

APPROVED: STAFF APPROVAL DATE

APPROVED: ENGINEERING DEPT. APPROVAL DATE

APPROVED: LANDSCAPE ARCHITECT APPROVAL DATE

BUILDER: PULTE HOMES OF OHIO, LLC.

ADDRESS: 387 MEDINA ROAD SUITE 1700, MEDINA, OHIO 44256

PHONE: 330-239-1587

OWNER:

ADDRESS:

PHONE:

NOTES: DOWNSPOUTS TO BE CONNECTED TO STORM SEWER CONNECTION. SUMP PUMP REQUIRED FOR FOOTER DRAINS.

INITIAL SITE BENCHMARK: SUMMIT COUNTY GEODETIC MONUMENT HU 118. STATE PLAN COORDINATE N 572,745.649 E 2,250,912.641 ELEVATION = 1006.912 NAVD 1988

NOTE: PER ARB, EGRESS WINDOW WELLS SHOULD BE NO MORE THAN 6" ABOVE FINISHED GRADE

PRIMARY BENCHMARK: TOC/BOC ELEV @ P/L IN FRONT OF SUBLOTS 177/178 ELEV. = 1003.46

SECONDARY BENCHMARK: TOP STEM OF HYDRANT ACROSS FROM SUBLOT 179 ON ROSEWOOD TRAIL ELEV. = 1007.62

THE CONTRACTOR MUST CHECK THE BENCHMARK WITH THE CURB GRADES PRIOR TO DIGGING THE FOUNDATION.

NOTE: ALL PROPOSED FOOTERS WILL REQUIRE SURVEY CERTIFICATION ONCE SET AND PRIOR TO THE COMPLETION OF HOME CONSTRUCTION

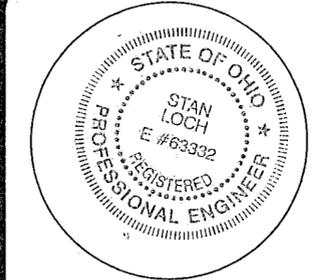
CURVE TABLE with columns: CURVE LENGTH, RADIUS, VANGENT, CHORD, BEARING, DELTA



NOTE: PURCHASER TO INSTALL MINIMUM OF 3 TREES PER MUNICIPAL REQUIREMENTS

NOTE: FINAL LOCATION OF (3) TREES TO BE DETERMINED AND INSTALLED BY PURCHASER IN COMPLIANCE WITH CITY OF HUDSON LAND DEVELOPMENT CODE (1207.04J).

NOTE: PURCHASER TO INSTALL LANDSCAPING PER CITY OF HUDSON LANDSCAPING REQUIREMENTS.



I CERTIFY THAT THIS PLAN WAS PREPARED BY ME AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Signature and Date: 7-29-21, STAN R. LOCH P.E. #63332

5425 WARNER ROAD - SUITE 12, VALLEY VIEW, OHIO 44125, 440-602-9071



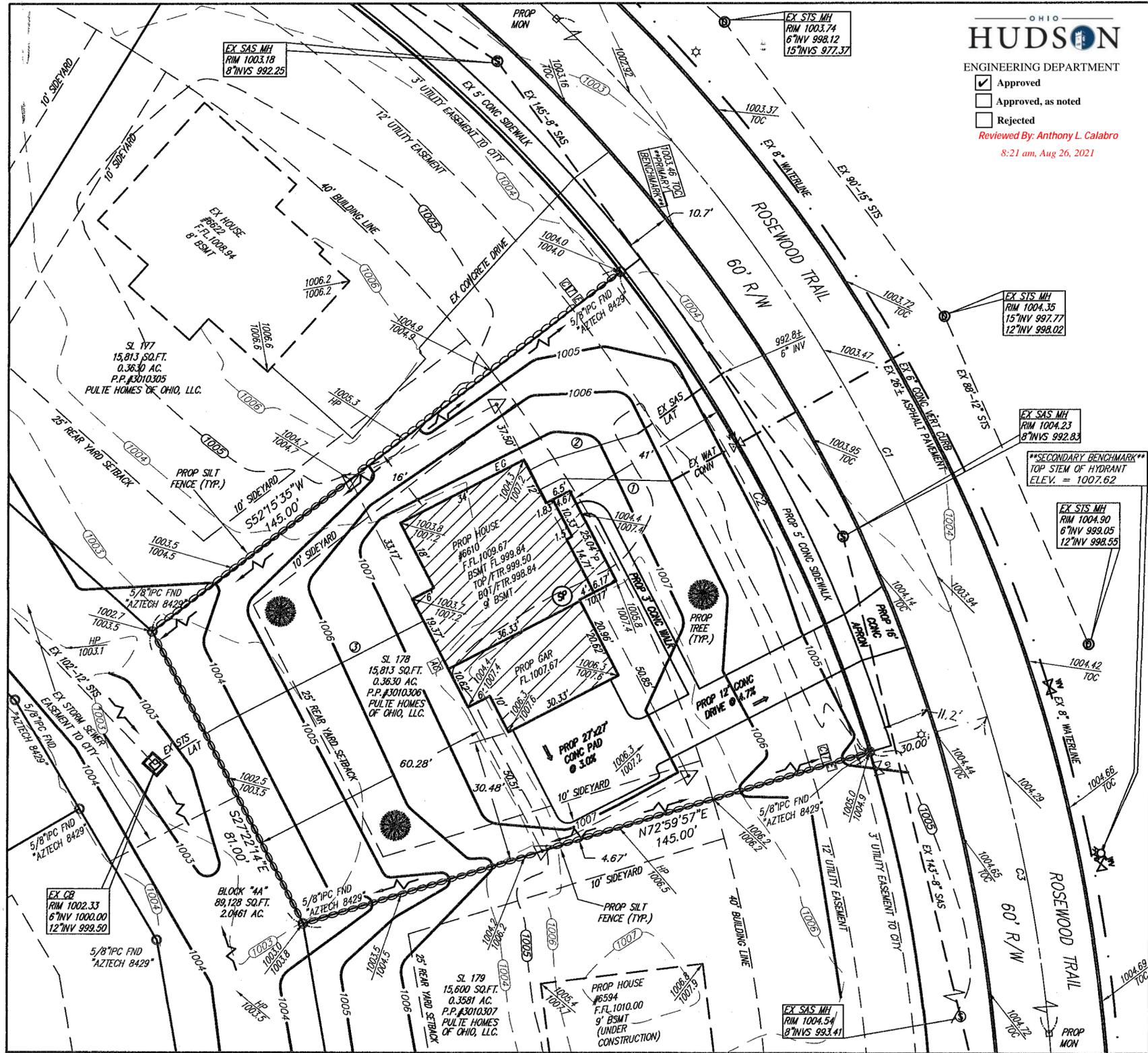
ENGINEERING and SURVEYING, Civil Engineering - Land Surveying

SHEET CONTENT

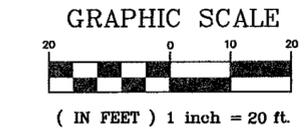
SITE PLAN FOR PULTE HOMES SUBLot 178, 6610 ROSEWOOD TRAIL IN THE RESERVE AT RIVER OAKS SUBDIVISION PH. 4 SITUATED IN THE CITY OF HUDSON COUNTY OF SUMMIT STATE OF OHIO

REVISIONS table with columns: NO., DATE, DESCRIPTION, BY

Scale and Drawing Information table with columns: HORIZ. SCALE, VERT. SCALE, DRAWN BY, DATE, CHECKED BY, DRAWING NO., JOB NO., SHEET



HUDSON ENGINEERING DEPARTMENT, Approved, Approved, as noted, Rejected, Reviewed By: Anthony L. Calabro, 8:21 am, Aug 26, 2021



PERCENTAGE OF LOT COVERAGE = 23.8%

HOUSE COVERAGE = 2,238 SQ.FT., DRIVEWAY COVERAGE = 1,355 SQ.FT., WALKWAY COVERAGE = 166 SQ.FT., TOTAL COVERAGE = 3,759 SQ.FT.

NOTE: PLEASE TAKE NOTICE. THE FOUNDATION SHOWN ON THIS SITE PLAN IS TAKEN FROM BASE PLANS ONLY. PROPER VERIFICATION WILL BE REQUIRED.

TYPE OF HOUSE: PLAN # HOLBROOK, ELEVATION: 1, GAR: 3 CAR SIDE LT W/9' BASEMENT EGRESS WINDOW

- Legend for symbols: 1 = PROP 1" WAT CONN, 2 = PROP 6" PVC SAS CONN @ 1.0% MIN 10% MAX, 3 = PROP 6" PVC SIS CONN @ 1.0% MIN 10% MAX

DATE OF SURVEY: JULY 27th, 2021

- LEGEND: PROPOSED TREE, PROP MONUMENT, EX CURB INLET, EX SANITARY MANHOLE, EX YARD DRAIN, IRON PIN SET, EXISTING GRADE, PROP SILT FENCE, INLET PROTECTION, ELECTRIC BOX, TELEPHONE PEDESTAL, LIGHT POST, EX HYDRANT, EX WATER VALVE, SUMP PUMP, EX STORM MANHOLE, SWALE, FLOW ARROW, AIR CONDITIONER, ELECTRIC CONNECTION, GAS CONNECTION, OFFSET HUB, CABLE PEDESTAL, TRANSFORMER BOX



OHIO DIVISION - LOT 178

River Oaks



HOLBROOK

PLAN SHEET INDEX

| SHT. | DESCRIPTION |
|--------|---|
| 0.00 | COVER SHEET |
| 1.30a | FULL BASEMENT FOUNDATION PLAN |
| 2.00 | FINISHED BASEMENT PLAN |
| 2.10a | FIRST FLOOR PLAN |
| 2.11a | PLAN DETAILS |
| 2.11b | PLAN DETAILS |
| 2.11c | PLAN DETAILS |
| 2.20a | SECOND FLOOR PLAN |
| 3.30a | TYPICAL BUILDING SECTIONS |
| 3.31a | TYPICAL WALL SECTIONS |
| 3.31b | TYPICAL WALL SECTIONS |
| 6.10 | FIRST FLOOR ELECTRICAL PLAN |
| 6.11 | SECOND FLOOR ELECTRICAL PLAN |
| 7.01a | ELEVATION "1" - FRONT AND REAR ELEVATIONS |
| 7.01a2 | ELEVATION "1" - SIDE ELEVATIONS AND ROOF PLAN |
| S-1.0 | 1ST FLOOR FRAMING PLAN |
| S-1.1 | 1ST FLOOR FRAMING PLAN |
| S-1.2 | 1ST FLOOR FRAMING PLAN |
| S-1.3 | 1ST FLOOR FRAMING PLAN |
| S-1.4 | 1ST FLOOR FRAMING PLAN |
| S-2.0 | 2ND FLOOR FRAMING PLAN |
| S-2.1 | 2ND FLOOR FRAMING PLAN |
| S-2.2 | 2ND FLOOR FRAMING PLAN |
| S-2.3 | 2ND FLOOR FRAMING PLAN |
| S-3.0 | ROOF FRAMING PLAN |
| S-3.0A | ROOF FRAMING PLAN |
| S-3.1 | ROOF FRAMING PLAN |
| S-3.2 | ROOF FRAMING PLAN |
| S-4.0 | LATERAL BRACING DETAILS |
| S-4.1 | LATERAL BRACING DETAILS |

1 - GENERAL BUILDING & DESIGN REQUIREMENTS

- THE ATTACHED PLANS & SPECIFICATIONS ARE THE SOLE PROPERTY OF PULTE HOMES INC. ANY UNAUTHORIZED USE OF THESE PLANS WITHOUT PRIOR WRITTEN CONSENT OF PULTE HOMES INC. IS STRICTLY PROHIBITED.
- PULTE HOMES INC. DESIGNS & BUILDS HOUSING AS SET FORTH BY THE FORMAT AND PROVISIONS OF THE RESIDENTIAL CODE OF OHIO (RCO), AND THE NATIONAL ELECTRIC CODE (NEC). ANY NON-CONFORMING DOCUMENTS DISCOVERED BY THE CONTRACTOR OR HIS AGENTS SHALL BE CALLED TO THE IMMEDIATE ATTENTION OF PULTE HOMES INC. BY CALLING (651) 452-5200.
- THESE PLANS ARE SUBJECT TO MODIFICATIONS TO MEET CODE REQUIREMENTS AND/OR TO FACILITATE MECHANICAL/ELECTRICAL/PLUMBING INSTALLATION AND/OR TO IMPLEMENT DESIGN IMPROVEMENTS. ANY INTENTION TO MODIFY THESE PLANS MUST BE APPROVED IN WRITING BY PULTE HOMES INC.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AFFECTING CONTRACTOR'S PRODUCTS, INSTALLATIONS, OR FABRICATIONS IN THE FIELD PRIOR TO EXPEDITING THE CONSTRUCTION OF SUCH WORK. FIELD VERIFY ALL DIMENSIONS - DO NOT SCALE DRAWINGS! CONTRACTOR IS RESPONSIBLE FOR SURVEYING THE PROJECT AND BECOMING FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK INCLUDING BUT NOT LIMITED TO SITE AND SOIL BEARING CONDITIONS.
- ERRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ERRORS, DISCREPANCIES, OR OMISSIONS FOR WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION AND/OR FABRICATION OF THE WORK.

2 - SITE CONSTRUCTION

- SOIL BEARING CALCULATIONS BASED ON 2500 PSF MIN
- BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.
- BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS BACKFILL TO NOT DAMAGE THE FOUNDATION WALLS OR ANY WATERPROOFING/DAMP-PROOFING MATERIALS.

3 - CONCRETE

- ALL CONCRETE EXPOSED TO EXTERIOR ELEMENTS SHOULD BE AIR ENTRAINED 4-6%.
- SLOPE ON DRIVE SHALE BE NO LESS THAN 2% OR 1/4" PER FOOT - PREFERABLY 4% OR 1/2" PER FOOT. THE FRONT STOOP SHALL HAVE SLOPE EQUAL TO 1" PER FOOT. THE RAISED WALK IN GARAGE SHALL HAVE A 1/2" PER FOOT SLOPE AND DRIVE SLAB SHALL BE SLOPED MIN. 1/4" PER FOOT.
- SOME COLUMN DIMENSIONS ARE FROM CENTER OF COLUMN TO EXTERIOR FACE OF BASEMENT WALL.
- BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.
- BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS TO NOT DAMAGE THE FOUNDATION WALLS OR WATERPROOFING/DAMP-PROOFING MATERIALS.
- MUD SILLS SHALL BE TREATED MEMBERS AND SECURED BY ANCHOR BOLTS AND/OR STRAPS AS SPECIFIED IN THE DRAWINGS, DETAILS, AND SPECIFICATIONS.
- CALCULATIONS FOR COLUMN PADS BASED ON 2500 PSF SOIL BEARING.

4 - MASONRY

- ALL EXTERIOR BRICK MUST MEET ASTM C-216 FOR "SW" CONDITIONS
- MASONRY VENEER SHALL BE ATTACHED TO SUPPORTING WALLS W/ 22GA x 7/8" CORRUGATED METAL TIES AT 24" O.C.
- FLASHING BEHIND MASONRY SHALL BE 14# BUILDING PAPER OR FELT OR APPROVED EQUAL ATTACHED TO THE SHEATHING TO PREVENT MOISTURE PENETRATION.
- WEEPHOLES SHALL BE PROVIDED ALONG THE OUTSIDE W/ THE OF EXTERIOR MASONRY WALLS AT 33" O.C. MAX. SHALL BE A MIN. OF 3/16" IN DIAMETER, AND LOCATED IMMEDIATELY ABOVE THE FLASHING

5 - METALS

6 - WOOD AND PLASTICS

7 - THERMAL & MOISTURE PROTECTION

- INSTALL FIRE STOPPING AND/OR DRAFT STOPPING AS REQUIRED.
- ATTIC VENTILATION SHALL BE PROVIDED AT 1/150th OF THE AREA OF THE SPACE VENTILATED. CROSS VENTILATION WITH HALF OF THE VENTILATED AREA SHALL BE PROVIDED BY RIDGE OR GABLE VENTS AND THE OTHER HALF BY EAVE OR CORNICE VENTS. VENTS SHALL BE PLACED SO AS TO NOT ALLOW INFILTRATION OF RAIN OR SNOW.
- PROVIDE APPROVED TILE BACKER BOARD FOR ALL SHOWER AND BATH SPACE
- PROVIDE ICE-SHIELD PER CODE
- ROOF VENTING TO BE PROVIDED AS SHOWN. SOFT, RIDGE, AND OTHER ROOF VENTS TO BE INSTALLED AS NOTED ON THE DRAWINGS & AS PER MANUFACTURER'S RECOMMENDATIONS.
- HOUSE WRAP & FLASHING TO BE INSTALLED PER PULTE BEST PRACTICES.

8 - DOORS AND WINDOWS

- WINDOW CALL OUT PER WINDOW SCHEDULE VERIFY WINDOW MANUFACTURER WITH PROJECT MANAGER
- REVIEW ALL WINDOW HDR HEIGHTS PER PLATE HT. AND VERIFY W/ ELEVATIONS AND CORNICE DETAILS
- TEMPERED GLASS SHALL BE USED IN ALL HAZARDOUS AREAS
- FRONT DOOR WIDTH AS REQUIRED BY CODE
- GARAGE DOOR AS REQUIRED BY CODE
- EMERGENCY - SLEEPING ROOMS SHALL HAVE AT LEAST ONE EGRESS OPENING OF NOT LESS THAN 5.7 SF AND A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.

15 - MECHANICALS

- FACTORY BUILT CHIMNEYS AND FIREPLACES SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS, AND ARE SUBJECT TO MECHANICAL INSPECTION
- PROVIDE EXTERIOR AIR INTAKE FOR COMBUSTION AIR.

16 - ELECTRICAL

- ALL ELECTRICAL INSTALLATION SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE (NEC). ALL MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OF APPROVAL OF THE UNDERWRITERS LABORATORIES, INC.
- ELECTRICAL CONTRACTOR SHALL VERIFY SPACE REQUIRED FOR METER INSTALLATION BEFORE CONSTRUCTION AND SHALL NOTIFY GENERAL CONTRACTOR OF ANY DISCREPANCIES.
- VERIFY LOCATION OF ALL RECEPTACLES FOR APPLIANCES WITH MANUFACTURER SPECIFICATIONS.
- GROUND FAULT INTERRUPTS SHALL BE LOCATED PER THE NEC.
- ALL SWITCHES SHALL BE INSTALLED AT 3'-2" ABOVE FINISHED FLOOR TO CENTERLINE OF SWITCH UNLESS NOTED OTHERWISE.
- ALL CONVENIENCE OUTLETS SHALL BE INSTALLED W/ CENTERLINE OF OUTLET LOCATED 1'-3" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.
- ALL CONVENIENCE OUTLETS WITH SWITCHES TO BE SWITCH AT TOP ONLY.
- ALL EXTERIOR WALL BRACKET FIXTURES SHALL BE INSTALLED AT 5'-6" ABOVE ADJACENT DOOR SILL HEIGHT TO CENTERLINE OF FIXTURE.
- APPROVED SMOKE DETECTORS SHALL BE LOCATED ON EVERY STORY OF THE DWELLING UNIT AS PER CODE (SEE SHEET 6.XXX FOR LOCATIONS). WHERE MORE THAN ONE DETECTOR IS REQUIRED THEY SHALL BE INTERCONNECTED. POWER SOURCE SHALL BE BUILDING POWER W/ BATTERY BACKUP.

GENERAL FRAMING SPECS AND CONSTRUCTION NOTES STAIRS:

- THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES (210 MM) AND THE MINIMUM TREAD DEPTH SHALL BE 10 INCHES (229 MM).
- HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34 INCHES AND 38 INCHES SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS.
- HANDRAIL AND BALUSTRADE (WHERE PRESENT) SHALL BE CONSTRUCTED PER CODE
- ALL REQUIRED HAND RAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS W/ 2 OR MORE RISERS FROM A POINT ABOVE THE TOP RISER OF A FLIGHT TO A POINT ABOVE THE LOWEST RISER OF THE FLIGHT. ENDS SHALL BE RETURNED OR SHALL TERMINATE AT NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1.5" BETWEEN THE WALL AND HAND RAIL.

WALLS:

- ALL STUDS TO BE 2x4 SPF OR EQUAL UNLESS NOTED OTHERWISE.
- USE DBL TOP PLATES 16" OC ON BOTH FIRST AND SECOND FLOOR AT ALL EXTERIOR AND LOAD BEARING CONDITIONS ALL OTHER PARTITION WALL USE SINGLE TOP PLATE 24"OC.

FLOORS:

- STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED, OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED PER CODE
- THE ENDS OF EACH JOIST, BEAM, OR GIRDER SHALL HAVE NOT LESS THAN 1.5 INCHES (38MM) OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES (76MM) ON MASONRY OR CONCRETE OR AS OTHERWISE SPECIFIED PER CODE
- ANY CONVENTIONAL FLOOR JOISTS SHOWN DOUBLED ON PLANS TO BE GLUED AT INSTALLATION AND NAILED W/ 3-16d NAILS @ 16" O.C. MULTIPLE PLIES OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM.
- SHOP DRAWINGS FOR ANY AND ALL ENGINEERED FLOOR SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS, WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

FRAMING:

- ALL FRAMING DIMENSIONS TO FACE OF MEMBER/SHEATHING.
- ALL BEARING HEADERS TO BE 2 X 8 #2 OR EQUAL UNLESS NOTED OTHERWISE.
- ALL 2x10 & 2x12 HEADERS TO BE DOUGLAS FIR LARCH (NORTH) - #2 UNLESS NOTED OTHERWISE.
- ALL 2x8 HEADERS TO BE #2 UNLESS NOTED OTHERWISE.
- PROVIDE 1x BLOCKING UNDER ALL EXTERIOR SLIDING DOORS.
- ALL BEAMS & HEADERS SHALL HAVE A MINIMUM OF (1) 2x JACK STUD & (1) 2x KING STUD. THE NUMBER OF STUDS LABELED ON PLANS INDICATES THE NUMBER OF JACK STUDS ONLY (UNLESS NOTED OTHERWISE).
- TWO-PLY CONVENTIONAL BEAMS TO BE FACE-NAILED W/2 ROWS 16d COMMON NAILS STAGGERED @16" O.C. UNLESS NOTED OTHERWISE. THREE-PLY CONVENTIONAL BEAMS TO BE NAILED AS ABOVE FROM EACH SIDE. MULTIPLE PLIES OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM.
- JOIST HANGERS, WHERE REQUIRED, SHALL BE USED WITHOUT ANGLES.
- INSTALL FIRE STOPPING AND/OR DRAFT STOPPING AS REQUIRED.

