ABATEMENT SYSTEM IS REQUIRED.

NOMINAL VERSUS ACTUAL DIMENSIONS  
MANUFACTURED PRODUCTS MAY BE REFERENCED BY THEIR NOMINAL SIZE RATHER THAN ACTUAL DIMENSIONS. BELOW IS A PARTIAL SCHEDULE OF INDUSTRY-STANDARD, NOMINAL VERSUS ACTUAL DIMENSIONS AS USED HEREIN, PROVIDED FOR REFERENCE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL DIMENSIONS OF ALL MANUFACTURED PRODUCTS SPECIFIED HEREIN PRIOR TO COMMENCING THE WORK AND FOR ADJUSTING DIMENSIONS ACCORDINGLY SO AS TO MAINTAIN ALL REQUIRED CLEARANCES. REFER TO THE AMERICAN SOFTWOOD LUMBER STANDARD PS 20 (LATEST EDITION) FOR MORE INFORMATION.

LUMBER DIMENSIONS:		LUMBER DIMENSIONS:		LUMBER DIMENSIONS:	
NOMINAL (INCHES)	ACTUAL (INCHES)	NOMINAL (INCHES)	ACTUAL (INCHES)	NOMINAL (INCHES)	ACTUAL (INCHES)
1 x 2	3/4 x 1-1/2	2 x 4	1-1/2 x 3-1/2	3 x 10	2-1/2 x 9-1/4
1 x 3	3/4 x 2-1/2	2 x 6	1-1/2 x 5-1/2	3 x 12	2-1/2 x 11-1/4
1 x 4	3/4 x 3-1/2	2 x 8	1-1/2 x 7-1/4	4 x 4	3-1/2 x 3-1/2
1 x 6	3/4 x 5-1/2	2 x 10	1-1/2 x 9-1/4	4 x 6	3-1/2 x 5-1/2
1 x 8	3/4 x 7-1/4	2 x 12	1-1/2 x 11-1/4	4 x 8	3-1/2 x 7-1/4
1 x 10	3/4 x 9-1/4	3 x 3	2-1/2 x 2-1/2	4 x 10	3-1/2 x 9-1/4
1 x 12	3/4 x 11-1/4	3 x 4	2-1/2 x 3-1/2	4 x 12	3-1/2 x 11-1/4
2 x 2	1-1/2 x 1-1/2	3 x 6	2-1/2 x 5-1/2	6 x 6	5-1/2 x 5-1/2
2 x 3	1-1/2 x 2-1/2	3 x 8	2-1/2 x 7-1/4	8 x 8	7-1/4 x 7-1/4

### PROJECT DATA:

APPLICABLE CODES:  
RESIDENTIAL CODE OF OHIO (RCO) - 2019 EDITION  
OHIO PLUMBING CODE\*  
OHIO MECHANICAL CODE\*  
NATIONAL ELECTRICAL CODE\*  
INTERNATIONAL ENERGY CONSERVATION CODE - 2018 EDITION  
\*EDITION AS ADOPTED BY RCO OR PER LOCAL JURISDICTION

### DESIGN CRITERIA:

<b>LIVE LOADS:</b>	
FIRST FLOOR:	40 PSF
SECOND FLOOR (BEDROOMS):	30 PSF
ATTIC FLOORS (LIMITED STORAGE):	20 PSF
CEILING JOIST (NO STORAGE):	10 PSF
BALCONIES & DECKS:	40 PSF
HANDRAILS & GUARDRAILS: <sup>1</sup>	200 LB <sup>2</sup>
GUARDRAIL IN-FILL COMPONENTS: <sup>2</sup>	50 PSF <sup>2</sup>
ROOF FRAMING:	25 PSF
<b>DEAD LOADS:</b>	
ALL FLOOR AREAS:	15 PSF
TILED FLOOR AREAS: <sup>4</sup>	25 PSF
KITCHEN FLOORS:	25 PSF
ATTIC & CEILING:	10 PSF
BALCONIES & DECKS:	10 PSF
ROOFS (ASPHALT)	15 PSF

### ENVIRONMENTAL LOADS:

ROOF SNOW LOAD:	25 PSF
GROUND SNOW LOAD:	30 PSF
SNOW IMPORTANCE FACTOR:	1.0
SNOW EXPOSURE FACTOR:	0.7

WIND LOAD:	
DESIGN VELOCITY:	115 MPH
EXPOSURE:	"B"
IMPORTANCE FACTOR:	1.0
DESIGN PRESSURE:	15 PSF

### SEISMIC PROVISIONS:

SITE CLASS:	"D"
DESIGN CATEGORY:	"B"
SEISMIC SYSTEM:	LIGHT FRAME SHEAR WALLS

- A SINGLE CONCENTRATED LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP
- GLAZING USED IN HANDRAIL ASSEMBLIES AND GUARDS SHALL BE DESIGNED WITH A SAFETY FACTOR OF 4 WHICH SHALL BE APPLIED TO EACH OF THE CONCENTRATED LOADS APPLIED TO THE TOP OF THE RAIL, AND TO THE LOAD ON THE IN-FILL COMPONENTS. THESE LOADS SHALL BE DETERMINED INDEPENDENT OF ONE ANOTHER, AND LOADS ARE ASSUMED NOT TO OCCUR WITH ANY OTHER LIVE LOAD, PER RCO TABLE 3015
- GUARD IN-FILL COMPONENTS (ALL THOSE EXCEPT THE HANDRAIL), BALUSTERS AND PANEL FILERS SHALL BE DESIGNED TO WITHSTAND A HORIZONTALLY APPLIED NORMAL LOAD OF 50 PSF. THIS LOAD NEED NOT BE ASSUMED TO ACT CONCURRENTLY WITH ANY OTHER LIVE LOAD REQUIREMENT.
- NOTIFY ARCHITECT IF MARBLE FLOORS ARE USED

### APPROXIMATE AREA CALCULATIONS:

EXISTING FIRST FLOOR:	1,478 SQ. FT.
PROPOSED FIRST FLOOR ADDITIONS (INCLUDING SUNROOM):	1,518 SQ. FT.
<b>TOTAL FIRST FLOOR HABITABLE AREA:</b>	<b>2,996 SQ. FT.</b>
EXISTING SECOND FLOOR:	1,441 SQ. FT.
PROPOSED BONUS ROOM:	685 SQ. FT.
PROPOSED SECOND FLOOR ADDITION:	822 SQ. FT.
<b>TOTAL SECOND FLOOR HABITABLE AREA:</b>	<b>2,948 SQ. FT.</b>
SUNROOM:	241 SQ. FT.
GARAGE:	942 SQ. FT.
COVERED FRONT PORCH:	151 SQ. FT.
REAR OPEN PATIO:	181 SQ. FT.
CONDITIONED ATTIC:	902 SQ. FT.
TOTAL PROPOSED FOOTPRINT:	4,365 SQ. FT.

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### KEY TO SYMBOLS:

	EARTH/SOIL		PLYWOOD
	POROUS FILL		BATT INSULATION
	CONCRETE		RIGID INSULATION
	CONCRETE BLOCK (CMU)		GYPSUM BOARD/DRYWALL
	BRICK VENEER		EXISTING WALL (PLAN)
	CUT STONE VENEER		NEW WALL (PLAN)
	DIMENSIONAL LUMBER		NEW INTERIOR BEARING WALL (PLAN)
	WOOD BLOCKING		DEMOLITION
			LEVEL/ELEVATION/DATUM

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CONSULTANT:

BULLETIN DATE

PROJECT #: 2110

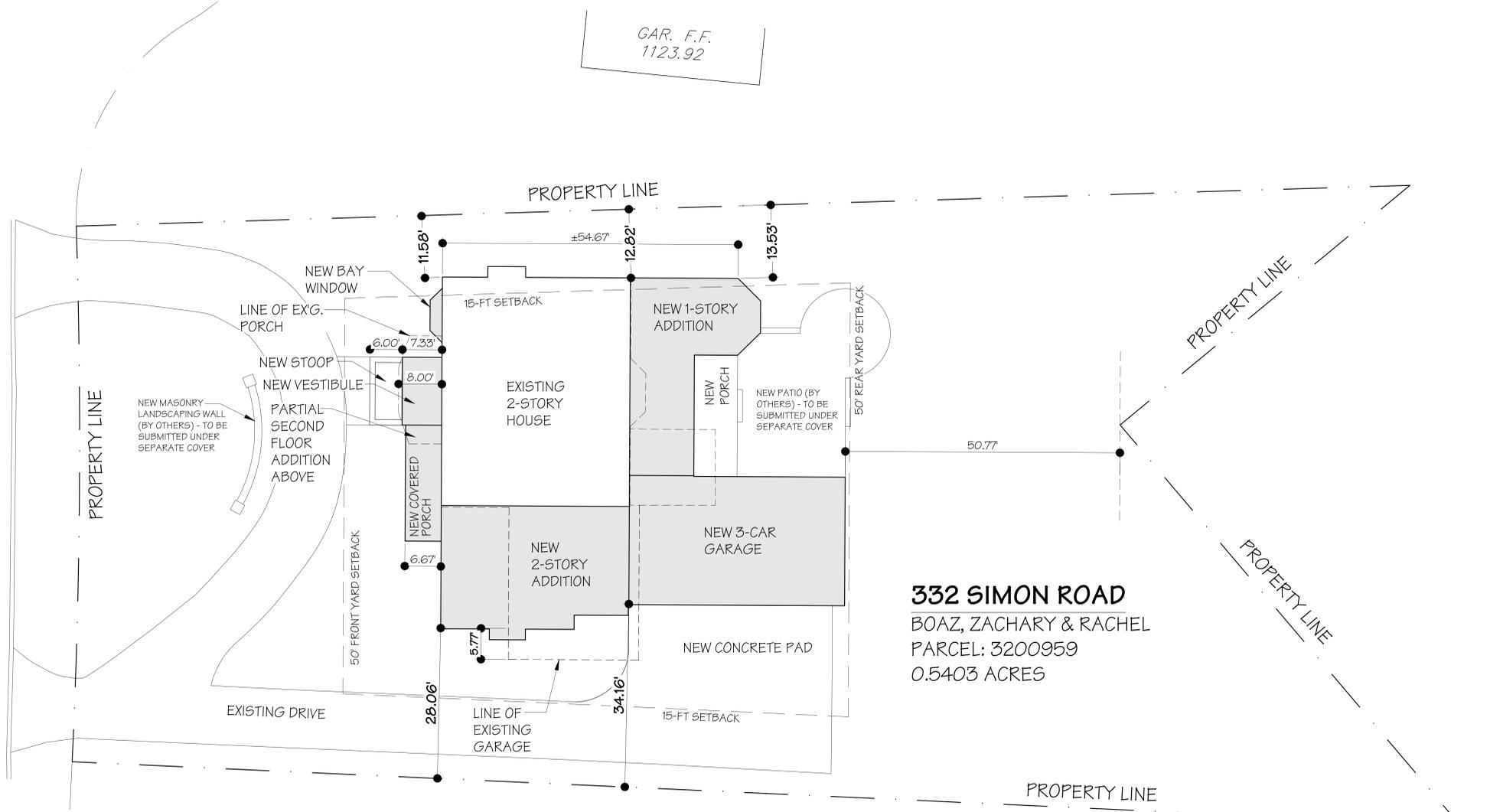
COVER SHEET

SHEET NUMBER:

CS-1

© RSA ARCHITECTS, LLC 2021

SIMON ROAD  
(25' R/W)



GAR. F.F.  
1123.92

F.F.  
1127.58

**332 SIMON ROAD**  
BOAZ, ZACHARY & RACHEL  
PARCEL: 3200959  
0.5403 ACRES

**ZONING INFORMATION:**

- ZONING DISTRICT : OUTER VILLAGE RESIDENTIAL DISTRICT-3
- LOT SIZE : 0.5403 ACRES (23,537.47 SQ. FT.)
- EXISTING HOUSE/GAR. FOOTPRINT : ±2,461 SQUARE FEET
- NEW HOUSE/GARAGE FOOTPRINT : ±1,702 SQUARE FEET
- TOTAL FOOTPRINT : ±4,163 SQUARE FEET
- BUILDING HEIGHT (MEAN) : 35-FT ALLOWED / ±27'-0" PROPOSED
- FRONT YARD DEPTH : 50-FT ALLOWED (OR ±10% OF ADJOINING) / ±69.93-FT EXISTING
- LEFT SIDE YARD DEPTH : 15-FT MIN. / 11.58-FT EXISTING (12.82-FT PROPOSED)
- RIGHT SIDE YARD DEPTH : 15-FT MIN. (25' MIN. FOR SIDE LOAD GARAGES)
- REAR YARD DEPTH : 22.91-FT EXISTING (28.06-FT PROPOSED) / 50-FT ALLOWED / 50.79-FT PROPOSED

ARCHITECTURAL SITE PLAN  
SCALE: 1" = 10'-0"



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SEAL:  
Richard E. Siegfried  
4/5/21  
RICHARD E. SIEGFRIED  
LICENSE # 8307948  
EXPIRATION DATE 12/31/21  
CONSULTANT:

BULLETIN	DATE

DATE	SET	ISSUANCE
02-19-21	ISSUED FOR RSA	
02-26-21	PLANS & ELEVATIONS ISSUED FOR RDPA	
03-01-21	REQUEST FOR INFORMAL AHPR REVIEW	
03-02-21	REQUEST FOR INFORMAL AHPR REVIEW	
04-05-21	ISSUED FOR FINAL AHPB	

PROJECT #: 2110

ARCHITECTURAL  
SITE PLAN

SHEET NUMBER:

**A5-1**



# SITE PLAN

for: ZACH BOAZ  
332 SIMON ROAD HUDSON  
 ADDRESS STREET CITY  
130 EVAMORE HTS SUBDIV. NO. 2 68 17-18  
 SUBLOT No. SUBDIVISION NAME VOL. PAGE  
 HUDSON OHIO  
 LOT CITY

**GUTOSKEY & ASSOCIATES INC.**  
 Civil Engineers, Surveyors & Land Planners  
 10135 Gottschalk Pkwy, Suite 4 Tel (440) 543-6900  
 Chagrin Falls, Ohio 44023

### CHECK LIST

- LOT DIMENSIONS & BEARINGS TIE TO NEAREST STREET
- SUBLOT No. (PARCEL No.) SURROUNDING OWNERS
- BUILDING DIMENSIONS SETBACK, SIDEYARD, REARYARD
- FINISHED GRADES DRIVE & APRON TYPE, WIDTH, THICKNESS
- SIDEWALK TYPE, WIDTH, THICKNESS
- CULVERT TYPE, DIAM., LENGTH
- WATER MAIN SIZE, LOCATION
- SAN. SEWER SIZE, % GRADE, LOCATION
- SAN. M.H. CAST. ELEV., INV. ELEV.
- SAN. CONN. SIZE, % GRADE, LOCATION
- STORM SEWER SIZE, % GRADE, LOCATION
- STORM M.H. CAST. ELEV., INV. ELEV.
- PAY.T. TYPE, GRADE, CURBS
- GAS LINE LOC., SIZE
- SEPTIC SYSTEM & DUPLICATION
- WELL LOCATION & ISOLATION RADIUS



STATE SEAL

### DESIGN CERTIFICATION

THIS PLAT WAS PREPARED BY ME, AND IS CORRECT TO THE BEST OF MY KNOWLEDGE.  
*Joseph Gutoskey* 2/10/21  
 JOSEPH GUTOSKEY P.S. #7567 DATE

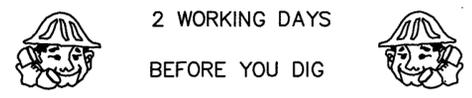
### "AS-BUILT" CERTIFICATION

I HEREBY CERTIFY THAT THE CIRCLED INFORMATION IS EXISTING AS OBTAINED ON THE SITE \_\_\_\_\_ 20\_\_\_\_ AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.  
 JOSEPH GUTOSKEY P.S. #7567

### LEGEND

STORM MANHOLE		DRAWN BY	JG	SCALE	1" = 20'
SANITARY MANHOLE		CHK'D BY	JG	DATE	11/9/20
EXISTING CONTOURS	---100---	REV.			
PROPOSED CONTOURS	(100)	REV.			
EXIST. ELEV.	100.0	REV.			
	100.0 PROP. ELEV.	REV.			
DIRECTION OF SURFACE DRAINAGE					

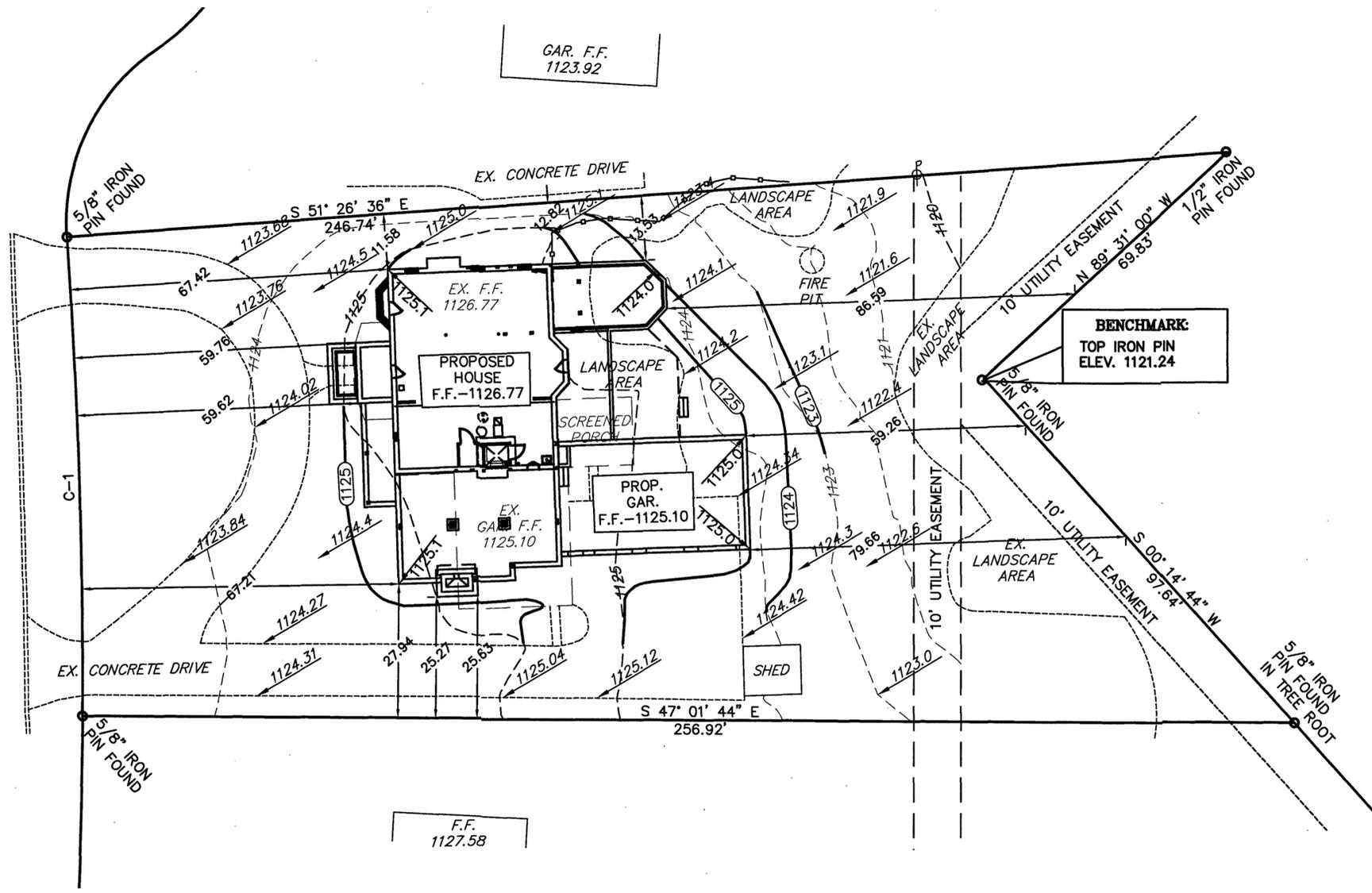
**BENCHMARK:** TOP OF IRON PIN  
 ELEV. 1121.24



2 WORKING DAYS  
 BEFORE YOU DIG

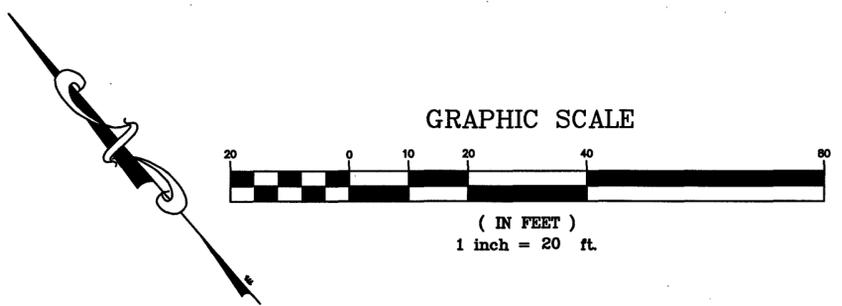
CALL TOLL FREE 800-362-2764  
 OHIO UTILITIES PROTECTION SERVICE

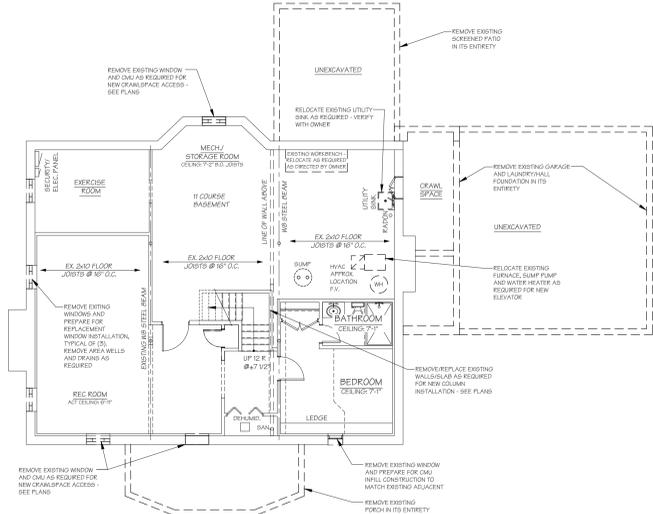
SIMON RD. 50'



