

APPROVED: STAFF APPROVAL DATE
 APPROVED: ENGINEERING DEPT. APPROVAL DATE
 APPROVED: LANDSCAPE ARCHITECT APPROVAL DATE

BUILDER: PULTE HOMES OF OHIO, LLC.
 ADDRESS: 387 MEDINA ROAD SUITE 1700, MEDINA, OHIO 44256
 PHONE: 330-239-1987

NOTE: PURCHASER TO INSTALL MINIMUM OF 3 TREES PER MUNICIPAL REQUIREMENTS

INITIAL SITE BENCHMARK: SUMMIT COUNTY GEODETIC MONUMENT HU 118
 STATE PLAN COORDINATE
 N 572,745.649
 E 2,250,912.641
 ELEVATION = 1006.912 NAVD 1988

PRIMARY BENCHMARK
 TOC/BOC ELEV @ P/L
 IN FRONT OF SUBLOTS 154/155
 ELEV. = 1007.81

OHIO HUDSON ENGINEERING DEPARTMENT
 Approved
 Approved, as noted
 Rejected
 Reviewed By: Anthony L. Calabro
 11:04 am, Jul 07, 2021

OWNER: _____
 ADDRESS: _____
 PHONE: _____

NOTE: FINAL LOCATION OF (3) TREES TO BE DETERMINED AND INSTALLED BY PURCHASER IN COMPLIANCE WITH CITY OF HUDSON LAND DEVELOPMENT CODE (1207.04.J).

NOTES: DOWNSPOUTS TO BE CONNECTED TO STORM SEWER CONNECTION
 SUMP PUMP REQUIRED FOR FOOTER DRAINS

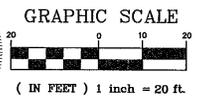
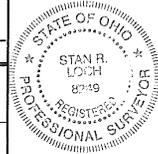
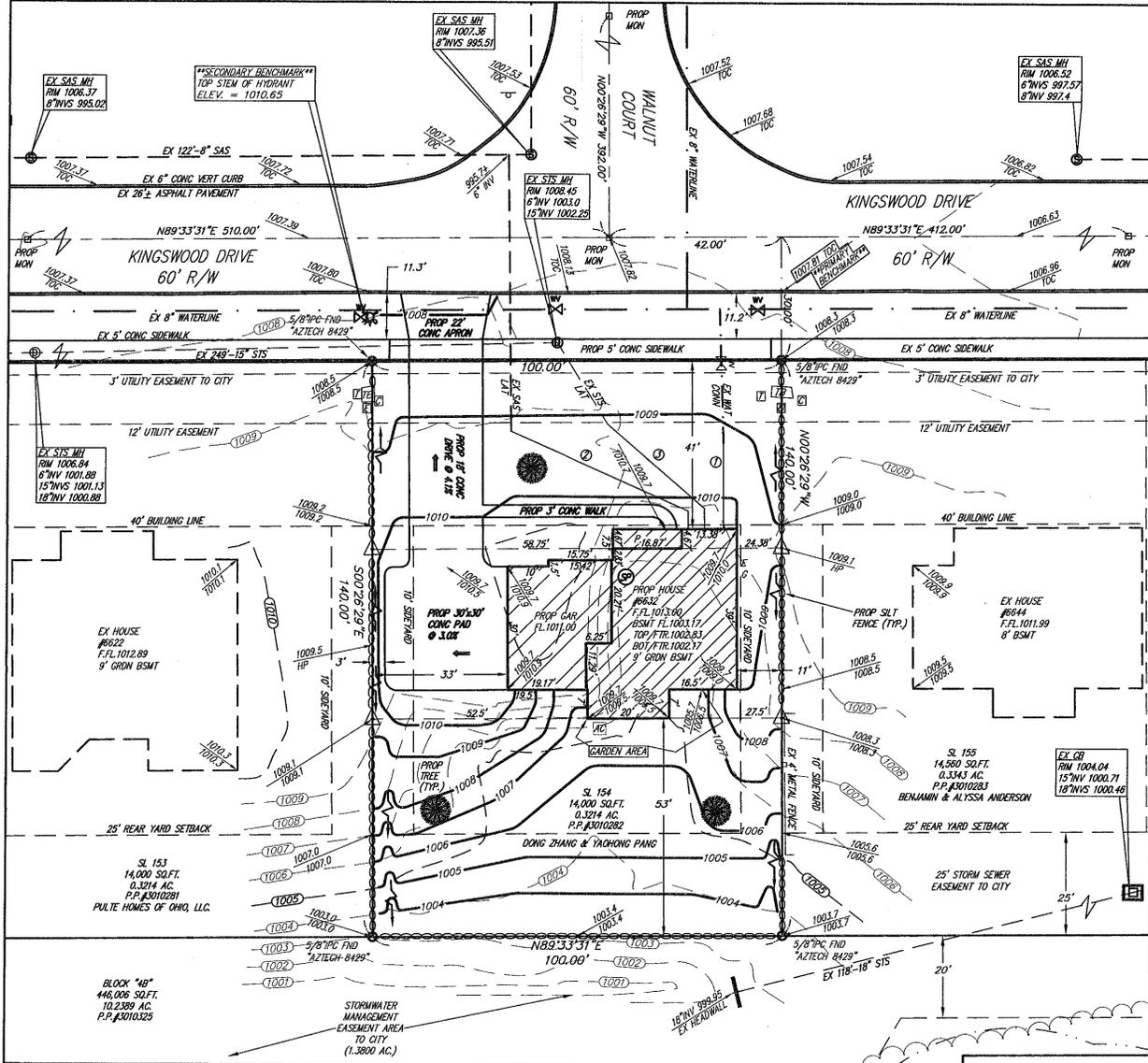
SECONDARY BENCHMARK
 TOP STEM OF HYDRANT
 IN FRONT OF SUBLOTS 153/154
 ON KINGSWOOD DRIVE
 ELEV. = 1010.65