ROOF:

- HIP AND VALLEY RAFTERS SHALL BE SUPPORTED AT RIDGE DOWN TO BEARING PARTITION. CUT ENDS OF RAFTERS SHALL BE FULLY SUPPORTED WALL AND RIDGE.
- SHOP DRAWINGS FOR ANY AND ALL ENGINEERED ROOF TRUSS SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS, WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

WINDOW DATA:

| SIMONTON WINDOWS PERFORMANCE DATA | | | | | |
|-----------------------------------|---------|----------|------|------|--|
| ARGON WITHOUT GRIDS | WINDOWS | | | | |
| | R VALUE | U FACTOR | SHGC | VT | |
| 3/4" LOW-E 270/CLEAR | 3.13 | 0.32 | 0.28 | 0.54 | |
| ARGON WITH GRIDS | | | | | |
| 3/4" LOW-E/270 CLEAR | 3.03 | 0.33 | 0.26 | 0.48 | |
| SLIDING GLASS DOORS | | | | | |
| ARGON WITHOUT GRIDS | R VALUE | U FACTOR | SHGC | VT | |
| 3/4" LOW-E 270/CLEAR | 3.45 | 0.29 | 0.29 | 0.57 | |
| ARGON WITH GRIDS | | | | | |
| 3/4" LOW-E 270/CLEAR | 3.23 | 0.31 | 0.26 | 0.50 | |

SQUARE FOOTAGE INDEX:

| DESCRIPTION OF AREA | AREA |
|-----------------------|--------------|
| ELEVATION 1 | |
| FIRST FLOOR | 1387 SQ. FT. |
| SECOND FLOOR | 1786 SQ. FT. |
| ANSI STAIR | NA SQ. FT. |
| TOTAL | 3173 SQ. FT. |
| GARAGE | 703 SQ. FT. |
| PORCH | 152 SQ. FT. |
| TOTAL AREA UNDER ROOF | 2243 SQ. FT. |
| UNFINISHED BASEMENT | 1306 SQ. FT. |
| FINISHED BASEMENT | 943 SQ. FT. |

LIGHT & VENT CALCULATIONS:

| ROOM | SQ. FT. | LIGHT REQ'D | LIGHT SUPP | VENT REQ'D | VENT SUPP | NOTES |
|------------------|---------|-------------|------------|------------|-----------|-------|
| PLAN CENTER | 55 | 4.40 | 5.20 | 2.20 | 2.10 | |
| KITCHEN/NOOK | 325 | 26.00 | 64.94 | 13.00 | 31.62 | |
| GATHERING | 287 | 22.96 | 46.30 | 11.48 | 19.80 | |
| POWDER ROOM | 36 | N/A | 5.20 | 39.6 | 50.00 | |
| DEN | 123 | 9.84 | 46.30 | 4.92 | 19.80 | |
| DINING ROOM | 161 | 12.88 | 24.80 | 6.44 | 10.60 | |
| OWNER'S SUITE | 274 | 21.92 | 66.20 | 10.96 | 26.60 | |
| OWNER'S BATHROOM | 104 | N/A | 12.40 | 114.40 | 150 | |
| TOILET ENCLOSURE | 15 | N/A | N/A | 16.5 | 50 | |
| BEDROOM 2 | 158 | 12.64 | 16.30 | 6.32 | 6.90 | |
| BEDROOM 3 | 166 | 13.28 | 23.40 | 6.64 | 9.80 | |
| BEDROOM 4 | 205 | 16.40 | 35.10 | 8.20 | 14.70 | |
| BATH 2 | 60 | N/A | N/A | 66.00 | 100.00 | |
| GAME ROOM | 242 | 19.36 | 23.40 | 9.68 | 9.80 | |

APPLICABLE CODES:

- Building Code: 2019 RCO
- Plumbing Code: 2017 Plumbing Code
- Mechanical Code: 2017 Mechanical Code
- Energy Code: 2019 Energy Code Ohio
- Electrical Code: 2017 NEC
- Fire Code: 2011 International Fire Code

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Cleveland Division
 387 Medina Rd, Suite 1700
 Medina, OH 44256



COVER SHEET
 Specifications & General Notes

PRODUCTION MANAGER
 Gabe Kirksey
 CURRENT RELEASE DATE: 07/27/2021

| REV # | DATE | DESCRIPTION |
|-------|------|-------------|
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PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS LOT 178
 LAWSON COMMUNITY ID

GARAGE HANDING
GARAGE LEFT

SPECIFICATION LEVEL
TBD

PLAN NAME
HOLBROOK
 NPC PLAN NUMBER
TBD
 LAWSON PLAN ID
 LEGACY PLAN NUMBER / NAME
PLAN 3140

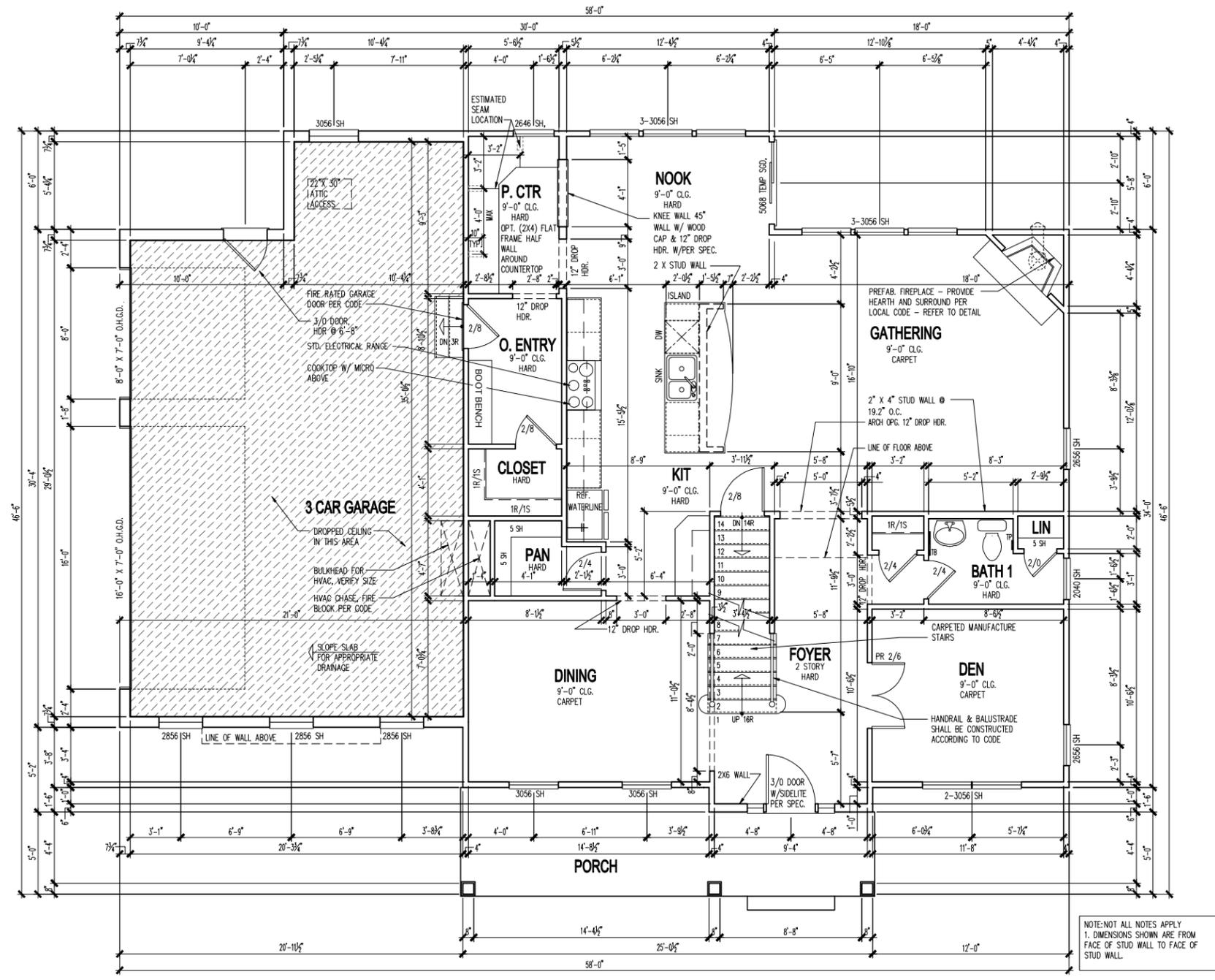
SHEET
0.00

ENGINEER OF RECORD: MULHERN & KULP ENGINEERS ARCHITECT OF RECORD: GODDUCO DESIGN - ARCHITECTS

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



First Floor Plan



FIRST FLOOR PLAN
 1/4" = 1'-0"

NOTE: NOT ALL NOTES APPLY
 1. DIMENSIONS SHOWN ARE FROM
 FACE OF STUD WALL TO FACE OF
 STUD WALL

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

| REV # | DATE | DESCRIPTION |
|-------|------|-------------|
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PRODUCTION MANAGER

Cobe Kintsey

CURRENT RELEASE DATE: 07/27/2021

PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS LOT 178
 LAWSON COMMUNITY ID

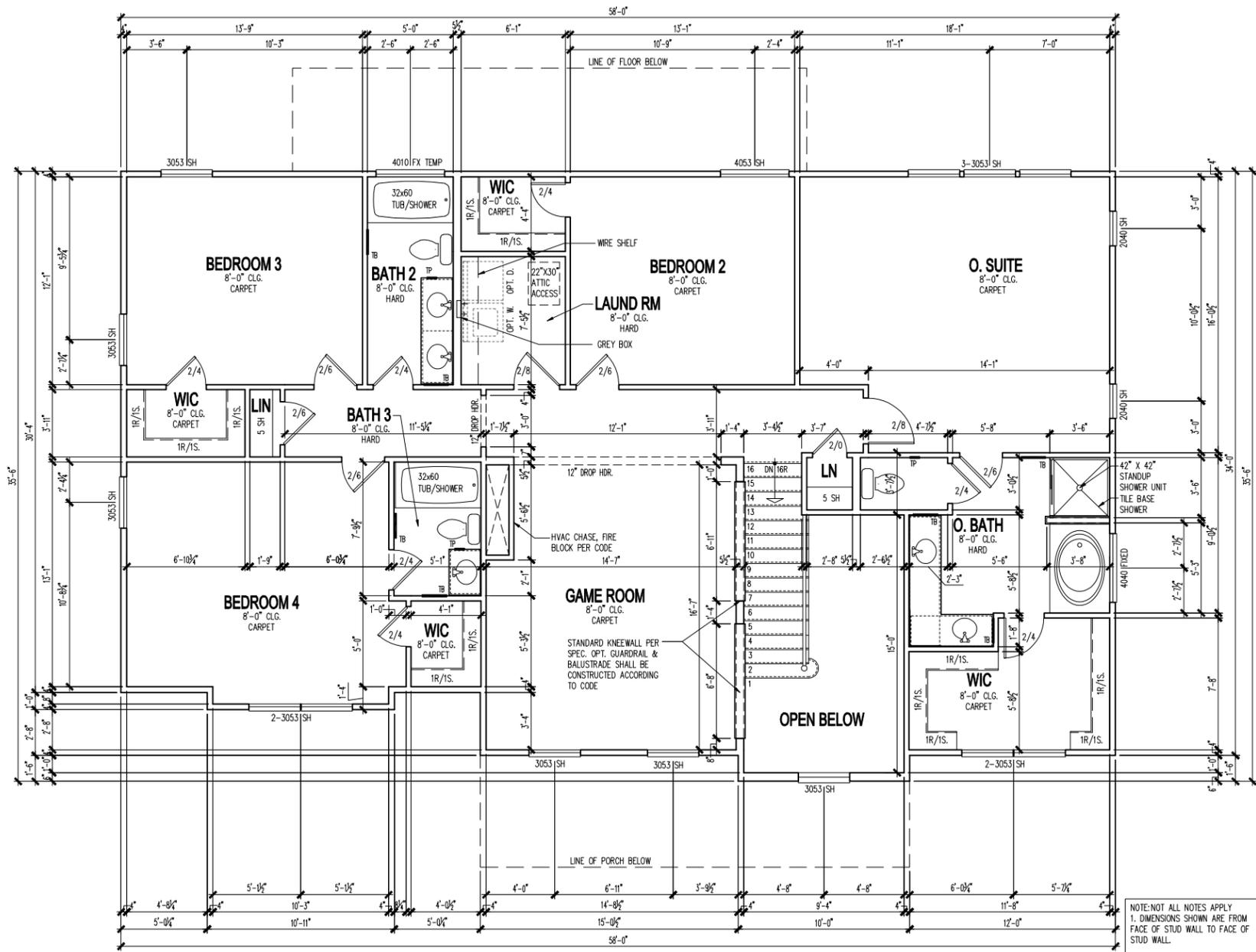
GARAGE HANDING
GARAGE LEFT

SPECIFICATION LEVEL
TBD

PLAN NAME
HOLBROOK
 NPC PLAN NUMBER
TBD
 LAWSON PLAN ID
 LEGACY PLAN NUMBER / NAME
PLAN 3140

SHEET
2.10a

ENGINEER OF RECORD: MULHERN & KULP ENGINEERING
 ARCHITECT OF RECORD: GODOLICO DESIGN - ARCHITECTS



SECOND FLOOR PLAN
1/4" = 1'-0"



Second Floor Plan

PRODUCTION MANAGER
Cobe Kintsey
CURRENT RELEASE DATE: 07/27/2021

| REV # | DATE | DESCRIPTION |
|-------|------|-------------|
| | | |
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PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS LOT 178
LAWSON COMMUNITY ID

GARAGE HANDING
GARAGE LEFT

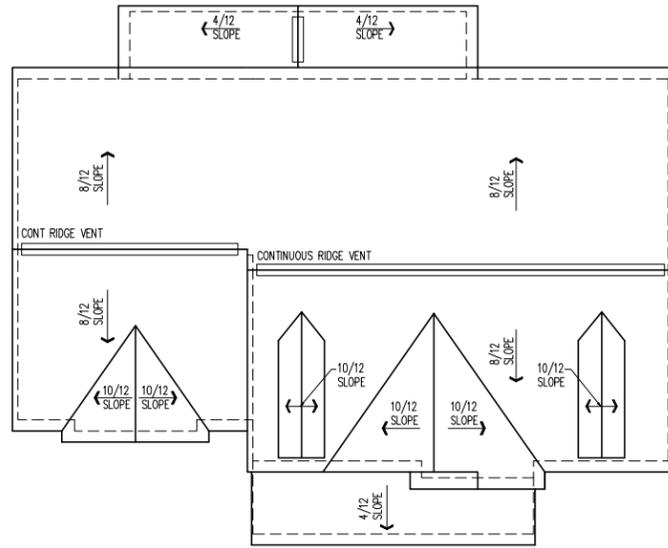
SPECIFICATION LEVEL
TBD

PLAN NAME
HOLBROOK
NPC PLAN NUMBER
TBD
LAWSON PLAN ID
LEGACY PLAN NUMBER / NAME
PLAN 3140

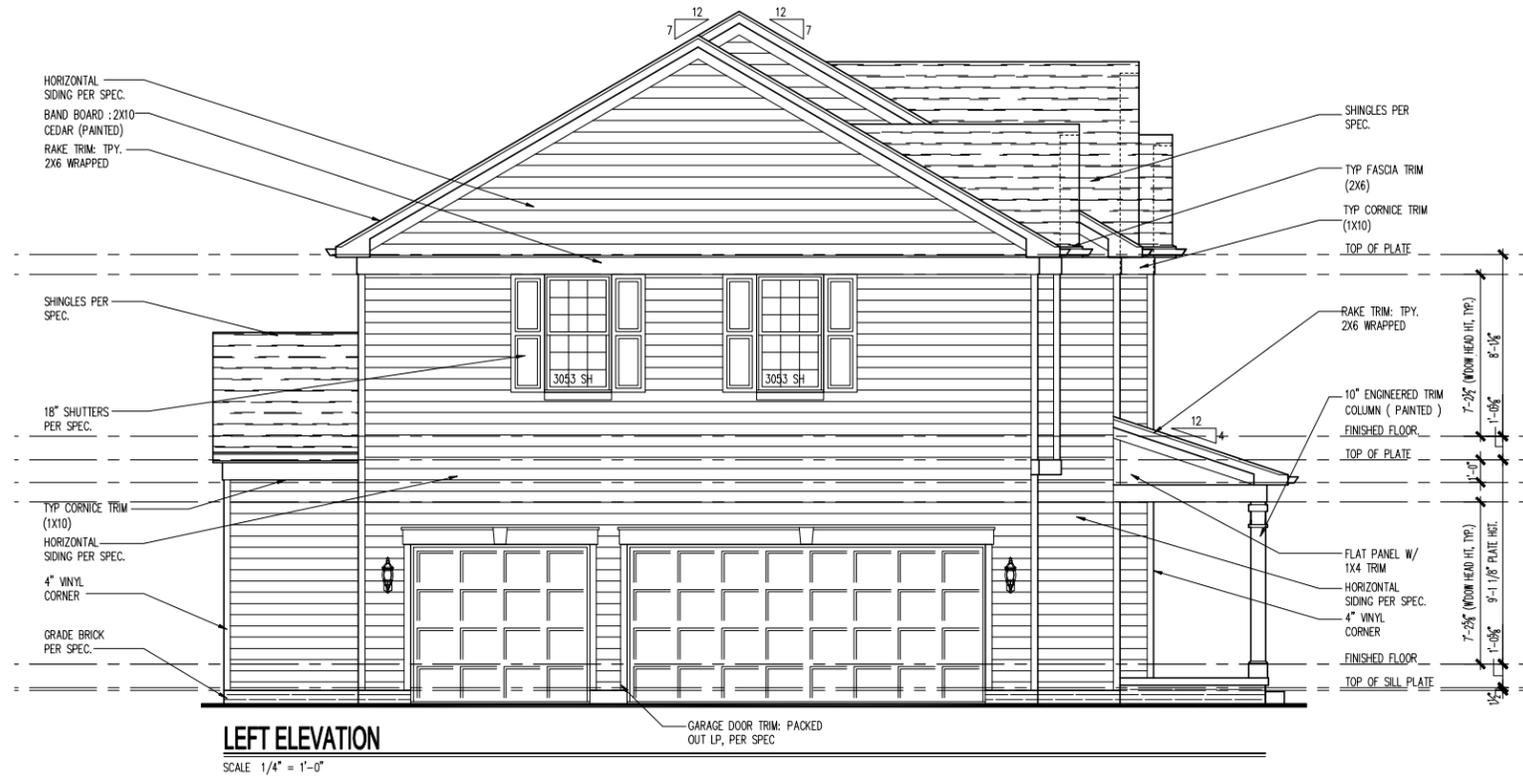
SHEET
2.20a

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

| ATTIC VENTILATION SCHEDULE | | | | | | | | | | | | | | | | |
|----------------------------|-------|----------------|-------|------|----------------|-------|-------|------|-------|------|------|-------|------|------|-------|------|
| 1 ELEVATION | LOC | 1ST FLOOR ROOF | | | 2ND FLOOR ROOF | | | N/A | | | N/A | | | N/A | | |
| | | AREA | REQ'D | SUPP | AREA | REQ'D | SUPP | AREA | REQ'D | SUPP | AREA | REQ'D | SUPP | AREA | REQ'D | SUPP |
| | RIDGE | 208 | 0.35 | 0.83 | 2078 | 3.47 | 7.38 | | | | | | | | | |
| | EAVE | | 0.35 | 0.83 | | 3.47 | 6.13 | | | | | | | | | |
| | TOTAL | | 0.70 | 1.66 | | 2.96 | 13.51 | | | | | | | | | |



ROOF PLAN
SCALE: 1/8" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

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Cleveland Division
387 Medina Rd. Suite 1700
Medina, OH 44256



Front Elevation - 1
Side Elevations & Roof Plan

PRODUCTION MANAGER
Cobe Kirtsey
CURRENT RELEASE DATE: 07/27/2021

| REV # | DATE | DESCRIPTION |
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PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS LOT 178
LAWSON COMMUNITY ID

GARAGE HANDING
GARAGE LEFT

SPECIFICATION LEVEL
TBD

PLAN NAME
HOLBROOK
NPC PLAN NUMBER
TBD
LAWSON PLAN ID

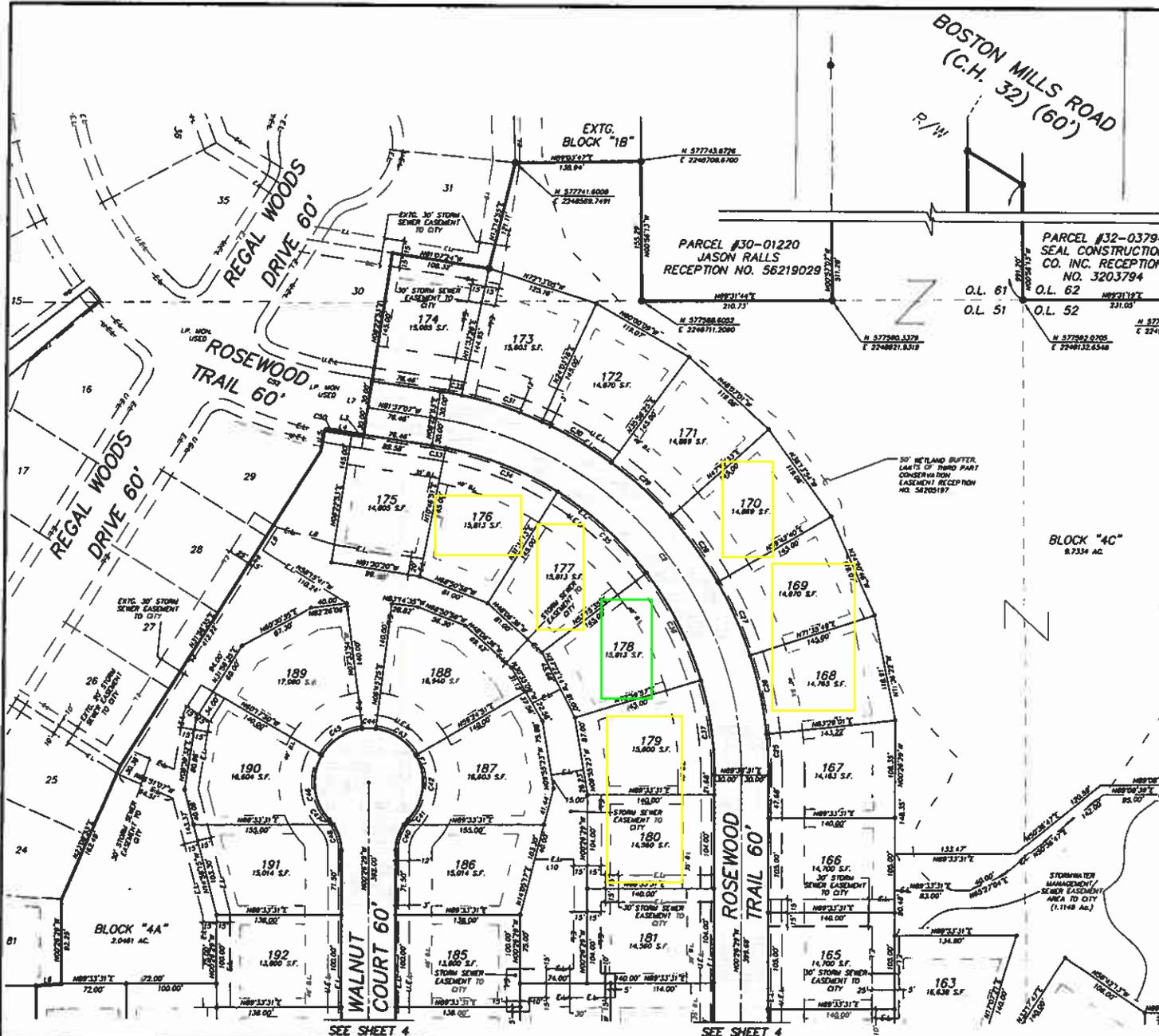
LEGACY PLAN NUMBER / NAME
PLAN 3140

SHEET
7.01a2

PLOTTED: July 27, 2021 / Ridgev Kumar / PLAN-3140-RD-ELO1.DWG

ENGINEER OF RECORD: MULHERN & KULP ENGINEERING
ARCHITECT OF RECORD: GODOLICO DESIGN - ARCHITECTS

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



| LINE | LENGTH | BEARING |
|------|--------|-------------|
| L1 | 6.5' | N82°27'00"W |
| L2 | 2.00' | N89°33'31"E |
| L3 | 13.12' | N81°37'07"W |
| L4 | 18.10' | N81°37'07"W |
| L5 | 25.00' | N07°00'15"E |
| L6 | 38.07' | N85°28'23"E |
| L7 | 31.22' | N81°37'07"W |
| L8 | 85.00' | N74°47'07"W |
| L9 | 30.00' | N31°56'25"E |
| L10 | 43.12' | N89°33'31"E |