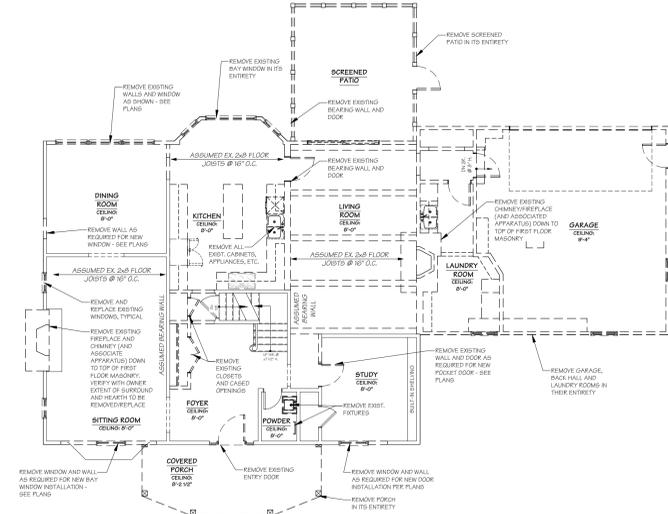
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CURVE	LENGTH	RADIUS	DELTA	CHORD	BEARING
C-1	100.00'	1297.95'	04°24'52"	99.98'	N40°45'49"E

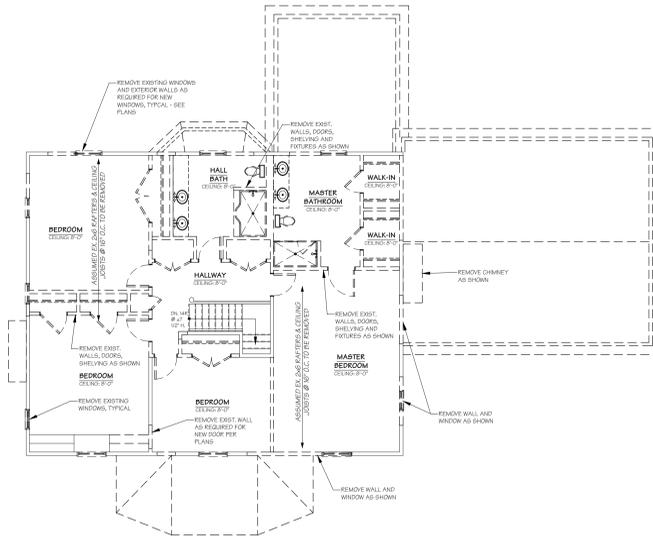




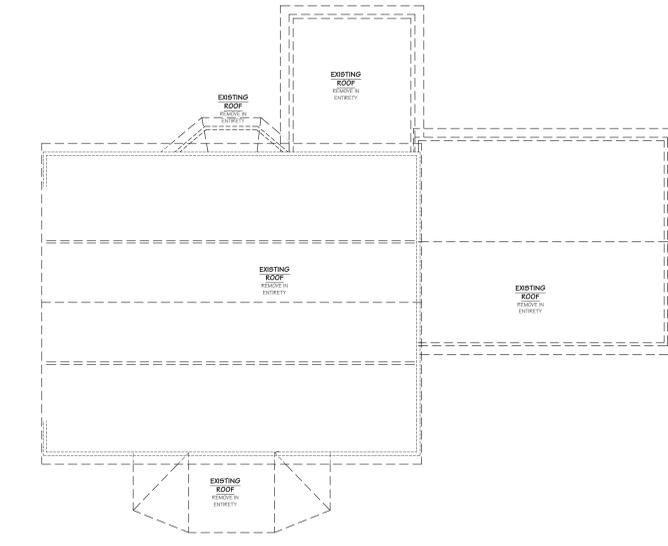
**BASEMENT DEMOLITION PLAN**  
SCALE: 1/8" = 1'-0"



**FIRST FLOOR DEMOLITION PLAN**  
SCALE: 1/8" = 1'-0"



**SECOND FLOOR DEMOLITION PLAN**  
SCALE: 1/8" = 1'-0"



**ROOF DEMOLITION PLAN**  
SCALE: 1/8" = 1'-0"



- DEMOLITION GENERAL NOTES:**
- WHERE EXISTING STRUCTURE IS TO BE REMOVED, REMAINING STRUCTURE SHALL BE ADEQUATELY SUPPORTED USING TEMPORARY BRACING, UNDERPINNING, OR OTHER SHORING, AS NECESSARY, PRIOR TO THE BEGINNING OF DEMOLITION. TEMPORARY SUPPORT TO REMAIN IN PLACE AND UNDISTURBED UNTIL FINAL CONSTRUCTION OR PERMANENT STRUCTURE IS COMPLETED.
  - DISMANTLE ALL STRUCTURES, FLOORS, FLOORING, WALLS, WINDOWS, DOORS, CABINETS, SHELVING, ETC. AS SHOWN OR REQUIRED. SALVAGE OF MATERIALS TO BE DICTATED BY OWNER. REMOVE, TERMINATE OR RELOCATE ALL EXISTING ELECTRICAL, PLUMBING, HVAC, IT, STEREO WIRING, CENTRAL VACUUM, IRRIGATION SYSTEMS, OR OTHER DEVICES AS REQUIRED FOR DEMOLITION OR NEW CONSTRUCTION. ALL WASTE AND DEBRIS FROM DEMOLITION WORK SHALL PROMPTLY BE REMOVED FROM SITE.
  - CONTRACTOR SHALL UTILIZE ALL MEANS NECESSARY DURING DEMOLITION AND NEW CONSTRUCTION TO INSURE THAT ALL NEW CONSTRUCTION AND EXISTING FINISHED SPACES ARE THOROUGHLY PROTECTED FROM WATER, THERMAL AND WIND DAMAGE, AND SHALL REMEDY, AT THE CONTRACTOR'S EXPENSE, ANY SUCH DAMAGE THAT MAY OCCUR.
  - STRUCTURE SHALL BE PROTECTED, AS NECESSARY, WITH TEMPORARY ENCLOSURES FOR WEATHER RELATED PROTECTION AND SECURITY PURPOSES. CONSTRUCTION MATERIALS STORED OUTSIDE SHALL BE COVERED AND PROTECTED WITH WATERPROOF TARPIS AND ADEQUATELY SECURED FROM NATURAL AND INDUCED MOVEMENT. WOOD AND SIMILAR MATERIALS SHALL NOT BE STORED IN CONTACT WITH THE GROUND.
  - BARRIERS, BARRICADES, SIGNS, WARNING LIGHTS OR OTHER SAFETY DEVICES SHALL BE PROVIDED TO INSURE SAFETY TO THE OWNER, WORKERS AND THE GENERAL PUBLIC FROM HAZARDOUS CONDITIONS WHICH MAY ARISE AS A RESULT OF THE WORK. TO MINIMIZE INTRUSION OF DUST AND OTHER DEBRIS, CONSTRUCTION AREAS SHALL BE SEALED OFF FROM INTERIOR SPACES WITH PLASTIC ENCLOSURES WITH ZIPPED DOORWAYS, OR SIMILAR. DUST, DEBRIS, AIRBORNE PAINTS, DISTURBING OR TOXIC FUMES OR OTHERS, ARE TO BE ISOLATED FROM EXISTING FINISH SPACES, AS WELL AS FROM THE GENERAL PUBLIC. DAMAGES RESULTING FROM THE PREVIOUSLY MENTIONED TO BE REMEDIED BY THE CONTRACTOR.
  - WHERE DEMOLITION, CONSTRUCTION, OR RELATED ACTIVITIES ARE TO OCCUR IN AREAS WITH EXISTING CARPET, HARDWOOD, VINYL OR CERAMIC FLOOR FINISH, ADEQUATE PROTECTIVE COVERINGS SHALL BE TEMPORARILY INSTALLED, BY THE CONTRACTOR, TO PROTECT FINISHES FROM DAMAGE. HVAC LOUVERS AND DIFFUSERS SHALL BE COVERED WITH TEMPORARY FILTERS DURING THE DEMOLITION AND CONSTRUCTION PHASE.
  - CONTRACTOR SHALL PROVIDE A PORTABLE TOILET FOR USE BY ALL PERSONNEL, LOCATED WHERE DIRECTED BY OWNER, WHICH SHALL BE CLEANED AND SERVICED ON A REGULAR BASIS. CONTRACTOR RESPONSIBLE FOR ALL PERMITS AND ZONING ORDINANCES AFFILIATED WITH PORTABLE TOILETS, WHERE APPLICABLE.
  - CONTRACTOR TO VERIFY ALL BEARING POINTS AND BEARING WALLS PRIOR TO ANY DEMOLITION WORK. SUPPORT AS REQUIRED PRIOR TO REMOVING/ALTERING ANY BEARING WALL.
  - CONTRACTOR TO NOTIFY ARCHITECT'S OFFICE OF ANY EXISTING CONDITION THAT VARIES FROM THOSE SHOWN WITHIN THESE DRAWINGS.
  - CONTRACTOR TO ENSURE STRUCTURAL SOUNDNESS OF THE HOUSE DURING DEMOLITION AND CONSTRUCTION.
  - G.C. TO VERIFY WITH OWNER IF ANY ITEMS ARE TO BE SALVAGED. STORE SALVAGED ITEMS FOR POSSIBLE REUSE IN A MANNER TO MAINTAIN INTEGRITY OF MATERIALS. IF SALVAGED ITEMS ARE TO BE REINSTALLED, ITEMS SHALL BE RESTORED/REFINISHED PRIOR TO REINSTALLATION.
  - PREPARE ALL SURFACES EXPOSED BY DEMOLITION, AS REQUIRED, TO RECEIVE NEW CONSTRUCTION.
  - ALL REMOVED PLUMBING TO BE CAPPED AND SEALED AS REQUIRED FOR REWORKED FOR USE WITH NEW PLUMBING.
  - REMOVE EXISTING ELECTRICAL, OUTLETS, MEDIA OUTLETS, SPEAKER SYSTEMS, LIGHT SWITCHES, CEILING FANS AND CEILING LIGHTING AS REQUIRED. CAP EXISTING WIRING AS REQUIRED FOR POSSIBLE REUSE. PATCH AND REPAIR EXISTING WALLS AS REQUIRED.
  - REMOVE OR RELOCATE EXISTING HEATING AND AIR-CONDITIONING SUPPLY AND RETURNS AND DUCTWORK AS DIRECTED BY OWNER. TERMINATE OR REWORK DUCTWORK AS REQUIRED. PATCH AND REPAIR EXISTING FLOORS, WALLS, OR CEILING AS REQUIRED.
  - CONTRACTOR TO COORDINATE REMOVAL AND REPLACEMENT OF ALL INTERIOR FINISHES WITH OWNER PRIOR TO START OF DEMOLITION.

**FOUNDATION GENERAL REMODELING NOTES:**

- LOCATE EXISTING UNDERGROUND UTILITIES IN AREA OF CONSTRUCTION. COORDINATE WITH UTILITY COMPANIES FOR ANY SHUT-OFF REQUIREMENTS OF STILL ACTIVE LINES. THE EXCAVATOR SHALL NOTIFY THE GHD UTILITIES PROTECTION SERVICE (GUPS) AT 1-800-368-2764 OF THE LOCATION OF THE EXCAVATION SITE AND THE DATE ON WHICH EXCAVATION IS PLANNED TO COMMENCE AT LEAST FORTY-EIGHT HOURS BUT NOT MORE THAN TEN WORKING DAYS BEFORE COMMENCING EXCAVATION PER OHIO REVEAL CODE SECTION 3781.28.
- DIMENSIONS ARE TO FACE OF FOUNDATION WALL AND/OR TO THE CENTERLINE OF STRUCTURAL BEAMS AND COLUMNS, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- FROST DEPTH FOOTINGS TO BE MINIMUM 42" BELOW GRADE, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- DOWNSPOUT DRAINS TO THE INTO STORM DRAINS AS REQUIRED.
- WHERE FOOTINGS OR DIFFERING ELEVATIONS MEET, THEY SHALL BE STEPPED AT A RATIO OF (2) HORIZONTAL TO (1) VERTICAL NOT TO EXCEED 24" PER VERTICAL STEP - SEE DETAIL.
- EXISTING FOUNDATIONS SHOWN ON DRAWINGS, IF APPLICABLE, ARE APPROXIMATE. EXACT CONDITIONS MUST BE VERIFIED AT TIME OF CONSTRUCTION.

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**CONSULTANT:**

BULLETIN	DATE

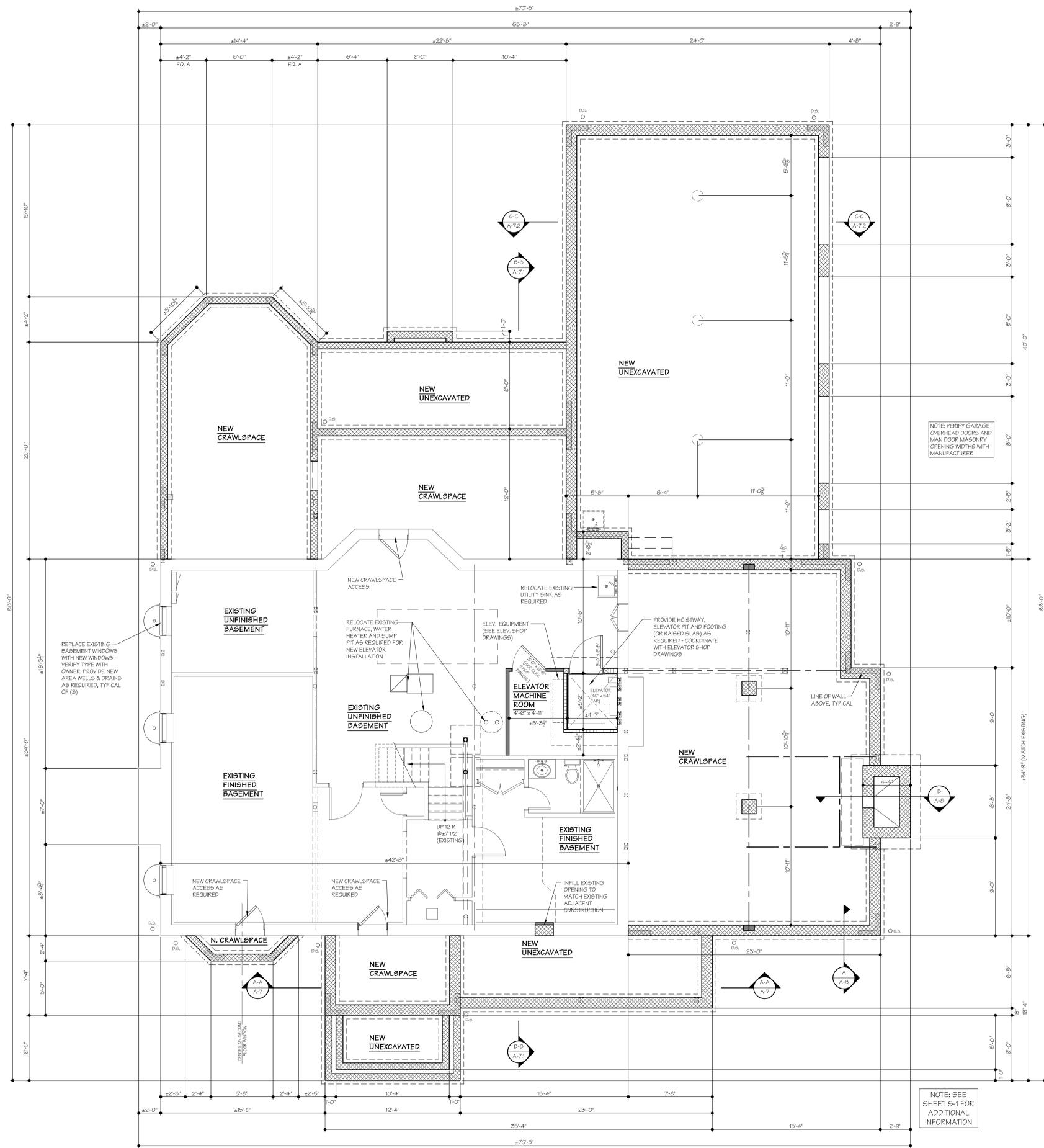
DATE	SET	ISSUANCE
02-19-21	ISSUED FOR RIBA	
02-26-21	PLANS & ELEVATIONS ISSUED FOR RIBA	
03-01-21	REVISIONS FOR INFORMAL AHRK REVIEW	
03-02-21	REVISIONS FOR INFORMAL AHRK REVIEW	
04-05-21	ISSUED FOR FINAL AHRK	

PROJECT #: 2110

**DEMOLITION PLANS**

SHEET NUMBER:

**D-1**



- FOUNDATION GENERAL REMODELING NOTES:**
- LOCATE EXISTING UNDERGROUND UTILITIES IN AREA OF CONSTRUCTION. COORDINATE WITH UTILITY COMPANIES FOR ANY SHUT-OFF REQUIREMENTS OF STILL ACTIVE LINES. THE EXCAVATOR SHALL NOTIFY THE OHIO UTILITIES PROTECTION SERVICE (OUPS) AT 1-800-368-2764 OF THE LOCATION OF THE EXCAVATION SITE AND THE DATE ON WHICH EXCAVATION IS PLANNED TO COMMENCE AT LEAST FORTY-EIGHT HOURS BUT NOT MORE THAN TEN WORKING DAYS BEFORE COMMENCING EXCAVATION PER OHIO REVISED CODE SECTION 3781.28.
  - DIMENSIONS ARE TO FACE OF FOUNDATION WALL AND/OR TO THE CENTERLINE OF STRUCTURAL BEAMS AND COLUMNS, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
  - FROST DEPTH FOOTINGS TO BE MINIMUM 42" BELOW GRADE, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
  - DOWNSPOUT DRAINS TO TIE INTO STORM DRAINS AS REQUIRED.
  - WHERE FOOTINGS OF DIFFERING ELEVATIONS MEET, THEY SHALL BE STEPPED AT A RATIO OF (2) HORIZONTAL TO (1) VERTICAL NOT TO EXCEED 24" PER VERTICAL STEP - SEE DETAIL.
  - EXISTING FOUNDATIONS SHOWN ON DRAWINGS, IF APPLICABLE, ARE APPROXIMATE. EXACT CONDITIONS MUST BE VERIFIED AT TIME OF CONSTRUCTION.

- NEW-TO-EXISTING CONNECTION NOTES:**
- FOOTING AND FOUNDATIONS**
- FOOTINGS:**
    - (2) #5 x 24" LONG DOWELS (8" EMBEDMENT INTO EXISTING FOOTING AND EPOXY) AND LAP WITH NEW FOOTING REINFORCEMENT.
  - CMU BELOW GRADE:**
    - THE NEW CMU WALL TO EXISTING WITH #3 x 24" LONG DOWELS (8" EMBEDMENT INTO EXISTING FOOTING), GROUT SOLID, @ 16" O.C. VERTICAL.
  - CMU ABOVE GRADE:**
    - THE NEW CMU WALL TO EXISTING WITH "DUR-O-WALL" JOINT STABILIZATION ANCHORS OR EQUIVALENT (DIA. 2200 @ 16" VERTICALLY), INSTALL AS PER MANUF. SPECIFICATIONS, SEAL JOINTS WITH "NORSKAN" SIKA-FLEX 1A' OR EQUIVALENT.