| CURVE | RADIUS | LENGTH | TANGENT | CHORD | BEARING | DELTA |
|-------|---------|---------|---------|---------|-------------|-----------|
| C1 | 300.00' | 187.75' | 102.82' | 184.13' | N02°37'12"W | 37°48'38" |
| C2 | 400.00' | 586.72' | 343.70' | 520.50' | N41°09'48"W | 87°50'36" |
| C3 | 300.00' | 63.80' | 63.19' | 65.58' | N08°11'08"W | 14°33'53" |
| C4 | 300.00' | 57.78' | 28.88' | 57.71' | N01°30'58"W | 10°01'54" |
| C5 | 50.00' | 32.55' | 16.88' | 31.88' | N08°00'33"W | 37°18'08" |
| C6 | 60.00' | 3.80' | 1.94' | 3.68' | N08°46'52"E | 37°45'26" |
| C7 | 60.00' | 68.72' | 36.40' | 63.87' | N28°31'7"W | 64°34'48" |
| C8 | 60.00' | 53.82' | 28.87' | 52.04' | N01°31'08"W | 31°23'40" |
| C9 | 60.00' | 52.47' | 31.18' | 55.30' | N01°30'31"E | 54°53'00" |
| C10 | 60.00' | 78.85' | 46.27' | 73.28' | N23°34'7"W | 75°18'38" |
| C11 | 60.00' | 14.48' | 7.28' | 14.48' | N88°07'31"W | 17°30'27" |
| C12 | 50.00' | 65.77' | 24.63' | 44.19' | N48°49'43"W | 57°28'43" |
| C13 | 370.00' | 67.64' | 34.00' | 67.46' | N15°25'42"W | 14°31'12" |
| C14 | 370.00' | 30.70' | 15.37' | 30.68' | N45°58'38"W | 62°30'37" |
| C15 | 370.00' | 61.00' | 31.05' | 61.15' | N01°05'16"W | 17°41'11" |
| C16 | 30.00' | 67.12' | 30.00' | 62.43' | N44°33'31"E | 80°00'00" |
| C17 | 60.00' | 28.37' | 14.40' | 28.11' | N76°00'48"W | 27°28'28" |
| C18 | 60.00' | 62.40' | 34.30' | 58.62' | N23°01'31"E | 57°35'10" |
| C19 | 60.00' | 62.40' | 34.30' | 58.62' | N28°34'38"W | 50°35'10" |
| C20 | 60.00' | 18.87' | 10.08' | 18.88' | N81°43'37"W | 18°04'27" |
| C21 | 60.00' | 81.29' | 48.27' | 78.22' | N85°34'50"W | 77°37'40" |
| C22 | 50.00' | 33.80' | 17.58' | 33.16' | N45°37'58"W | 38°44'38" |
| C23 | 50.00' | 31.14' | 16.32' | 30.88' | N77°28'40"E | 24°33'43" |
| C24 | 30.00' | 67.12' | 30.00' | 62.43' | N45°28'39"W | 80°00'00" |
| C25 | 430.00' | 65.58' | 22.82' | 45.37' | N63°28'44"W | 8°04'36" |
| C26 | 430.00' | 86.21' | 44.77' | 88.05' | N12°27'33"W | 11°53'12" |
| C27 | 430.00' | 88.20' | 44.78' | 88.04' | N24°20'48"W | 11°53'08" |
| C28 | 430.00' | 88.20' | 44.78' | 88.04' | N38°13'34"W | 11°53'07" |
| C29 | 430.00' | 88.20' | 44.78' | 88.04' | N48°07'04"W | 11°53'07" |
| C30 | 430.00' | 88.20' | 44.78' | 88.04' | N60°00'00"W | 11°53'07" |
| C31 | 430.00' | 83.78' | 47.08' | 83.60' | N72°11'38"W | 12°29'47" |
| C32 | 430.00' | 23.84' | 11.92' | 23.64' | N80°01'48"W | 37°03'38" |
| C33 | 370.00' | 15.48' | 7.75' | 15.48' | N80°25'08"W | 27°32'58" |
| C34 | 370.00' | 133.83' | 67.71' | 133.20' | N68°30'38"W | 20°44'22" |
| C35 | 370.00' | 133.83' | 67.71' | 133.20' | N48°08'38"W | 20°44'22" |
| C36 | 370.00' | 133.83' | 67.71' | 133.20' | N27°22'14"W | 20°44'22" |
| C37 | 370.00' | 108.94' | 53.84' | 108.58' | N08°13'14"W | 18°23'13" |
| C38 | 30.00' | 67.12' | 30.00' | 62.43' | N44°33'31"E | 80°00'00" |
| C39 | 30.00' | 67.12' | 30.00' | 62.43' | N43°28'29"W | 80°00'00" |
| C40 | 50.00' | 30.32' | 15.64' | 28.88' | N18°35'37"E | 34°04'53" |
| C41 | 50.00' | 7.50' | 3.78' | 7.48' | N38°38'12"E | 8°25'48" |
| C42 | 60.00' | 78.85' | 46.78' | 71.79' | N08°00'28"E | 73°29'28" |
| C43 | 60.00' | 55.14' | 28.68' | 51.22' | N56°34'31"W | 57°28'24" |
| C44 | 60.00' | 15.00' | 7.54' | 14.88' | N82°33'44"E | 14°29'28" |
| C45 | 60.00' | 55.22' | 29.74' | 51.20' | N58°04'08"E | 57°43'50" |
| C46 | 60.00' | 78.85' | 46.78' | 71.79' | N07°02'34"W | 73°28'10" |
| C47 | 50.00' | 7.50' | 3.78' | 7.48' | N39°28'11"W | 8°25'38" |
| C48 | 50.00' | 30.32' | 15.64' | 28.88' | N17°48'33"W | 34°04'53" |
| C49 | 30.00' | 67.12' | 30.00' | 62.43' | N44°33'31"E | 80°00'00" |
| C50 | 430.00' | 12.17' | 6.08' | 12.17' | N80°48'27"W | 17°27'20" |
| C51 | 300.00' | 6.78' | 3.38' | 6.78' | N01°05'18"W | 17°41' |
| C52 | 400.00' | 164.48' | 83.47' | 163.33' | N89°00'18"W | 27°31'42" |



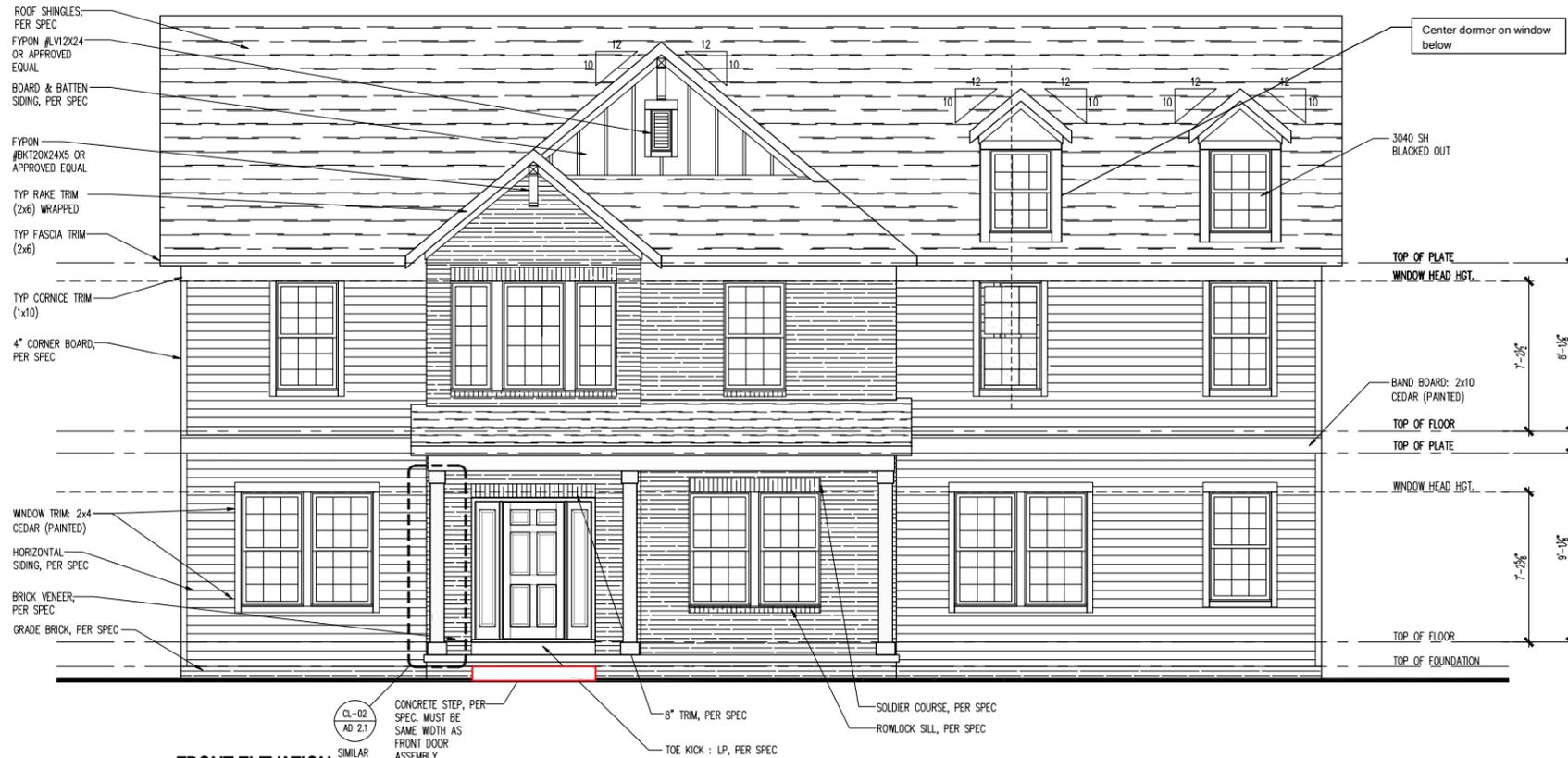
**THE RESERVE AT RIVER OAKS
SUBDIVISION PHASE 4**

DONALD G. BIRNBAUM & ASSOCIATES, INC.
Civil, Engineering & Surveying
1000 West Higgins Avenue, Suite 200
P.O. Box 1000, River Oaks, TX 77070
Tel: 281-465-1100 Fax: 281-465-1101
www.dgbinc.com

N.C.E.K. FEB. 2019 3
4272-4 4

— = Subject house
— = Look Alikes

LOT 168



FRONT ELEVATION

1/4" = 1'-0"



REAR ELEVATION

1/4" = 1'-0"

PLOTTED: November 20, 2020 / Kamlesh Bhatt / 2380-KIRKLAND-OH-ROOM-EL-FH1A.DWG

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Midwest Zone Office
 1900 E. Golf Road, - Suite 300
 Schaumburg, Illinois 60173



Elevation Farmhouse 1A
 3 Car Side Entry
 Front and Rear Elevations.

PRODUCTION MANAGER
 Cobe Kirksey
 INITIAL RELEASE DATE:
 09-09-2016
 CURRENT RELEASE DATE:
 11-06-2020

| REV # | DATE | DESCRIPTION |
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GARAGE HANDING
Right

PLAN NAME
Kirkland
 NPC PLAN NUMBER
2380.300.00.NPC
 LAWSON PLAN ID
LOT 168

SHEET
A3-FH1A
3SB.1

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



OHIO DIVISION - LOT 169

River Oaks

Atwater

GENERAL BUILDING REQUIREMENTS

- 1) THE ATTACHED PLANS & SPECIFICATIONS ARE THE SOLE PROPERTY OF PULTE HOMES INC. ANY UNAUTHORIZED USE OF THESE PLANS WITHOUT PRIOR WRITTEN CONSENT OF PULTE HOMES INC. IS STRICTLY PROHIBITED.
- 2) PULTE HOMES INC. DESIGNS & BUILDS HOUSING AS SET FORTH BY THE FORMAT AND PROVISIONS OF THE RESIDENTIAL CODE OF OHIO (RCO), AND THE NATIONAL ELECTRIC CODE (NEC). ANY NON-CONFORMING DOCUMENTS DISCOVERED BY THE CONTRACTOR OR HIS AGENTS SHALL BE CALLED TO THE IMMEDIATE ATTENTION OF PULTE HOMES INC. BY CALLING (651) 452-5200.
- 3) THESE PLANS ARE SUBJECT TO MODIFICATIONS TO MEET CODE REQUIREMENTS AND/OR TO FACILITATE MECHANICAL/ELECTRICAL/PLUMBING INSTALLATION AND/OR TO IMPLEMENT DESIGN IMPROVEMENTS. ANY INTENTION TO MODIFY THESE PLANS MUST BE APPROVED IN WRITING BY PULTE HOMES INC.
- 4) CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AFFECTING CONTRACTOR'S PRODUCTS, INSTALLATIONS, OR FABRICATIONS IN THE FIELD PRIOR TO EXPEDITING THE CONSTRUCTION OF SUCH WORK. FIELD VERIFY ALL DIMENSIONS - DO NOT SCALE DRAWINGS!! CONTRACTOR IS RESPONSIBLE FOR SURVEYING THE PROJECT AND BECOMING FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK INCLUDING BUT NOT LIMITED TO SITE AND SOIL BEARING CONDITIONS.
- 5) ERRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ERRORS, DISCREPANCIES, OR OMISSIONS FOR WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION AND/OR FABRICATION OF THE WORK.

SITE CONSTRUCTION

- 1) SOIL BEARING CALCULATIONS BASED ON 2000 PSF MIN
- 2) BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.
- 3) BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS BACKFILL TO NOT DAMAGE THE FOUNDATION WALLS OR ANY WATERPROOFING/ DAMPROOFING MATERIALS.

CONCRETE

- 1) ALL CONCRETE EXPOSED TO EXTERIOR ELEMENTS SHOULD BE AIR ENTRAINED 4-6%.
- 2) SLOPE ON DRIVE SHALL BE NO LESS THAN 2% OR 1/4" PER FOOT- PREFERABLY 4% OR 1/2" PER FOOT. THE FRONT STOOP SHALL HAVE SLOPE EQUAL TO 1" PER FOOT. THE RAISED WALK IN GARAGE SHALL HAVE A 1/2" PER FOOT SLOPE AND DRIVE SLAB SHALL BE SLOPED MIN. 1/4" PER FOOT.
- 3) SOME COLUMN DIMENSIONS ARE FROM CENTER OF COLUMN TO EXTERIOR FACE OF BASEMENT WALL.
- 4) BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.
- 5) BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS TO NOT DAMAGE THE FOUNDATION WALLS OR WATERPROOFING / DAMPROOFING MATERIALS.
- 6) MUD SILLS SHALL BE TREATED MEMBERS AND SECURED BY ANCHOR BOLTS AND/OR STRAPS AS SPECIFIED IN THE DRAWINGS, DETAILS, AND SPECIFICATIONS.
- 7) CALCULATIONS FOR COLUMN PADS BASED ON 2000 PSF SOIL BEARING.
- 8) FOUNDATION WALLS & FOOTER DEPTH TO BE VERIFIED IN FIELD.

MASONRY

- 1) ALL EXTERIOR BRICK MUST MEET ASTM C-216 FOR "SW" CONDITIONS
- 2) MASONRY VENEER SHALL BE ATTACHED TO SUPPORTING WALLS w/ 22GA x 7/8" CORRUGATED METAL TIES AT 24" O.C.
- 3) FLASHING BEHIND MASONRY SHALL BE 14# BUILDING PAPER OR FELT OR APPROVED EQUAL ATTACHED TO THE SHEATHING TO PREVENT MOISTURE PENETRATION.
- 4) WEEPHOLES SHALL BE PROVIDED ALONG THE OUTSIDE WYTHE OF EXTERIOR MASONRY WALLS AT 33" O.C. MAX. SHALL BE A MIN. OF 3/16" IN DIAMETER, AND LOCATED IMMEDIATELY ABOVE THE FLASHING

METAL

WOOD AND GLASS

THERMAL MOISTURE PROTECTION

- 1) INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.
- 2) ATTIC VENTILATION SHALL BE PROVIDED AT 1/150th OF THE AREA OF THE SPACE VENTILATED. CROSS VENTILATION WITH HALF OF THE VENTILATED AREA SHALL BE PROVIDED BY RIDGE OR GABLE VENTS AND THE OTHER HALF BY EAVE OR CORNICE VENTS. VENTS SHALL BE PLACED SO AS TO NOT ALLOW INFILTRATION OF RAIN OR SNOW.
- 3) PROVIDE APPROVED TILE BACKER BOARD FOR ALL SHOWER AND BATH SPACE
- 4) PROVIDE ICE-SHIELD PER CODE
- 5) ROOF VENTING TO BE PROVIDED AS SHOWN. SOFFIT, RIDGE, AND OTHER ROOF VENTS TO BE INSTALLED AS NOTED ON THE DRAWINGS & AS PER MANUFACTURERS RECOMMENDATIONS.
- 6) HOUSE WRAP & FLASHING TO BE INSTALLED PER PULTE BEST PRACTICES.

DOOR AND WINDOW

- 1) WINDOW CALL OUT PER WINDOW SCHEDULE VERIFY WINDOW MANUFACTURER WITH PROJECT MANAGER
- 2) REVIEW ALL WINDOW HDR HEIGHTS PER PLATE HT. AND VERIFY W/ ELEVATIONS AND CORNICE DETAILS
- 3) TEMPERED GLASS SHALL BE USED IN ALL HAZARDOUS AREAS
- 4) FRONT DOOR WIDTH AS REQUIRED BY CODE
- 5) GARAGE DOOR AS REQUIRED BY CODE
- 6) EMERGENCY - SLEEPING ROOMS SHALL HAVE AT LEAST ONE EGRESS OPENING OF NOT LESS THAN 5.7 SF AND A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.

MECHANICAL

- 1) FACTORY BUILT CHIMNEYS AND FIREPLACES SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS, AND ARE SUBJECT TO MECHANICAL INSPECTION
- 2) PROVIDE EXTERIOR AIR INTAKE FOR COMBUSTION AIR.

ELECTRICAL

- 1) ALL ELECTRICAL INSTALLATION SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE (NEC). ALL MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OF APPROVAL OF THE UNDERWRITERS LABORATORIES, INC.
- 2) ELECTRICAL CONTRACTOR SHALL VERIFY SPACE REQUIRED FOR METER INSTALLATION BEFORE CONSTRUCTION AND SHALL NOTIFY GENERAL CONTRACTOR OF ANY DISCREPANCIES.
- 3) VERIFY LOCATION OF ALL RECEPTACLES FOR APPLIANCES WITH MANUFACTURER SPECIFICATIONS.
- 4) GROUND FAULT INTERRUPTS SHALL BE LOCATED PER THE NEC.
- 5) ALL SWITCHES SHALL BE INSTALLED AT 3'-2" ABOVE FINISHED FLOOR TO CENTERLINE OF SWITCH UNLESS NOTED OTHERWISE.
- 6) ALL CONVENIENCE OUTLETS SHALL BE INSTALLED W/ CENTERLINE OF OUTLET LOCATED 1'-3" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.
- 7) ALL CONVENIENCE OUTLETS WITH SWITCHES TO BE SWITCH AT TOP ONLY.
- 8) ALL EXTERIOR WALL BRACKET FIXTURES SHALL BE INSTALLED AT 5'-6" ABOVE ADJACENT DOOR SILL HEIGHT TO CENTERLINE OF FIXTURE.
- 9) APPROVED SMOKE DETECTORS SHALL BE LOCATED ON EVERY STORY OF THE DWELLING UNIT AS PER CODE (SEE SHEET 6.00X FOR LOCATIONS). WHERE MORE THAN ONE DETECTOR IS REQUIRED THEY SHALL BE INTERCONNECTED. POWER SOURCE SHALL BE BUILDING POWER w/ BATTERY BACKUP.

GENERAL FRAMING AND CONSTRUCTION NOTES

- 1) THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES (210 MM) AND THE MINIMUM TREAD DEPTH SHALL BE 10 INCHES (229 MM).
- 2) HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34 INCHES AND 38 INCHES SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS.
- 3) HANDRAIL AND BALUSTRADE (WHERE PRESENT) SHALL BE CONSTRUCTED PER CODE
- 4) ALL REQUIRED HAND RAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS W/ 2 OR MORE RISERS FROM A POINT ABOVE THE TOP RISER OF A FLIGHT TO A POINT ABOVE THE LOWEST RISER OF THE FLIGHT. ENDS SHALL BE RETURNED OR SHALL TERMINATE AT NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1.5" BETWEEN THE WALL AND HAND RAIL.

WALL

- 1) ALL STUDS TO BE 2x4 SPF OR EQUAL UNLESS NOTED OTHERWISE.
- 2) USE DBL TOP PLATES 16" OC ON BOTH FIRST AND SECOND FLOOR AT ALL EXTERIOR AND LOAD BEARING CONDITIONS ALL OTHER PARTITION WALL USE SINGLE TOP PLATE 24"OC.

FLOOR

- 1) STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED, OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED PER CODE
- 2) THE ENDS OF EACH JOIST, BEAM, OR GIRDER SHALL HAVE NOT LESS THAN 1.5 INCHES (38MM) OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES (76MM) ON MASONRY OR CONCRETE OR AS OTHERWISE SPECIFIED PER CODE
- 3) ANY CONVENTIONAL FLOOR JOISTS SHOWN DOUBLED ON PLANS TO BE GLUED AT INSTALLATION AND NAILED W/ 3-16d NAILS @ 16" O.C. MULTIPLE PLYS OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM.
- 4) SHOP DRAWINGS FOR ANY AND ALL ENGINEERED FLOOR SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS. WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

FRAMING

- 1) ALL FRAMING DIMENSIONS TO FACE OF MEMBER/SHEATHING.
- 2) ALL BEARING HEADERS TO BE 2X8 SPF #2 OR EQUAL UNLESS NOTED OTHERWISE.
- 3) ALL 2x10 & 2x12 HEADERS TO BE SPF #2 UNLESS NOTED OTHERWISE.
- 4) ALL 2x8 HEADERS TO BE SPF #2 UNLESS NOTED OTHERWISE.
- 5) PROVIDE 1x BLOCKING UNDER ALL EXTERIOR SLIDING DOORS.
- 6) ALL BEAMS & HEADERS SHALL HAVE A MINIMUM OF (1) 2x JACK STUD & (1) 2x KING STUD. THE NUMBER OF STUDS LABELED ON PLANS INDICATES THE NUMBER OF JACK STUDS ONLY (UNLESS NOTED OTHERWISE).
- 7) TWO-PLY CONVENTIONAL BEAMS TO BE FACE-NAILED W/2 ROWS 16d COMMON NAILS STAGGERED @16" O.C. UNLESS NOTED OTHERWISE. THREE-PLY CONVENTIONAL BEAMS TO BE NAILED AS ABOVE FROM EACH SIDE. MULTIPLE PLYS OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM.
- 8) JOIST HANGERS, WHERE REQUIRED, SHALL BE USED WITHOUT ANGLES.
- 9) INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.

ROOF

- 1) HIP AND VALLEY RAFTERS SHALL BE SUPPORTED AT RIDGE DOWN TO BEARING PARTITION. CUT ENDS OF RAFTERS SHALL BE FULLY SUPPORTED WALL AND RIDGE.
- 2) SHOP DRAWINGS FOR ANY AND ALL ENGINEERED ROOF TRUSS SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS. WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

LIGHT VENT CALCULATION

| ROOM | SO. FT. | LIGHT REQ'D | LIGHT SUPP | VENT REQ'D | VENT SUPP | NOTES |
|------------------|---------|-------------|------------|------------|-----------|-------|
| FIRST FLOOR | | | | | | |
| PLANNING CENTER | 115 | 9.2 | 24.80 | 4.60 | 10.60 | |
| GATHERING ROOM | 367 | 29.36 | 49.60 | 14.68 | 21.20 | |
| KITCHEN/NOOK | 331 | 26.48 | 46.94 | 13.24 | 22.72 | |
| DINING ROOM | 161 | 12.88 | 24.80 | 6.44 | 10.60 | |
| DEN | 173 | 14.08 | 37.20 | 7.04 | 15.90 | |
| POWDER ROOM | 35 | N/A | N/A | 1.12 | 50.00 | |
| SECOND FLOOR | | | | | | |
| GAME ROOM | 299 | 23.92 | 46.80 | 11.96 | 19.60 | |
| OWNER'S SUITE | 282 | 22.64 | 40.80 | 11.32 | 17.20 | |
| BEDROOM 2 | 131 | 10.48 | 26.80 | 5.24 | 11.90 | |
| BEDROOM 3 | 159 | 12.16 | 23.40 | 6.08 | 9.80 | |
| BEDROOM 4 | 152 | 12.16 | 35.17 | 6.08 | 14.70 | |
| OWNER'S BATH | 111 | N/A | 24.80 | 118.8 | 120.00 | |
| TOILET ENCLOSURE | 16 | N/A | N/A | 20.9 | 50.00 | |
| BATH 3 | 48 | N/A | N/A | 59.40 | 60.00 | |
| BATH 4 | 37 | 2.96 | 5.20 | 1.48 | 50.00 | |
| OPT. BEDROOM 5 | 273 | 21.84 | 46.80 | 10.92 | 19.60 | |
| OPT. SUNROOM | 110 | 8.80 | 62.00 | 4.40 | 26.50 | |
| OPT. GUEST SUITE | 153 | 12.24 | 35.10 | 6.12 | 14.70 | |
| OPT. BEDROOM 6 | 226 | 21.84 | 23.85 | 10.92 | 12.40 | |
| OPT. BSMT. BATH | 44 | N/A | N/A | 1.48 | 50.00 | |
| BATH 1 | 35 | N/A | N/A | 37.40 | 50.00 | |
| OPT. BATH 2 | 48 | N/A | N/A | 59.40 | 60.00 | |

APPLICABLE CODES

- 2009 INTERNATIONAL RESIDENTIAL CODE (SECTION 602)
- 2012 INTERNATIONAL RESIDENTIAL CODE (SECTION 602)
- 2013 RESIDENTIAL CODE OF OHIO
- 2011 INTERNATIONAL PLUMBING CODE
- 2011 INTERNATIONAL MECHANICAL CODE
- 2011 NATIONAL ELECTRIC CODE
- 2011 INTERNATIONAL FIRE CODE
- 2009 INTERNATIONAL ENERGY CONSERVATION CODE

PLAN SHEET INDEX

| NO. | DESCRIPTION |
|--------|---|
| 0.00 | COVER SHEET |
| 1.30a | FULL BASEMENT FOUNDATION PLAN |
| 2.00 | FINISHED BASEMENT PLAN |
| 2.10a | FIRST FLOOR PLAN |
| 2.11a | PLAN DETAILS |
| 2.11b | PLAN DETAILS |
| 2.11c | PLAN DETAILS |
| 2.20a | SECOND FLOOR PLAN |
| 3.30a | TYPICAL BUILDING SECTIONS |
| 3.31a | TYPICAL WALL SECTIONS |
| 3.31b | TYPICAL WALL SECTIONS |
| AD 3.7 | ARCHITECTURAL DETAILS |
| 6.10 | FIRST FLOOR ELECTRICAL PLANS |
| 6.11 | SECOND FLOOR ELECTRICAL PLAN |
| 7.01a1 | ELEVATION "1" - FRONT AND REAR ELEVATIONS |
| 7.01a2 | ELEVATION "1" - SIDE ELEVATIONS AND ROOF PLAN |
| S-1.0 | 1ST FLOOR FRAMING PLAN |
| S-1.1 | 1ST FLOOR FRAMING PLAN |
| S-1.2 | 1ST FLOOR FRAMING PLAN |
| S-1.3 | 1ST FLOOR FRAMING PLAN |
| S-1.4 | 1ST FLOOR FRAMING PLAN |
| S-1.5 | 1ST FLOOR FRAMING PLAN |
| S-1.6 | 1ST FLOOR FRAMING PLAN |
| S-2.0 | 2ND FLOOR FRAMING PLAN |
| S-2.1 | 2ND FLOOR FRAMING PLAN |
| S-2.2 | 2ND FLOOR FRAMING PLAN |
| S-2.3 | 2ND FLOOR FRAMING PLAN |
| S-3.0 | ROOF FRAMING PLAN |
| S-3.1 | ROOF FRAMING PLAN |
| S-3.2 | ROOF FRAMING PLAN |
| S-3.3 | ROOF FRAMING PLAN |
| S-4.0 | WALL BRACING DETAILS |
| SD.01 | TYPICAL FOUNDATION DETAILS |
| SD.02 | TYPICAL FOUNDATION DETAILS |
| SD.03 | TYPICAL FOUNDATION DETAILS |

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Cleveland Division
 387 Medina Rd. Suite 1700
 Medina, OH 44256



Cover Sheet
 Specifications & General Notes

| REV # | DATE | DESCRIPTION |
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PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS LOT 169
 LAWSON COMMUNITY ID

GARAGE HANDING
GARAGE RIGHT

SPECIFICATION LEVEL
TBD

PLAN NAME
ATWATER
 NPC PLAN NUMBER
1642
 LAWSON PLAN ID
 LEGACY PLAN NUMBER / NAME
PLAN 3295

SHEET
0.00

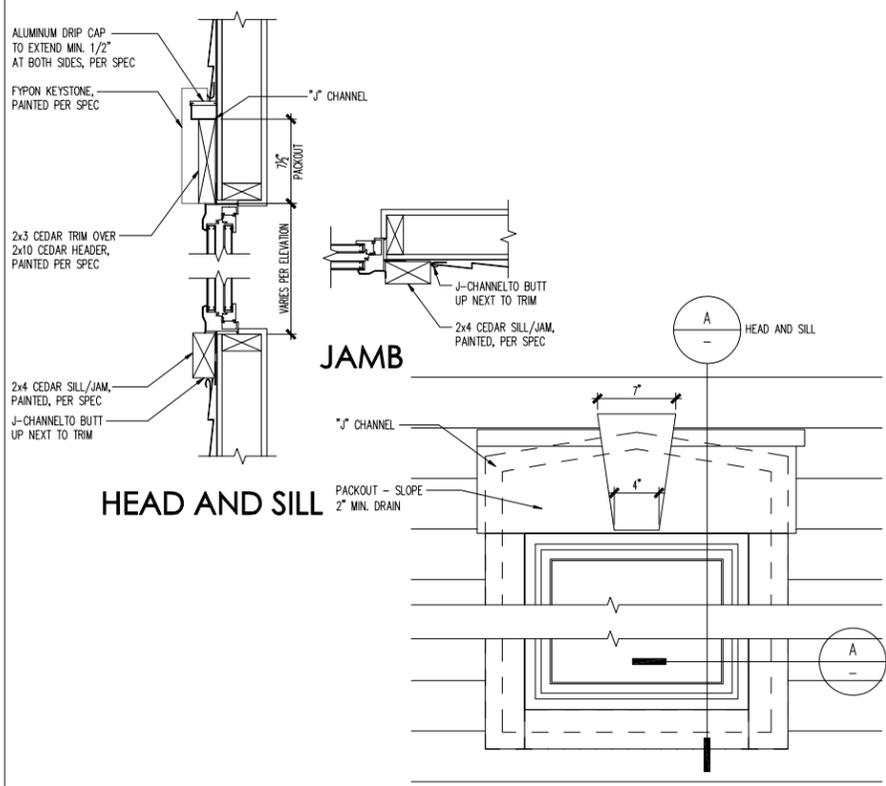
ENGINEER OF RECORD: MULHERN & KULP ENGINEERS
 ARCHITECT OF RECORD: GODDUCO DESIGN - ARCHITECTS

PLOTTED: October 15, 2020 / Kaminigh, Brian / PLAN: 3295-RD-CORR.DWG

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

PLOTTED: October 15, 2020 / Kaminhigh Blatt / PLAN-3295-RD-EL01.DWG

A WNDW TRIM DETAIL
SCALE: 1 1/2" = 1'-0"



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387 Medina Rd. Suite 1700
Medina, OH 44256



Elevation - #1
Front and Rear Elevations

PRODUCTION MANAGER
Cobe Kirksey
CURRENT RELEASE DATE: 10/15/2020

| REV # | DATE | DESCRIPTION |
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PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS LOT 169
LAWSON COMMUNITY ID

GARAGE HANDING
GARAGE RIGHT

SPECIFICATION LEVEL
TBD

PLAN NAME
ATWATER
NPC PLAN NUMBER
1642
LAWSON PLAN ID
LEGACY PLAN NUMBER / NAME
PLAN 3295

SHEET
7.01a1

ENGINEER OF RECORD: MULHERN & KULP ENGINEERS
ARCHITECT OF RECORD: GODOLICO DESIGN - ARCHITECTS

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



OHIO DIVISION - LOT 170

River Oaks



Atwater

PLAN SHEET INDEX

| SHT. | DESCRIPTION |
|--------|---|
| 0.00 | COVER SHEET |
| 1.30c | FULL BASEMENT FOUNDATION PLAN |
| 2.10a | FIRST FLOOR PLAN |
| 2.11a | PLAN DETAILS |
| 2.11b | PLAN DETAILS |
| 2.11c | PLAN DETAILS |
| 2.20a | SECOND FLOOR PLAN |
| 3.30a | TYPICAL BUILDING SECTIONS |
| 3.31a | TYPICAL WALL SECTIONS |
| 3.31b | TYPICAL WALL SECTIONS |
| 6.10 | FIRST FLOOR ELECTRICAL PLAN |
| 6.11 | SECOND FLOOR ELECTRICAL PLAN |
| 7.05a1 | ELEVATION "S" - FRONT AND REAR ELEVATIONS |
| 7.05a2 | ELEVATION "S" - SIDE ELEVATIONS AND ROOF PLAN |
| S-1.0 | 1ST FLOOR FRAMING PLAN |
| S-1.1 | 1ST FLOOR FRAMING PLAN |
| S-1.2 | 1ST FLOOR FRAMING PLAN |
| S-1.3 | 1ST FLOOR FRAMING PLAN |
| S-1.4 | 1ST FLOOR FRAMING PLAN |
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| S-2.0 | 2ND FLOOR FRAMING PLAN |
| S-2.1 | 2ND FLOOR FRAMING PLAN |
| S-2.2 | 2ND FLOOR FRAMING PLAN |
| S-2.3 | 2ND FLOOR FRAMING PLAN |
| S-3.0 | ROOF FRAMING PLAN |
| S-3.1 | ROOF FRAMING PLAN |
| S-3.2 | ROOF FRAMING PLAN |
| S-3.3 | ROOF FRAMING PLAN |
| SD.01 | TYPICAL FOUNDATION DETAILS |
| SD.02 | TYPICAL FOUNDATION DETAILS |
| SD.03 | TYPICAL FOUNDATION DETAILS |

1 - GENERAL BUILDING & DESIGN REQUIREMENTS

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2) PULTE HOMES INC. DESIGNS & BUILDS HOUSING AS SET FORTH BY THE FORMAT AND PROVISIONS OF THE RESIDENTIAL CODE OF OHIO (RCO), AND THE NATIONAL ELECTRIC CODE (NEC). ANY NON-CONFORMING DOCUMENTS DISCOVERED BY THE CONTRACTOR OR HIS AGENTS SHALL BE CALLED TO THE IMMEDIATE ATTENTION OF PULTE HOMES INC. BY CALLING (651) 452-5200.

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4) CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AFFECTING CONTRACTOR'S PRODUCTS, INSTALLATIONS, OR FABRICATIONS IN THE FIELD PRIOR TO EXPEDITING THE CONSTRUCTION OF SUCH WORK. FIELD VERIFY ALL DIMENSIONS - DO NOT SCALE DRAWINGS!! CONTRACTOR IS RESPONSIBLE FOR SURVEYING THE PROJECT AND BECOMING FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK INCLUDING BUT NOT LIMITED TO SITE AND SOIL BEARING CONDITIONS.

5) ERRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ERRORS, DISCREPANCIES, OR OMISSIONS FOR WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION AND/OR FABRICATION OF THE WORK.

2 - SITE CONSTRUCTION

1) SOIL BEARING CALCULATIONS BASED ON 2000 PSF MIN

2) BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.

3) BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS BACKFILL TO NOT DAMAGE THE FOUNDATION WALLS OR ANY WATERPROOFING/DAMP-PROOFING MATERIALS.

3 - CONCRETE

1) ALL CONCRETE EXPOSED TO EXTERIOR ELEMENTS SHOULD BE AIR ENTRAINED 4-6%.

2) SLOPE ON DRIVE SHALL BE NO LESS THAN 2% OR 1/4" PER FOOT - PREFERABLY 4% OR 1/2" PER FOOT. THE FRONT STOOP SHALL HAVE SLOPE EQUAL TO 1" PER FOOT. THE RAISED WALK IN GARAGE SHALL HAVE A 1/2" PER FOOT SLOPE AND DRIVE SLAB SHALL BE SLOPED MIN. 1/4" PER FOOT.

3) SOME COLUMN DIMENSIONS ARE FROM CENTER OF COLUMN TO EXTERIOR FACE OF BASEMENT WALL.

4) BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.

5) BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS TO NOT DAMAGE THE FOUNDATION WALLS OR WATERPROOFING / DAMPPROOFING MATERIALS.

6) MUD SILLS SHALL BE TREATED MEMBERS AND SECURED BY ANCHOR BOLTS AND/OR STRAPS AS SPECIFIED IN THE DRAWINGS, DETAILS, AND SPECIFICATIONS.

7) CALCULATIONS FOR COLUMN PADS BASED ON 2000 PSF SOIL BEARING.

8) FOUNDATION WALLS & FOOTER DEPTH TO BE VERIFIED IN FIELD.

4 - MASONRY

1) ALL EXTERIOR BRICK MUST MEET ASTM C-216 FOR "SW" CONDITIONS

2) MASONRY VENEER SHALL BE ATTACHED TO SUPPORTING WALLS w/ 22GA x 7/8" CORRUGATED METAL TIES AT 24" O.C.

3) FLASHING BEHIND MASONRY SHALL BE 14# BUILDING PAPER OR FELT OR APPROVED EQUAL ATTACHED TO THE SHEATHING TO PREVENT MOISTURE PENETRATION.

4) WEEPHOLES SHALL BE PROVIDED ALONG THE OUTSIDE WYTHE OF EXTERIOR MASONRY WALLS AT 33" O.C. MAX. SHALL BE A MIN. OF 3/16" IN DIAMETER, AND LOCATED IMMEDIATELY ABOVE THE FLASHING

5 - METALS

1) ALL STUDS TO BE 2x4 SPF OR EQUAL UNLESS NOTED OTHERWISE.

2) USE DBL TOP PLATES 16" OC ON BOTH FIRST AND SECOND FLOOR AT ALL EXTERIOR AND LOAD BEARING CONDITIONS ALL OTHER PARTITION WALL USE SINGLE TOP PLATE 24"OC.

6 - WOOD AND PLASTICS

1) STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED, OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED PER CODE

2) THE ENDS OF EACH JOIST, BEAM, OR GIRDER SHALL HAVE NOT LESS THAN 1.5 INCHES (38MM) OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES (76MM) ON MASONRY OR CONCRETE OR AS OTHERWISE SPECIFIED PER CODE

3) ANY CONVENTIONAL FLOOR JOISTS SHOWN DOUBLED ON PLANS TO BE GLUED AT INSTALLATION AND NAILED W/ 3-16d NAILS @ 16" O.C. MULTIPLE PLYS OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM.

4) SHOP DRAWINGS FOR ANY AND ALL ENGINEERED FLOOR SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS. WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

7 - THERMAL & MOISTURE PROTECTION

1) INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.

2) ATTIC VENTILATION SHALL BE PROVIDED AT 1/150th OF THE AREA OF THE SPACE VENTILATED. CROSS VENTILATION WITH HALF OF THE VENTILATED AREA SHALL BE PROVIDED BY RIDGE OR GABLE VENTS AND THE OTHER HALF BY EAVE OR CORNICE VENTS. VENTS SHALL BE PLACED SO AS TO NOT ALLOW INFILTRATION OF RAIN OR SNOW.

3) PROVIDE APPROVED TILE BACKER BOARD FOR ALL SHOWER AND BATH SPACE

4) PROVIDE ICE-SHIELD PER CODE

5) ROOF VENTING TO BE PROVIDED AS SHOWN. SOFFIT, RIDGE, AND OTHER ROOF VENTS TO BE INSTALLED AS NOTED ON THE DRAWINGS & AS PER MANUFACTURERS RECOMMENDATIONS.

6) HOUSE WRAP & FLASHING TO BE INSTALLED PER PULTE BEST PRACTICES.

8 - DOORS AND WINDOWS

1) WINDOW CALL OUT PER WINDOW SCHEDULE VERIFY WINDOW MANUFACTURER WITH PROJECT MANAGER

2) REVIEW ALL WINDOW HDR HEIGHTS PER PLATE HT. AND VERIFY W/ ELEVATIONS AND CORNICE DETAILS

3) TEMPERED GLASS SHALL BE USED IN ALL HAZARDOUS AREAS

4) FRONT DOOR WIDTH AS REQUIRED BY CODE

5) GARAGE DOOR AS REQUIRED BY CODE

6) EMERGENCY - SLEEPING ROOMS SHALL HAVE AT LEAST ONE EGRESS OPENING OF NOT LESS THAN 5.7 SF AND A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.

15 - MECHANICALS

1) FACTORY BUILT CHIMNEYS AND FIREPLACES SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS, AND ARE SUBJECT TO MECHANICAL INSPECTION

2) PROVIDE EXTERIOR AIR INTAKE FOR COMBUSTION AIR.

16 - ELECTRICAL

1) ALL ELECTRICAL INSTALLATION SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE (NEC). ALL MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OF APPROVAL OF THE UNDERWRITERS LABORATORIES, INC.

2) ELECTRICAL CONTRACTOR SHALL VERIFY SPACE REQUIRED FOR METER INSTALLATION BEFORE CONSTRUCTION AND SHALL NOTIFY GENERAL CONTRACTOR OF ANY DISCREPANCIES.

3) VERIFY LOCATION OF ALL RECEPTACLES FOR APPLIANCES WITH MANUFACTURER SPECIFICATIONS.

4) GROUND FAULT INTERRUPTS SHALL BE LOCATED PER THE NEC.

5) ALL SWITCHES SHALL BE INSTALLED AT 3'-2" ABOVE FINISHED FLOOR TO CENTERLINE OF SWITCH UNLESS NOTED OTHERWISE.

6) ALL CONVENIENCE OUTLETS SHALL BE INSTALLED W/ CENTERLINE OF OUTLET LOCATED 1'-3" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.

7) ALL CONVENIENCE OUTLETS WITH SWITCHES TO BE SWITCH AT TOP ONLY.

8) ALL EXTERIOR WALL BRACKET FIXTURES SHALL BE INSTALLED AT 5'-6" ABOVE ADJACENT DOOR SILL HEIGHT TO CENTERLINE OF FIXTURE.

9) APPROVED SMOKE DETECTORS SHALL BE LOCATED ON EVERY STORY OF THE DWELLING UNIT AS PER CODE (SEE SHEET 6.XXX FOR LOCATIONS). WHERE MORE THAN ONE DETECTOR IS REQUIRED THEY SHALL BE INTERCONNECTED. POWER SOURCE SHALL BE BUILDING POWER W/ BATTERY BACKUP.

GENERAL FRAMING SPECS AND CONSTRUCTION NOTES STAIRS:

1) THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES (210 MM) AND THE MINIMUM TREAD DEPTH SHALL BE 10 INCHES (259 MM).

2) HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34 INCHES AND 38 INCHES SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS.

3) HANDRAIL AND BALLUSTRADE (WHERE PRESENT) SHALL BE CONSTRUCTED PER CODE

4) ALL REQUIRED HAND RAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS W/ 2 OR MORE RISERS FROM A POINT ABOVE THE THE TOP RISER OF A FLIGHT TO A POINT ABOVE THE LOWEST RISER OF THE FLIGHT. ENDS SHALL BE RETURNED OR SHALL TERMINATE AT NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1.5" BETWEEN THE WALL AND HAND RAIL.

WALLS:

1) ALL STUDS TO BE 2x4 SPF OR EQUAL UNLESS NOTED OTHERWISE.

2) USE DBL TOP PLATES 16" OC ON BOTH FIRST AND SECOND FLOOR AT ALL EXTERIOR AND LOAD BEARING CONDITIONS ALL OTHER PARTITION WALL USE SINGLE TOP PLATE 24"OC.

FLOORS:

1) STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED, OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED PER CODE

2) THE ENDS OF EACH JOIST, BEAM, OR GIRDER SHALL HAVE NOT LESS THAN 1.5 INCHES (38MM) OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES (76MM) ON MASONRY OR CONCRETE OR AS OTHERWISE SPECIFIED PER CODE

3) ANY CONVENTIONAL FLOOR JOISTS SHOWN DOUBLED ON PLANS TO BE GLUED AT INSTALLATION AND NAILED W/ 3-16d NAILS @ 16" O.C. MULTIPLE PLYS OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM.

4) SHOP DRAWINGS FOR ANY AND ALL ENGINEERED FLOOR SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS. WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

FRAMING:

1) ALL FRAMING DIMENSIONS TO FACE OF MEMBER/SHEATHING.

2) ALL BEARING HEADERS TO BE 2x8 SPF #2 OR EQUAL UNLESS NOTED OTHERWISE.

3) ALL 2x10 & 2x12 HEADERS TO BE SPF #2 UNLESS NOTED OTHERWISE.

4) ALL 2x8 HEADERS TO BE SPF #2 UNLESS NOTED OTHERWISE.

5) PROVIDE 1x BLOCKING UNDER ALL EXTERIOR SLIDING DOORS.

6) ALL BEAMS & HEADERS SHALL HAVE A MINIMUM OF (1) 2x JACK STUD & (1) 2x KING STUD. THE NUMBER OF STUDS LABELED ON PLANS INDICATES THE NUMBER OF JACK STUDS ONLY (UNLESS NOTED OTHERWISE).

7) TWO-PLY CONVENTIONAL BEAMS TO BE FACE-NAILED W/2 ROWS 16d COMMON NAILS STAGGERED @16" O.C. UNLESS NOTED OTHERWISE. THREE-PLY CONVENTIONAL BEAMS TO BE NAILED AS ABOVE FROM EACH SIDE. MULTIPLE PLYS OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM.

8) JOIST HANGERS, WHERE REQUIRED, SHALL BE USED WITHOUT ANGLES.

9) INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.

ROOF:

1) H/P AND VALLEY RAFTERS SHALL BE SUPPORTED AT RIDGE DOWN TO BEARING PARTITION. CUT ENDS OF RAFTERS SHALL BE FULLY SUPPORTED WALL AND RIDGE.