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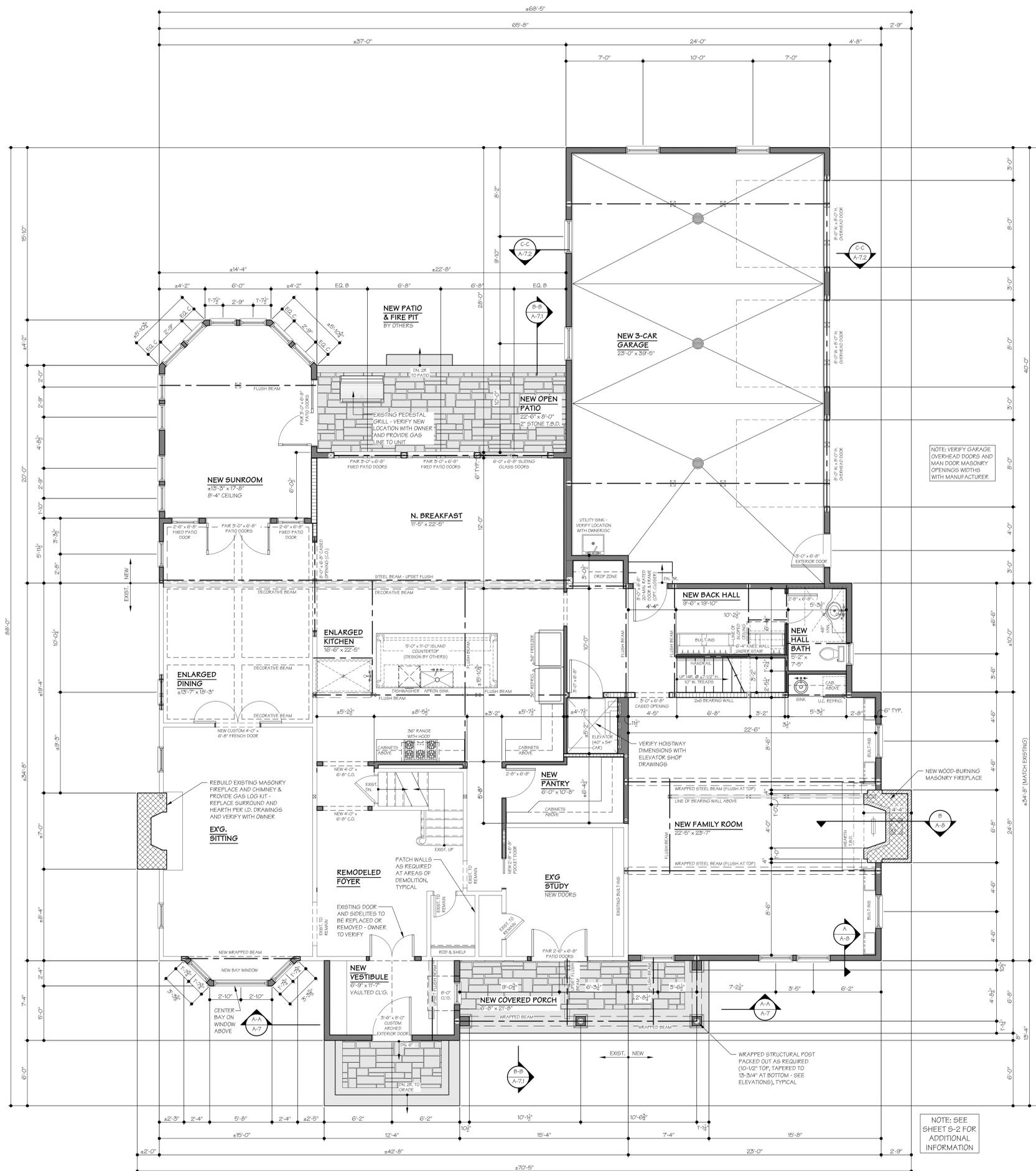


SEAL  
  
 RICHARD E. SIEGFRIED,  
 LICENSE #3807948  
 EXPIRATION DATE 12/31/21  
 CONSULTANT:

BULLETIN	DATE

DATE	SET	ISSUANCE
02-19-21	ISSUED FOR RSA	
02-26-21	PLANS & ELEVATIONS ISSUED FOR BZRA	
03-01-21	ISSUED FOR INFORMAL AHRM REVIEW	
03-02-21	ISSUED FOR INFORMAL AHRM REVIEW	
04-05-21	ISSUED FOR FINAL AHRM	

PROJECT #: 2110  
**PROPOSED BASEMENT PLAN**  
 SHEET NUMBER:  
**A-1**



NOTE: SEE SHEET S-2 FOR ADDITIONAL INFORMATION

**PROPOSED FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**FLOOR PLAN GENERAL REMODELING NOTES:**

- A. ALL EXISTING FRAMING SHOWN IS ASSUMED AND MUST BE FIELD VERIFIED. NOTIFY THE ARCHITECT'S OFFICE OF ANY CONDITIONS THAT VARY FROM THESE DRAWINGS.
- B. ALL EXTERIOR DIMENSIONS ARE TO OUTSIDE EDGE OF WALL SHEATHING OR FACE OF EXISTING WALL, UNLESS NOTED OTHERWISE ON THE DRAWINGS. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD OR EXISTING WALL, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- C. REFER TO WALL SECTIONS FOR NEW EXTERIOR WALL CONSTRUCTION.
- D. ALL INTERIOR WALLS TO BE 2 x 4 WOOD STUDS @ 16" O.C. WITH 1/2" GYPSUM BOARD ON EACH SIDE, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- E. WHERE NEW WALLS ARE IN THE SAME PLANE AS AN EXISTING WALL VERIFY ALL MATERIAL THICKNESS MATCHES EXISTING.
- F. REFER TO STRUCTURAL SHEETS FOR MORE INFORMATION. REFER TO SPECIFICATIONS FOR STANDARD DOOR AND WINDOW HEADER SIZES NOT LISTED SPECIFICALLY ON THE STRUCTURAL DRAWINGS.
- G. ALL NEW DOORS AND HARDWARE TO BE SELECTED BY OWNER/G.C.
- H. COORDINATE TYPE OF NEW WINDOW CASINGS, DOOR CASINGS AND BASEBOARDS WITH OWNER/G.C.
- I. COORDINATE NEW FLOOR AND WALL FINISHES WITH OWNER/G.C. PROVIDE PROPER UNDERLAYMENTS - REFER TO SPECIFICATIONS.
- J. SUB-CONTRACTORS TO COORDINATE WITH THE GENERAL CONTRACTOR THE LOCATION OF ALL NEW MECHANICAL, ELECTRICAL AND PLUMBING EQUIPMENT PRIOR TO INSTALLATION.
- K. IF APPLICABLE, WASHER HOOK-UP TO BE SET IN BACK WALL BEHIND THE WASHER IN SIDE-BY-SIDE CONFIGURATION, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- L. IF APPLICABLE, DRYER HOOK-UP TO BE AT BACK WALL BEHIND THE WASHER AND TO BE VENTED TO THE EXTERIOR PER R.C.O. SECTION M502. DRYER EXHAUST DUCT TO BE MAXIMUM 25' IN LENGTH.
- M. SEE COVER SHEET CS-1 FOR GUARDRAIL, HANDRAIL AND GUARDRAIL IN-FILL COMPONENT LOADING REQUIREMENTS.
- N. ALL HANDRAILS TO BE MOUNTED AT 36" A.F.F. OR ABOVE STAIR TREAD NOSING AND TO BE CONTINUOUS FOR THE FULL LENGTH OF FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINAL. HANDRAILS ADJACENT TO WALL SHALL HAVE A 3/4" FACE OF NOT LESS THAN 1-1/2" BETWEEN WALL AND RAIL. GRIP SIZE TO BE TYPE 'R' TYPE 'L'. INSTALL PER R.C.O. SECTION 311.7.2. PROVIDE SOLID BLOCKING AS REQUIRED TO SECURE GUARD POST.
- O. ALL NEW CLOSET ORGANIZATION SYSTEMS TO BE SELECTED BY OWNER/G.C.
  - O1. CLOSETS WITH DOUBLE ROD AND ONE SHELF TO HAVE SHELF HEIGHT AT MAXIMUM 76" A.F.F., LOWER ROD HEIGHT TO BE MAXIMUM 36" A.F.F., UPPER ROD HEIGHT TO BE MAXIMUM 70" A.F.F. PROVIDE SOLID BLOCKING IN WALL AND PROVIDE ADDITIONAL SUPPORT FOR OPTIONAL ADDITIONAL SHELF AT MAXIMUM 88" A.F.F.
  - O2. CLOSETS WITH ONE ROD AND ONE SHELF TO HAVE SHELF HEIGHT AT MAXIMUM 76" A.F.F. PROVIDE SOLID BLOCKING IN WALL AND PROVIDE ADDITIONAL SUPPORT FOR OPTIONAL ADDITIONAL SHELF AT MAXIMUM 88" A.F.F.
- P. LINEN CLOSET (IF APPLICABLE) TO HAVE (5) FIVE SHELVES UNLESS DIRECTED OTHERWISE BY G.C. PROVIDE SOLID BLOCKING IN WALL FOR SUPPORT.
- Q. PANTRY CLOSET (IF APPLICABLE) TO HAVE (5) FIVE SHELVES UNLESS DIRECTED OTHERWISE BY G.C. PROVIDE SOLID BLOCKING IN WALL FOR SUPPORT.
- R. PROVIDE INSULATION AT ALL KNEE-WALLS TO THE EQUIVALENT R-VALUE OF THE EXTERIOR WALLS, IF APPLICABLE.
- S. SMOKE DETECTORS SHALL BE PROVIDED INSIDE AND OUTSIDE OF EACH BEDROOM AND (1) PER FLOOR PER R.C.O. SECTION D15. REFER TO SCHEMATIC ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- T. CARBON MONOXIDE DETECTOR LOCATIONS OUTSIDE OF ALL SLEEPING AREAS AND MINIMUM (1) PER FLOOR PER R.C.O. SECTION D15. REFER TO SCHEMATIC ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- U. ALL NEW PRODUCTS, APPLIANCES, SYSTEMS, CABINETRY, FIXTURES, ETC. TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- V. COORDINATE LOCATIONS OF ALL NEW FROST FREE HOSE BIBBS (IN THE GARAGE & OUTSIDE THE HOUSE) WITH THE G.C. PRIOR TO CONSTRUCTION.
- W. ALL BUILDING ENVELOPE PENETRATIONS, INCLUDING CEILING, WALLS AND FLOORS, TO BE SEALED AS REQUIRED TO PREVENT AIR LEAKAGE.
- X. IF APPLICABLE, INSTALL NEW 22" x 30" ATTIC ACCESS PANEL. CAULK, SEAL OR GASKETED AS REQUIRED TO PROVIDE AN AIR-TIGHT SEAL. PROVIDE INSULATION ABOVE PANEL TO EQUAL CEILING INSULATION. PROVIDE LIGHT IN THE ATTIC AND A SWITCH IN THE CLOSET. VERIFY LOCATION WITH OWNER/G.C. OR VERIFY LOCATION OF EXISTING ATTIC ACCESS PANEL TO ENSURE ACCESS TO NEW ATTIC AREAS.
- Y. IF APPLICABLE, COORDINATE LOCATION OF NEW AIR-CONDITIONING CONDENSERS WITH THE G.C. PRIOR TO CONSTRUCTION. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

**WINDOW NOTES:**

1. ALL NEW WINDOWS ARE MARVIN® LOW 'E' (SERIES TO BE SELECTED BY OWNER), UNLESS NOTED OTHERWISE ON THE DRAWINGS. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
2. ALL NEW WINDOWS ARE (DH) DOUBLE HUNG, (CS) CASEMENT, (AW) AWNING, (FX) FIXED, (TR) TRANSOM OR (SP) SPECIALTY AS NOTED ON THE DRAWINGS.
3. MAXIMUM U-FACTOR: 0.30
4. SOME WINDOWS MAY REQUIRE TEMPERING. SEE 'TEMPERED GLASS NOTES' ON ELEVATIONS AND VERIFY WITH SUPPLIER.
5. ALL OPERABLE WINDOWS TO BE PROVIDED WITH INSECT SCREENS.
6. CALL OUT NUMBERS ARE EXPRESSED IN INCHES AND EXPRESS NOMINAL ROUGH OPENING SIZE (2460 = 2'-0" WIDE x 6'-0" HIGH).
7. SLEEPING ROOM WINDOWS - MUST MEET EGRESS CODE.
8. SEE ELEVATIONS FOR LOCATIONS AND PATTERNS OF WINDOW UNITS WITH GRILLES.

**EXTERIOR DOOR NOTES:**

1. ALL EXTERIOR DOORS TO INCLUDE ALL HARDWARE, INCLUDING LOCK SETS.
2. ALL EXTERIOR DOORS TO BE FULLY WEATHERSTRIPPED.
3. DOOR AND SIDELIGHT GLASS TO BE TEMPERED AND LOW-E.
4. ENTRY DOOR STYLES PER ELEVATIONS.
5. ALL PATIO DOORS (SLIDING AND/OR SWINGING) TO BE MARVIN® LOW-E TO MATCH WINDOW SERIES UNLESS NOTED OTHERWISE. INSTALL PER MANUFACTURER SPECIFICATIONS.

**INTERIOR DOOR NOTES:**

1. UNLESS OTHERWISE NOTED, PROVIDE THE FOLLOWING HARDWARE:
  11. BEDROOM DOORS: 1-1/2" PAIR HINGES, PRIVACY SET
  12. BATHROOMS / WATER CLOSET ROOMS: 1-1/2" PAIR HINGES, PRIVACY SET
  13. WALK-IN CLOSETS: 1-1/2" PAIR HINGES, PASSAGE SET
  14. PANTRY: 1-1/2" PAIR HINGES, PASSAGE SET
  15. PAIR DOORS (CLOSETS): 3" PAIR HINGES, DUMMY HANDLE SET AND BALL CATCH
2. ALL SINGLE DOORS TO RECEIVE 1-1/2" PAIR OF HINGES, DOUBLE DOORS TO RECEIVE 3" PAIR HINGES.
3. PROVIDE DOOR STOPS FOR ALL DOORS.
4. MAIN DOOR FROM GARAGE TO HOUSE IS TO BE A MINIMUM 20 MINUTE FIRE RATED DOOR AND FRAME. DOOR IS TO BE TIGHTLY SEALED AND GASKETED.
5. DOORS TO MECHANICAL ROOMS MAY NEED TO BE FULLY WEATHERSTRIPPED OR FULL LOUVERED. VERIFY WITH G.C. IF APPLICABLE.

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**RICHARD E. SIEGFRIED,**  
LICENSE #8307948  
EXPIRATION DATE 12/31/21  
CONSULTANT:

DATE	ISSUE	ISSUED FOR
02-19-21	ISSUED FOR RIBA	
02-26-21	PERMITS & ELEVATIONS ISSUED FOR RIBA	
03-01-21	REVISIONS FOR INFORMAL AHSR REVIEW	
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04-05-21	ISSUED FOR FINAL AHSR	

BULLETIN	DATE

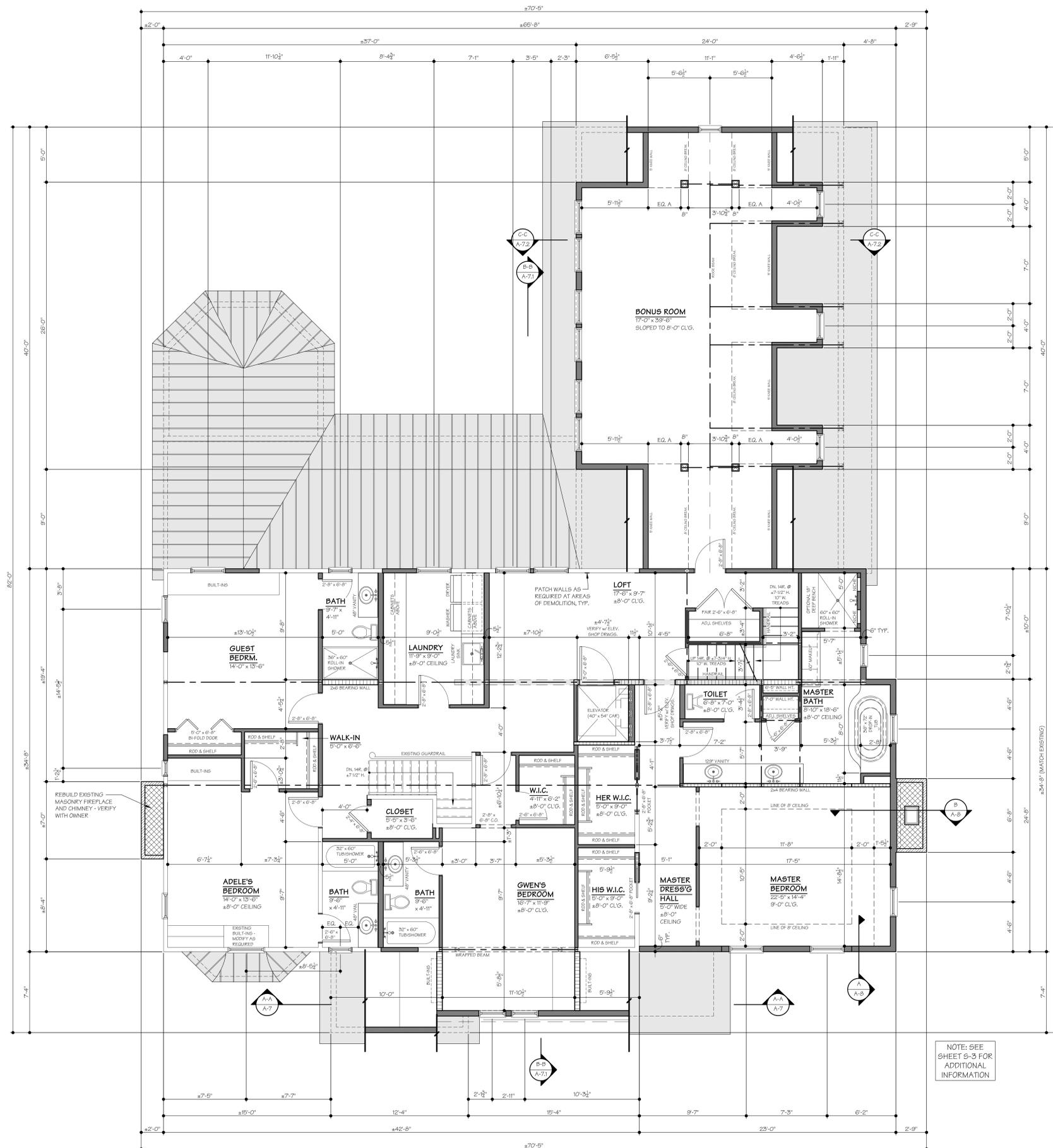
PROJECT #: 2110

**PROPOSED FIRST FLOOR PLAN**

SHEET NUMBER:

**A-2**

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NOTE: SEE SHEET 2-3 FOR ADDITIONAL INFORMATION

PROPOSED SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"



- FLOOR PLAN GENERAL REMODELING NOTES:**
- ALL EXISTING FRAMING SHOWN IS ASSUMED AND MUST BE FIELD VERIFIED. NOTIFY THE ARCHITECT'S OFFICE OF ANY CONDITIONS THAT VARY FROM THESE DRAWINGS.
  - ALL EXTERIOR DIMENSIONS ARE TO OUTSIDE EDGE OF WALL SHEATHING OR FACE OF EXISTING WALL, UNLESS NOTED OTHERWISE ON THE DRAWINGS. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD OR EXISTING WALL, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
  - REFER TO WALL SECTIONS FOR NEW EXTERIOR WALL CONSTRUCTION.
  - ALL INTERIOR WALLS TO BE 2 x 4 WOOD STUDS @ 16" O.C. WITH 1/2" GYPSUM BOARD ON EACH SIDE, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
  - WHERE NEW WALLS ARE IN THE SAME PLANE AS AN EXISTING WALL, VERIFY ALL MATERIAL THICKNESS MATCHES EXISTING.
  - REFER TO STRUCTURAL SHEETS FOR MORE INFORMATION. REFER TO SPECIFICATIONS FOR STANDARD DOOR AND WINDOW HEADER SIZES NOT LISTED SPECIFICALLY ON THE STRUCTURAL DRAWINGS.
  - ALL NEW DOORS AND HARDWARE TO BE SELECTED BY OWNER/G.C.
  - COORDINATE TYPE OF NEW WINDOW CASINGS, DOOR CASINGS AND BASEBOARDS WITH OWNER/G.C.
  - COORDINATE NEW FLOOR AND WALL FINISHES WITH OWNER/G.C. PROVIDE PROPER UNDERLAYMENTS - REFER TO SPECIFICATIONS.
  - SUB-CONTRACTORS TO COORDINATE WITH THE GENERAL CONTRACTOR THE LOCATION OF ALL NEW MECHANICAL, ELECTRICAL AND PLUMBING EQUIPMENT PRIOR TO INSTALLATION.
  - IF APPLICABLE, WASHER HOOK-UP TO BE SET IN BACK WALL BEHIND THE WASHER IN SIDE-BY-SIDE CONFIGURATION, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
  - IF APPLICABLE, DRYER HOOK-UP TO BE AT BACK WALL BEHIND THE DRYER AND TO BE VENTED TO THE EXTERIOR PER RCO, SECTION M102. DRYER EXHAUST DUCT TO BE MAXIMUM 25' IN LENGTH.
  - SEE COVER SHEET C8-1 FOR GUARDRAIL, HANDRAIL AND GUARDRAIL INFILL COMPONENT LOADING REQUIREMENTS.
  - ALL HANDRAILS TO BE MOUNTED AT 36" A.F.F. OR ABOVE STAIR TREAD NOSING AND TO BE CONTINUOUS FOR THE FULL LENGTH OF FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINAL. HANDRAILS ADJACENT TO WALL SHALL HAVE A 3/4" FACE OF NOT LESS THAN 1-1/2" BETWEEN WALL AND RAIL. GRIP SIZE TO BE TYPE I OR TYPE II. INSTALL PER RCO, SECTION 311.7A. PROVIDE SOLID BLOCKING IN WALLS AS REQUIRED.
  - ALL GUARDRAILS TO BE LOCATED ALONG OPEN-SIDED WALKING SURFACES AND LANDINGS WHERE SHOWN ON THE DRAWINGS. GUARD HEIGHT TO BE 36" MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE OR LINE CONNECTING THE LEADING EDGE OF THE TREADS. GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4" IN DIAMETER. INSTALL PER RCO, SECTION 311.7A. PROVIDE SOLID BLOCKING AS REQUIRED TO SECURE GUARD POST.
  - ALL NEW CLOSET ORGANIZATION SYSTEMS TO BE SELECTED BY OWNER/G.C.
    - CLOSETS WITH DOUBLE ROD AND ONE SHELF TO HAVE SHELF HEIGHT AT MAXIMUM 76" A.F.F., LOWER ROD HEIGHT TO BE MAXIMUM 36" A.F.F., UPPER ROD HEIGHT TO BE MAXIMUM 70" A.F.F. PROVIDE SOLID BLOCKING IN WALL AND PROVIDE ADDITIONAL SUPPORT FOR OPTIONAL ADDITIONAL SHELF AT MAXIMUM 88" A.F.F.
    - CLOSETS WITH ONE ROD AND ONE SHELF TO HAVE SHELF HEIGHT AT MAXIMUM 76" A.F.F. PROVIDE SOLID BLOCKING IN WALL AND PROVIDE ADDITIONAL SUPPORT FOR OPTIONAL ADDITIONAL SHELF AT MAXIMUM 88" A.F.F.
  - LINEN CLOSET (IF APPLICABLE) TO HAVE (5) FIVE SHELVES UNLESS DIRECTED OTHERWISE BY G.C. PROVIDE SOLID BLOCKING IN WALL FOR SUPPORT.
  - PANTRY CLOSET (IF APPLICABLE) TO HAVE (5) FIVE SHELVES UNLESS DIRECTED OTHERWISE BY G.C. PROVIDE SOLID BLOCKING IN WALL FOR SUPPORT.
  - PROVIDE INSULATION AT ALL KNEE-WALLS TO THE EQUIVALENT R-VALUE OF THE EXTERIOR WALLS, IF APPLICABLE.
  - SMOKE DETECTORS SHALL BE PROVIDED INSIDE AND OUTSIDE OF EACH BEDROOM AND (1) PER FLOOR. SMOKE DETECTORS SHALL BE INTERCONNECTED AND HARDWIRED PER RCO, SECTION 314. REFER TO SCHEMATIC ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
  - CARBON MONOXIDE DETECTOR LOCATIONS OUTSIDE OF ALL SLEEPING AREAS AND MINIMUM (1) PER FLOOR PER RCO, SECTION 315. REFER TO SCHEMATIC ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
  - ALL NEW PRODUCTS, APPLIANCES, SYSTEMS, CABINETRY, FIXTURES, ETC. TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
  - COORDINATE LOCATIONS OF ALL NEW FROST FREE HOSE BIBBS (IN THE GARAGE & OUTSIDE THE HOUSE) WITH THE G.C. PRIOR TO CONSTRUCTION.
  - ALL BUILDING ENVELOPE PENETRATIONS, INCLUDING CEILING, WALLS AND FLOORS, TO BE SEALED AS REQUIRED TO PREVENT AIR LEAKAGE.
  - IF APPLICABLE, INSTALL NEW 22" x 30" ATTIC ACCESS PANEL. CAULK, SEAL OR GASKETED AS REQUIRED TO PROVIDE AN AIR-TIGHT SEAL. PROVIDE INSULATION ABOVE PANEL TO EQUAL CEILING INSULATION. PROVIDE LIGHT IN THE ATTIC AND A SWITCH IN THE CLOSET. VERIFY LOCATION WITH OWNER/G.C. OR VERIFY LOCATION OF EXISTING ATTIC ACCESS PANEL TO ENSURE ACCESS TO NEW ATTIC AREAS.
  - IF APPLICABLE, COORDINATE LOCATION OF NEW AIR-CONDITIONING CONDENSERS WITH THE G.C. PRIOR TO CONSTRUCTION. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

- WINDOW NOTES:**
- ALL NEW WINDOWS ARE MARVIN® LOW "E" (SERIES TO BE SELECTED BY OWNER), UNLESS NOTED OTHERWISE ON THE DRAWINGS. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
  - ALL NEW WINDOWS ARE (DH) DOUBLE HUNG, (CS) CASEMENT, (AW) AWNING, (FX) FIXED, (TR) TRANSOM OR (SP) SPECIALTY AS NOTED ON THE DRAWINGS.
  - MAXIMUM U-FACTOR: 0.30
  - SOME WINDOWS MAY REQUIRE TEMPERING. SEE "TEMPERED GLASS NOTES" ON ELEVATIONS AND VERIFY WITH SUPPLIER.
  - ALL OPERABLE WINDOWS TO BE PROVIDED WITH INSECT SCREENS.
  - CALL OUT NUMBERS ARE EXPRESSED IN INCHES AND EXPRESS NOMINAL ROUGH OPENING SIZE (2460 = 2'-0" WIDE x 6'-0" HIGH).
  - SLEEPING ROOM WINDOWS - 1 MUST MEET EGRESS CODE.
  - SEE ELEVATIONS FOR LOCATIONS AND PATTERNS OF WINDOW UNITS WITH GRILLS.