2) SHOP DRAWINGS FOR ANY AND ALL ENGINEERED ROOF TRUSS SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS. WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

LIGHT & VENT CALCULATIONS:

| ROOM | SQ. FT. | LIGHT REQ'D | LIGHT SUPP | VENT REQ'D | VENT SUPP | NOTES |
|------------------|---------|-------------|------------|------------|-----------|-------|
| FIRST FLOOR | | | | | | |
| PLANNING CENTER | 115 | 9.2 | 24.80 | 4.60 | 10.60 | |
| GATHERING ROOM | 367 | 29.36 | 49.60 | 14.68 | 21.20 | |
| KITCHEN/NOOK | 331 | 26.48 | 46.94 | 13.24 | 22.72 | |
| DINING ROOM | 161 | 12.88 | 24.80 | 6.44 | 10.60 | |
| DEN | 173 | 14.08 | 37.20 | 7.04 | 15.90 | |
| POWDER ROOM | 35 | N/A | N/A | 1.12 | 50.00 | |
| SECOND FLOOR | | | | | | |
| GAME ROOM | 299 | 23.92 | 46.80 | 11.96 | 19.60 | |
| OWNER'S SUITE | 282 | 22.64 | 40.80 | 11.32 | 17.20 | |
| BEDROOM 2 | 131 | 10.48 | 26.80 | 5.24 | 11.90 | |
| BEDROOM 3 | 159 | 12.16 | 23.40 | 6.08 | 9.80 | |
| BEDROOM 4 | 152 | 12.16 | 35.17 | 6.08 | 14.70 | |
| OWNER'S BATH | 111 | N/A | 24.80 | 118.8 | 120.00 | |
| TOILET ENCLOSURE | 16 | N/A | N/A | 20.9 | 50.00 | |
| BATH 3 | 48 | N/A | N/A | 59.40 | 60.00 | |
| BATH 4 | 37 | 2.96 | 5.20 | 1.48 | 50.00 | |

APPLICABLE CODES:

Building Code: 2019 RCO
 Plumbing Code: 2017 Plumbing Code
 Mechanical Code: 2017 Mechanical Code
 Energy Code: 2019 Energy Code Ohio
 Electrical Code: 2017 NEC
 Fire Code: 2011 International Fire Code

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Cleveland Division
 387 Medina Rd. Suite 1700
 Medina, OH 44256



NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

Cover Sheet Specifications & General Notes

| PRODUCTION MANAGER | | |
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| Gabe Kirksey | | |
| CURRENT RELEASE DATE: 03/12/2021 | | |
| REV # | DATE | DESCRIPTION |
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PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS LOT 170
 LAWSON COMMUNITY ID

GARAGE HANDING
GARAGE RIGHT

SPECIFICATION LEVEL
TBD

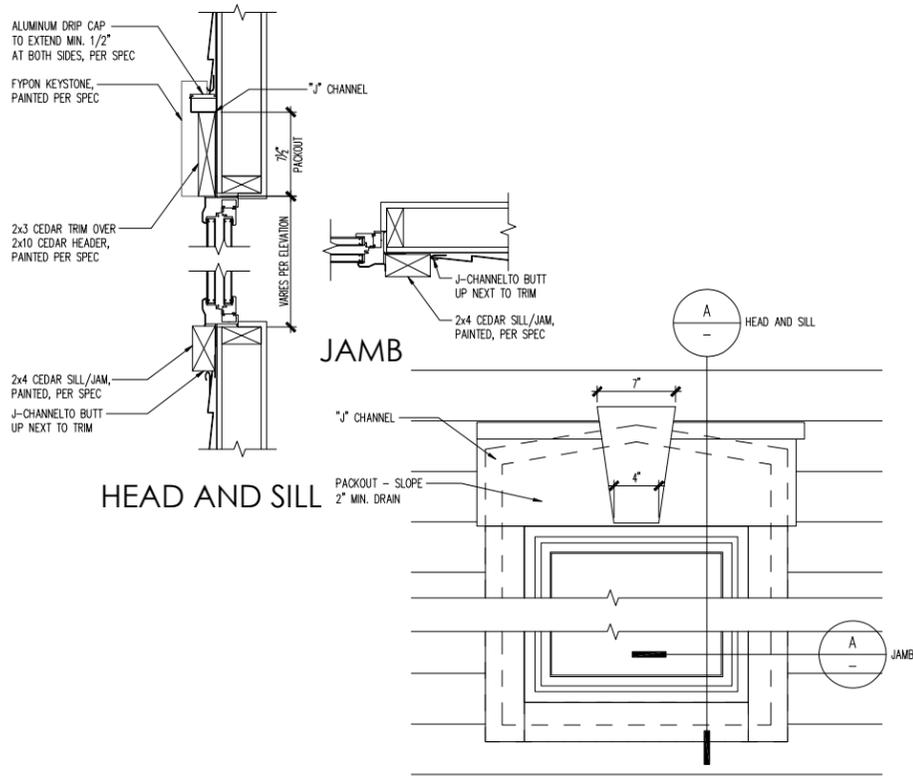
PLAN NAME
ATWATER
 NPC PLAN NUMBER
1642
 LAWSON PLAN ID
 LEGACY PLAN NUMBER / NAME
PLAN 3295

SHEET
0.00

PLOTTED: April 23, 2021 / Prem Kumar / PLAN-3295-00-COVER.DWG

ENGINEER OF RECORD: MULHERN & KUIP, ENGINEERS
 ARCHITECT OF RECORD: GODOLICO DESIGN - ARCHITECTS

A WNDW TRIM DETAIL
SCALE: 1 1/2" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

Cleveland Division
387 Medina Rd. Suite 1700
Medina, OH 44256



Elevation - #5
Front and Rear Elevations

PRODUCTION MANAGER
Cobe Kirksey
CURRENT RELEASE DATE: 03/12/2021

| REV # | DATE | DESCRIPTION |
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PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS LOT 170
LAWSON COMMUNITY ID

GARAGE HANDING
GARAGE RIGHT

SPECIFICATION LEVEL
TBD

PLAN NAME
ATWATER
NPC PLAN NUMBER
1642
LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME
PLAN 3295

SHEET
7.05a1

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ENGINEER OF RECORD: MULHORN & KULP ENGINEERS
ARCHITECT OF RECORD: GODOLCO DESIGN - ARCHITECTS



OHIO DIVISION - LOT 176

River Oaks



Atwater

PLAN SHEET INDEX

| SHT. | DESCRIPTION |
|--------|---|
| 0.00 | COVER SHEET |
| 1.30c | FULL BASEMENT FOUNDATION PLAN |
| 2.00 | FINISHED BASEMENT PLAN |
| 2.10a | FIRST FLOOR PLAN |
| 2.11a | PLAN DETAILS |
| 2.11b | PLAN DETAILS |
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| AD 3.7 | ARCHITECTURAL DETAILS |
| 6.10 | FIRST FLOOR ELECTRICAL PLAN |
| 6.11 | SECOND FLOOR ELECTRICAL PLAN |
| 7.09d1 | ELEVATION "8" - FRONT AND REAR ELEVATIONS |
| 7.09d2 | ELEVATION "8" - SIDE ELEVATIONS AND ROOF PLAN |
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| S-2.2 | 2ND FLOOR FRAMING PLAN |
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 2) PULTE HOMES INC. DESIGNS & BUILDS HOUSING AS SET FORTH BY THE FORMAT AND PROVISIONS OF THE RESIDENTIAL CODE OF OHIO (RCO), AND THE NATIONAL ELECTRIC CODE (NEC). ANY NON-CONFORMING DOCUMENTS DISCOVERED BY THE CONTRACTOR OR HIS AGENTS SHALL BE CALLED TO THE IMMEDIATE ATTENTION OF PULTE HOMES INC. BY CALLING (651) 452-5200.
 3) THESE PLANS ARE SUBJECT TO MODIFICATIONS TO MEET CODE REQUIREMENTS AND/OR TO FACILITATE MECHANICAL/ELECTRICAL/PLUMBING INSTALLATION AND/OR TO IMPLEMENT DESIGN IMPROVEMENTS. ANY INTENTION TO MODIFY THESE PLANS MUST BE APPROVED IN WRITING BY PULTE HOMES INC.
 4) CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AFFECTING CONTRACTOR'S PRODUCTS, INSTALLATIONS, OR FABRICATIONS IN THE FIELD PRIOR TO EXPEDITING THE CONSTRUCTION OF SUCH WORK. FIELD VERIFY ALL DIMENSIONS - DO NOT SCALE DRAWINGS!! CONTRACTOR IS RESPONSIBLE FOR SURVEYING THE PROJECT AND BECOMING FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK INCLUDING BUT NOT LIMITED TO SITE AND SOIL BEARING CONDITIONS.
 5) ERRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ERRORS, DISCREPANCIES, OR OMISSIONS FOR WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION AND/OR FABRICATION OF THE WORK.

2 - SITE CONSTRUCTION

1) SOIL BEARING CALCULATIONS BASED ON 2000 PSF MIN
 2) BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.
 3) BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS BACKFILL TO NOT DAMAGE THE FOUNDATION WALLS OR ANY WATERPROOFING/ DAMPROOFING MATERIALS.

3 - CONCRETE

1) ALL CONCRETE EXPOSED TO EXTERIOR ELEMENTS SHOULD BE AIR ENTRAINED 4-6%
 2) SLOPE ON DRIVE SHALL BE NO LESS THAN 2% OR 1/4" PER FOOT- PREFERABLY 4% OR 1/2" PER FOOT. THE FRONT STOOP SHALL HAVE SLOPE EQUAL TO 1" PER FOOT. THE RAISED WALK IN GARAGE SHALL HAVE A 1/2" PER FOOT SLOPE AND DRIVE SLAB SHALL BE SLOPED MIN. 1/4" PER FOOT.
 3) SOME COLUMN DIMENSIONS ARE FROM CENTER OF COLUMN TO EXTERIOR FACE OF BASEMENT WALL.
 4) BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.
 5) BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS TO NOT DAMAGE THE FOUNDATION WALLS OR WATERPROOFING / DAMPROOFING MATERIALS.
 6) MUD SILLS SHALL BE TREATED MEMBERS AND SECURED BY ANCHOR BOLTS AND/OR STRAPS AS SPECIFIED IN THE DRAWINGS, DETAILS, AND SPECIFICATIONS.
 7) CALCULATIONS FOR COLUMN PADS BASED ON 2000 PSF SOIL BEARING.
 8) FOUNDATION WALLS & FOOTER DEPTH TO BE VERIFIED IN FIELD.

4 - MASONRY

1) ALL EXTERIOR BRICK MUST MEET ASTM C-216 FOR "SW" CONDITIONS
 2) MASONRY VENEER SHALL BE ATTACHED TO SUPPORTING WALLS w/ 22GA x 7/8" CORRUGATED METAL TIES AT 24" O.C.
 3) FLASHING BEHIND MASONRY SHALL BE 14# BUILDING PAPER OR FELT OR APPROVED EQUAL ATTACHED TO THE SHEATHING TO PREVENT MOISTURE PENETRATION.
 4) WEEPHOLES SHALL BE PROVIDED ALONG THE OUTSIDE WYTHE OF EXTERIOR MASONRY WALLS AT 33" O.C. MAX. SHALL BE A MIN. OF 3/16" IN DIAMETER, AND LOCATED IMMEDIATELY ABOVE THE FLASHING

5 - METALS

6 - WOOD AND PLASTICS

7 - THERMAL & MOISTURE PROTECTION

1) INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.
 2) ATTIC VENTILATION SHALL BE PROVIDED AT 1/150th OF THE AREA OF THE SPACE VENTILATED. CROSS VENTILATION WITH HALF OF THE VENTILATED AREA SHALL BE PROVIDED BY RIDGE OR GABLE VENTS AND THE OTHER HALF BY EAVE OR CORNICE VENTS. VENTS SHALL BE PLACED SO AS TO NOT ALLOW INFILTRATION OF RAIN OR SNOW.
 3) PROVIDE APPROVED TILE BACKER BOARD FOR ALL SHOWER AND BATH SPACE
 4) PROVIDE ICE-SHIELD PER CODE
 5) ROOF VENTING TO BE PROVIDED AS SHOWN. SOFFIT, RIDGE, AND OTHER ROOF VENTS TO BE INSTALLED AS NOTED ON THE DRAWINGS & AS PER MANUFACTURERS RECOMMENDATIONS.
 6) HOUSE WRAP & FLASHING TO BE INSTALLED PER PULTE BEST PRACTICES.

8 - DOORS AND WINDOWS

1) WINDOW CALL OUT PER WINDOW SCHEDULE VERIFY WINDOW MANUFACTURER WITH PROJECT MANAGER
 2) REVIEW ALL WINDOW HDR HEIGHTS PER PLATE HT. AND VERIFY W/ ELEVATIONS AND CORNICE DETAILS
 3) TEMPERED GLASS SHALL BE USED IN ALL HAZARDOUS AREAS
 4) FRONT DOOR WIDTH AS REQUIRED BY CODE
 5) GARAGE DOOR AS REQUIRED BY CODE
 6) EMERGENCY - SLEEPING ROOMS SHALL HAVE AT LEAST ONE EGRESS OPENING OF NOT LESS THAN 5.7 SF AND A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.

15 - MECHANICALS

1) FACTORY BUILT CHIMNEYS AND FIREPLACES SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS, AND ARE SUBJECT TO MECHANICAL INSPECTION
 2) PROVIDE EXTERIOR AIR INTAKE FOR COMBUSTION AIR.

16 - ELECTRICAL

1) ALL ELECTRICAL INSTALLATION SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE (NEC). ALL MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OF APPROVAL OF THE UNDERWRITERS LABORATORIES, INC.
 2) ELECTRICAL CONTRACTOR SHALL VERIFY SPACE REQUIRED FOR METER INSTALLATION BEFORE CONSTRUCTION AND SHALL NOTIFY GENERAL CONTRACTOR OF ANY DISCREPANCIES.
 3) VERIFY LOCATION OF ALL RECEPTACLES FOR APPLIANCES WITH MANUFACTURER SPECIFICATIONS.
 4) GROUND FAULT INTERRUPTS SHALL BE LOCATED PER THE NEC.
 5) ALL SWITCHES SHALL BE INSTALLED AT 3'-2" ABOVE FINISHED FLOOR TO CENTERLINE OF SWITCH UNLESS NOTED OTHERWISE.
 6) ALL CONVENIENCE OUTLETS SHALL BE INSTALLED W/ CENTERLINE OF OUTLET LOCATED 1'-3" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.
 7) ALL CONVENIENCE OUTLETS WITH SWITCHES TO BE SWITCH AT TOP ONLY.
 8) ALL EXTERIOR WALL BRACKET FIXTURES SHALL BE INSTALLED AT 5'-6" ABOVE ADJACENT DOOR SILL HEIGHT TO CENTERLINE OF FIXTURE.
 9) APPROVED SMOKE DETECTORS SHALL BE LOCATED ON EVERY STORY OF THE DWELLING UNIT AS PER CODE (SEE SHEET 6.0XX FOR LOCATIONS). WHERE MORE THAN ONE DETECTOR IS REQUIRED THEY SHALL BE INTERCONNECTED. POWER SOURCE SHALL BE BUILDING POWER w/ BATTERY BACKUP.

GENERAL FRAMING SPECS AND CONSTRUCTION NOTES STAIRS:

1) THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES (210 MM) AND THE MINIMUM TREAD DEPTH SHALL BE 10 INCHES (254 MM).
 2) HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34 INCHES AND 38 INCHES SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS.
 3) HANDRAIL AND BALUSTRADE (WHERE PRESENT) SHALL BE CONSTRUCTED PER CODE
 4) ALL REQUIRED HAND RAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS W/ 2 OR MORE RISERS FROM A POINT ABOVE THE THE TOP RISER OF A FLIGHT TO A POINT ABOVE THE LOWEST RISER OF THE FLIGHT. ENDS SHALL BE RETURNED OR SHALL TERMINATE AT NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1.5" BETWEEN THE WALL AND HAND RAIL.

WALLS:

1) ALL STUDS TO BE 2x4 SPF OR EQUAL UNLESS NOTED OTHERWISE.
 2) USE DBL TOP PLATES 16" OC ON BOTH FIRST AND SECOND FLOOR AT ALL EXTERIOR AND LOAD BEARING CONDITIONS ALL OTHER PARTITION WALL USE SINGLE TOP PLATE 24"OC.

FLOORS:

1) STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED, OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED PER CODE
 2) THE ENDS OF EACH JOIST, BEAM, OR GIRDER SHALL HAVE NOT LESS THAN 1.5 INCHES (38MM) OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES (76MM) ON MASONRY OR CONCRETE OR AS OTHERWISE SPECIFIED PER CODE
 3) ANY CONVENTIONAL FLOOR JOISTS SHOWN DOUBLED ON PLANS TO BE GLUED AT INSTALLATION AND NAILED W/ 3-16d NAILS @ 16" O.C. MULTIPLE PLYS OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM.
 4) SHOP DRAWINGS FOR ANY AND ALL ENGINEERED FLOOR SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS. WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

FRAMING:

1) ALL FRAMING DIMENSIONS TO FACE OF MEMBER/SHEATHING.
 2) ALL BEARING HEADERS TO BE 2x8 SPF #2 OR EQUAL UNLESS NOTED OTHERWISE.
 3) ALL 2x10 & 2x12 HEADERS TO BE SPF #2 UNLESS NOTED OTHERWISE.
 4) ALL 2x8 HEADERS TO BE SPF #2 UNLESS NOTED OTHERWISE.
 5) PROVIDE 1x BLOCKING UNDER ALL EXTERIOR SLIDING DOORS.
 6) ALL BEAMS & HEADERS SHALL HAVE A MINIMUM OF (1) 2x JACK STUD & (1) 2x KING STUD. THE NUMBER OF STUDS LABELED ON PLANS INDICATES THE NUMBER OF JACK STUDS ONLY (UNLESS NOTED OTHERWISE).
 7) TWO-PLY CONVENTIONAL BEAMS TO BE FACE-NAILED W/2 ROWS 16d COMMON NAILS STAGGERED @16" O.C. UNLESS NOTED OTHERWISE. THREE-PLY CONVENTIONAL BEAMS TO BE NAILED AS ABOVE FROM EACH SIDE. MULTIPLE PLYS OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM.
 8) JOIST HANGERS, WHERE REQUIRED, SHALL BE USED WITHOUT ANGLES.
 9) INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.

ROOF:

1) HIP AND VALLEY RAFTERS SHALL BE SUPPORTED AT RIDGE DOWN TO BEARING PARTITION. CUT ENDS OF RAFTERS SHALL BE FULLY SUPPORTED WALL AND RIDGE.
 2) SHOP DRAWINGS FOR ANY AND ALL ENGINEERED ROOF TRUSS SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS. WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

LIGHT & VENT CALCULATIONS:

| ROOM | SQ. FT. | LIGHT REQ'D | LIGHT SUPP | VENT REQ'D | VENT SUPP | NOTES |
|------------------|---------|-------------|------------|------------|-----------|-------|
| FIRST FLOOR | | | | | | |
| PLANNING CENTER | 115 | 9.2 | 24.80 | 4.60 | 10.60 | |
| GATHERING ROOM | 367 | 29.36 | 49.60 | 14.68 | 21.20 | |
| KITCHEN/NOOK | 331 | 26.48 | 46.94 | 13.24 | 22.72 | |
| DINING ROOM | 161 | 12.88 | 24.80 | 6.44 | 10.60 | |
| DEN | 173 | 14.08 | 37.20 | 7.04 | 15.90 | |
| POWDER ROOM | 35 | N/A | N/A | 1.12 | 50.00 | |
| SECOND FLOOR | | | | | | |
| GAME ROOM | 299 | 23.92 | 46.80 | 11.96 | 19.60 | |
| OWNER'S SUITE | 282 | 22.64 | 40.80 | 11.32 | 17.20 | |
| BEDROOM 2 | 131 | 10.48 | 26.80 | 5.24 | 11.90 | |
| BEDROOM 3 | 159 | 12.16 | 23.40 | 6.08 | 9.80 | |
| BEDROOM 4 | 152 | 12.16 | 35.17 | 6.08 | 14.70 | |
| OWNER'S BATH | 111 | N/A | 24.80 | 118.8 | 120.00 | |
| TOILET ENCLOSURE | 16 | N/A | N/A | 20.9 | 50.00 | |
| BATH 3 | 48 | N/A | N/A | 58.40 | 60.00 | |
| BATH 4 | 37 | 2.96 | 5.20 | 1.48 | 50.00 | |
| SUNROOM | 110 | 8.80 | 62.00 | 4.40 | 26.50 | |
| GUEST SUITE | 153 | 12.24 | 35.10 | 6.12 | 14.70 | |
| BSMT. BATH | 44 | N/A | N/A | 1.48 | 50.00 | |
| BATH 1 | 35 | N/A | N/A | 37.40 | 50.00 | |

APPLICABLE CODES:

Building Code: 2019 RCO
 Plumbing Code: 2017 Plumbing Code
 Mechanical Code: 2017 Mechanical Code
 Energy Code: 2019 Energy Code Ohio
 Electrical Code: 2017 NEC
 Fire Code: 2011 International Fire Code

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Cleveland Division
 387 Medina Rd. Suite 1700
 Medina, OH 44256



Cover Sheet
 Specifications & General Notes

PRODUCTION MANAGER
 Cobe Kirksey
 CURRENT RELEASE DATE: 07/20/2021

| REV # | DATE | DESCRIPTION |
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PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS LOT 176
 LAWSON COMMUNITY ID

GARAGE HANDING
GARAGE LEFT

SPECIFICATION LEVEL
TBD

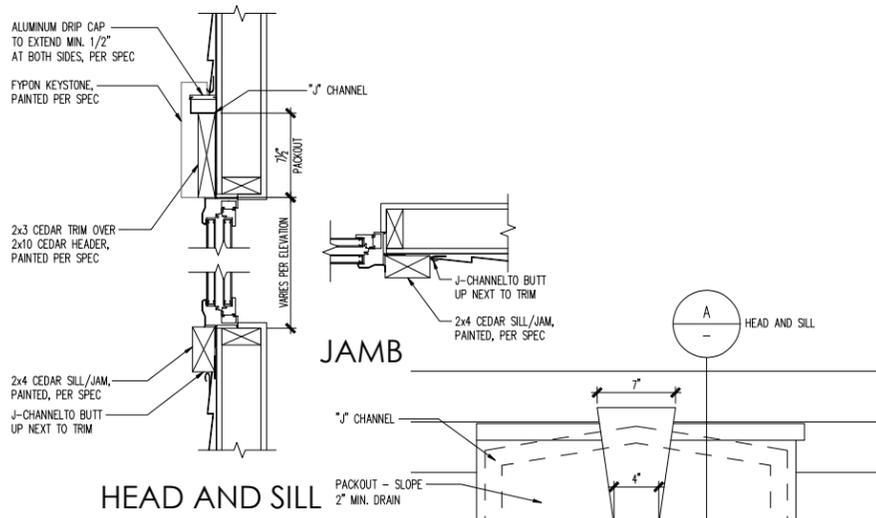
PLAN NAME
ATWATER
 NPC PLAN NUMBER
1642
 LAWSON PLAN ID
 LEGACY PLAN NUMBER / NAME
PLAN 3295

SHEET
0.00

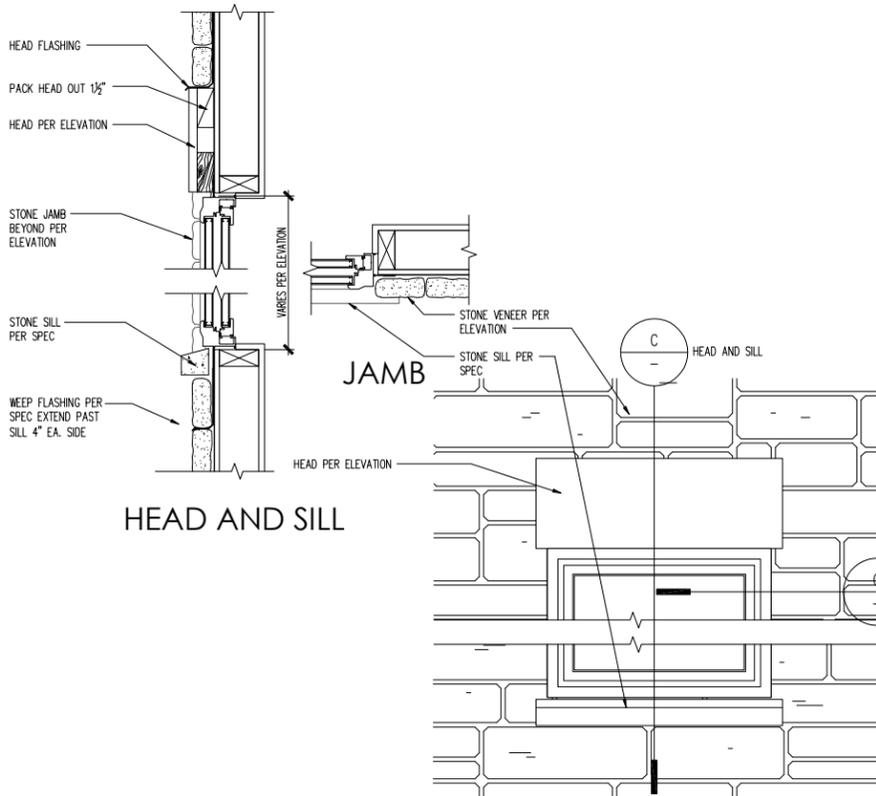
PLOTTED: July 22, 2021 / 4:46:16 PM / PLAN: 3295-RO-COVER.DWG

ENGINEER OF RECORD: MULHERN & KULP ENGINEERS
 ARCHITECT OF RECORD: GODOLICO DESIGN - ARCHITECTS

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



A WDW TRIM DETAIL
SCALE: 1 1/2" = 1'-0"



B WDW TRIM DETAIL
SCALE: 1 1/2" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

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Elevation - 8
Front and Rear Elevations

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

| REV # | DATE | DESCRIPTION |
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PRODUCTION MANAGER
Cobe Kirksey
CURRENT RELEASE DATE: 07/20/2021

PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS LOT 176
LAWSON COMMUNITY ID

GARAGE HANDING
GARAGE LEFT

SPECIFICATION LEVEL
TBD

PLAN NAME
ATWATER
NPC PLAN NUMBER
1642
LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME
PLAN 3295

SHEET
7.08a1

PLOTTED: July 22, 2021 / Anupam Jain / PLAN-3295-RO-ELD.DWG

ENGINEER OF RECORD: MULHERN & KULP ENGINEERS
ARCHITECT OF RECORD: GODDUCO DESIGN - ARCHITECTS



OHIO DIVISION - LOT 177

River Oaks



CRAWFORD

1 - GENERAL BUILDING & DESIGN REQUIREMENTS

- 1) THE ATTACHED PLANS & SPECIFICATIONS ARE THE SIZE PROPERTY OF SITE HOMES INC. ANY UNAUTHORIZED USE OF THESE PLANS WITHOUT CONSENT OF CONSTRUCTION SERVICES IS STRICTLY PROHIBITED.
- 2) PILE-DRIVEN OR BORED PILING SHALL BE SET BY THE TOWN AND PROSIDENT OF THE RESIDENTIAL CODE OF THIS TOWN AND THE NATIONAL ELECTRIC CODE (NEC) AND ANY NON-CONFORMING DOCUMENTS PROVIDED BY THE CONTRACTOR OR HIS AGENTS SHALL BE CALLED TO THE IMMEDIATE ATTENTION OF PILE DRIVERS INC BY CHANGING (SEE 402-530).
- 3) THESE PLANS ARE SUBJECT TO MODIFICATIONS TO MEET CODE REQUIREMENTS AND/OR TO FACILITATE MECHANICAL/ELECTRICAL/PLUMBING INSTALLATION AND/OR TO MEET ANY OTHER REQUIREMENTS. ANY VARIATION MUST BE APPROVED BY THE TOWN AND PROSIDENT OF THE RESIDENTIAL CODE OF THIS TOWN.
- 4) CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CONTRACTOR'S PRODUCTS, MATERIALS, OF FABRICATIONS OF THE FIELD FROM EXISTING OR THE CONSTRUCTION OF SUCH WORK. FIELD VERIFY ALL DIMENSIONS - TO MEET ALL DIMENSIONS CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE MEASUREMENTS AND RECORDING THEM WITH THE EXISTING CONDITIONS AND SCOPE OF WORK INCLUDING, BUT NOT LIMITED TO, THE MEASURING CONDITIONS.
- 5) ALL DIMENSIONS AND LOCATIONS MUST BE MEASURED TO THE CENTERLINE UNLESS OTHERWISE NOTED. A PORTION OF THE ARCHITECT'S INTENT, AND NOTED DIMENSIONS SHALL BE OBTAINED PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DIMENSIONS, DIMENSIONS, OR MISSING FOR WHICH THE CONTRACTOR FAILED TO VERIFY THE ARCHITECT PRIOR TO CONSTRUCTION AND/OR TO PROCEEDING OF THE WORK.

2 - SITE CONSTRUCTION

- 1) SOIL BORING CALCULATIONS BASED ON 2000 PSF MIN.
- 2) BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED TO 90% MINIMUM DENSITY TO NOT DAMAGE THE FOUNDATION WALLS OR ANY INTERIOR/ROOF DRAINAGE MATERIALS.

3 - CONCRETE

- 1) ALL CONCRETE EXPOSED TO EXTERIOR ELEMENTS SHOULD BE AIR ENTRAINED 4-8%.
- 2) SLABS ON GROUND SHALL BE AT LEAST 4" THICK AND 10" HIGH. PROBABLY BE 10" HIGH. THE FRONT STAIR SHALL HAVE A SLOPE EQUAL TO 1" PER FOOT. THE REAR WALL IN GARAGE SHALL HAVE A 1/2" SLOPE FOR STAIR AND DRIVE SLAB SHALL BE SLOPED AWAY 1/4" PER FOOT.
- 3) SOME COLUMN DIMENSIONS ARE FROM CENTER OF COLUMN TO EXTERIOR FACE OF FOUNDATION WALL.
- 4) BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED TO 90% MINIMUM DENSITY TO NOT DAMAGE THE FOUNDATION WALLS OR INTERIOR/ROOF DRAINAGE MATERIALS.
- 5) WALL STUDS SHALL BE SPACED AND SECURED BY ANCHOR BOLTS AND STRAPS AS SPECIFIED IN THE DRAWINGS. EXTERIOR WALL STUDS SHALL BE 2" DIA. GALV. STEEL.
- 6) REINFORCING FOR COLUMN FORMS BASED ON 2000 PSF MIN. BEARING.

4 - MASONRY

- 1) EXTERIOR BRICK SHALL MEET ASTM C-216 FOR "TYPE COMMON".
- 2) MASONRY ANCHORS SHALL BE ATTACHED TO SUPPORTING WALLS AT 16" DIA. x 1/2" GALV. STEEL ANCHORS WITH 24" O.C. SPACING.
- 3) REINFORCING BARS MUST BE 1/2" DIA. GALV. STEEL BARS OR 1/2" DIA. GALV. STEEL BARS WITH 24" O.C. SPACING.
- 4) REINFORCING BARS MUST BE 1/2" DIA. GALV. STEEL BARS OR 1/2" DIA. GALV. STEEL BARS WITH 24" O.C. SPACING.
- 5) REINFORCING BARS MUST BE 1/2" DIA. GALV. STEEL BARS OR 1/2" DIA. GALV. STEEL BARS WITH 24" O.C. SPACING.

5 - METALS

6 - WOOD AND PLASTICS

7 - THERMAL & MOISTURE PROTECTION

- 1) INSULATE THE EXTERIOR WALLS TO MEET THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE (NEC).
- 2) AIR/VAPE BARRIER SHALL BE PROVIDED AT 1/2" MIN. OF THE AREA OF THE SPACE OUTSIDE DOORS.
- 3) AIR/VAPE BARRIER SHALL BE PROVIDED AT 1/2" MIN. OF THE AREA OF THE SPACE OUTSIDE DOORS.
- 4) AIR/VAPE BARRIER SHALL BE PROVIDED AT 1/2" MIN. OF THE AREA OF THE SPACE OUTSIDE DOORS.
- 5) AIR/VAPE BARRIER SHALL BE PROVIDED AT 1/2" MIN. OF THE AREA OF THE SPACE OUTSIDE DOORS.
- 6) AIR/VAPE BARRIER SHALL BE PROVIDED AT 1/2" MIN. OF THE AREA OF THE SPACE OUTSIDE DOORS.
- 7) AIR/VAPE BARRIER SHALL BE PROVIDED AT 1/2" MIN. OF THE AREA OF THE SPACE OUTSIDE DOORS.
- 8) AIR/VAPE BARRIER SHALL BE PROVIDED AT 1/2" MIN. OF THE AREA OF THE SPACE OUTSIDE DOORS.
- 9) AIR/VAPE BARRIER SHALL BE PROVIDED AT 1/2" MIN. OF THE AREA OF THE SPACE OUTSIDE DOORS.
- 10) AIR/VAPE BARRIER SHALL BE PROVIDED AT 1/2" MIN. OF THE AREA OF THE SPACE OUTSIDE DOORS.

8 - DOORS AND WINDOWS

- 1) ALL DOOR AND WINDOW FRAMES SHALL BE PROVIDED WITH PROTECTIVE FINISHES.
- 2) ALL DOOR AND WINDOW FRAMES SHALL BE PROVIDED WITH PROTECTIVE FINISHES.
- 3) ALL DOOR AND WINDOW FRAMES SHALL BE PROVIDED WITH PROTECTIVE FINISHES.
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- 9) ALL DOOR AND WINDOW FRAMES SHALL BE PROVIDED WITH PROTECTIVE FINISHES.
- 10) ALL DOOR AND WINDOW FRAMES SHALL BE PROVIDED WITH PROTECTIVE FINISHES.

15 - MECHANICALS

- 1) FACTORY MADE CHANGES AND MODIFICATIONS SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS, AND ARE SUBJECT TO APPROVAL BY THE TOWN AND PROSIDENT OF THE RESIDENTIAL CODE OF THIS TOWN.
- 2) PROVIDE EXTERIOR AIR INTAKE FOR COMBUSTION AIR.

16 - ELECTRICAL

- 1) ALL ELECTRICAL INSTALLATION SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE (NEC) AND ALL MATERIAL AND EQUIPMENT SHALL BE OF THE GRADE OF APPROVAL OF THE UNDERWRITERS LABORATORIES, INC. (UL).
- 2) ALL ELECTRICAL CONTRACTOR SHALL VERIFY SPREADS BEFORE COMMENCING WORK AND SHALL VERIFY CORRECT CONTRACTOR OF ANY MODIFICATIONS.
- 3) ALL WIRING LOCATIONS OF ALL RECEPTACLES FOR APPLIANCES WITH MANUFACTURER SPECIFICATIONS.
- 4) ALL WIRING SHALL BE INSTALLED AT 18" ABOVE FINISHED FLOOR TO CENTRAL OF SPREAD SHEETS UNLESS OTHERWISE NOTED.
- 5) ALL CONDUITS SHALL BE INSTALLED AT 18" ABOVE FINISHED FLOOR TO CENTRAL OF SPREAD SHEETS UNLESS OTHERWISE NOTED.
- 6) ALL CONDUITS SHALL BE INSTALLED AT 18" ABOVE FINISHED FLOOR TO CENTRAL OF SPREAD SHEETS UNLESS OTHERWISE NOTED.
- 7) ALL CONDUITS SHALL BE INSTALLED AT 18" ABOVE FINISHED FLOOR TO CENTRAL OF SPREAD SHEETS UNLESS OTHERWISE NOTED.
- 8) ALL CONDUITS SHALL BE INSTALLED AT 18" ABOVE FINISHED FLOOR TO CENTRAL OF SPREAD SHEETS UNLESS OTHERWISE NOTED.
- 9) APPROVED RACEWAY SYSTEMS SHALL BE LOCATED TO EXIST EVERY OTHER OF THE INCLUDED BUT AS PER CODE (SEE SHEET 402-530 FOR LOCATIONS). MORE THAN ONE (EXCEPT AS PROVIDED) SHALL BE RECOMMENDED.
- 10) APPROVED RACEWAY SYSTEMS SHALL BE LOCATED TO EXIST EVERY OTHER OF THE INCLUDED BUT AS PER CODE (SEE SHEET 402-530 FOR LOCATIONS). MORE THAN ONE (EXCEPT AS PROVIDED) SHALL BE RECOMMENDED.
- 11) APPROVED RACEWAY SYSTEMS SHALL BE LOCATED TO EXIST EVERY OTHER OF THE INCLUDED BUT AS PER CODE (SEE SHEET 402-530 FOR LOCATIONS). MORE THAN ONE (EXCEPT AS PROVIDED) SHALL BE RECOMMENDED.

GENERAL FRAMING SPECS AND CONSTRUCTION NOTES STAIRS:

- 1) THE MAXIMUM RISER HEIGHT SHALL BE 7 1/2" AND THE MAXIMUM TREAD DEPTH SHALL BE 11" RISERS 12" MIN.
- 2) HANDRAILS SHALL BE INSTALLED AND MAXIMUM HEIGHTS OF 34" RISERS AND 30" RISERS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS.
- 3) HANDRAILS INCLUDING OTHER FINISHES SHALL BE CONSTRUCTED PER CODE.
- 4) ALL EXTERIOR WOOD STAIRS SHALL BE CONSTRUCTED THE FULL LENGTH OF THE STAIRS BY 2" OR MORE RISERS FROM A POINT ABOVE THE TOP RISES OF A RISER TO A POINT ABOVE THE CORNER RISER OF THE EXTERIOR RISER. STAIRS SHALL BE RETURNED OR SHALL TERMINATE AT WELLS, POISTS OR SAFETY TERMINALS, HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF 12" FROM WALL 1/2" RETURN THE WALL AND HANDRAIL.

WALLS:

- 1) ALL STUDS TO BE 2x4 OR EQUAL UNLESS OTHERWISE NOTED.
- 2) ALL STUDS TO BE 2x4 OR EQUAL UNLESS OTHERWISE NOTED.
- 3) ALL STUDS TO BE 2x4 OR EQUAL UNLESS OTHERWISE NOTED.
- 4) ALL STUDS TO BE 2x4 OR EQUAL UNLESS OTHERWISE NOTED.

FLOORS:

- 1) STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, NOTCHED, OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED PER CODE.
- 2) THE ENDS OF EACH JOIST, RAFTER OR OTHER SHALL HAVE NOT LESS THAN 12" OVERLAP (MINIMUM) OF MEMBERS ON EACH SIDE AND NOT LESS THAN 3" BRIDGE (MINIMUM) OF MEMBERS OR CONCRETE AS OTHERWISE SPECIFIED PER CODE.
- 3) ALL JOIST CONNECTIONS SHALL BE MADE AS SHOWN ON PLANS TO BE GLED AT INSTALLATION AND NAILING BY 3x4 NAILS AND 6" O.C. AND ALL JOIST CONNECTIONS SHALL BE SUBMITTED TO APPROXY TO VERIFY IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS. WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS TECHNOLOGY, CONTRACTOR IS TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

FRAMING:

- 1) ALL FRAMING MEMBERS TO FACE OF FINISH SURFACING.
- 2) ALL BEAM BRACKETS TO BE 2x8 OR 2x10 OR EQUAL UNLESS OTHERWISE NOTED.
- 3) ALL 2x6 OR 2x8 BRACKETS TO BE 2x8 OR 2x10 OR EQUAL UNLESS OTHERWISE NOTED.
- 4) ALL JOIST BRACKETS TO BE 2x8 OR 2x10 OR EQUAL UNLESS OTHERWISE NOTED.
- 5) ALL JOIST BRACKETS TO BE 2x8 OR 2x10 OR EQUAL UNLESS OTHERWISE NOTED.
- 6) ALL JOIST BRACKETS TO BE 2x8 OR 2x10 OR EQUAL UNLESS OTHERWISE NOTED.
- 7) ALL JOIST BRACKETS TO BE 2x8 OR 2x10 OR EQUAL UNLESS OTHERWISE NOTED.
- 8) ALL JOIST BRACKETS TO BE 2x8 OR 2x10 OR EQUAL UNLESS OTHERWISE NOTED.
- 9) ALL JOIST BRACKETS TO BE 2x8 OR 2x10 OR EQUAL UNLESS OTHERWISE NOTED.
- 10) ALL JOIST BRACKETS TO BE 2x8 OR 2x10 OR EQUAL UNLESS OTHERWISE NOTED.

ROOF:

- 1) UP AND VALLEY FLASHING SHALL BE SUBMITTED TO BEARING PARTITION, OUT ENDS OF WATERSHED SHALL BE FULLY SUPPORTED AND NAILING.
- 2) SHIP FLASHING SHALL BE FULLY SUPPORTED AND NAILING.
- 3) SHIP FLASHING SHALL BE FULLY SUPPORTED AND NAILING.
- 4) SHIP FLASHING SHALL BE FULLY SUPPORTED AND NAILING.
- 5) SHIP FLASHING SHALL BE FULLY SUPPORTED AND NAILING.
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- 7) SHIP FLASHING SHALL BE FULLY SUPPORTED AND NAILING.
- 8) SHIP FLASHING SHALL BE FULLY SUPPORTED AND NAILING.
- 9) SHIP FLASHING SHALL BE FULLY SUPPORTED AND NAILING.
- 10) SHIP FLASHING SHALL BE FULLY SUPPORTED AND NAILING.

WINDOW DATA:

| WINDOW WIDTH (FEET) | SMALLER WINDOWS | | LARGER WINDOWS | | SIDE | TYPE | REMARKS | AREA |
|---------------------|-----------------|----------|----------------|----------|------|------|--------------------------|------|
| | R VALUE | U FACTOR | R VALUE | U FACTOR | | | | |
| 3x4 | 0.25 | 0.32 | 0.28 | 0.34 | | | 1800.00 FT ² | |
| 3x6 | 0.25 | 0.32 | 0.28 | 0.34 | | | 3600.00 FT ² | |
| 3x8 | 0.25 | 0.32 | 0.28 | 0.34 | | | 7200.00 FT ² | |
| 3x10 | 0.25 | 0.32 | 0.28 | 0.34 | | | 10800.00 FT ² | |
| 3x12 | 0.25 | 0.32 | 0.28 | 0.34 | | | 14400.00 FT ² | |
| 3x14 | 0.25 | 0.32 | 0.28 | 0.34 | | | 18000.00 FT ² | |
| 3x16 | 0.25 | 0.32 | 0.28 | 0.34 | | | 21600.00 FT ² | |
| 3x18 | 0.25 | 0.32 | 0.28 | 0.34 | | | 25200.00 FT ² | |
| 3x20 | 0.25 | 0.32 | 0.28 | 0.34 | | | 28800.00 FT ² | |
| 3x22 | 0.25 | 0.32 | 0.28 | 0.34 | | | 32400.00 FT ² | |
| 3x24 | 0.25 | 0.32 | 0.28 | 0.34 | | | 36000.00 FT ² | |
| 3x26 | 0.25 | 0.32 | 0.28 | 0.34 | | | 39600.00 FT ² | |
| 3x28 | 0.25 | 0.32 | 0.28 | 0.34 | | | 43200.00 FT ² | |
| 3x30 | 0.25 | 0.32 | 0.28 | 0.34 | | | 46800.00 FT ² | |
| 3x32 | 0.25 | 0.32 | 0.28 | 0.34 | | | 50400.00 FT ² | |
| 3x34 | 0.25 | 0.32 | 0.28 | 0.34 | | | 54000.00 FT ² | |
| 3x36 | 0.25 | 0.32 | 0.28 | 0.34 | | | 57600.00 FT ² | |

GENERAL FRAMING SPECS AND CONSTRUCTION NOTES STAIRS:

- 1) THE MAXIMUM RISER HEIGHT SHALL BE 7 1/2" AND THE MAXIMUM TREAD DEPTH SHALL BE 11" RISERS 12" MIN.
- 2) HANDRAILS SHALL BE INSTALLED AND MAXIMUM HEIGHTS OF 34" RISERS AND 30" RISERS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS.
- 3) HANDRAILS INCLUDING OTHER FINISHES SHALL BE CONSTRUCTED PER CODE.
- 4) ALL EXTERIOR WOOD STAIRS SHALL BE CONSTRUCTED THE FULL LENGTH OF THE STAIRS BY 2" OR MORE RISERS FROM A POINT ABOVE THE TOP RISES OF A RISER TO A POINT ABOVE THE CORNER RISER OF THE EXTERIOR RISER. STAIRS SHALL BE RETURNED OR SHALL TERMINATE AT WELLS, POISTS OR SAFETY TERMINALS, HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF 12" FROM WALL 1/2" RETURN THE WALL AND HANDRAIL.

WALLS:

- 1) ALL STUDS TO BE 2x4 OR EQUAL UNLESS OTHERWISE NOTED.
- 2) ALL STUDS TO BE 2x4 OR EQUAL UNLESS OTHERWISE NOTED.
- 3) ALL STUDS TO BE 2x4 OR EQUAL UNLESS OTHERWISE NOTED.
- 4) ALL STUDS TO BE 2x4 OR EQUAL UNLESS OTHERWISE NOTED.

FLOORS:

- 1) STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, NOTCHED, OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED PER CODE.
- 2) THE ENDS OF EACH JOIST, RAFTER OR OTHER SHALL HAVE NOT LESS THAN 12" OVERLAP (MINIMUM) OF MEMBERS ON EACH SIDE AND NOT LESS THAN 3" BRIDGE (MINIMUM) OF MEMBERS OR CONCRETE AS OTHERWISE SPECIFIED PER CODE.
- 3) ALL JOIST CONNECTIONS SHALL BE MADE AS SHOWN ON PLANS TO BE GLED AT INSTALLATION AND NAILING BY 3x4 NAILS AND 6" O.C. AND ALL JOIST CONNECTIONS SHALL BE SUBMITTED TO APPROXY TO VERIFY IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS. WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS TECHNOLOGY, CONTRACTOR IS TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

FRAMING:

- 1) ALL FRAMING MEMBERS TO FACE OF FINISH SURFACING.
- 2) ALL BEAM BRACKETS TO BE 2x8 OR 2x10 OR EQUAL UNLESS OTHERWISE NOTED.
- 3) ALL 2x6 OR 2x8 BRACKETS TO BE 2x8 OR 2x10 OR EQUAL UNLESS OTHERWISE NOTED.
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- 9) ALL JOIST BRACKETS TO BE 2x8 OR 2x10 OR EQUAL UNLESS OTHERWISE NOTED.
- 10) ALL JOIST BRACKETS TO BE 2x8 OR 2x10 OR EQUAL UNLESS OTHERWISE NOTED.

ROOF:

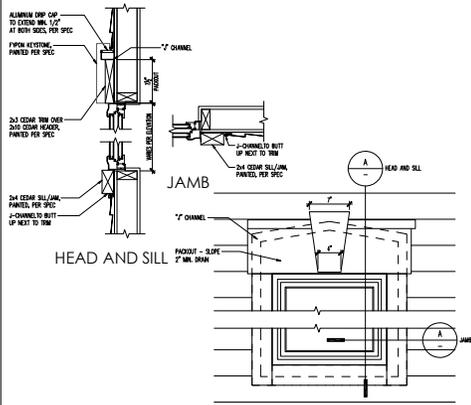
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- 9) SHIP FLASHING SHALL BE FULLY SUPPORTED AND NAILING.
- 10) SHIP FLASHING SHALL BE FULLY SUPPORTED AND NAILING.

SQUARE FOOTAGE INDEX:

| DESCRIPTION OF AREA | AREA |
|---------------------|---------------------------|
| FIRST FLOOR | 1800.00 FT ² |
| SECOND FLOOR | 3600.00 FT ² |
| DECK | 2880.00 FT ² |
| SCREENED PORCH | 7200.00 FT ² |
| SCREENED PATIO | 10800.00 FT ² |
| SCREENED WALKWAY | 14400.00 FT ² |
| SCREENED WALKWAY | 18000.00 FT ² |
| SCREENED WALKWAY | 21600.00 FT ² |
| SCREENED WALKWAY | 25200.00 FT ² |
| SCREENED WALKWAY | 28800.00 FT ² |
| SCREENED WALKWAY | 32400.00 FT ² |
| SCREENED WALKWAY | 36000.00 FT ² |
| SCREENED WALKWAY | 39600.00 FT ² |
| SCREENED WALKWAY | 43200.00 FT ² |
| SCREENED WALKWAY | 46800.00 FT ² |
| SCREENED WALKWAY | 50400.00 FT ² |
| SCREENED WALKWAY | 54000.00 FT ² |
| SCREENED WALKWAY | 57600.00 FT ² |
| SCREENED WALKWAY | 61200.00 FT ² |
| SCREENED WALKWAY | 64800.00 FT ² |
| SCREENED WALKWAY | 68400.00 FT ² |
| SCREENED WALKWAY | 72000.00 FT ² |
| SCREENED WALKWAY | 75600.00 FT ² |
| SCREENED WALKWAY | 79200.00 FT ² |
| SCREENED WALKWAY | 82800.00 FT ² |
| SCREENED WALKWAY | 86400.00 FT ² |
| SCREENED WALKWAY | 90000.00 FT ² |
| SCREENED WALKWAY | 93600.00 FT ² |
| SCREENED WALKWAY | 97200.00 FT ² |
| SCREENED WALKWAY | 100800.00 FT ² |
| SCREENED WALKWAY | 104400.00 FT ² |
| SCREENED WALKWAY | 108000.00 FT ² |
| SCREENED WALKWAY | 111600.00 FT ² |
| SCREENED WALKWAY | 115200.00 FT ² |
| SCREENED WALKWAY | 118800.00 FT ² |
| SCREENED WALKWAY | 122400.00 FT ² |
| SCREENED WALKWAY | 126000.00 FT ² |
| SCREENED WALKWAY | 129600.00 FT ² |
| SCREENED WALKWAY | 133200.00 FT ² |
| SCREENED WALKWAY | 136800.00 FT ² |
| SCREENED WALKWAY | 140400.00 FT ² |
| SCREENED WALKWAY | 144000.00 FT ² |
| SCREENED WALKWAY | 147600.00 FT ² |
| SCREENED WALKWAY | 151200.00 FT ² |
| SCREENED WALKWAY | 154800.00 FT ² |
| SCREENED WALKWAY | 158400.00 FT ² |
| SCREENED WALKWAY | 162000.00 FT ² |
| SCREENED WALKWAY | 165600.00 FT ² |
| SCREENED WALKWAY | 169200.00 FT ² |
| SCREENED WALKWAY | 172800.00 FT ² |
| SCREENED WALKWAY | 176400.00 FT ² |
| SCREENED WALKWAY | 180000.00 FT ² |
| SCREENED WALKWAY | 183600.00 FT ² |
| SCREENED WALKWAY | 187200.00 FT ² |
| SCREENED WALKWAY | 190800.00 FT ² |
| SCREENED WALKWAY | 194400.00 FT ² |
| SCREENED WALKWAY | 198000.00 FT ² |
| SCREENED WALKWAY | 201600.00 FT ² |
| SCREENED WALKWAY | 205200.00 FT ² |
| SCREENED WALKWAY | 208800.00 FT ² |
| SCREENED WALKWAY | 212400.00 FT ² |
| SCREENED WALKWAY | 216000.00 FT ² |
| SCREENED WALKWAY | 219600.00 FT ² |
| SCREENED WALKWAY | 223200.00 FT ² |
| SCREENED WALKWAY | 226800.00 FT ² |
| SCREENED WALKWAY | 230400.00 FT ² |
| SCREENED WALKWAY | 234000.00 FT ² |
| SCREENED WALKWAY | 237600.00 FT ² |
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| SCREENED WALKWAY | 298800.00 FT ² |
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| SCREENED WALKWAY | 306000.00 FT ² |
| SCREENED WALKWAY | 309600.00 FT ² |
| SCREENED WALKWAY | 313200.00 FT ² |
| SCREENED WALKWAY | 316800.00 FT ² |
| SCREENED WALKWAY | 320400.00 FT ² |
| SCREENED WALKWAY | 324000.00 FT ² |
| SCREENED WALKWAY | 327600.00 FT ² |
| SCREENED WALKWAY | 331200.00 FT ² |
| SCREENED WALKWAY | 334800.00 FT ² |
| SCREENED WALKWAY | 338400.00 FT ² |
| SCREENED WALKWAY | 342000.00 FT ² |
| SCREENED WALKWAY | 345600.00 FT ² |
| SCREENED WALKWAY | 349200.00 FT ² |
| SCREENED WALKWAY | 352800.00 FT ² |
| SCREENED WALKWAY | 356400.00 FT ² |
| SCREENED WALKWAY | 360000.00 FT ² |
| SCREENED WALKWAY | 363600.00 FT ² |
| SCREENED | |