- EXTERIOR DOOR NOTES:**
- ALL EXTERIOR DOORS TO INCLUDE ALL HARDWARE, INCLUDING LOCK SETS.
  - ALL EXTERIOR DOORS TO BE FULLY WEATHERSTRIPPED.
  - DOOR AND SIDELIGHT GLASS TO BE TEMPERED AND LOW-E.
  - ENTRY DOOR STYLES PER ELEVATIONS.
  - ALL PATIO DOORS (SLIDING AND/OR SWINGING) TO BE MARVIN® LOW-E TO MATCH WINDOW SERIES UNLESS NOTED OTHERWISE. INSTALL PER MANUFACTURER SPECIFICATIONS.

- INTERIOR DOOR NOTES:**
- UNLESS OTHERWISE NOTED, PROVIDE THE FOLLOWING HARDWARE:
    - BEDROOM DOORS: 1-1/2" PAIR HINGES, PRIVACY SET
    - BATHROOMS / WATER CLOSET ROOMS: 1-1/2" PAIR HINGES, PRIVACY SET
    - WALK-IN CLOSETS: 1-1/2" PAIR HINGES, PASSAGE SET
    - PANTRY: 1-1/2" PAIR HINGES, PASSAGE SET
    - PAIR DOORS (CLOSETS): 3" PAIR HINGES, DUMMY HANDLE SET AND BALL CATCH
  - ALL SINGLE DOORS TO RECEIVE 1-1/2" PAIR OF HINGES, DOUBLE DOORS TO RECEIVE 3" PAIR HINGES.
  - PROVIDE DOOR STOPS FOR ALL DOORS.
  - MAN DOOR FROM GARAGE TO HOUSE IS TO BE A MINIMUM 20 MINUTE FIRE RATED DOOR AND FRAME. DOOR IS TO BE TIGHTLY SEALED AND GASKETED.
  - DOORS TO MECHANICAL ROOMS MAY NEED TO BE FULLY WEATHERSTRIPPED OR FULL LOUVERED. VERIFY WITH G.C. IF APPLICABLE.

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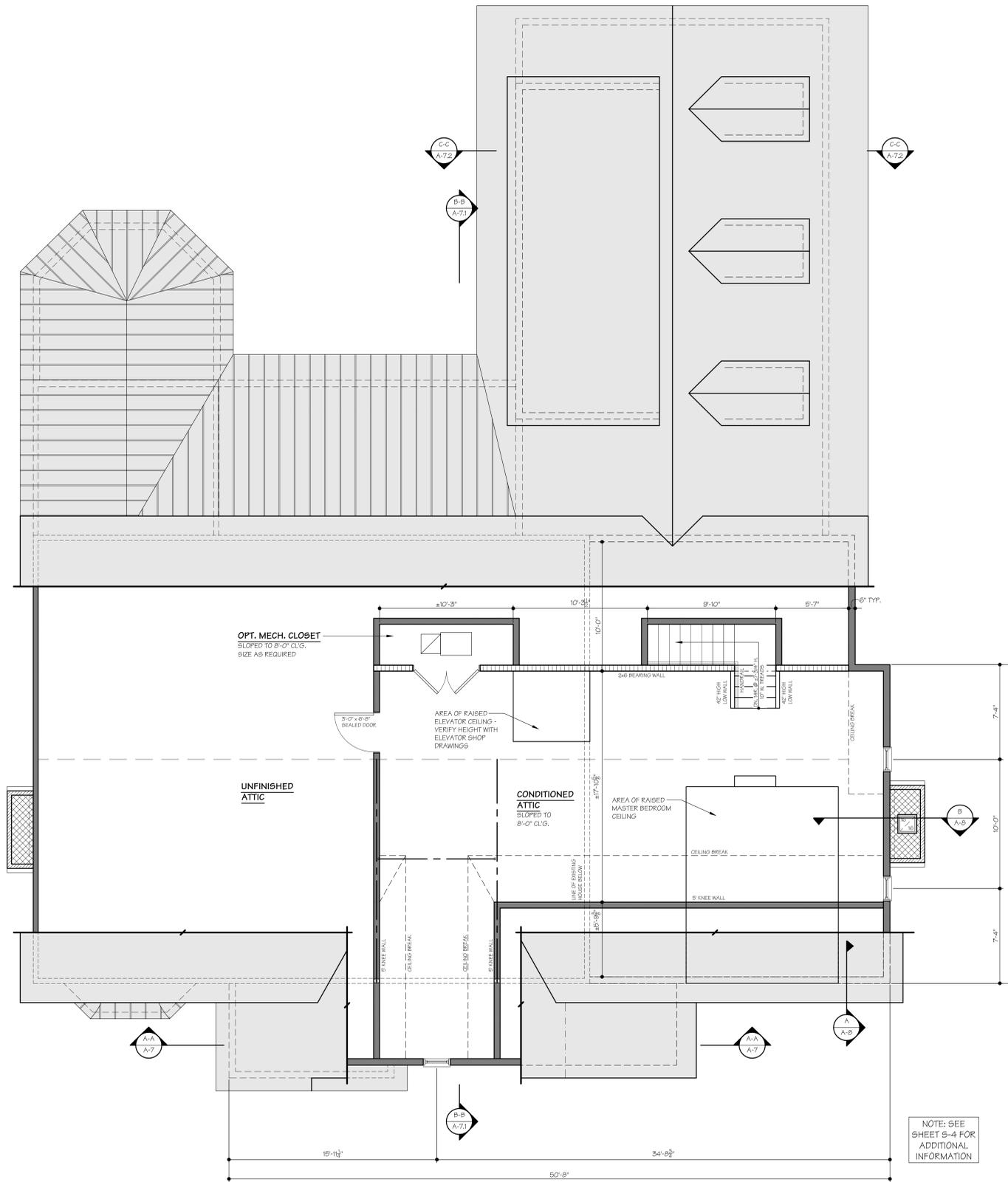
SEAL:  
*[Signature]*  
4/5/21  
RICHARD E. SIEGFRIED,  
LICENSE #8307948  
EXPIRATION DATE 12/31/21  
CONSULTANT:

BULLETIN	DATE

DATE SET	ISSUED FOR
02-19-21	ISSUED FOR RSA
02-26-21	PERMITS & ELEVATIONS ISSUED FOR RZMA
03-01-21	REVISIONS FOR INFORMAL AHSR REVIEW
03-02-21	REVISIONS FOR INFORMAL AHSR REVIEW
04-05-21	ISSUED FOR FINAL PERMITS

PROJECT #: 2110  
**PROPOSED SECOND FLOOR PLAN**

SHEET NUMBER:  
**A-3**



NOTE: SEE SHEET S-4 FOR ADDITIONAL INFORMATION

**PROPOSED ATTIC PLAN**  
SCALE: 1/4" = 1'-0"



- FLOOR PLAN GENERAL REMODELING NOTES:**
- ALL EXISTING FRAMING SHOWN IS ASSUMED AND MUST BE FIELD VERIFIED. NOTIFY THE ARCHITECTS OFFICE OF ANY CONDITIONS THAT VARY FROM THESE DRAWINGS.
  - ALL EXTERIOR DIMENSIONS ARE TO OUTSIDE EDGE OF WALL SHEATHING OR FACE OF EXISTING WALL, UNLESS NOTED OTHERWISE ON THE DRAWINGS. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD OR EXISTING WALL, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
  - REFER TO WALL SECTIONS FOR NEW EXTERIOR WALL CONSTRUCTION.
  - ALL INTERIOR WALLS TO BE 2 x 4 WOOD STUDS @ 16" O.C. WITH 1/2" GYPSUM BOARD ON EACH SIDE, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
  - WHERE NEW WALLS ARE IN THE SAME PLANE AS AN EXISTING WALL VERIFY ALL MATERIAL THICKNESS MATCHES EXISTING.
  - REFER TO STRUCTURAL SHEETS FOR MORE INFORMATION. REFER TO SPECIFICATIONS FOR STANDARD DOOR AND WINDOW HEADER SIZES NOT LISTED SPECIFICALLY ON THE STRUCTURAL DRAWINGS.
  - ALL NEW DOORS AND HARDWARE TO BE SELECTED BY OWNER/G.C.
  - COORDINATE TYPE OF NEW WINDOW CASINGS, DOOR CASINGS AND BASEBOARDS WITH OWNER/G.C.
  - COORDINATE NEW FLOOR AND WALL FINISHES WITH OWNER/G.C. PROVIDE PROPER UNDERLAYMENTS - REFER TO SPECIFICATIONS.
  - SUB-CONTRACTORS TO COORDINATE WITH THE GENERAL CONTRACTOR THE LOCATION OF ALL NEW MECHANICAL, ELECTRICAL AND PLUMBING EQUIPMENT PRIOR TO INSTALLATION.
  - IF APPLICABLE, WASHER HOOK-UP TO BE SET IN BACK WALL BEHIND THE WASHER IN SIDE-BY-SIDE CONFIGURATION, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
  - IF APPLICABLE, DRYER HOOK-UP TO BE AT BACK WALL BEHIND THE DRYER AND TO BE VENTED TO THE EXTERIOR PER RCO, SECTION M502. DRYER EXHAUST DUCT TO BE MAXIMUM 25' IN LENGTH.
  - SEE COVER SHEET CS-1 FOR GUARDRAIL, HANDRAIL AND GUARDRAIL IN-FILL COMPONENT LOADING REQUIREMENTS.
  - ALL HANDRAILS TO BE MOUNTED AT 36" A.F.F. OR ABOVE STAIR TREAD NOSING AND TO BE CONTINUOUS FOR THE FULL LENGTH OF FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINAL. HANDRAILS ADJACENT TO WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2" BETWEEN WALL AND RAIL. GRIP SIZE TO BE TYPE I OR TYPE II. INSTALL PER RCO, SECTION S11.7A. PROVIDE SOLID BLOCKING IN WALLS AS REQUIRED.
  - ALL GUARDRAILS TO BE LOCATED ALONG OPEN-SIDED WALKING SURFACES AND LANDINGS WHERE SHOWN ON THE DRAWINGS. GUARD HEIGHT TO BE 36" MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE OR LINE CONNECTING THE LEADING EDGE OF THE TREADS. GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4" IN DIAMETER. INSTALL PER RCO, SECTION S11.7A. PROVIDE SOLID BLOCKING AS REQUIRED TO SECURE GUARD POST.
  - ALL NEW CLOSET ORGANIZATION SYSTEMS TO BE SELECTED BY OWNER/G.C.
    - CLOSETS WITH DOUBLE ROD AND ONE SHELF TO HAVE SHELF HEIGHT AT MAXIMUM 76" A.F.F., LOWER ROD HEIGHT TO BE MAXIMUM 36" A.F.F., UPPER ROD HEIGHT TO BE MAXIMUM 70" A.F.F. PROVIDE SOLID BLOCKING IN WALL AND PROVIDE ADDITIONAL SUPPORT FOR OPTIONAL ADDITIONAL SHELF AT MAXIMUM 88" A.F.F.
    - CLOSETS WITH ONE ROD AND ONE SHELF TO HAVE SHELF HEIGHT AT MAXIMUM 76" A.F.F. PROVIDE SOLID BLOCKING IN WALL AND PROVIDE ADDITIONAL SUPPORT FOR OPTIONAL ADDITIONAL SHELF AT MAXIMUM 88" A.F.F.
  - LINEN CLOSET (IF APPLICABLE) TO HAVE (5) FIVE SHELVES UNLESS DIRECTED OTHERWISE BY G.C. PROVIDE SOLID BLOCKING IN WALL FOR SUPPORT.
  - PANTRY CLOSET (IF APPLICABLE) TO HAVE (5) FIVE SHELVES UNLESS DIRECTED OTHERWISE BY G.C. PROVIDE SOLID BLOCKING IN WALL FOR SUPPORT.
  - PROVIDE INSULATION AT ALL KNEE-WALLS TO THE EQUIVALENT R-VALUE OF THE EXTERIOR WALLS, IF APPLICABLE.
  - SMOKE DETECTORS SHALL BE PROVIDED INSIDE AND OUTSIDE OF EACH BEDROOM AND (1) PER FLOOR PER RCO, SECTION 314. REFER TO SCHEMATIC ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
  - CARBON MONOXIDE DETECTOR LOCATIONS OUTSIDE OF ALL SLEEPING AREAS AND MINIMUM (1) PER FLOOR PER RCO, SECTION 314. REFER TO SCHEMATIC ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
  - ALL NEW PRODUCTS, APPLIANCES, SYSTEMS, CABINETRY, FIXTURES, ETC. TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
  - COORDINATE LOCATIONS OF ALL NEW FROST FREE HOSE BIBBS (IN THE GARAGE & OUTSIDE THE HOUSE) WITH THE G.C. PRIOR TO CONSTRUCTION.
  - ALL BUILDING ENVELOPE PENETRATIONS, INCLUDING CEILING, WALLS AND FLOORS, TO BE SEALED AS REQUIRED TO PREVENT AIR LEAKAGE.
  - IF APPLICABLE, INSTALL NEW 22" x 30" ATTIC ACCESS PANEL. CAULK, SEAL OR GASKETED AS REQUIRED TO PROVIDE AN AIR-TIGHT SEAL. PROVIDE INSULATION ABOVE PANEL TO EQUAL CEILING INSULATION. PROVIDE LIGHT IN THE ATTIC AND A SWITCH IN THE CLOSET. VERIFY LOCATION WITH OWNER/G.C. OR VERIFY LOCATION OF EXISTING ATTIC ACCESS PANEL TO ENSURE ACCESS TO NEW ATTIC AREAS.
  - IF APPLICABLE, COORDINATE LOCATION OF NEW AIR-CONDITIONING CONDENSERS WITH THE G.C. PRIOR TO CONSTRUCTION. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

- WINDOW NOTES:**
- ALL NEW WINDOWS ARE MARVIN® LOW "E" (SERIES TO BE SELECTED BY OWNER), UNLESS NOTED OTHERWISE ON THE DRAWINGS. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
  - ALL NEW WINDOWS ARE (DH) DOUBLE HUNG, (CS) CASEMENT, (AW) AWNING, (FX) FIXED, (TR) TRANSOM OR (SP) SPECIALTY AS NOTED ON THE DRAWINGS.
  - MAXIMUM U-FACTOR: 0.30
  - SOME WINDOWS MAY REQUIRE TEMPERING. SEE "TEMPERED GLASS NOTES" ON ELEVATIONS AND VERIFY WITH SUPPLIER.
  - ALL OPERABLE WINDOWS TO BE PROVIDED WITH INSECT SCREENS.
  - CALL OUT NUMBERS ARE EXPRESSED IN INCHES AND EXPRESS NOMINAL ROUGH OPENING SIZE (2460 = 2'-0" WIDE x 6'-0" HIGH).
  - SLEEPING ROOM WINDOWS - MUST MEET EGRESS CODE.
  - SEE ELEVATIONS FOR LOCATIONS AND PATTERNS OF WINDOW UNITS WITH GRILLES.

- EXTERIOR DOOR NOTES:**
- ALL EXTERIOR DOORS TO INCLUDE ALL HARDWARE, INCLUDING LOCK SETS.
  - ALL EXTERIOR DOORS TO BE FULLY WEATHERSTRIPPED.
  - DOOR AND SIDELIGHT GLASS TO BE TEMPERED AND LOW-E.
  - ENTRY DOOR STYLES PER ELEVATIONS.
  - ALL PATIO DOORS (SLIDING AND/OR SWINGING) TO BE MARVIN® LOW-E TO MATCH WINDOW SERIES UNLESS NOTED OTHERWISE. INSTALL PER MANUFACTURER SPECIFICATIONS.

- INTERIOR DOOR NOTES:**
- UNLESS OTHERWISE NOTED, PROVIDE THE FOLLOWING HARDWARE:
    - BEDROOM DOORS: 1-1/2" PAIR HINGES, PRIVACY SET
    - BATHROOMS / WATER CLOSET ROOMS: 1-1/2" PAIR HINGES, PRIVACY SET
    - WALK-IN CLOSETS: 1-1/2" PAIR HINGES, PASSAGE SET
    - PANTRY: 1-1/2" PAIR HINGES, PASSAGE SET
    - PAIR DOORS (CLOSETS): 3" PAIR HINGES, DUMMY HANDLE SET AND BALL CATCH
  - ALL SINGLE DOORS TO RECEIVE 1-1/2" PAIR OF HINGES, DOUBLE DOORS TO RECEIVE 3" PAIR HINGES.
  - PROVIDE DOOR STOPS FOR ALL DOORS.
  - MAN DOOR FROM GARAGE TO HOUSE IS TO BE A MINIMUM 20 MINUTE FIRE RATED DOOR AND FRAME. DOOR IS TO BE TIGHTLY SEALED AND GASKETED.
  - DOORS TO MECHANICAL ROOMS MAY NEED TO BE FULLY WEATHERSTRIPPED OR FULL LOUVERED. VERIFY WITH G.C. IF APPLICABLE.