DATE: 08/24/2021 11:57 AM / DRAWN: JAW/SPC/SPC/SPC/SPC

WINDOW TRIM DETAIL
SCALE: 1/2" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

Cleveland Division
 367 Medina Rd. Suite 1700
 Medina, OH 44256



Elevation - 9 Demo-County
 Front and Rear Elevations

NOTE: SEPARATE NOTES FOR FRAMING DETAILS TO GO WITH THIS SET OF DRAWINGS. SEE ARCHITECT'S OFFICE FOR DETAILS.

| REVISION NUMBER | DATE | DESCRIPTION |
|-----------------|------------|------------------|
| 1 | 08/24/2021 | ISSUE FOR PERMIT |
| 2 | 08/24/2021 | REVISIONS |
| 3 | | |
| 4 | | |
| 5 | | |
| 6 | | |
| 7 | | |
| 8 | | |
| 9 | | |
| 10 | | |

SELECT THE SINGLE FAMILY
 RIVER OAKS
 LOT 177
 LORAIN COUNTY OH

OWNER: GARAGE LEFT
 PROFESSIONAL: TRD

SCALE: 1/4" = 1'-0"
 PLAN 2843

7.09a2



OHIO DIVISION - LOT 179

River Oaks



Atwater

PLAN SHEET INDEX

| SHT. | DESCRIPTION |
|--------|---|
| 0.00 | COVER SHEET |
| 1.30c | FULL BASEMENT FOUNDATION PLAN |
| 2.10a | FIRST FLOOR PLAN |
| 2.11a | PLAN DETAILS |
| 2.11b | PLAN DETAILS |
| 2.11c | PLAN DETAILS |
| 2.20a | SECOND FLOOR PLAN |
| 3.30a | TYPICAL BUILDING SECTIONS |
| 3.31a | TYPICAL WALL SECTIONS |
| 3.31b | TYPICAL WALL SECTIONS |
| 6.10 | FIRST FLOOR ELECTRICAL PLAN |
| 6.11 | SECOND FLOOR ELECTRICAL PLAN |
| 7.09a1 | ELEVATION "9" - FRONT AND REAR ELEVATIONS |
| 7.09a2 | ELEVATION "9" - SIDE ELEVATIONS AND ROOF PLAN |
| S-1.0 | 1ST FLOOR FRAMING PLAN |
| S-1.1 | 1ST FLOOR FRAMING PLAN |
| S-1.2 | 1ST FLOOR FRAMING PLAN |
| S-1.3 | 1ST FLOOR FRAMING PLAN |
| S-1.4 | 1ST FLOOR FRAMING PLAN |
| S-1.5 | 1ST FLOOR FRAMING PLAN |
| S-1.6 | 1ST FLOOR FRAMING PLAN |
| S-2.0 | 2ND FLOOR FRAMING PLAN |
| S-2.1 | 2ND FLOOR FRAMING PLAN |
| S-2.2 | 2ND FLOOR FRAMING PLAN |
| S-2.3 | 2ND FLOOR FRAMING PLAN |
| S-3.0 | ROOF FRAMING PLAN |
| S-3.1 | ROOF FRAMING PLAN |
| S-3.2 | ROOF FRAMING PLAN |
| S-3.3 | ROOF FRAMING PLAN |
| SD.01 | TYPICAL FOUNDATION DETAILS |
| SD.02 | TYPICAL FOUNDATION DETAILS |
| SD.03 | TYPICAL FOUNDATION DETAILS |

1 - GENERAL BUILDING & DESIGN REQUIREMENTS

- THE ATTACHED PLANS & SPECIFICATIONS ARE THE SOLE PROPERTY OF PULTE HOMES INC. ANY UNAUTHORIZED USE OF THESE PLANS WITHOUT PRIOR WRITTEN CONSENT OF PULTE HOMES INC. IS STRICTLY PROHIBITED.
- PULTE HOMES INC. DESIGNS & BUILDS HOUSING AS SET FORTH BY THE FORMAT AND PROVISIONS OF THE RESIDENTIAL CODE OF OHIO (RCO), AND THE NATIONAL ELECTRIC CODE (NEC). ANY NON-CONFORMING DOCUMENTS DISCOVERED BY THE CONTRACTOR OR HIS AGENTS SHALL BE CALLED TO THE IMMEDIATE ATTENTION OF PULTE HOMES INC. BY CALLING (651) 452-5200.
- THESE PLANS ARE SUBJECT TO MODIFICATIONS TO MEET CODE REQUIREMENTS AND/OR TO FACILITATE MECHANICAL/ELECTRICAL/PLUMBING INSTALLATION AND/OR TO IMPLEMENT DESIGN IMPROVEMENTS. ANY INTENTION TO MODIFY THESE PLANS MUST BE APPROVED IN WRITING BY PULTE HOMES INC.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AFFECTING CONTRACTOR'S PRODUCTS, INSTALLATIONS, OR FABRICATIONS IN THE FIELD PRIOR TO EXPEDITING THE CONSTRUCTION OF SUCH WORK. FIELD VERIFY ALL DIMENSIONS - DO NOT SCALE DRAWINGS!! CONTRACTOR IS RESPONSIBLE FOR SURVEYING THE PROJECT AND BECOMING FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK INCLUDING BUT NOT LIMITED TO SITE AND SOIL BEARING CONDITIONS.
- ERRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ERRORS, DISCREPANCIES, OR OMISSIONS FOR WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION AND/OR FABRICATION OF THE WORK.

2 - SITE CONSTRUCTION

- SOIL BEARING CALCULATIONS BASED ON 2000 PSF MIN
- BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.
- BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS BACKFILL TO NOT DAMAGE THE FOUNDATION WALLS OR ANY WATERPROOFING/ DAMPROOFING MATERIALS.

3 - CONCRETE

- ALL CONCRETE EXPOSED TO EXTERIOR ELEMENTS SHOULD BE AIR ENTRAINED 4-6%.
- SLOPE ON DRIVE SHALL BE NO LESS THAN 2% OR 1/4" PER FOOT- PREFERABLY 4% OR 1/2" PER FOOT. THE FRONT STOOP SHALL HAVE SLOPE EQUAL TO 1" PER FOOT. THE RAISED WALK IN GARAGE SHALL HAVE A 1/2" PER FOOT SLOPE AND DRIVE SLAB SHALL BE SLOPED MIN. 1/4" PER FOOT.
- SOME COLUMN DIMENSIONS ARE FROM CENTER OF COLUMN TO EXTERIOR FACE OF BASEMENT WALL.
- BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.
- BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS TO NOT DAMAGE THE FOUNDATION WALLS OR WATERPROOFING / DAMPROOFING MATERIALS.
- MUD SILLS SHALL BE TREATED MEMBERS AND SECURED BY ANCHOR BOLTS AND/OR STRAPS AS SPECIFIED IN THE DRAWINGS, DETAILS, AND SPECIFICATIONS.
- CALCULATIONS FOR COLUMN PADS BASED ON 2000 PSF SOIL BEARING.
- FOUNDATION WALLS & FOOTER DEPTH TO BE VERIFIED IN FIELD.

4 - MASONRY

- ALL EXTERIOR BRICK MUST MEET ASTM C-216 FOR "SW" CONDITIONS
- MASONRY VENEER SHALL BE ATTACHED TO SUPPORTING WALLS w/ 22GA x 7/8" CORRUGATED METAL TIES AT 24" O.C.
- FLASHING BEHIND MASONRY SHALL BE 14# BUILDING PAPER OR FELT OR APPROVED EQUAL ATTACHED TO THE SHEATHING TO PREVENT MOISTURE PENETRATION.
- WEEPHOLES SHALL BE PROVIDED ALONG THE OUTSIDE WYTHE OF EXTERIOR MASONRY WALLS AT 33" O.C. MAX. SHALL BE A MIN. OF 3/16" IN DIAMETER, AND LOCATED IMMEDIATELY ABOVE THE FLASHING

5 - METALS

6 - WOOD AND PLASTICS

7 - THERMAL & MOISTURE PROTECTION

- INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.
- ATTIC VENTILATION SHALL BE PROVIDED AT 1/150th OF THE AREA OF THE SPACE VENTILATED. CROSS VENTILATION WITH HALF OF THE VENTILATED AREA SHALL BE PROVIDED BY RIDGE OR GABLE VENTS AND THE OTHER HALF BY EAVE OR CORNICE VENTS. VENTS SHALL BE PLACED SO AS TO NOT ALLOW INFILTRATION OF RAIN OR SNOW.
- PROVIDE APPROVED TILE BACKER BOARD FOR ALL SHOWER AND BATH SPACE
- PROVIDE ICE-SHIELD PER CODE
- ROOF VENTING TO BE PROVIDED AS SHOWN. SOFFIT, RIDGE, AND OTHER ROOF VENTS TO BE INSTALLED AS NOTED ON THE DRAWINGS & AS PER MANUFACTURERS RECOMMENDATIONS.
- HOUSE WRAP & FLASHING TO BE INSTALLED PER PULTE BEST PRACTICES.

8 - DOORS AND WINDOWS

- WINDOW CALL OUT PER WINDOW SCHEDULE VERIFY WINDOW MANUFACTURER WITH PROJECT MANAGER
- REVIEW ALL WINDOW HDR HEIGHTS PER PLATE HT. AND VERIFY W/ ELEVATIONS AND CORNICE DETAILS
- TEMPERED GLASS SHALL BE USED IN ALL HAZARDOUS AREAS
- FRONT DOOR WIDTH AS REQUIRED BY CODE
- GARAGE DOOR AS REQUIRED BY CODE
- EMERGENCY - SLEEPING ROOMS SHALL HAVE AT LEAST ONE EGRESS OPENING OF NOT LESS THAN 5.7 SF AND A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.

15 - MECHANICALS

- FACTORY BUILT CHIMNEYS AND FIREPLACES SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS, AND ARE SUBJECT TO MECHANICAL INSPECTION
- PROVIDE EXTERIOR AIR INTAKE FOR COMBUSTION AIR.

16 - ELECTRICAL

- ALL ELECTRICAL INSTALLATION SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE (NEC). ALL MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OF APPROVAL OF THE UNDERWRITERS LABORATORIES, INC.
- ELECTRICAL CONTRACTOR SHALL VERIFY SPACE REQUIRED FOR METER INSTALLATION BEFORE CONSTRUCTION AND SHALL NOTIFY GENERAL CONTRACTOR OF ANY DISCREPANCIES.
- VERIFY LOCATION OF ALL RECEPTACLES FOR APPLIANCES WITH MANUFACTURER SPECIFICATIONS.
- GROUND FAULT INTERRUPTS SHALL BE LOCATED PER THE NEC.
- ALL SWITCHES SHALL BE INSTALLED AT 3'-2" ABOVE FINISHED FLOOR TO CENTERLINE OF SWITCH UNLESS NOTED OTHERWISE.
- ALL CONVENIENCE OUTLETS SHALL BE INSTALLED W/ CENTERLINE OF OUTLET LOCATED 1'-3" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.
- ALL CONVENIENCE OUTLETS WITH SWITCHES TO BE SWITCH AT TOP ONLY.
- ALL EXTERIOR WALL BRACKET FIXTURES SHALL BE INSTALLED AT 5'-6" ABOVE ADJACENT DOOR SILL HEIGHT TO CENTERLINE OF FIXTURE.
- APPROVED SMOKE DETECTORS SHALL BE LOCATED ON EVERY STORY OF THE DWELLING UNIT AS PER CODE (SEE SHEET 6.0XX FOR LOCATIONS). WHERE MORE THAN ONE DETECTOR IS REQUIRED THEY SHALL BE INTERCONNECTED. POWER SOURCE SHALL BE BUILDING POWER w/ BATTERY BACKUP.

GENERAL FRAMING SPECS AND CONSTRUCTION NOTES STAIRS:

- THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES (210 MM) AND THE MINIMUM TREAD DEPTH SHALL BE 10 INCHES (229 MM).
- HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34 INCHES AND 38 INCHES SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS.
- HANDRAIL AND BALUSTRADE (WHERE PRESENT) SHALL BE CONSTRUCTED PER CODE
- ALL REQUIRED HAND RAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS W/ 2 OR MORE RISERS FROM A POINT ABOVE THE THE TOP RISER OF A FLIGHT TO A POINT ABOVE THE LOWEST RISER OF THE FLIGHT. ENDS SHALL BE RETURNED OR SHALL TERMINATE AT NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1.5" BETWEEN THE WALL AND HAND RAIL.

WALLS:

- ALL STUDS TO BE 2x4 SPF OR EQUAL UNLESS NOTED OTHERWISE.
- USE DBL TOP PLATES 16" OC ON BOTH FIRST AND SECOND FLOOR AT ALL EXTERIOR AND LOAD BEARING CONDITIONS ALL OTHER PARTITION WALL USE SINGLE TOP PLATE 24"OC.

FLOORS:

- STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED, OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED PER CODE
- THE ENDS OF EACH JOIST, BEAM, OR GIRDER SHALL HAVE NOT LESS THAN 1.5 INCHES (38MM) OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES (76MM) ON MASONRY OR CONCRETE OR AS OTHERWISE SPECIFIED PER CODE
- ANY CONVENTIONAL FLOOR JOISTS SHOWN DOUBLED ON PLANS TO BE GLUED AT INSTALLATION AND NAILED W/ 3-16d NAILS @ 16" O.C. MULTIPLE PLYS OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM.
- SHOP DRAWINGS FOR ANY AND ALL ENGINEERED FLOOR SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS. WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

FRAMING:

- ALL FRAMING DIMENSIONS TO FACE OF MEMBER/SHEATHING.
- ALL BEARING HEADERS TO BE 2X8 SPF #2 OR EQUAL UNLESS NOTED OTHERWISE.
- ALL 2x10 & 2x12 HEADERS TO BE SPF #2 UNLESS NOTED OTHERWISE.
- ALL 2x8 HEADERS TO BE SPF #2 UNLESS NOTED OTHERWISE.
- PROVIDE 1x BLOCKING UNDER ALL EXTERIOR SLIDING DOORS.
- ALL BEAMS & HEADERS SHALL HAVE A MINIMUM OF (1) 2x JACK STUD & (1) 2x KING STUD. THE NUMBER OF STUDS LABELED ON PLANS INDICATES THE NUMBER OF JACK STUDS ONLY (UNLESS NOTED OTHERWISE).
- TWO-PLY CONVENTIONAL BEAMS TO BE FACE-NAILED W/2 ROWS 16d COMMON NAILS STAGGERED @16" O.C. UNLESS NOTED OTHERWISE. THREE-PLY CONVENTIONAL BEAMS TO BE NAILED AS ABOVE FROM EACH SIDE. MULTIPLE PLYS OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM.
- JOIST HANGERS, WHERE REQUIRED, SHALL BE USED WITHOUT ANGLES.
- INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.

ROOF:

- HIP AND VALLEY RAFTERS SHALL BE SUPPORTED AT RIDGE DOWN TO BEARING PARTITION. CUT ENDS OF RAFTERS SHALL BE FULLY SUPPORTED WALL AND RIDGE.
- SHOP DRAWINGS FOR ANY AND ALL ENGINEERED ROOF TRUSS SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS. WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

LIGHT & VENT CALCULATIONS:

| ROOM | SQ. FT. | LIGHT REQ'D | LIGHT SUPP | VENT REQ'D | VENT SUPP | NOTES |
|------------------|---------|-------------|------------|------------|-----------|-------|
| FIRST FLOOR | | | | | | |
| PLANNING CENTER | 115 | 9.2 | 24.80 | 4.60 | 10.60 | |
| GATHERING ROOM | 367 | 29.36 | 49.60 | 14.68 | 21.20 | |
| KITCHEN/NOOK | 331 | 26.48 | 46.94 | 13.24 | 22.72 | |
| DINING ROOM | 161 | 12.88 | 24.80 | 6.44 | 10.60 | |
| DEN | 173 | 14.08 | 37.20 | 7.04 | 15.90 | |
| POWDER ROOM | 35 | N/A | N/A | 1.12 | 50.00 | |
| SECOND FLOOR | | | | | | |
| GAME ROOM | 299 | 23.92 | 46.80 | 11.96 | 19.60 | |
| OWNER'S SUITE | 282 | 22.64 | 40.80 | 11.32 | 17.20 | |
| BEDROOM 2 | 131 | 10.48 | 26.80 | 5.24 | 11.90 | |
| BEDROOM 3 | 159 | 12.16 | 23.40 | 6.08 | 9.80 | |
| BEDROOM 4 | 152 | 12.16 | 35.17 | 6.08 | 14.70 | |
| OWNER'S BATH | 111 | N/A | 24.80 | 118.8 | 120.00 | |
| TOILET ENCLOSURE | 16 | N/A | N/A | 20.9 | 50.00 | |
| BATH 3 | 48 | N/A | N/A | 59.40 | 60.00 | |
| BATH 4 | 37 | 2.96 | 5.20 | 1.48 | 50.00 | |
| BATH 1 | 35 | N/A | N/A | 37.40 | 50.00 | |

APPLICABLE CODES:

- Building Code: 2019 RCO
- Plumbing Code: 2017 Plumbing Code
- Mechanical Code: 2017 Mechanical Code
- Energy Code: 2019 Energy Code Ohio
- Electrical Code: 2017 NEC
- Fire Code: 2018 International Fire Code

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Cleveland Division
387 Medina Rd. Suite 1700
Medina, OH 44256



Cover Sheet
Specifications & General Notes

PRODUCTION MANAGER
Cobe Kirksey
CURRENT RELEASE DATE: 06/07/2021

| REV # | DATE | DESCRIPTION |
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PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS
LOT 179
LAWSON COMMUNITY ID

GARAGE HANDING
GARAGE RIGHT

SPECIFICATION LEVEL
TBD

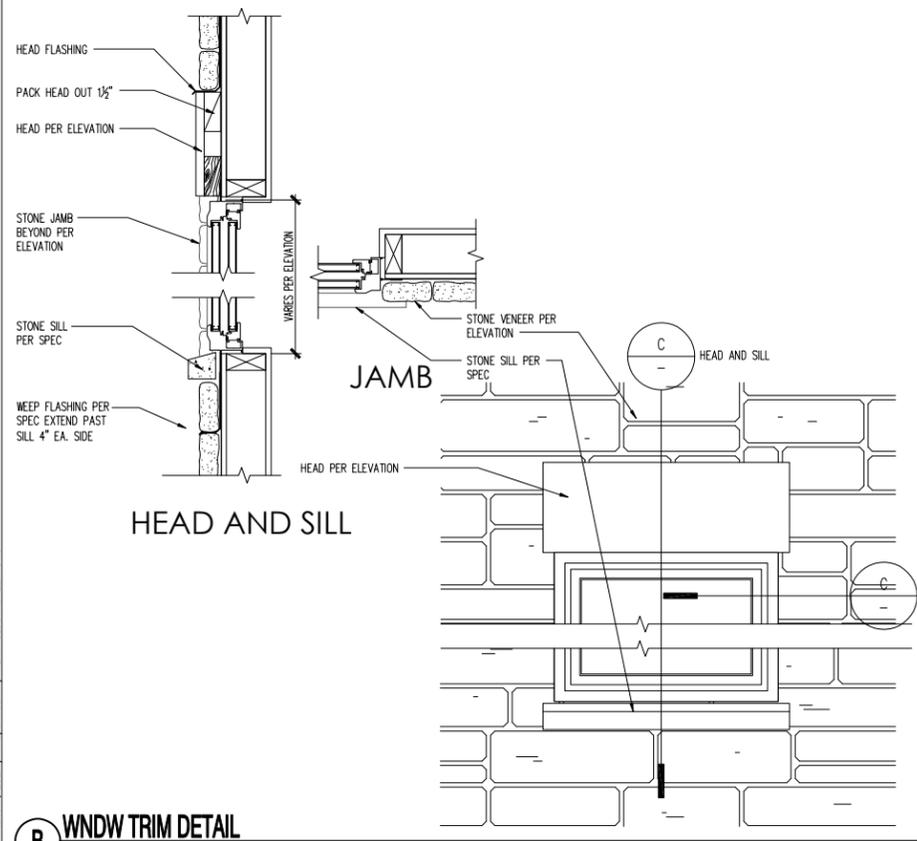
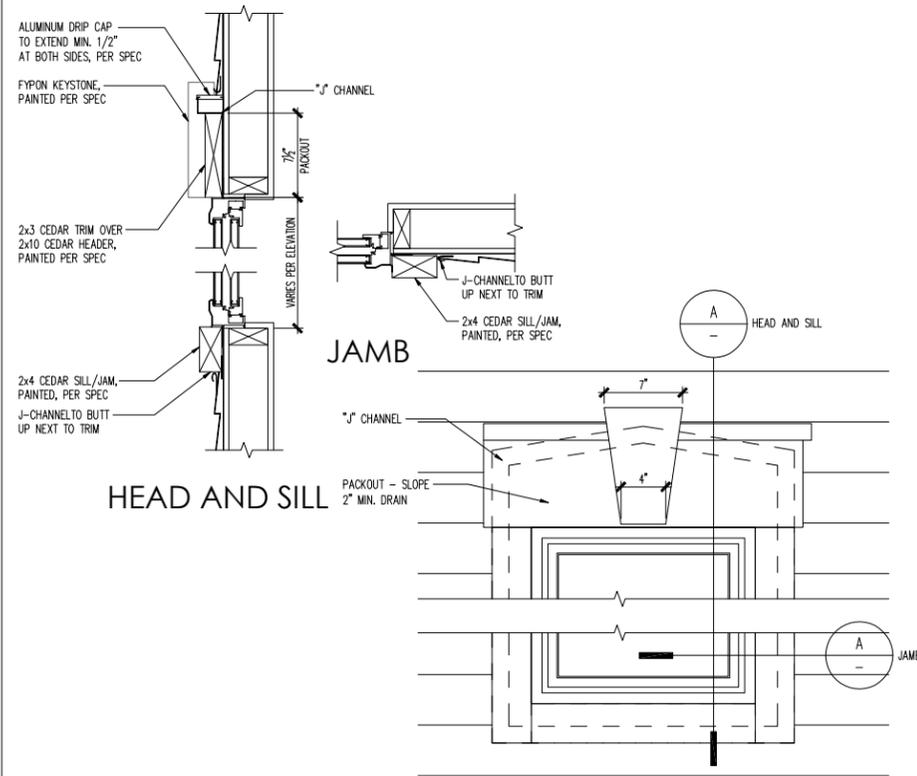
PLAN NAME
ATWATER
NPC PLAN NUMBER
1642
LAWSON PLAN ID
LEGACY PLAN NUMBER / NAME
PLAN 3295

SHEET
0.00

PLOTTED: June 7, 2021 / Auguram John / PLAN: 3295-RC-COVER.DWG

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

ENGINEER OF RECORD: MULHERN & KULP ENGINEERS
ARCHITECT OF RECORD: GODOLICO DESIGN - ARCHITECTS



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 Pulte Homes
 Elevation - 9
 Front and Rear Elevations
 PROJECT TYPE: SINGLE FAMILY
 COMMUNITY NAME: RIVER OAKS LOT 179
 LAWSON COMMUNITY ID: ---
 GARAGE HANDING: GARAGE RIGHT
 SPECIFICATION LEVEL: TBD
 PLAN NAME: ATWATER
 NPC PLAN NUMBER: 1642
 LAWSON PLAN ID: ---
 LEGACY PLAN NUMBER / NAME: PLAN 3295
 SHEET: 7.09a1

| REV # | DATE | DESCRIPTION |
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PRODUCTION MANAGER: Gabe Kirksey
 CURRENT RELEASE DATE: 06/07/2021
 ARCHITECT OF RECORD: MULHORN & KULP ENGINEERS
 ARCHITECT OF RECORD: GODOLCO DESIGN - ARCHITECTS