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**RICHARD E. SIEGFRIED,**  
LICENSE #8307948  
EXPIRATION DATE 12/31/21  
CONSULTANT:

BULLETIN	DATE

DATE	SET	ISSUED FOR
02-19-21	ISSUED FOR	RSA
02-26-21	PERMITS & ELEVATIONS	ISSUED FOR RZRA
03-01-21	PERMITS & ELEVATIONS	ISSUED FOR NORMAL AHRM REVIEW
03-02-21	PERMITS & ELEVATIONS	ISSUED FOR INFORMAL AHRM REVIEW
04-05-21	PERMITS & ELEVATIONS	ISSUED FOR FINAL AHRM

PROJECT #: 2110

**PROPOSED ATTIC PLAN**

SHEET NUMBER:

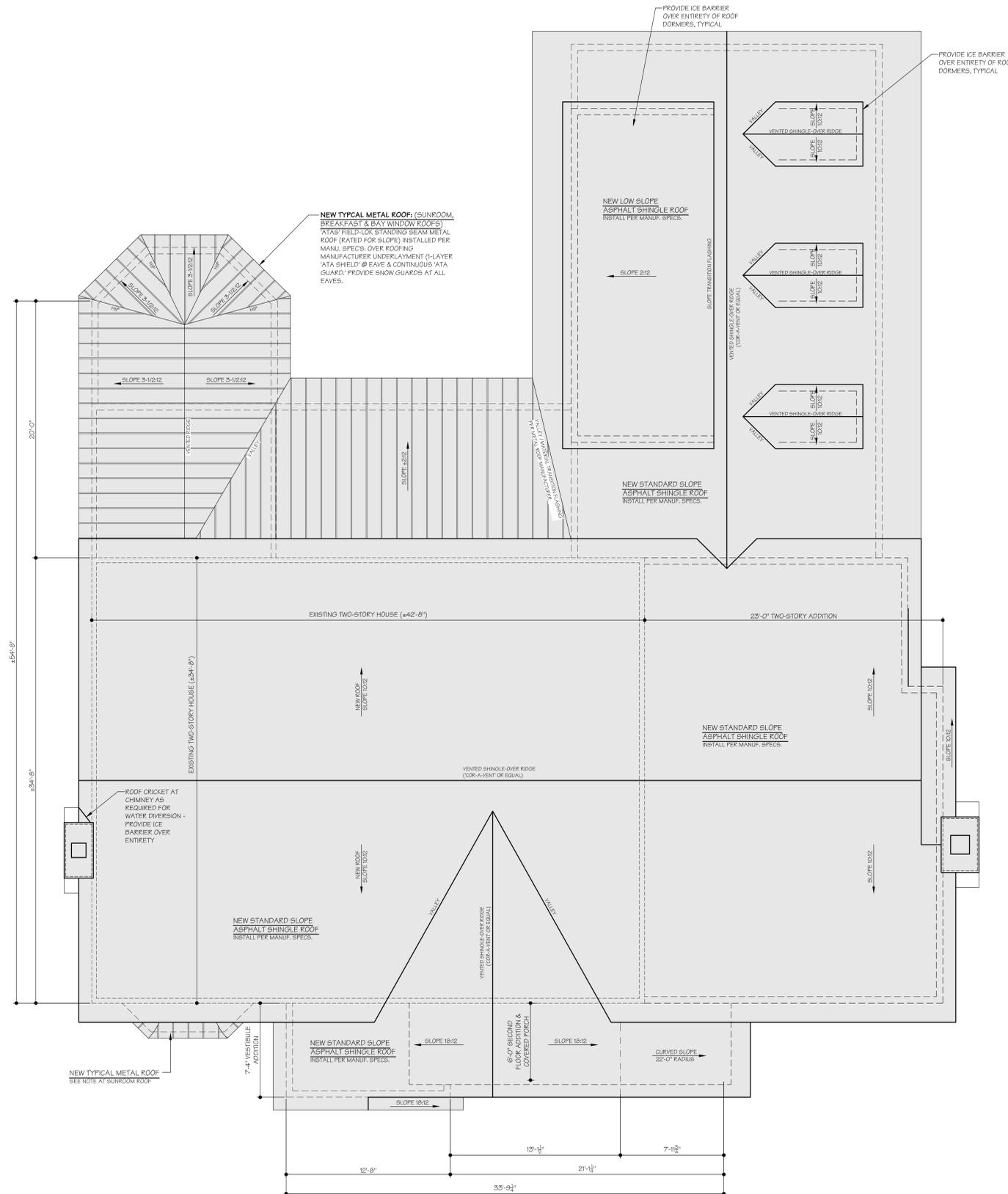
**A-4**

**GENERAL ROOF NOTES:**

- PROVIDE ICE BARRIER, MINIMUM (3) ROWS OF 36" WIDE, CEMENTED TOGETHER AT ALL SLOPED ROOF EAVES AND GABLE ENDS, AND MINIMUM 72" WIDE @ EACH SIDE OF ALL VALLEYS, UNLESS NOTED OTHERWISE ON THE DRAWINGS. LAP PER MANUFACTURER SPECIFICATIONS. NOTE: ICE BARRIER TO EXTEND MINIMUM 24" UP ROOF BEYOND EXTERIOR SIDE OF EXTERIOR WALL. REFER TO SPECIFICATIONS.
- INSTALL ICE BARRIER AT ALL ROOF/WALL INTERSECTIONS. CONTINUE UP SIDE WALLS MINIMUM 18" AND FLASH AS REQUIRED, UNLESS NOTED OTHERWISE ON THE DRAWINGS. REFER TO SPECIFICATIONS.
- INSTALL ALUMINUM VALLEY FLASHING UNDER SHINGLES AT ALL VALLEYS. COORDINATE FLASHING TO MATCH ROOF COLOR, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- PROVIDE METAL DRIP EDGE AT ALL FASCIA AND GABLE ENDS.
- ALL EAVE OVERHANGS TO BE 1'-0" FROM OUTSIDE FACE OF WALL. SHEATHING TO OUTSIDE EDGE OF FASCIA, TYPICAL UNLESS NOTED OTHERWISE ON THE DRAWINGS. ALL GABLE END OVERHANGS TO BE 1'-0" FROM OUTSIDE FACE OF WALL. SHEATHING TO OUTSIDE EDGE OF FASCIA, TYPICAL UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- REFER TO ELEVATIONS AND FOUNDATION PLAN FOR GUTTER & DOWNSPOUT LOCATIONS.
- REFER TO SPECIFICATIONS, SECTIONS AND FLASHING DETAILS FOR MORE INFORMATION.

**ROOF VENTILATION:**

- ROOF VENTILATION IS REQUIRED AT ALL ENCLOSED ATTICS AND ENCLOSED RAFTER/TRUSS SPACES FORMED WHERE CEILING ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS/TRUSSES.
- CROSS VENTILATION SHALL BE PROVIDED AT EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW.
- RIDGE VENTS TO BE INSTALLED PER MANUFACTURER'S WRITTEN SPECIFICATIONS.
- THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 150% OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 130% PROVIDED THAT AT LEAST 50% AND NOT MORE THAN 80% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 2'-0" ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION BY EAVE OR SOFFIT.
- FOR ANY OVERBUILT ROOF CONDITIONS - CONTRACTOR TO PROVIDE A MIN. (3) SQUARE FOOT OPENINGS THRU THE ROOF SHEATHING TO PROVIDE ADEQUATE VENTILATION IN OVERBUILT SPACES.
- REFER TO SPECIFICATIONS FOR ROOF VENTILATION REQUIREMENTS THAT ARE NOT SPECIFIED ON THIS DRAWING.



**PROPOSED ROOF PLAN**

SCALE: 1/4" = 1'-0"



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LICENSE #3307349  
EXPIRATION DATE 12/31/21  
CONSULTANT:

BULLETIN DATE


DATE	SET	ISSUANCE
02-19-21	ISSUED FOR RSA	
02-26-21	PLANS & ELEVATIONS ISSUED FOR RDMA	
03-01-21	ISSUED FOR INFORMAL AHRM REVIEW	
03-02-21	ISSUED FOR INFORMAL AHRM REVIEW	
04-05-21	ISSUED FOR FINAL AHRM	

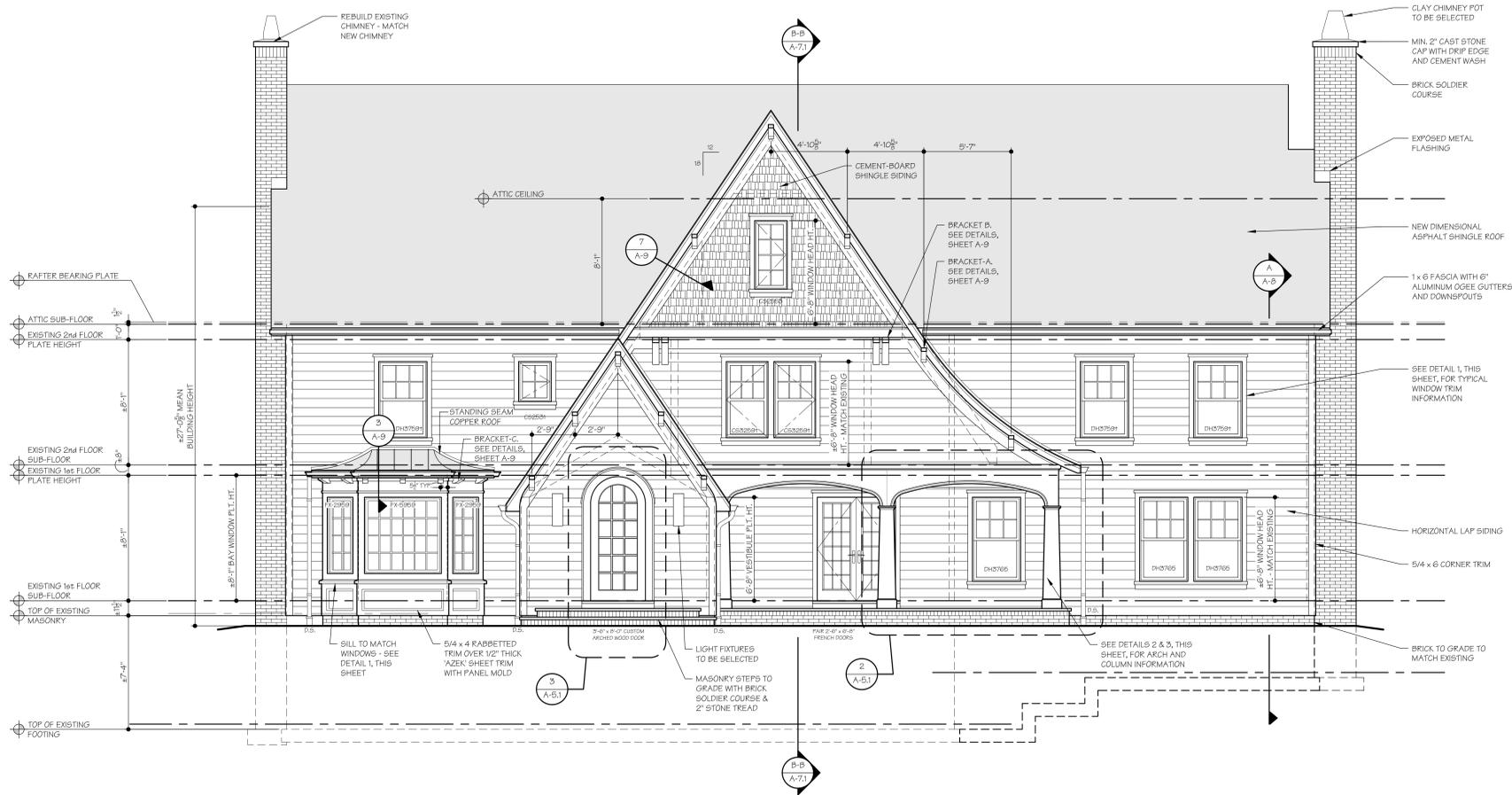
PROJECT #: 2110

**PROPOSED  
ROOF PLAN**

SHEET NUMBER:

**A-4.1**

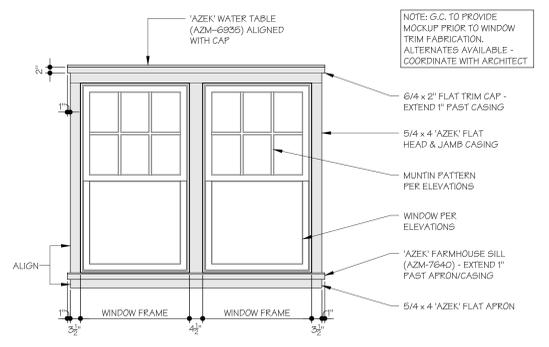
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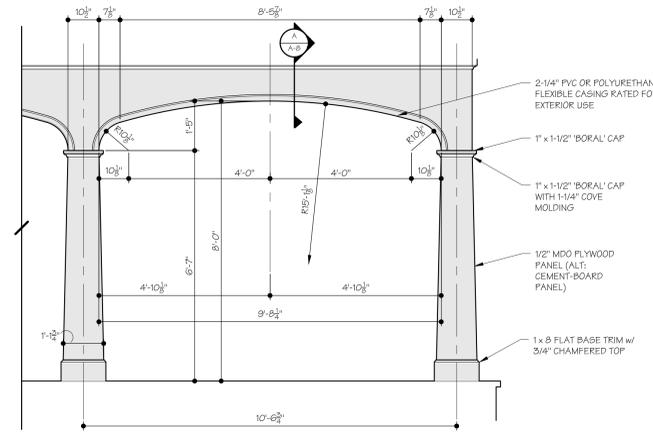
**PROPOSED FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



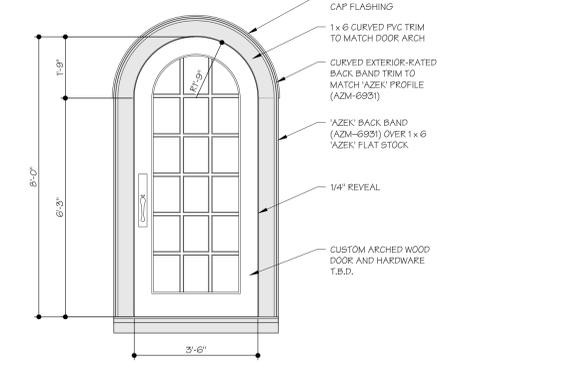
**EXISTING FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**PROPOSED WINDOW TRIM DETAIL**  
SCALE: 1/2" = 1'-0"



**FRONT ARCHWAY & COLUMN DETAIL**  
SCALE: 1/2" = 1'-0"



**SIDE ARCHWAY & COLUMN DETAIL**  
SCALE: 1/2" = 1'-0"

- WINDOW NOTES:**
- ALL NEW WINDOWS ARE MARVIN® LOW "E" (SERIES TO BE SELECTED BY OWNER), UNLESS NOTED OTHERWISE ON THE DRAWINGS. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
  - ALL NEW WINDOWS ARE (DH) DOUBLE HUNG, (CS) CASEMENT, (AW) AWNINGS, (FX) FIXED, (TR) TRANSOM OR (SP) SPECIALTY AS NOTED ON THE DRAWINGS.
  - MAXIMUM U-FACTOR: 0.30
  - SOME WINDOWS MAY REQUIRE TEMPERING. SEE "TEMPERED GLASS NOTES" ON ELEVATIONS AND VERIFY WITH SUPPLIER.
  - ALL OPERABLE WINDOWS TO BE PROVIDED WITH INSECT SCREENS.
  - CALL OUT NUMBERS ARE EXPRESSED IN INCHES AND EXPRESS NOMINAL ROUGH OPENING SIZE (2460 ± 2'-0" WIDE x 5'-0" HIGH).
  - SLEEPING ROOM WINDOWS - MUST MEET EGRESS CODE.
  - SEE ELEVATIONS FOR LOCATIONS AND PATTERNS OF WINDOW UNITS WITH GRILLES.
- TEMPERED GLASS NOTES:**
- TEMPERED GLASS TO BE PROVIDED AS REQUIRED BY IBC, SECTION 703.
  - TEMPERED GLASS TO BE LOCATED IN ALL HAZARDOUS LOCATIONS AS IDENTIFIED IN THE CODE.
  - HAZARDOUS LOCATIONS ARE TO INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING LOCATIONS. WINDOW SUPPLIER TO VERIFY.
    - GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SLIDING AND BIFOLD CLOSET DOOR ASSEMBLIES.
    - GLAZING IN STORM DOORS.
    - GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, AND SHOWERS.
    - GLAZING IN ANY PART OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.
    - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.
    - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, OTHER THAN THOSE LOCATIONS DESCRIBED IN ITEMS 5 AND 6 ABOVE, THAT MEETS ALL THE FOLLOWING CONDITIONS:
      - EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9 SQUARE FEET.
      - BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR.
      - TOP EDGE GREATER THAN 36" ABOVE THE FLOOR.
      - ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE GLAZING.
    - GLAZING ADJACENT TO STAIRWAYS, LANDING AND RAMPS WITHIN 36" HORIZONTALLY OF A WALKING SURFACE WHEN THE PLANE OF THE ADJACENT WALKING SURFACE.
    - GLAZING ADJACENT TO STAIRWAYS WITHIN 60" OF THE BOTTOM TREAD OF THE STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD.
- EXTERIOR DOOR NOTES:**
- ALL EXTERIOR DOORS TO INCLUDE ALL HARDWARE, INCLUDING LOCK SETS.
  - ALL EXTERIOR DOORS TO BE FULLY WEATHERSTRIPPED.
  - DOOR AND SIDELIGHT GLASS TO BE TEMPERED AND LOW-E.
  - ENTRY DOOR STYLES PER ELEVATIONS.
  - ALL PATIO DOORS (SLIDING AND/OR SWINGING) TO BE MARVIN® LOW-E TO MATCH WINDOW SERIES UNLESS NOTED OTHERWISE. INSTALL PER MANUFACTURER SPECIFICATIONS.
- SEE SHEET A-6.1 FOR EXTERIOR FINISH SCHEDULE**

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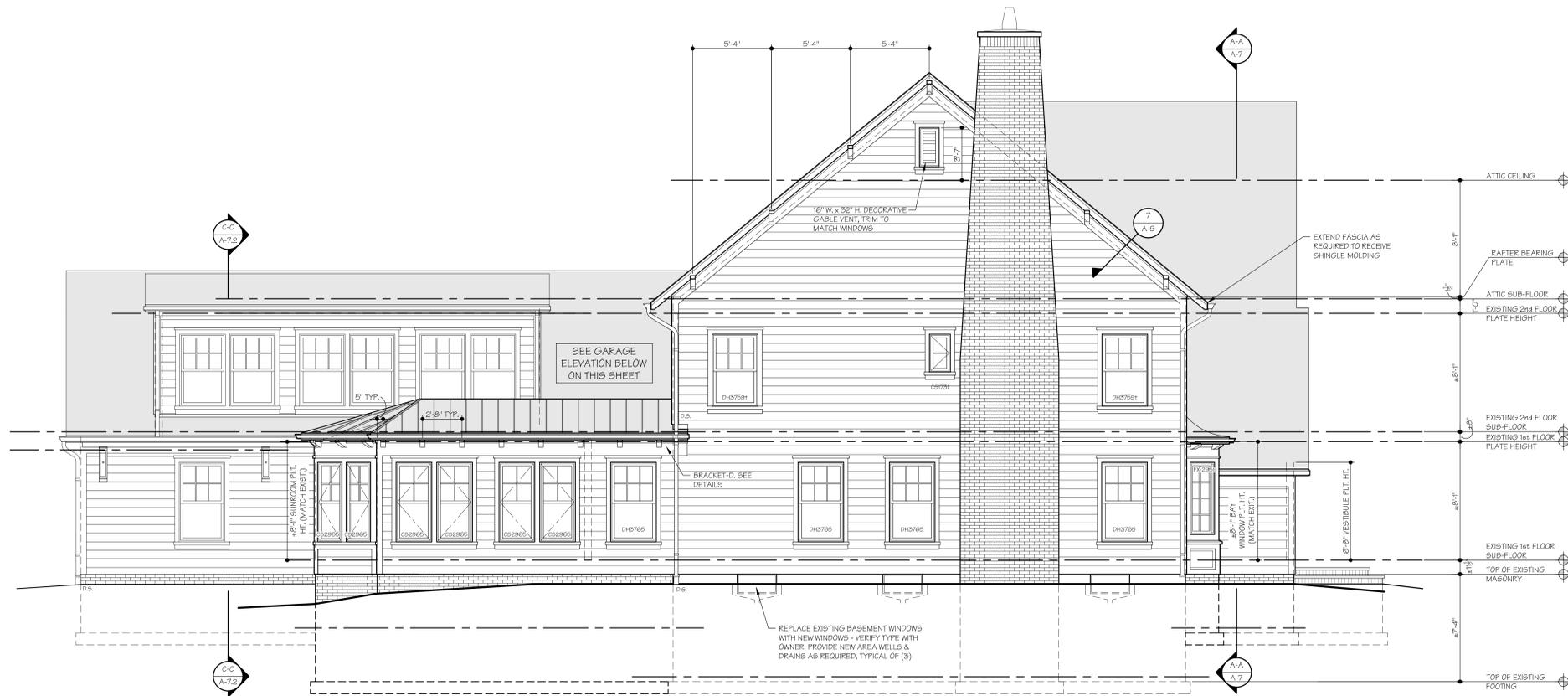
SEAL:  
RICHARD E. SIEGFRIED,  
LICENSE #3307948  
EXPIRATION DATE 12/31/21  
CONSULTANT:

DATE	ISSUE	ISSUED FOR
02-19-21	ISSUED FOR RSA	
02-26-21	PERMITS & ELEVATIONS ISSUED FOR RDPA	
03-01-21	ISSUED FOR INFORMAL AHER REVIEW	
03-02-21	ISSUED FOR INFORMAL AHER REVIEW	
04-05-21	ISSUED FOR FINAL AHER	

BULLETIN	DATE

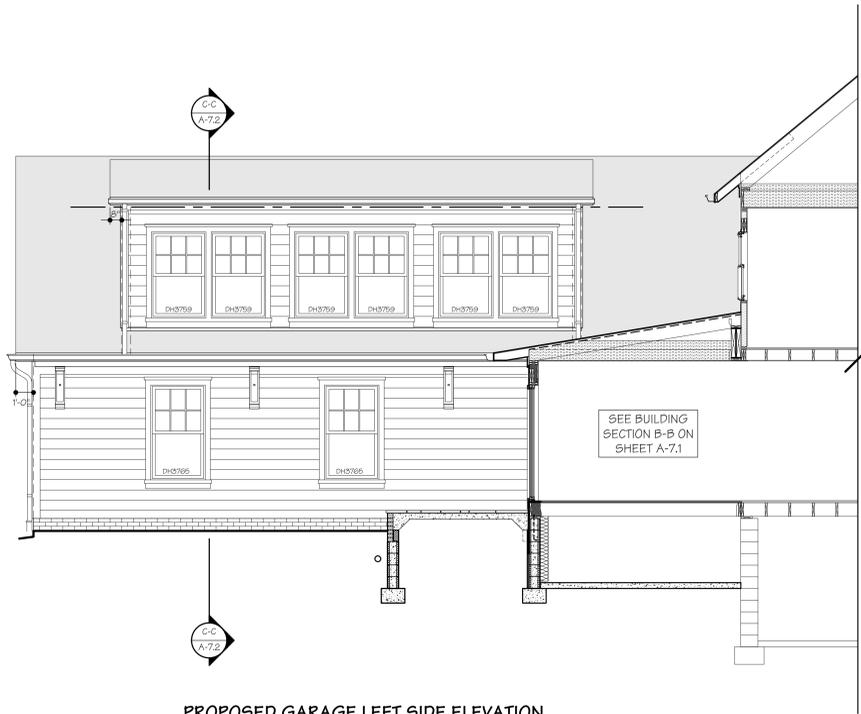
PROJECT #: 2110  
**EXISTING & PROPOSED FRONT ELEVATIONS**  
SHEET NUMBER:

**A-5.1**



**PROPOSED LEFT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



**PROPOSED GARAGE LEFT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



**EXISTING LEFT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

**WINDOW NOTES:**

1. ALL NEW WINDOWS ARE MARVIN® LOW "E" (SERIES TO BE SELECTED BY OWNER), UNLESS NOTED OTHERWISE ON THE DRAWINGS. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
2. ALL NEW WINDOWS ARE (DH) DOUBLE HUNG, (CS) CASEMENT, (AW) AWNING, (FX) FIXED, (TR) TRANSOM OR (SP) SPECIALTY AS NOTED ON THE DRAWINGS.
3. MAXIMUM U-FACTOR: 0.30
4. SOME WINDOWS MAY REQUIRE TEMPERING. SEE "TEMPERED GLASS NOTES" ON ELEVATIONS AND VERIFY WITH SUPPLIER.
5. ALL OPERABLE WINDOWS TO BE PROVIDED WITH INSECT SCREENS.
6. CALL OUT NUMBERS ARE EXPRESSED IN INCHES AND EXPRESS NOMINAL ROUGH OPENINGS SIZE (OAGS = 2'-0" WIDE x 5'-0" HIGH).
7. SLEEPING ROOM WINDOWS - 1 MUST MEET EGRESS CODE.
8. SEE ELEVATIONS FOR LOCATIONS AND PATTERNS OF WINDOW UNITS WITH GRILLES.