PLOTTED: June 7, 2021 / Anupam Jain / PLAN-3295-RO-ELD.DWG



OHIO DIVISION - LOT 180

River Oaks



DRESDEN

PLAN SHEET INDEX

| NO. | DESCRIPTION |
|--------|---|
| 0.00 | COVER SHEET |
| 1.30d | FULL BASEMENT FOUNDATION PLAN |
| 2.00 | FINISHED BASEMENT PLAN |
| 2.10a | FIRST FLOOR PLAN |
| 2.11a | PLAN DETAILS |
| 2.11b | PLAN DETAILS |
| 2.11c | PLAN DETAILS |
| 2.20a | SECOND FLOOR PLAN |
| 3.30a | TYPICAL BUILDING SECTIONS |
| 3.31a | TYPICAL WALL SECTIONS |
| 3.31b | TYPICAL WALL SECTIONS |
| 6.10 | FIRST FLOOR ELECTRICAL PLANS |
| 6.11 | SECOND FLOOR ELECTRICAL PLANS |
| 7.07a2 | ELEVATION "7" - FRONT AND REAR ELEVATIONS |
| 7.07a3 | ELEVATION "7" - SIDE ELEVATIONS AND ROOF PLAN |
| S-1.0 | FOUNDATION / 1ST FLOOR FRAMING PLAN |
| S-1.0A | FOUNDATION / 1ST FLOOR FRAMING PLAN |
| S-1.1 | FOUNDATION / 1ST FLOOR FRAMING PLAN |
| S-1.2 | FOUNDATION / 1ST FLOOR FRAMING PLAN |
| S-1.3 | FOUNDATION / 1ST FLOOR FRAMING PLAN |
| S-1.4 | FOUNDATION / 1ST FLOOR FRAMING PLAN |
| S-1.5 | FOUNDATION / 1ST FLOOR FRAMING PLAN |
| S-2.0 | 2ND FLOOR FRAMING PLAN |
| S-2.1 | 2ND FLOOR FRAMING PLAN |
| S-2.2 | 2ND FLOOR FRAMING PLAN |
| S-3.0 | ROOF FRAMING PLAN |
| S-3.1 | ROOF FRAMING PLAN |
| S-3.2 | ROOF FRAMING PLAN |
| S-3.3 | ROOF FRAMING PLAN |
| S-3.4 | ROOF FRAMING PLAN |
| S-4.0 | LATERAL BRACING DETAILS |
| S-4.1 | LATERAL BRACING DETAILS |
| SD.01 | TYPICAL FOUNDATION DETAILS |
| SD.02 | TYPICAL FOUNDATION DETAILS |

GENERAL BUILDING DETAIL REQUIREMENTS

- THE ATTACHED PLANS & SPECIFICATIONS ARE THE SOLE PROPERTY OF PULTE HOMES INC. ANY UNAUTHORIZED USE OF THESE PLANS WITHOUT PRIOR WRITTEN CONSENT OF PULTE HOMES INC. IS STRICTLY PROHIBITED.
- PULTE HOMES INC. DESIGNS & BUILDS HOUSING AS SET FORTH BY THE FORMAT AND PROVISIONS OF THE RESIDENTIAL CODE OF OHIO (RCO), AND THE NATIONAL ELECTRIC CODE (NEC). ANY NON-CONFORMING DOCUMENTS DISCOVERED BY THE CONTRACTOR OR HIS AGENTS SHALL BE CALLED TO THE IMMEDIATE ATTENTION OF PULTE HOMES INC. BY CALLING (651) 452-5200.
- THESE PLANS ARE SUBJECT TO MODIFICATIONS TO MEET CODE REQUIREMENTS AND/OR TO FACILITATE MECHANICAL/ELECTRICAL/PLUMBING INSTALLATION AND/OR TO IMPLEMENT DESIGN IMPROVEMENTS. ANY INTENTION TO MODIFY THESE PLANS MUST BE APPROVED IN WRITING BY PULTE HOMES INC.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AFFECTING CONTRACTOR'S PRODUCTS, INSTALLATIONS, OR FABRICATIONS IN THE FIELD PRIOR TO EXPEDITING THE CONSTRUCTION OF SUCH WORK. FIELD VERIFY ALL DIMENSIONS - DO NOT SCALE DRAWINGS! CONTRACTOR IS RESPONSIBLE FOR SURVEYING THE PROJECT AND BECOMING FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK INCLUDING BUT NOT LIMITED TO SITE AND SOIL BEARING CONDITIONS.
- ERRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ERRORS, DISCREPANCIES, OR OMISSIONS FOR WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION AND/OR FABRICATION OF THE WORK.

METAL

WOOD AND GLASS

THERMAL MOISTURE PROTECTION

- INSTALL FIRE STOPPING AND/OR DRAFT STOPPING AS REQUIRED.
- ATTIC VENTILATION SHALL BE PROVIDED AT 1/150th OF THE AREA OF THE SPACE VENTILATED. CROSS VENTILATION WITH HALF OF THE VENTILATED AREA SHALL BE PROVIDED BY RIDGE OR GABLE VENTS AND THE OTHER HALF BY EAVE OR CORNICE VENTS. VENTS SHALL BE PLACED SO AS TO NOT ALLOW INFILTRATION OF RAIN OR SNOW.
- PROVIDE APPROVED TILE BACKER BOARD FOR ALL SHOWER AND BATH SPACE.
- PROVIDE ICE-SHIELD PER CODE.
- ROOF VENTING TO BE PROVIDED AS SHOWN. SOFFIT, RIDGE, AND OTHER ROOF VENTS TO BE INSTALLED AS NOTED ON THE DRAWINGS & AS PER MANUFACTURER'S RECOMMENDATIONS.
- HOUSE WRAP & FLASHING TO BE INSTALLED PER PULTE BEST PRACTICES.

DOOR AND WINDOW

- WINDOW CALL OUT PER WINDOW SCHEDULE VERIFY WINDOW MANUFACTURER WITH PROJECT MANAGER
- REVIEW ALL WINDOW HIGHS PER PLATE HT. AND VERIFY W/ ELEVATIONS AND CORNICE DETAILS
- TEMPERED GLASS SHALL BE USED IN ALL HAZARDOUS AREAS
- FRONT DOOR WIDTH AS REQUIRED BY CODE
- GARAGE DOOR AS REQUIRED BY CODE
- EMERGENCY - SLEEPING ROOMS SHALL HAVE AT LEAST ONE EGRESS OPENING OF NOT LESS THAN 5.7 SF AND A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.

SOIL CONSTRUCTION

- SOIL BEARING CALCULATIONS BASED ON 3000 PSF MIN
- BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.
- BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS BACKFILL TO NOT DAMAGE THE FOUNDATION WALLS OR ANY WATERPROOFING/ DAMPROOFING MATERIALS.

CONCRETE

- ALL CONCRETE EXPOSED TO EXTERIOR ELEMENTS SHOULD BE AIR ENTRAINED 4-6%.
- SLOPE ON DRIVE SHALE BE NO LESS THAN 2% OR 1/4" PER FOOT - PREFERABLY 4% OR 1/2" PER FOOT. THE FRONT STOOP SHALL HAVE SLOPE EQUAL TO 1" PER FOOT. THE RAISED WALK IN GARAGE SHALL HAVE A 1/2" PER FOOT SLOPE AND DRIVE SLAB SHALL BE SLOPED MIN. 1/4" PER FOOT.
- SOME COLUMN DIMENSIONS ARE FROM CENTER OF COLUMN TO EXTERIOR FACE OF BASEMENT WALL.
- BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.
- BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS TO NOT DAMAGE THE FOUNDATION WALLS OR WATERPROOFING/ DAMPROOFING MATERIALS.
- MUD SILLS SHALL BE TREATED MEMBERS AND SECURED BY ANCHOR BOLTS AND/OR STRAPS AS SPECIFIED IN THE DRAWINGS, DETAILS, AND SPECIFICATIONS.
- CALCULATIONS FOR COLUMN PADS BASED ON 3000 PSF SOIL BEARING.

MASONRY

- ALL EXTERIOR BRICK MUST MEET ASTM C-216 FOR "SW" CONDITIONS
- MASONRY VENEER SHALL BE ATTACHED TO SUPPORTING WALLS w/ 22GA x 7/8" CORRUGATED METAL TIES AT 24" O.C.
- FLASHING BEHIND MASONRY SHALL BE 14# BUILDING PAPER OR FELT OR APPROVED EQUAL ATTACHED TO THE SHEATHING TO PREVENT MOISTURE PENETRATION.
- WEEPHOLES SHALL BE PROVIDED ALONG THE OUTSIDE WYTHE OF EXTERIOR MASONRY WALLS AT 33" O.C. MAX. SHALL BE A MIN. OF 3/16" IN DIAMETER, AND LOCATED IMMEDIATELY ABOVE THE FLASHING

MECHANICAL

- FACTORY BUILT CHIMNEYS AND FIREPLACES SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS, AND ARE SUBJECT TO MECHANICAL INSPECTION
- PROVIDE EXTERIOR AIR INTAKE FOR COMBUSTION AIR.

ELECTRICAL

- ALL ELECTRICAL INSTALLATION SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE (NEC). ALL MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OF APPROVAL OF THE UNDERWRITERS LABORATORIES, INC.
- ELECTRICAL CONTRACTOR SHALL VERIFY SPACE REQUIRED FOR METER INSTALLATION BEFORE CONSTRUCTION AND SHALL NOTIFY GENERAL CONTRACTOR OF ANY DISCREPANCIES.
- VERIFY LOCATION OF ALL RECEPTACLES FOR APPLIANCES WITH MANUFACTURER SPECIFICATIONS.
- GROUND FAULT INTERRUPTS SHALL BE LOCATED PER THE NEC.
- ALL SWITCHES SHALL BE INSTALLED AT 3"-2" ABOVE FINISHED FLOOR TO CENTERLINE OF SWITCH UNLESS NOTED OTHERWISE.
- ALL CONVENIENCE OUTLETS SHALL BE INSTALLED W/ CENTERLINE OF OUTLET LOCATED 1'-3" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.
- ALL CONVENIENCE OUTLETS WITH SWITCHES TO BE SWITCH AT TOP ONLY.
- ALL EXTERIOR WALL BRACKET FIXTURES SHALL BE INSTALLED AT 5'-6" ABOVE ADJACENT DOOR SILL HEIGHT TO CENTERLINE OF FIXTURE.
- APPROVED SMOKE DETECTORS SHALL BE LOCATED ON EVERY STORY OF THE DWELLING UNIT AS PER CODE (SEE SHEET 6.XXX FOR LOCATIONS), WHERE MORE THAN ONE DETECTOR IS REQUIRED THEY SHALL BE INTERCONNECTED. POWER SOURCE SHALL BE BUILDING POWER w/ BATTERY BACKUP.

ADJUSTABLE NODES

- 2009 INTERNATIONAL RESIDENTIAL CODE
- (SECTION 602) 2012 INTERNATIONAL RESIDENTIAL CODE
- 2013 RESIDENTIAL CODE OF OHIO
- 2011 INTERNATIONAL PLUMBING CODE
- 2011 INTERNATIONAL MECHANICAL CODE
- 2011 NATIONAL ELECTRIC CODE
- 2011 INTERNATIONAL FIRE CODE
- 2009 INTERNATIONAL ENERGY CONSERVATION CODE

GENERAL FRAMING DETAILS AND CONSTRUCTION NOTES

- THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES (210 MM) AND THE MINIMUM TREAD DEPTH SHALL BE 10 INCHES (229 MM).
- HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34 INCHES AND 38 INCHES SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS.
- HANDRAIL AND BALUSTRADE (WHERE PRESENT) SHALL BE CONSTRUCTED PER CODE
- ALL REQUIRED HAND RAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS W/ 2 OR MORE RISERS FROM A POINT ABOVE THE TOP RISER OF A FLIGHT TO A POINT ABOVE THE LOWEST RISER OF THE FLIGHT. ENDS SHALL BE RETURNED OR SHALL TERMINATE AT NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1.5" BETWEEN THE WALL AND HAND RAIL.

WALL

- ALL STUDS TO BE 2x4 SPF OR EQUAL UNLESS NOTED OTHERWISE.
- USE DBL TOP PLATES 16" OC ON BOTH FIRST AND SECOND FLOOR AT ALL EXTERIOR AND LOAD BEARING CONDITIONS ALL OTHER PARTITION WALL USE SINGLE TOP PLATE 24" OC.

FLOOR

- STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED, OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED PER CODE
- THE ENDS OF EACH JOIST, BEAM, OR GIRDER SHALL HAVE NOT LESS THAN 1.5 INCHES (38MM) OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES (76MM) ON MASONRY OR CONCRETE OR AS OTHERWISE SPECIFIED PER CODE
- ANY CONVENTIONAL FLOOR JOISTS SHOWN DOUBLED ON PLANS TO BE GLUED AT INSTALLATION AND NAILED W/ 3-16d NAILS @ 16" O.C. MULTIPLE PLIES OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM.
- SHOP DRAWINGS FOR ANY AND ALL ENGINEERED FLOOR SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS. WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

FRAMING

- ALL FRAMING DIMENSIONS TO FACE OF MEMBER/SHEATHING.
- ALL BEARING HEADERS TO BE 2 X 8 HEM-FIR #2 OR EQUAL UNLESS NOTED OTHERWISE.
- ALL 2x10 & 2x12 HEADERS TO BE HEM-FIR - #2 UNLESS NOTED OTHERWISE.
- ALL 2x8 HEADERS TO BE HEM-FIR - #2 UNLESS NOTED OTHERWISE.
- PROVIDE 1x BLOCKING UNDER ALL EXTERIOR SLIDING DOORS.
- ALL BEAMS & HEADERS SHALL HAVE A MINIMUM OF (1) 2x JACK STUD & (1) 2x KING STUD. THE NUMBER OF STUDS LABELED ON PLANS INDICATES THE NUMBER OF JACK STUDS ONLY (UNLESS NOTED OTHERWISE).
- TWO-PLY CONVENTIONAL BEAMS TO BE FACE-NAILED W/2 ROWS 16d COMMON NAILS STAGGERED @16" O.C. UNLESS NOTED OTHERWISE. THREE-PLY CONVENTIONAL BEAMS TO BE NAILED AS ABOVE FROM EACH SIDE. MULTIPLE PLIES OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM.
- JOIST HANGERS, WHERE REQUIRED, SHALL BE USED WITHOUT ANGLES.
- INSTALL FIRE STOPPING AND/OR DRAFT STOPPING AS REQUIRED.

ROOF

- HIP AND VALLEY RAFTERS SHALL BE SUPPORTED AT RIDGE DOWN TO BEARING PARTITION. CUT ENDS OF RAFTERS SHALL BE FULLY SUPPORTED WALL AND RIDGE.
- SHOP DRAWINGS FOR ANY AND ALL ENGINEERED ROOF TRUSS SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS. WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

CARE FOOTAGE INDEX

| DESCRIPTION OF AREA | AREA |
|-----------------------|--------------|
| FIRST FLOOR | 1849 SQ. FT. |
| SECOND FLOOR | 1920 SQ. FT. |
| ANSI STAIR | N/A SQ. FT. |
| TOTAL | 3769 SQ. FT. |
| GARAGE | 635 SQ. FT. |
| PORCH 1 | 83 SQ. FT. |
| TOTAL AREA UNDER ROOF | 2567 SQ. FT. |
| UNFINISHED BASEMENT | 1729 SQ. FT. |
| FINISHED BASEMENT | 1226 SQ. FT. |

VENTILATION

| ROOM | SQ. FT. | LIGHT REQ | LIGHT SUPP | VENT REQ | VENT SUPP | NOTES |
|------------------|---------|-----------|------------|----------|-----------|-------|
| FIRST FLOOR | | | | | | |
| PLANNING CENTER | 58 | 4.56 | 9.80 | 2.28 | 4.00 | |
| GATHERING ROOM | 238 | 18.24 | 68.50 | 9.12 | 29.50 | |
| KITCHEN/NOOK | 396 | 31.84 | 58.90 | 15.92 | 29.80 | |
| DINING ROOM | 168 | 13.44 | 27.40 | 6.72 | 11.80 | |
| OFFICE | 190 | 15.20 | 27.40 | 7.60 | 11.80 | |
| POWDER ROOM | 26 | N/A | N/A | 1.12 | 50.00 | |
| SECOND FLOOR | | | | | | |
| GAME ROOM | 216 | 17.28 | 35.10 | 8.64 | 15.00 | |
| OWNER'S SUITE | 209 | 16.72 | 35.10 | 8.36 | 15.00 | |
| RETREAT/DRESS | 107 | 8.56 | 23.40 | 4.28 | 10.00 | |
| BEDROOM 2 | 171 | 13.68 | 23.40 | 6.84 | 10.00 | |
| BEDROOM 3 | 153 | 12.24 | 23.40 | 6.84 | 10.00 | |
| BEDROOM 4 | 132 | 10.56 | 11.70 | 5.28 | 5.00 | |
| OWNER'S BATH | 141 | N/A | 25.20 | 155.10 | 200.00 | |
| TOILET ENCLOSURE | 18 | N/A | N/A | 19.8 | 50.00 | |
| BATH 2 | 86 | N/A | N/A | 94.60 | 100.00 | |
| BATH 3 | 51 | N/A | 8.50 | 56.10 | 60.00 | |
| LOUNGE | 114 | 9.12 | 27.40 | 4.56 | 11.80 | |
| EXT. GATHER. RM | 286 | 22.88 | 68.50 | 11.44 | 29.50 | |
| BATH 1 | 45 | N/A | 5.20 | 49.50 | 50.00 | |

REVISIONS

| Rev # | Date | Pages | Comments |
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Cleveland Division
 387 Medina Rd. Suite 1700
 Medina, OH 44256



COVER SHEET
 Specifications & General Notes

PRODUCTION MANAGER
 Cobe Kirksey
 CURRENT RELEASE DATE: 07/07/2020

| REV # | DATE | DESCRIPTION |
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PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS LOT 180
 LAWSON COMMUNITY ID

GARAGE HANDING
GARAGE RIGHT

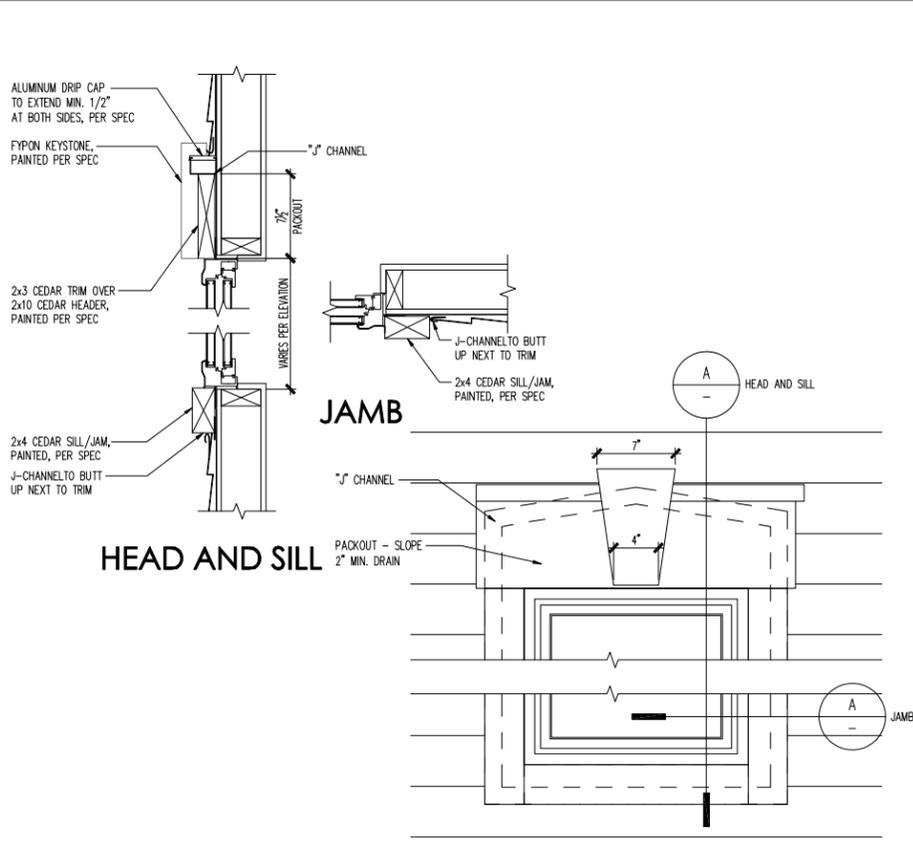
SPECIFICATION LEVEL
TBD

PLAN NAME
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 NPC PLAN NUMBER
1760
 LAWSON PLAN ID
 LEGACY PLAN NUMBER / NAME
PLAN 3627

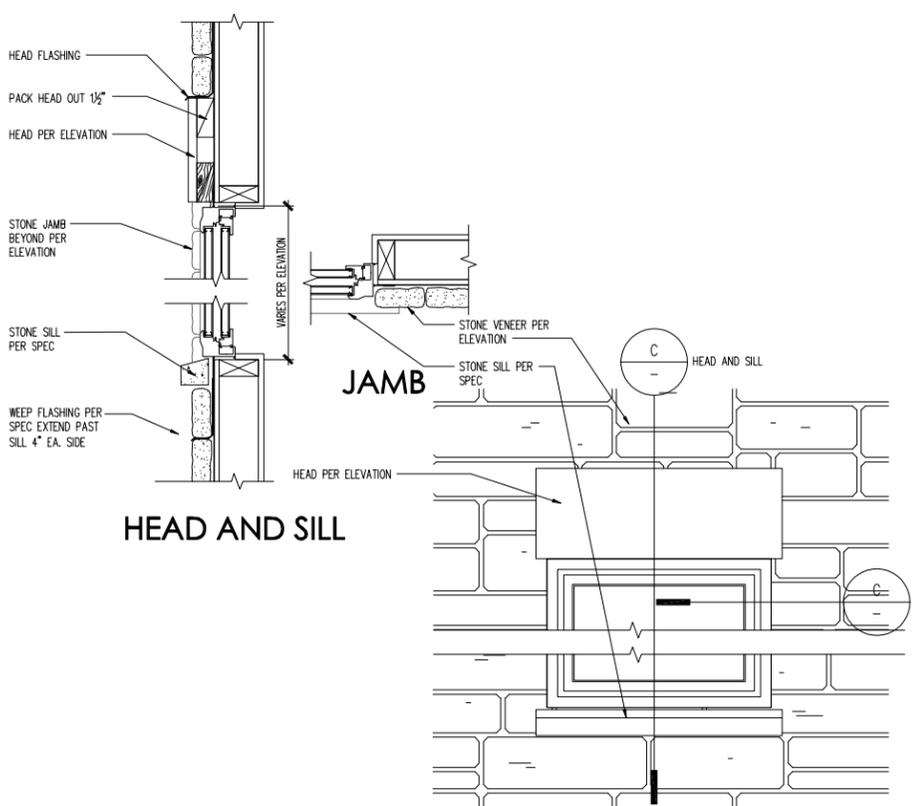
SHEET
0.00

ENGINEER OF RECORD: MULHERN & KULP ENGINEERING ARCHITECT OF RECORD: GODOLICO DESIGN - ARCHITECTS

NOTES: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



A WNDW TRIM DETAIL
SCALE: 1 1/2" = 1'-0"



B WNDW TRIM DETAIL
SCALE: 1 1/2" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

Cleveland Division
387 Medina Rd. Suite 1700
Medina, OH 44256



Front Elevation - 7
Front and Rear Elevations

PRODUCTION MANAGER
Cobe Kirksey
CURRENT RELEASE DATE: 07/07/2020

| REV # | DATE | DESCRIPTION |
|-------|------|-------------|
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PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS LOT 180
LAWSON COMMUNITY ID

GARAGE HANDING
GARAGE RIGHT

SPECIFICATION LEVEL
TBD

PLAN NAME
DRESDEN
NPC PLAN NUMBER
1760
LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME
PLAN 3627

SHEET
7.07a2