**EXTERIOR DOOR NOTES:**

1. ALL EXTERIOR DOORS TO INCLUDE ALL HARDWARE, INCLUDING LOCK SETS.
2. ALL EXTERIOR DOORS TO BE FULLY WEATHERSTRIPPED.
3. DOOR AND SIDELIGHT GLASS TO BE TEMPERED AND LOW-E.
4. ENTRY DOOR STYLES PER ELEVATIONS.
5. ALL PATIO DOORS (SLIDING AND/OR SWINGING) TO BE MARVIN® LOW-E TO MATCH WINDOW SERIES UNLESS NOTED OTHERWISE. INSTALL PER MANUFACTURER SPECIFICATIONS.

**TEMPERED GLASS NOTES:**

1. TEMPERED GLASS TO BE PROVIDED AS REQUIRED BY IBC, SECTION 708.
2. TEMPERED GLASS TO BE LOCATED IN ALL HAZARDOUS LOCATIONS AS IDENTIFIED IN THE CODE.
3. HAZARDOUS LOCATIONS ARE TO INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING LOCATIONS. WINDOW SUPPLIER TO VERIFY.
  - 3.1. GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SLIDING AND BIFOLD CLOSET DOOR ASSEMBLIES.
  - 3.2. GLAZING IN STORM DOORS.
  - 3.3. GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, AND SHOWERS.
  - 3.4. GLAZING IN ANY PART OF A BUILDING WALL ENCLLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.
  - 3.5. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.
  - 3.5. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, OTHER THAN THOSE LOCATIONS DESCRIBED IN ITEMS 3 AND 3.4 ABOVE, THAT MEETS ALL THE FOLLOWING CONDITIONS:
    - 3.5.1. EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9 SQUARE FEET.
    - 3.5.2. BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR.
    - 3.5.3. TOP EDGE GREATER THAN 36" ABOVE THE FLOOR.
    - 3.5.4. ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE GLAZING.
    - 3.5.5. GLAZING ADJACENT TO STAIRWAYS, LANDING AND RAMPS WITHIN 36" HORIZONTALLY OF A WALKING SURFACE WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60" ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.
    - 3.5.6. GLAZING ADJACENT TO STAIRWAYS WITHIN 60" OF THE BOTTOM TREAD OF THE STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD.

SEE SHEET A-6.1 FOR EXTERIOR FINISH SCHEDULE

**Addition & Renovation  
BOAZ RESIDENCE**

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HUDSON, OHIO 44236

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**RICHARD E. SIEGFRIED,**  
LICENSE #3307948  
EXPIRATION DATE 12/31/21  
CONSULTANT:

BULLETIN DATE

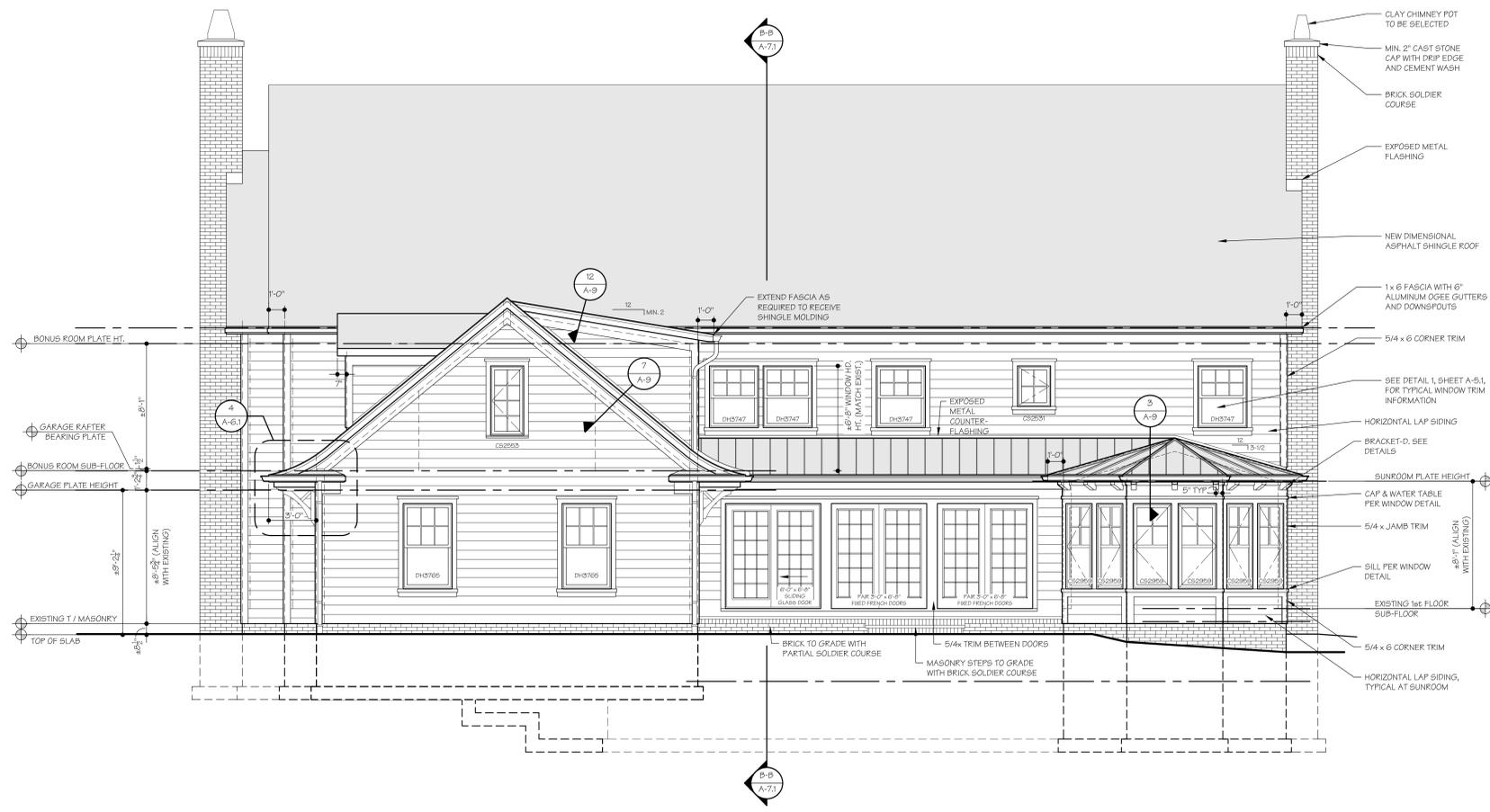
DATE	ISSUED FOR	ISSUED FOR
02-19-21	ISSUED FOR RIBA	
02-26-21	PERMITS & ELEVATIONS ISSUED FOR RIBA	
03-01-21	ISSUED FOR INFORMAL AHRK REVIEW	
03-02-21	ISSUED FOR INFORMAL AHRK REVIEW	
04-05-21	ISSUED FOR FINAL AHRB	

PROJECT #: 2110

**EXISTING & PROPOSED LEFT SIDE ELEVATIONS**

SHEET NUMBER:

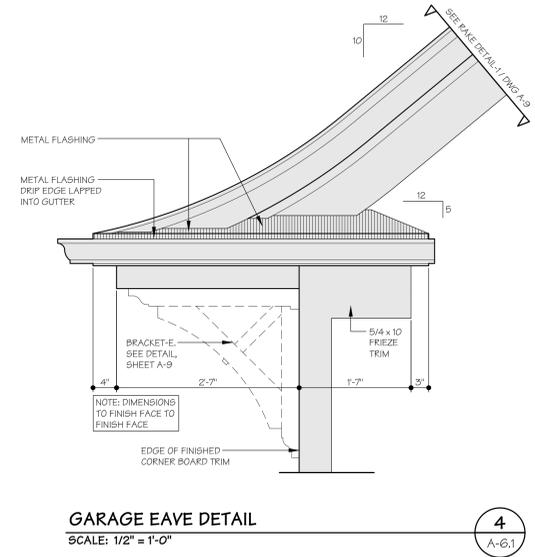
**A-5.2**



**PROPOSED REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**EXISTING REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**GARAGE EAVE DETAIL**  
SCALE: 1/2" = 1'-0"

**WINDOW NOTES:**

1. ALL NEW WINDOWS ARE MARVIN® LOW "E" (SERIES TO BE SELECTED BY OWNER), UNLESS NOTED OTHERWISE ON THE DRAWINGS, INSTALL PER MANUFACTURER'S SPECIFICATIONS.
2. ALL NEW WINDOWS ARE (DH) DOUBLE HUNG, (CB) CASEMENT, (AW) AWNING, (FX) FIXED, (TR) TRANSOM OR (SP) SPECIALTY AS NOTED ON THE DRAWINGS.
3. MAXIMUM U-FACTOR: 0.30
4. SOME WINDOWS MAY REQUIRE TEMPERING. SEE "TEMPERED GLASS NOTES" ON ELEVATIONS AND VERIFY WITH SUPPLIER.
5. ALL OPERABLE WINDOWS TO BE PROVIDED WITH INSECT SCREENS.
6. CALL OUT NUMBERS ARE EXPRESSED IN INCHES AND EXPRESS NOMINAL ROUGH OPENING SIZE (2460 = 2'-0" WIDE x 5'-0" HIGH).
7. SLEEPING ROOM WINDOWS - I MUST MEET EGRESS CODE.
8. SEE ELEVATIONS FOR LOCATIONS AND PATTERNS OF WINDOW UNITS WITH GRILLES.

**TEMPERED GLASS NOTES:**

1. TEMPERED GLASS TO BE PROVIDED AS REQUIRED BY IBCO, SECTION 3008.
2. TEMPERED GLASS TO BE LOCATED IN ALL HAZARDOUS LOCATIONS AS IDENTIFIED IN THE CODE.
3. HAZARDOUS LOCATIONS ARE TO INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING LOCATIONS. WINDOW SUPPLIER TO VERIFY.
  - 3.1. GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SLIDING AND BIFOLD CLOSET DOOR ASSEMBLIES.
  - 3.2. GLAZING IN STORM DOORS.
  - 3.3. GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, AND SHOWERS. GLAZING IN ANY PART OF A BUILDING WALL ENCLOSED THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.
  - 3.4. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.
  - 3.5. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, OTHER THAN THOSE LOCATIONS DESCRIBED IN ITEMS 3 AND 6 ABOVE, THAT MEETS ALL THE FOLLOWING CONDITIONS:
    - 3.5.1. EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9 SQUARE FEET.
    - 3.5.2. BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR.
    - 3.5.3. TOP EDGE GREATER THAN 36" ABOVE THE FLOOR.
    - 3.5.4. ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE GLAZING.
  - 3.6. GLAZING ADJACENT TO STAIRWAYS, LANDING AND RAMPS WITHIN 36" HORIZONTALLY OF A WALKING SURFACE WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60" ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.
  - 3.7. GLAZING ADJACENT TO STAIRWAYS WITHIN 60" OF THE BOTTOM TREAD OF THE STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD.

**EXTERIOR DOOR NOTES:**

1. ALL EXTERIOR DOORS TO INCLUDE ALL HARDWARE, INCLUDING LOCK SETS.
2. ALL EXTERIOR DOORS TO BE FULLY WEATHERSTRIPPED.
3. DOOR AND SIDELIGHT GLASS TO BE TEMPERED AND LOW-E.
4. ENTRY DOOR STYLES PER ELEVATIONS.
5. ALL PATIO DOORS (SLIDING AND/OR SWINGING) TO BE MARVIN® LOW-E TO MATCH WINDOW SERIES UNLESS NOTED OTHERWISE, INSTALL PER MANUFACTURER SPECIFICATIONS.

EXTERIOR FINISH SCHEDULE		
FINISH TYPE	MANUFACTURER / PRODUCT	COLOR
Asphalt Roof Shingles	CertainTeed Grand Manor®	Gatehouse Slate
Metal Roof	ATAS® Standing Seam w/ Snow Guard	Copper
Exposed Metal Flashing	Copper	Copper
Metal Drip Edge @ Shingles		Black or as selected by owner
Soffit	Boral® or Azek®	Paint to match windows
Decorative Gable Vents	Fypon® or equal	Paint to match windows
Front Porch Ceiling/Soffit	Boral® or Azek® Beadboard (alt: T&G Pine)	Paint to match windows
Fascia & Rake Board	Boral® or Azek®	Paint to match windows
Rake, Window & Door Trim, Column Wrap	Boral® or Azek®	Paint to match windows
Corner Trim	Boral® or Azek®	Paint to match windows
Window Crosshead, Sills & Trim Moldings, Brackets	Boral® or Azek®	Paint to match windows
Brick	Match existing	Match existing
Lap Siding	James Hardie® HardiePlank® cement-board siding, Select Cedarmill (7" exposure)	Cobble Stone
Shingle Siding	James Hardie® HardieShingle® cement-board siding, staggered edge panel (6" exposure)	Cobble Stone
Gutters	6" Aluminum Ogee	Paint to match windows
Downspouts	4" Aluminum	Paint to match windows
Windows & Patio Doors	Marvin® - Series T.B.D.	Stone white
Front Door	Tru-Stile® Custom Wood Door	Stain, selection per owner
Garage Man Door	Tru-Stile® Wood Door	Stain, selection per owner
Garage Doors	CHI Overhead Doors® Steel Overlay Carriage House, Design 30, Stockton Window design, plain glass (Alt: overlay recessed long panel)	White
Exterior Stone Flooring	2" Natural Stone	Selection per owner

**Addition & Renovation  
BOAZ RESIDENCE**  
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HUDSON, OHIO 44236

**RSA ARCHITECTS, LLC**  
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**CONSULTANT:**  
RICHARD E. SIEGFRIED,  
LICENSE #6837849  
EXPIRATION DATE 12/31/21

BULLETIN	DATE

DATE SET ISSUANCE	REVISION	REVISION	REVISION	REVISION	REVISION
02/18/21					
02/26/21					
02/26/21					
02/26/21					
02/26/21					
04/25/21					

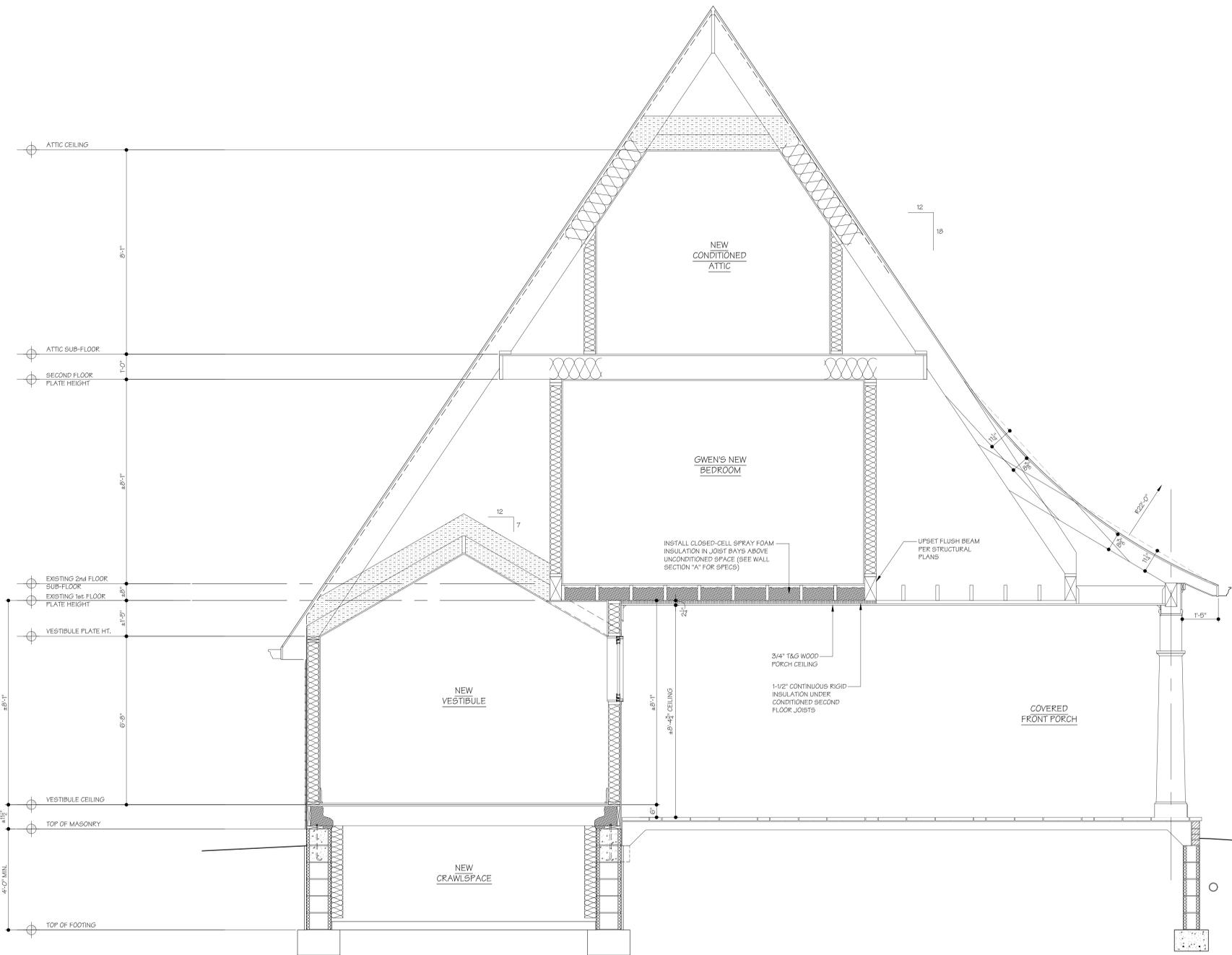
PROJECT # 2110

**EXISTING & PROPOSED REAR ELEVATIONS & FINISH SCHEDULE**

SHEET NUMBER:

**A-6.1**





VESTIBULE / PORCH BUILDING SECTION  
 SCALE: 1/2" = 1'-0"

A-A  
 A-7

**Addition & Renovation  
 BOAZ RESIDENCE**  
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 LICENSE #8307948  
 EXPIRATION DATE 12/31/21  
 CONSULTANT:

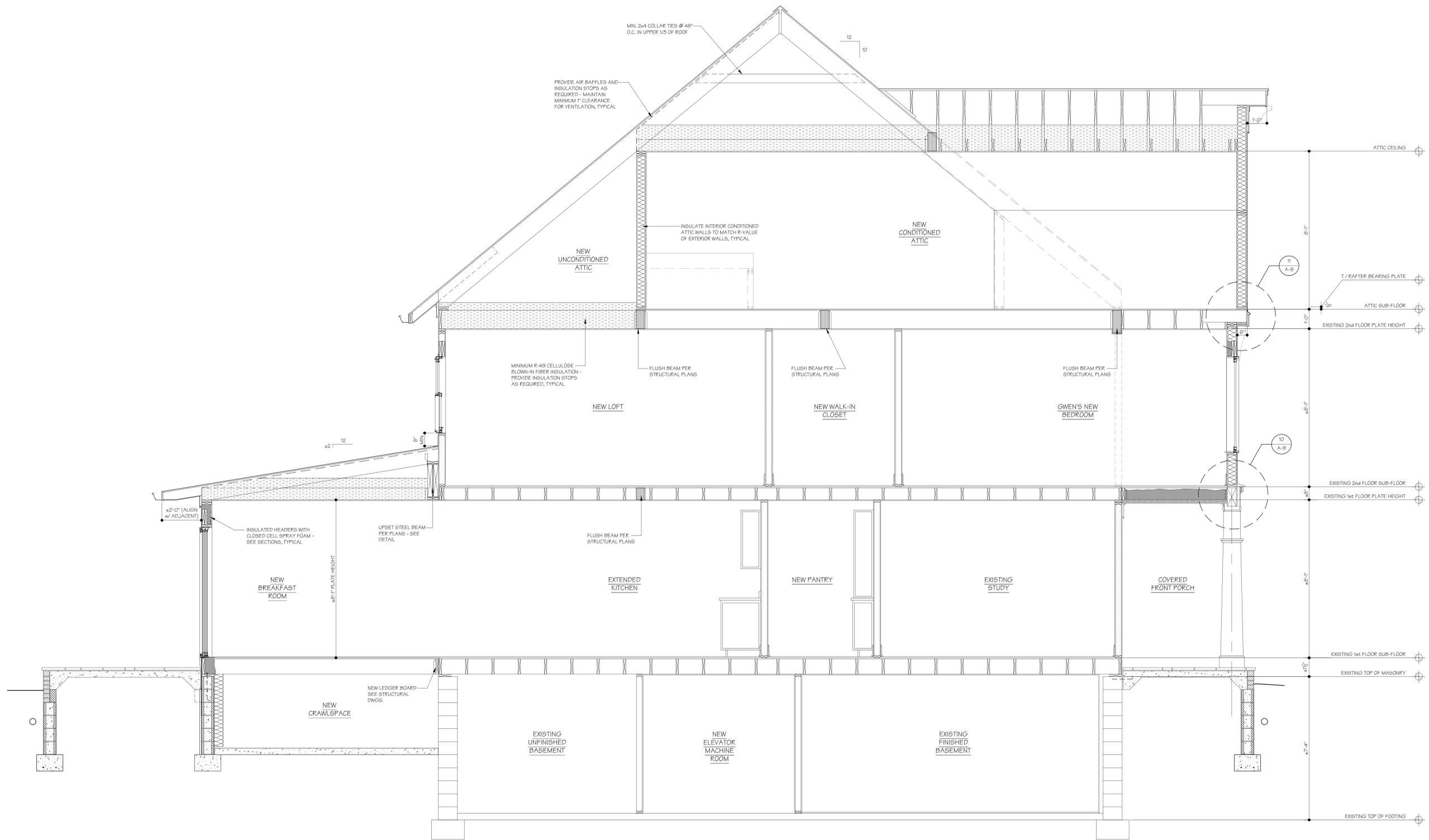
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DATE	ISSUANCE
02-19-21	ISSUED FOR RSA
02-26-21	PLANS & ELEVATIONS ISSUED FOR RZMA
03-01-21	ISSUED FOR INFORMAL AHRB REVIEW
03-02-21	ISSUED FOR INFORMAL AHRB REVIEW
04-06-21	ISSUED FOR FINAL AHRB

PROJECT # 2110

BUILDING SECTION A-A

SHEET NUMBER:  
**A-7**



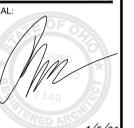
**MAIN BUILDING SECTION**  
SCALE: 1/2" = 1'-0"

**B-B**  
A-7.1

**Addition & Renovation  
BOAZ RESIDENCE**

3332 SIMON ROAD  
HUDSON, OHIO 44236

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4/5/21  
RICHARD E. SIEGFRIED,  
LICENSE #8307949  
EXPIRATION DATE 12/31/21  
CONSULTANT:

BULLETIN	DATE

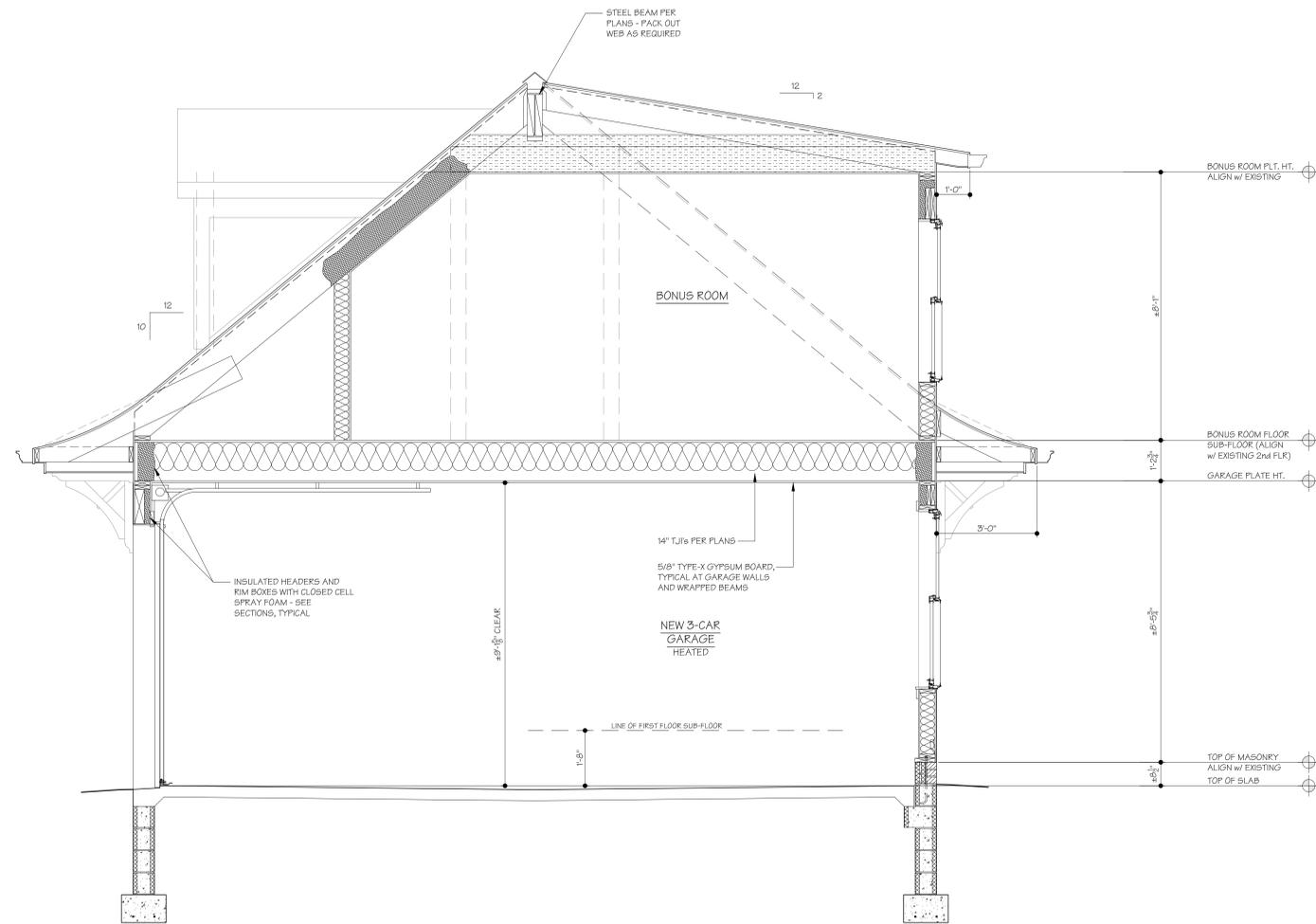
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02-26-21	PLANS & ELEVATIONS ISSUED FOR RIBA	
03-01-21	REVISIT FOR INFORMAL AHPB REVIEW	
03-02-21	REVISIT FOR INFORMAL AHPB REVIEW	
04-05-21	ISSUED FOR FINAL AHPB	

PROJECT #: 2110

**BUILDING SECTION B-B**

SHEET NUMBER:

**A-7.1**



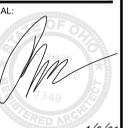
**GARAGE BUILDING SECTION**  
SCALE: 1/2" = 1'-0"

**C-C**  
A-7.2

**Addition & Renovation  
BOAZ RESIDENCE**

332 SIMON ROAD  
HUDSON, OHIO 44236

**RSA ARCHITECTS, LLC**  
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LICENSE #8307949  
EXPIRATION DATE 12/31/21  
CONSULTANT:

BULLETIN	DATE

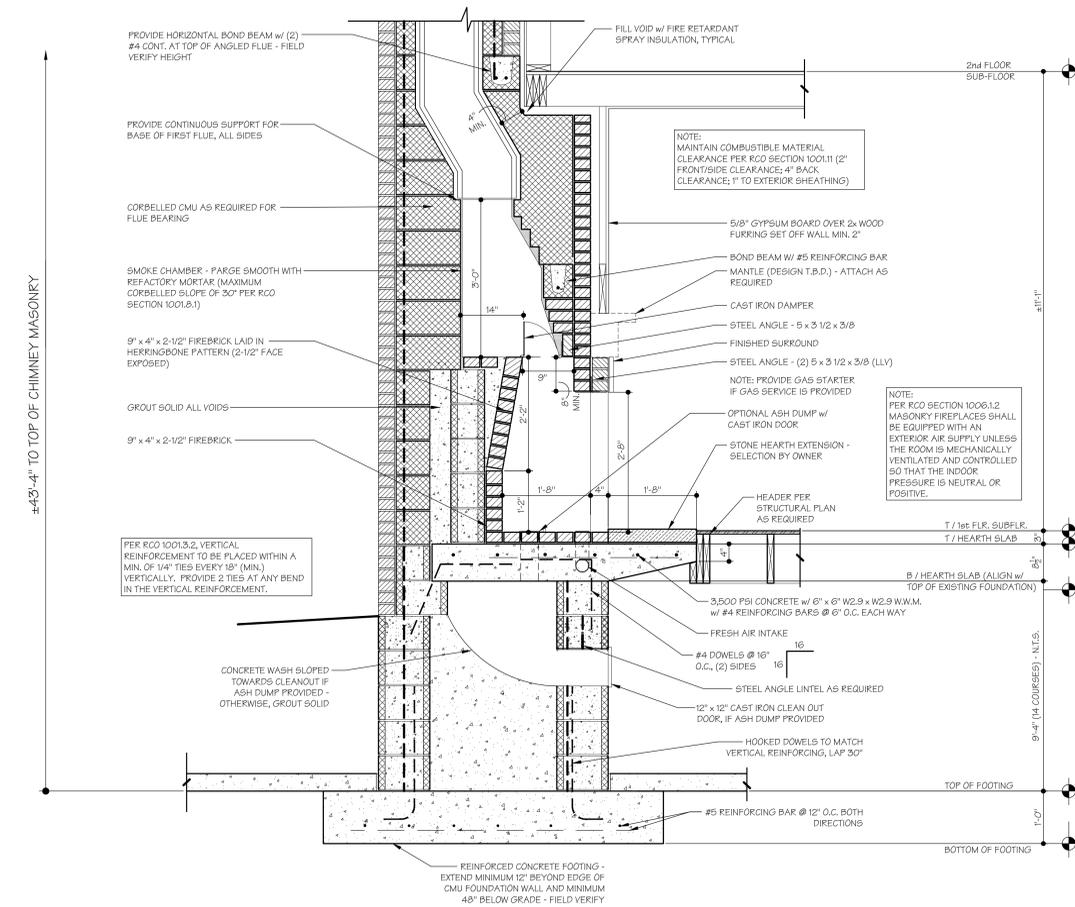
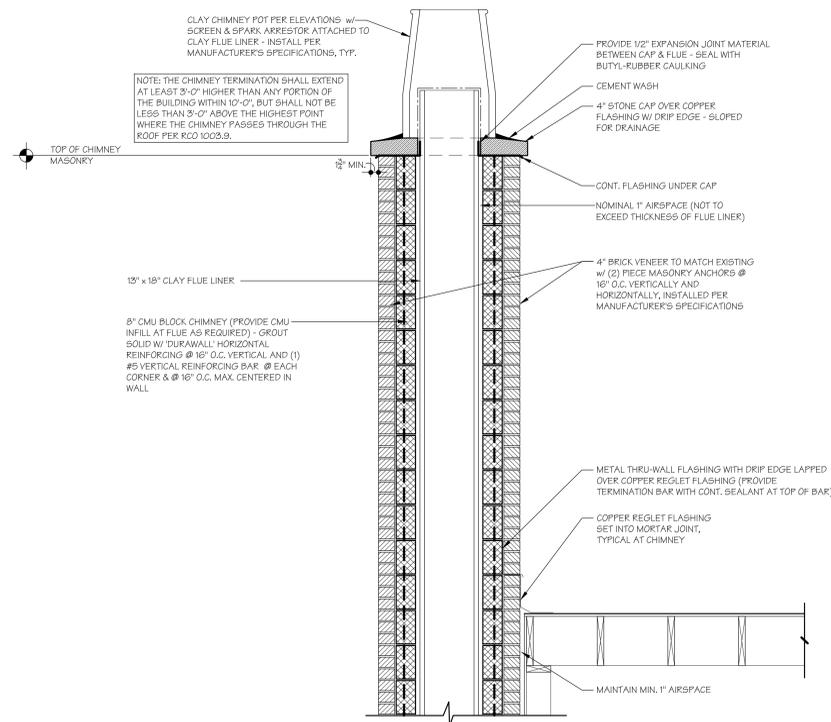
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02-26-21	PLANS & ELEVATIONS ISSUED FOR RIBA	
03-01-21	ISSUED FOR INFORMAL AHRK REVIEW	
03-02-21	ISSUED FOR INFORMAL AHRK REVIEW	
04-06-21	ISSUED FOR FINAL AHRK	

PROJECT # 2110

**BUILDING  
SECTION C-C**

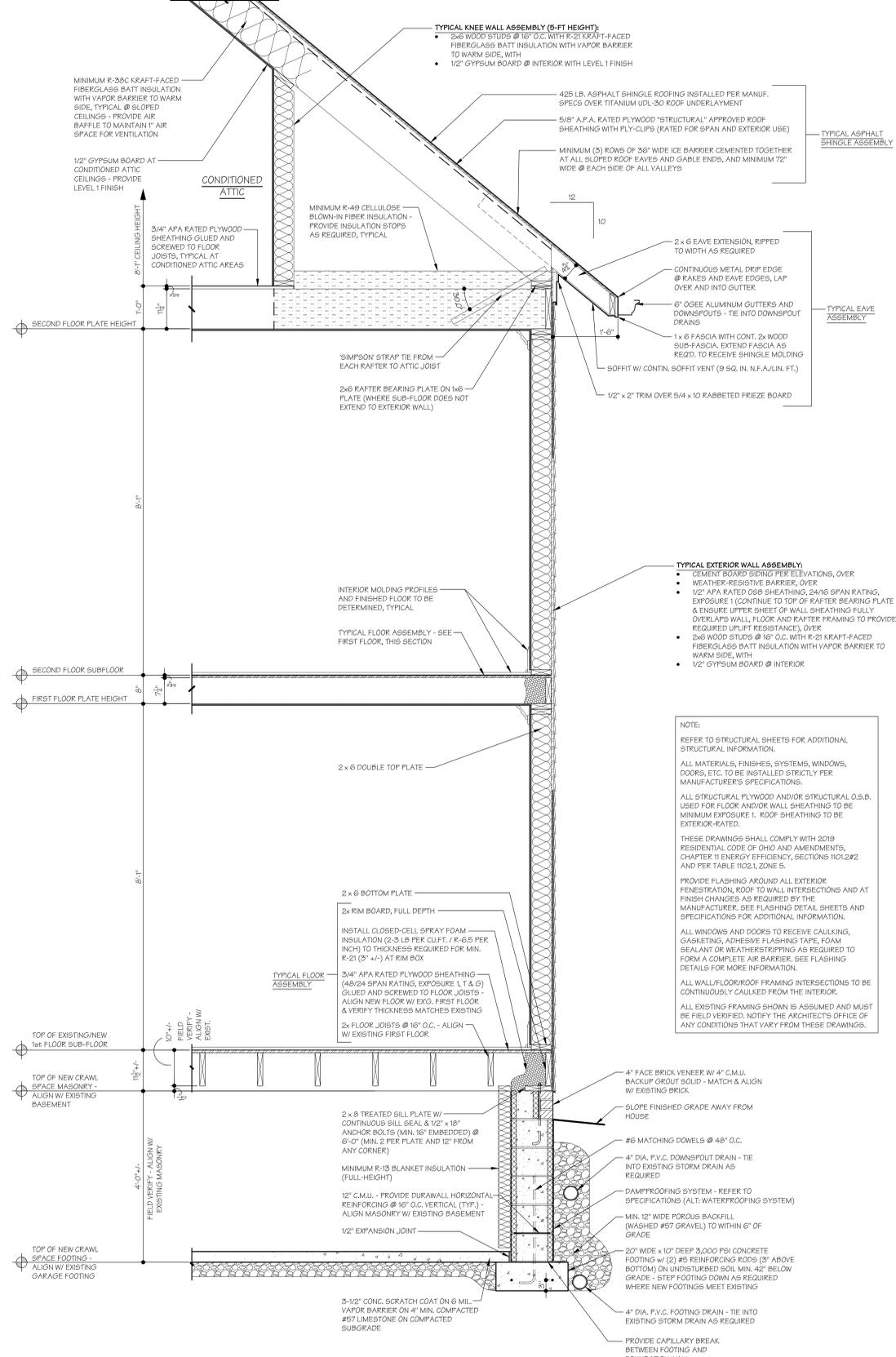
SHEET NUMBER:

**A-7.2**



WALL SECTION @ NEW FIREPLACE  
SCALE: 3/4" = 1'-0"

B  
A-B



WALL SECTION @ TWO-STORY ADDITION  
SCALE: 3/4" = 1'-0"

A  
A-B

**Addition & Renovation**  
**BOAZ RESIDENCE**  
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HUDSON, OHIO 44126

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DATE	ISSUE	DATE	ISSUE
02-19-21	ISSUED FOR RIBA	02-26-21	REVISIONS ISSUED FOR RIBA
03-01-21	REVISIONS ISSUED FOR RIBA	03-01-21	REVISIONS ISSUED FOR RIBA
03-02-21	REVISIONS ISSUED FOR RIBA	03-02-21	REVISIONS ISSUED FOR RIBA
04-05-21	ISSUED FOR FINAL		

DATE	ISSUE
02-19-21	ISSUED FOR RIBA
02-26-21	REVISIONS ISSUED FOR RIBA
03-01-21	REVISIONS ISSUED FOR RIBA
03-02-21	REVISIONS ISSUED FOR RIBA
04-05-21	ISSUED FOR FINAL

PROJECT #: 2110

WALL SECTIONS

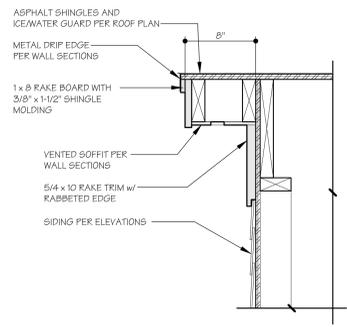
SHEET NUMBER:

A-8

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PLACEHOLDER

**GARAGE CANOPY DETAIL (LEFT SIDE)**  
SCALE: 1" = 1'-0"



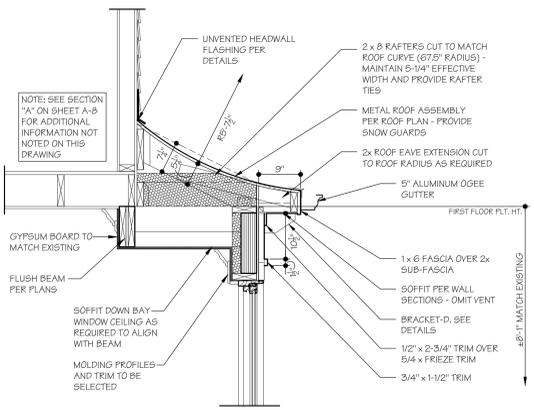
**GARAGE SHED DORMER RAKE DETAIL**  
SCALE: 1-1/2" = 1'-0"

PLACEHOLDER

**FRONT GABLE CANTILEVER DETAIL**  
SCALE: 1-1/2" = 1'-0"

PLACEHOLDER

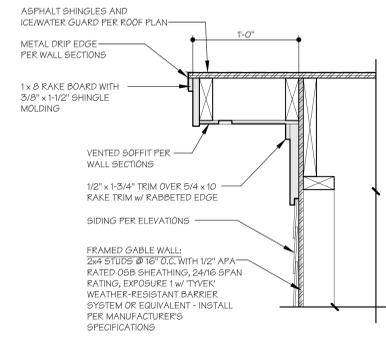
**ARCH TRIM DETAIL**  
SCALE: 1-1/2" = 1'-0"



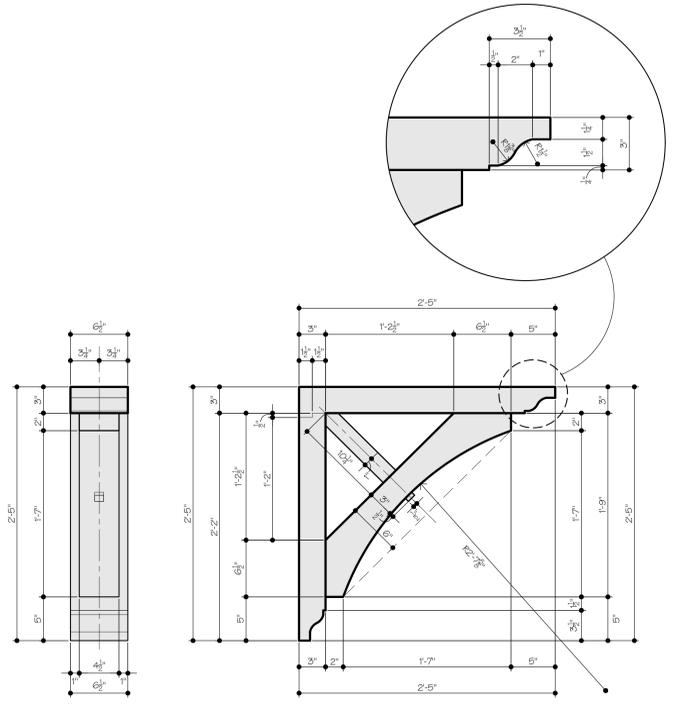
**BAY WINDOW DETAIL**  
SCALE: 3/4" = 1'-0"

PLACEHOLDER

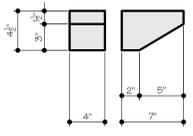
**SUNROOM OVERHANG DETAIL**  
SCALE: 1-1/2" = 1'-0"



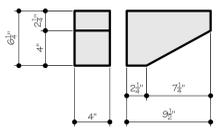
**TYPICAL RAKE DETAIL**  
SCALE: 1-1/2" = 1'-0"



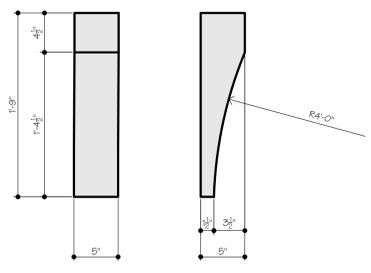
**BRACKET-E: GARAGE**  
SCALE: 1-1/2" = 1'-0" (3" = 1'-0" END DETAIL)



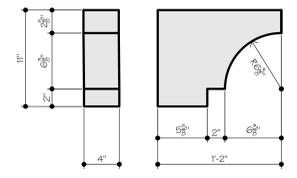
**BRACKET-C: BAY WINDOW**  
SCALE: 1-1/2" = 1'-0"



**BRACKET-D: SUNROOM**  
SCALE: 1-1/2" = 1'-0"



**BRACKET-B: FRONT GABLE CANTILEVER**  
SCALE: 1-1/2" = 1'-0"



**BRACKET-A: MAIN**  
SCALE: 1-1/2" = 1'-0"

**BRACKET DETAILS**  
SCALE: AS NOTED

**Addition & Renovation  
BOAZ RESIDENCE**  
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SEAL:  
RICHARD E. SIEGFRIED  
LICENSE #3307948  
EXPIRATION DATE 12/31/21  
CONSULTANT:

BULLETIN DATE

DATE SET ISSUANCE	ISSUED FOR RSA
02-19-21	ISSUED FOR BOAZ
02-26-21	PLAN & ELEVATIONS ISSUED FOR BOAZ
03-01-21	REVISIONS FOR INFORMAL AHRK REVIEW
03-02-21	REVISIONS FOR INFORMAL AHRK REVIEW
04-05-21	ISSUED FOR FINAL AHRK

PROJECT #	2110
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DATE SET ISSUANCE	ISSUED FOR RSA
02-19-21	ISSUED FOR BOAZ
02-26-21	PLAN & ELEVATIONS ISSUED FOR BOAZ
03-01-21	REVISIONS FOR INFORMAL AHRK REVIEW
03-02-21	REVISIONS FOR INFORMAL AHRK REVIEW
04-05-21	ISSUED FOR FINAL AHRK

PROJECT # 2110

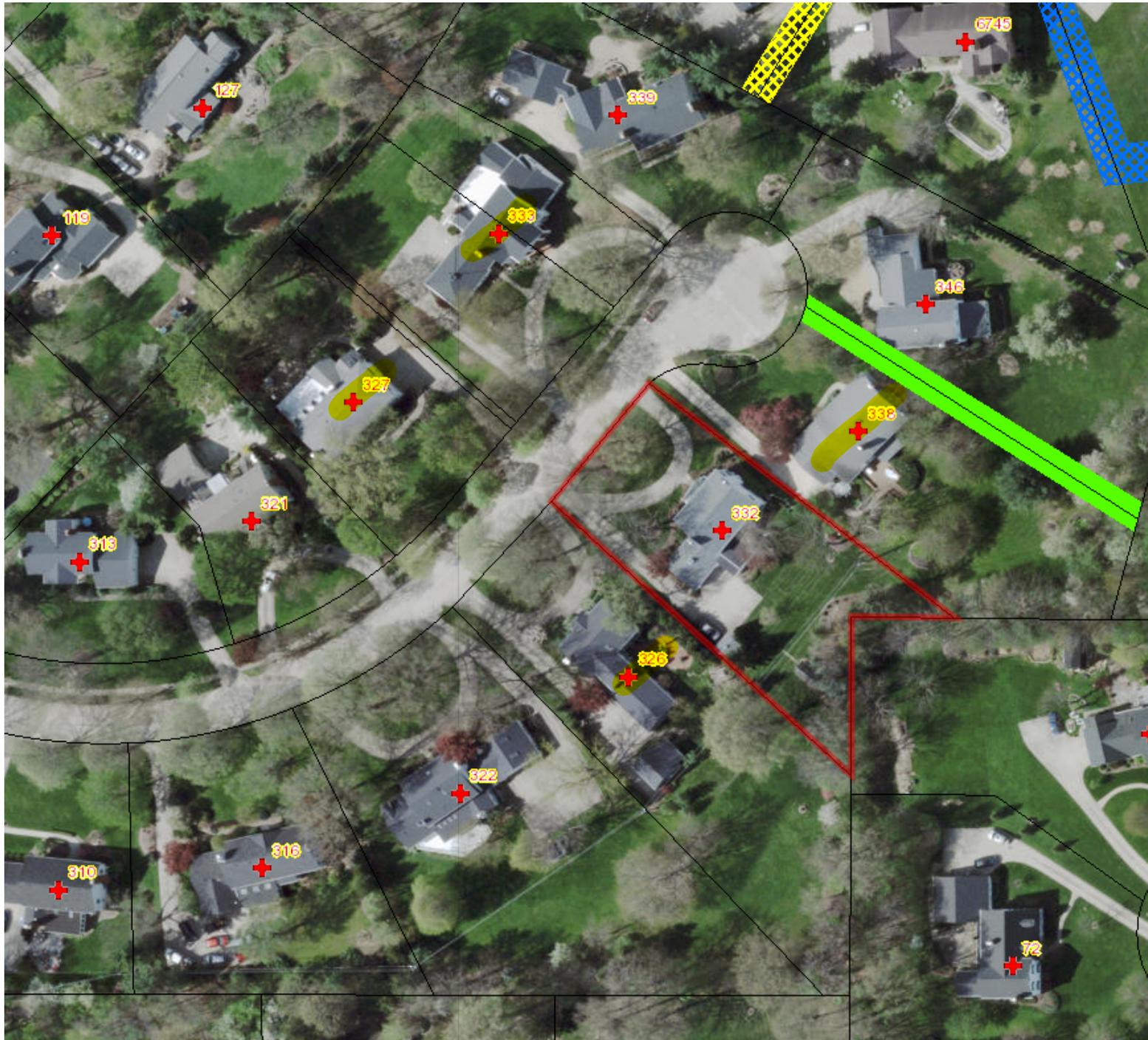
DETAILS

SHEET NUMBER:

**A-9**

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Plat Map



**326 Simon**



**327 Simon**



**333 Simon**



**338 Simon**













# HardieShingle<sup>®</sup> Siding

Submittal Form

03

Submitted to: .....

Project Name: .....

Submitted by: .....

Date: .....

HZ5<sup>®</sup> Product Zone     HZ10<sup>®</sup> Product Zone

Product :     Straight Edge Panel     Staggered Edge Panel  
 Half Round Panel     Individual

Product Finish:     Primed     ColorPlus<sup>®</sup> Technology

Product Texture:  Select Cedarmill<sup>®</sup>

# HardieShingle<sup>®</sup> Siding

Specification Sheet

03

DIVISION: 07 00 00 THERMAL AND MOISTURE PROTECTION

SECTION: 07 46 46 FIBRE CEMENT SIDING

## HARDIESHINGLE<sup>®</sup> SIDING

### Manufacturer

James Hardie Building Products Inc

The products are manufactured at the following locations, with quality control inspections by ICC-ES:

- Cleburne, Texas
- Plant City, Florida
- Reno, Nevada
- Waxahachie, Texas
- Peru, Illinois
- Pulaski, Virginia
- Tacoma, Washington
- Fontana, California

### Compliance with the following codes

- 2012, 2009 and 2006 International Building Code<sup>®</sup> (IBC)
- 2012, 2009 and 2006 International Residential Code<sup>®</sup> (IRC)

### Features

- Noncombustible
- Dimensionally Stable
- Resistant to damage caused by pests
- Weather Resistant-Engineered for Climate<sup>®</sup>
- Impact resistant
- Sustainable

### Use

James Hardie fiber-cement cladding shingles are used as exterior wall covering. The product complies with IBC Section 1404.10 and IRC Section R703.10. The product may be used on exterior walls of buildings of Type I, II, III and IV construction (IBC).

### Description

HardieShingle siding is a single-faced, cellulose fiber-reinforced cement (fiber-cement) product. HardieShingle siding complies with ASTM C1186, as Grade II, Type A; has a flame-spread index of 0 and a smoke-developed index of 5 when tested in accordance with ASTM E84; and is classified as noncombustible when tested in accordance with ASTM E136.

### Available Sizes

Product	Width (in)	Height (in)	Thickness (in)
Shingle Panel 5 inch exposure (Straight edge)	48	14	1/4
Shingle Panel 6 inch Exposure (Staggered Edge)	48	15-1/4	1/4
Shingle Panel 7 inch exposure (Straight Edge & Half Round)	48	15-1/4	1/4
Individual shingles 5 inch exposure	3-1/2, 4-1/2, 5-1/2, 7, 8-3/4	14	1/4
Individual shingles 7 inch exposure	4-3/16, 5-1/2, 6-3/4, 7-1/4, 10	15-1/4	1/4

### Texture & Finish

HardieShingle<sup>™</sup> siding is available in wood grain texture. Finish options are primed for field paint, or factory finished with ColorPlus<sup>®</sup> Technology. Color and exposure availability varies by region.

### Engineered for Climate<sup>®</sup>

HardieShingle siding is engineered for performance to specific weather conditions by climate zones as identified by the following map.



**Performance Properties**

	<b>General Property</b>	<b>Test Method</b>	<b>Unit or Characteristic</b>	<b>Requirement</b>	<b>Result</b>
<b>PHYSICAL ATTRIBUTES</b>	Dimensional Tolerances	ASTM C1185	Length	± 0.5% or ± 1/4in	Pass
			Width	± 0.5% or ± 1/4 in	
			Thickness	± 0.04 in	
			Squareness	Δ in diagonals ≤ 1/32 in/ft of sheet length. Opposite sheet sides shall not vary in length by more than 1/32 in/ft	
			Edge Straightness	≤ 1/32 in/ft of length	
	Density, lb/ft <sup>3</sup>	ASTM C1185		As reported	83
	Water Absorption, % by mass	ASTM C1185		As reported	36
	Water Tightness	ASTM C1185	Physical Observations	No drop formation	Pass
	Flexural Strength	ASTM C1185	Wet conditioned, psi	>1015 psi	Pass
			Equilibrium conditioned, psi	>1450 psi	
<b>THERMAL</b>	Thermal Conductivity	ASTM C177	(BTU/(hr-ft <sup>2</sup> F))/inch	As reported	2.07
	Actual Thermal Conductivity		(K <sub>eff</sub> )		6.62
	Thermal Resistance		R=1/ K <sub>eff</sub>		0.48
	Actual Thermal Resistance		(R)		0.15
<b>DURABILITY</b>	Warm Water Resistance	ASTM C1185	Physical Observations	No visible cracks or structural alteration	Pass
	Heat/Rain Resistance	ASTM C1185	Physical Observations	No visible cracks or structural alteration	Pass
	Freeze/Thaw Resistance	ASTM C1185	Physical Observations	No visible cracks or structural alteration	Pass
			Mass Loss, %	≤ 3.0%	
	Freeze/Thaw, % strength retention	≥ 80%			
	UV Accelerated Weathering Test	ASTM G23	Physical Observations	No cracking, checking, or crazing	Pass
<b>FIRE CHARACTERISTICS</b>	Surface Burning Characteristics	ASTM E84	Flame Spread Index (FSI)		0
			Smoke Developed Index (SDI)		≤ 5
			Fuel Contributed		0
			NFPA Class		A
			Uniform Building Code Class	As reported	1
	International Building Code® class		A		
	Noncombustibility	ASTM E136	Noncombustible	Pass/fail	Pass
Fire Resistance Rated Construction	ASTM E119	Fire Resistance Rating	1-hour	Note 1	

Note 1: listed on Warnock Hersey and ESR 2290

**Installation**

Install HardieShingle siding in accordance with:

- HardieShingle siding installation instructions
- ICC-ES ESR 2290
- Requirements of authorities having jurisdiction

**Warranty**

HardieShingle siding: 30-year, Non-Prorated, Limited Warranty  
 ColorPlus Technology: 15-year Limited Finish Warranty

**Sustainable Design Contribution**

- Regionally sourced content- varies by project location
- Avoidance of certain chemicals or Red List Compliance

Detailed product information for LEED projects, or other state or regional sustainability programs is available through James Hardie Technical Services.

**Storage and Handling**

Store flat and keep dry and covered prior to installation.

**Technical Services**

Contact James Hardie Technical Services online at JamesHardie.com, or by phone at (800)426-4051



Additional Installation Information, Warranties, and Warning are available at JamesHardie.com

1 866 442 7343 | www.jameshardie.com

**IMPORTANT:** Failure to install and finish this product in accordance with applicable building codes and James Hardie written application instructions may affect system performance, violate local building codes, void the product-only warranty and lead to personal injury.

**DESIGN ADVICE:** Any information or assistance provided by James Hardie in relation to specific projects must be approved by the relevant specialists engaged for the project eg. builder, architect or engineer. James Hardie will not be responsible in connection with any such information or assistance.

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# HardiePlank® Lap Siding

Submittal Form

01

Submitted to: .....

Project Name: .....

Submitted by: .....

Date: .....

HZ5® Product Zone     HZ10® Product Zone

Product Width:  5-1/4in  6-1/4in  7-1/4in  8in  8-1/4in  9-1/4in  12in

Product Finish:  Primed  ColorPlus® Technology

Product Texture:  Smooth  Select Cedarmill®  Colonial Roughsawn®  
 Colonial Smooth®  Rustic Cedar

# HardiePlank® Lap Siding

Specification Sheet

01

DIVISION: 07 00 00 THERMAL AND MOISTURE PROTECTION

SECTION: 07 46 46 FIBRE CEMENT SIDING

## HARDIEPLANK® LAP SIDING

### Manufacturer

James Hardie Building Products, Inc

The products are manufactured at the following locations, with quality control inspections by ICC-ES:

- Cleburne, Texas
- Plant City, Florida
- Reno, Nevada
- Waxahachie, Texas
- Peru, Illinois
- Pulaski, Virginia
- Tacoma, Washington
- Fontana, California

### Compliance with the following codes

- 2012, 2009 and 2006 International Building Code® (IBC)
- 2012, 2009 and 2006 International Residential Code® (IRC)

### Features

- Noncombustible
- Dimensionally Stable
- Resists damage from pests
- Weather Resistant-Engineered for Climate®
- Impact resistant
- Sustainable

### Use

James Hardie fiber-cement lap siding is used as exterior wall covering. The product complies with IBC Section 1404.10 and IRC Section R703.10. The product may be used on exterior walls of buildings of Type I, II, III and IV construction (IBC)

### Description

HardiePlank lap siding is a single-faced, cellulose fiber-reinforced cement (fiber-cement) product. HardiePlank lap siding complies with ASTM C1186, as Grade II, Type A; has a flame-spread index of 0 and a smoke-developed index of 5 when tested in accordance with ASTM E84; and is classified as noncombustible when tested in accordance with ASTM E136.

### Available Sizes

Product	Width (in)	Length	Thickness (in)
HardiePlank lap siding*	5-1/4, 6-1/4, 7-1/4, 8, 8-1/4, 9-1/4, 12	12 feet	5/16

\* HZ5: 9-1/4, 12 only available primed    HZ10: 5-1/4, 9-1/4, 12 only available primed.

### Texture & Finish

HardiePlank lap siding comes in a variety of textures and finishes. The product is available in smooth or wood grain texture. Additional textures are available on a regional basis. Finish options are primed for field paint, or factory finished with ColorPlus® Technology. Color availability varies by region.

### Engineered for Climate®

HardiePlank lap siding is engineered for performance to specific weather conditions by climate zones as identified by the following map.



Performance Properties

General Property	Test Method	Unit or Characteristic	Requirement	Result
PHYSICAL ATTRIBUTES	ASTM C1185	Length	± 0.5% or ± 1/4 in	Pass
		Width	± 0.5% or ± 1/4 in	
		Thickness	± 0.04 in	
		Squareness	Δ in diagonals ≤ 1/32 in/ft of sheet length. Opposite sheet sides shall not vary in length by more than 1/32 in/ft	
		Edge Straightness	≤ 1/32 in/ft of length	
Density, lb/ft <sup>3</sup>	ASTM C1185		As reported	83
Water Absorption, % by mass	ASTM C1185		As reported	36
Water Tightness	ASTM C1185	Physical Observations	No drop formation	Pass
Flexural Strength	ASTM C1185	Wet conditioned, psi	>1015 psi	Pass
		Equilibrium conditioned, psi	>1450 psi	
THERMAL	ASTM C177	Thermal Conductivity (BTU/(hr-ft <sup>2</sup> F))/inch		2.07
		Actual Thermal Conductivity (K <sub>eff</sub> )	As reported	6.62
		Thermal Resistance R=1/ K <sub>eff</sub>		0.48
		Actual Thermal Resistance (R)		0.15
DURABILITY	ASTM C1185	Physical Observations	No visible cracks or structural alteration	Pass
	ASTM C1185	Physical Observations	No visible cracks or structural alteration	Pass
	ASTM C1185	Physical Observations	No visible cracks or structural alteration	Pass
		Mass Loss, %	≤ 3.0%	
		Freeze/Thaw, % strength retention	≥ 80%	
UV Accelerated Weathering Test	ASTM G23	Physical Observations	No cracking, checking, or crazing	Pass
FIRE CHARACTERISTICS	ASTM E84	Flame Spread Index (FSI)		0
		Smoke Developed Index (SDI)		≤ 5
		Fuel Contributed		0
		NFPA Class		A
		Uniform Building Code Class	As reported	1
	International Building Code® class		A	
	Noncombustibility	ASTM E136	Noncombustible	Pass/fail
Fire Resistance Rated Construction	ASTM E119	Fire Resistance Rating	1-hour	Note 1

Note 1: listed on Warnock Hersey and ESR 2290

Installation

Install HardiePlank lap siding in accordance with:

- HardiePlank lap siding installation instructions
- ICC-ES ESR 2290
- Requirements of authorities having jurisdiction

Warranty

HardiePlank lap siding: 30-year, Non-Prorated, Limited Warranty  
ColorPlus Technology: 15-year Limited Finish Warranty

Sustainable Design Contribution

- Regionally sourced content- varies by project location
- Avoidance of certain chemicals or Red List Compliance

Detailed product information for LEED projects, or other state or regional sustainability programs is available through James Hardie Technical Services.

Storage and Handling

Store flat and keep dry and covered prior to installation.

Technical Services

Contact James Hardie Technical Services online at JamesHardie.com, or by phone at (800)426-4051



Additional Installation Information, Warranties, and Warning are available at JamesHardie.com

1 866 442 7343 | www.jameshardie.com

IMPORTANT: Failure to install and finish this product in accordance with applicable building codes and James Hardie written application instructions may affect system performance, violate local building codes, void the product-only warranty and lead to personal injury.

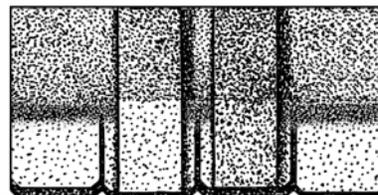
DESIGN ADVICE: Any information or assistance provided by James Hardie in relation to specific projects must be approved by the relevant specialists engaged for the project eg. builder, architect or engineer. James Hardie will not be responsible in connection with any such information or assistance.

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## Grand Manor® Shingles

### PRODUCT INFORMATION

This product is the super heavyweight of laminated shingles. The difference is in the size and quality built-in by design. An 8" tab area, complete with two full-sized one-piece base shingles with random tabs and accented by shadow lines, gives an authentic, natural look with true depth and dimension. They are most aesthetically appealing when used on slopes of 9" per foot or greater. When applied with underlayment, Grand Manor produces at least five layers of roof protection and the quality is reminiscent of handcrafted workmanship. It is designed to resist blow off in high wind conditions up to 110-mph with normal installation and 130-mph with special installation.



Grand Manor shingles are algae-resistant (AR), commonly called fungus, and help protect against dark or black discoloration, sometimes called staining or streaking, caused by blue-green algae.

**Colors:** Please refer to the product brochure or CertainTeed website for the colors available in your region.

**Limitations:** Use on roofs with slopes 2" per foot or greater. However, slopes greater than 9" per foot best show the product design. Low slope applications (2:12 to < 4:12) require additional underlayment. In areas where icing along the eaves can cause the back-up of water, apply CertainTeed WinterGuard® Waterproofing Shingle Underlayment, or its equivalent, according to application instructions provided with the product and on the shingle package.

On slopes greater than 21" per foot, apply three spots of roofing cement under the shingle and an additional fastener in each laminated tab according to application instructions provided on the shingle package.

**Product Composition:** Grand Manor shingles are composed of a fiber glass mat base. Ceramic-coated mineral granules are tightly embedded in carefully refined, water-resistant asphalt. The laminated tabs are firmly adhered in a special tough asphaltic cement. These fiber glass based shingles have self-sealing adhesive applied.

### Applicable Standards:

ASTM D3018 Type I

ASTM D3462

ASTM E108 Class A Fire Resistance

ASTM D3161 Class F Wind Resistance

ASTM D7158 Class H Wind Resistance

UL 790 Class A Fire Resistance

ICC-ES ESR-1389 and ESR-3537

CSA Standard A123.5

Miami-Dade Product Control Approved

Florida Product Approval # FL5444

Meets TDI Windstorm Requirements

### TECHNICAL DATA

Weight/Square (approx.):	425 lb.
Dimensions (overall):	18" x 36"
Shingles/Square:	50
Weather Exposure:	8"

## **INSTALLATION**

Detailed installation instructions are supplied on each bundle of Grand Manor shingles and must be followed. Separate application sheets may also be obtained from CertainTeed.

**Special Application:** CertainTeed Carriage House® shingles can be blended into a CertainTeed Grand Manor roof to achieve a unique and distinctive appearance. A common application method uses several courses of Carriage House in the middle of a Grand Manor roof. Other aesthetically appealing applications are possible using Grand Manor and Carriage House shingles. Contact CertainTeed for more information.

**Hips and Ridges:** Use only Shingle Ridge® accessory shingles of the matching color for capping hips and ridges.

## **MAINTENANCE**

Grand Manor shingles require virtually no maintenance when installed according to manufacturer's application instructions. However, to protect the investment, any roof should be routinely inspected at least once a year. Older roofs should be looked at more frequently.

## **WARRANTY**

Grand Manor carries a lifetime limited transferable warranty against manufacturing defects for the original homeowner when applied to stated CertainTeed application instructions for this product. In addition, Grand Manor also carries a 15-year algae resistance warranty and 10-year SureStart™ Protection. For specific warranty details and limitations, refer to the warranty itself (available from the local supplier, roofing contractor or on-line at [www.certainteed.com](http://www.certainteed.com) ).

## **FOR MORE INFORMATION**

Sales Support Group: 800-233-8990

Web site: [www.certainteed.com](http://www.certainteed.com)

See us at our on-line specification writing tool, CertaSpec, at [www.certainteed.com/certaspec](http://www.certainteed.com/certaspec).

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