THE CONTRACTOR MUST CHECK THE BENCHMARK WITH THE CURB GRADES PRIOR TO DIGGING THE FOUNDATION.

NOTE: ALL PROPOSED FOOTERS WILL REQUIRE SURVEY CERTIFICATION ONCE SET AND PRIOR TO THE COMPLETION OF HOME CONSTRUCTION

NOTE: PURCHASER TO INSTALL LANDSCAPING PER CITY OF HUDSON LANDSCAPING REQUIREMENTS.

NOTE: PER ARB, EGRESS WINDOW WELLS SHOULD BE NO MORE THAN 6" ABOVE FINISHED GRADE



PERCENTAGE OF LOT COVERAGE = 29.0%

HOUSE COVERAGE = 2,116 SQ.FT.
 DRIVEWAY COVERAGE = 1,800 SQ.FT.
 WALKWAY COVERAGE = 145 SQ.FT.
 TOTAL COVERAGE = 4,061 SQ.FT.

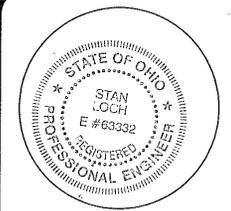
DATE OF SURVEY:
 JUNE 16th, 2021

TYPE OF HOUSE:
 PLAN# CRAWFORD
 ELEVATION: 7. DRIVE EXT
 GAR: 3 CAR SIDE RIGHT W/9' GRDN BSM, DRIVE EXT & GUEST SUITE OPTION

- ① = PROP 1" WAT COVN
- ② = PROP 6" PVC SAS COVN @ 1.0% MIN 10% MAX
- ③ = PROP 6" PVC STS COVN @ 1.0% MIN 10% MAX

TYPE OF HOUSE:
 PLAN# CRAWFORD
 ELEVATION: 3
 GAR: 3 CAR SIDE RIGHT W/9' BASEMENT, GUEST SUITE OPTION & FIREPLACE & INGRESS/EGRESS WINDOWS

- LEGEND:
- = PROPOSED TREE
 - = PROP MONUMENT
 - = EX CURB INLET
 - ⊕ = EX SANITARY MANHOLE
 - ⊙ = EX YARD DRAIN
 - ⊖ = IRON PIN FOUND
 - = EXISTING GRADE
 - = PROPOSED GRADE
 - = PROP SILT FENCE
 - = INLET PROTECTION
 - ⊞ = ELECTRIC BOX
 - ⊞ = TELEPHONE PEDESTAL
 - ⊞ = TRANSFORMER BOX
 - ⊞ = TRANSFORMER BOX
 - ⊞ = EX HYDRANT
 - ⊞ = EX WATER VALVE
 - ⊞ = SUMP PUMP
 - ⊞ = EX STORM MANHOLE
 - = SWALE
 - = FLOW ARROW
 - ⊞ = AIR CONDITIONER
 - E = ELECTRIC CONNECTION
 - G = GAS CONNECTION
 - ⊞ = OFFSET HUB
 - ⊞ = CABLE PEDESTAL



I CERTIFY THAT THIS PLAN WAS PREPARED BY ME AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Stan R. Loch P.E. #63332 DATE: 6-17-2021

5425 WARNER ROAD - SUITE 12
 VALLEY VIEW, OHIO 44125
 440-602-9071



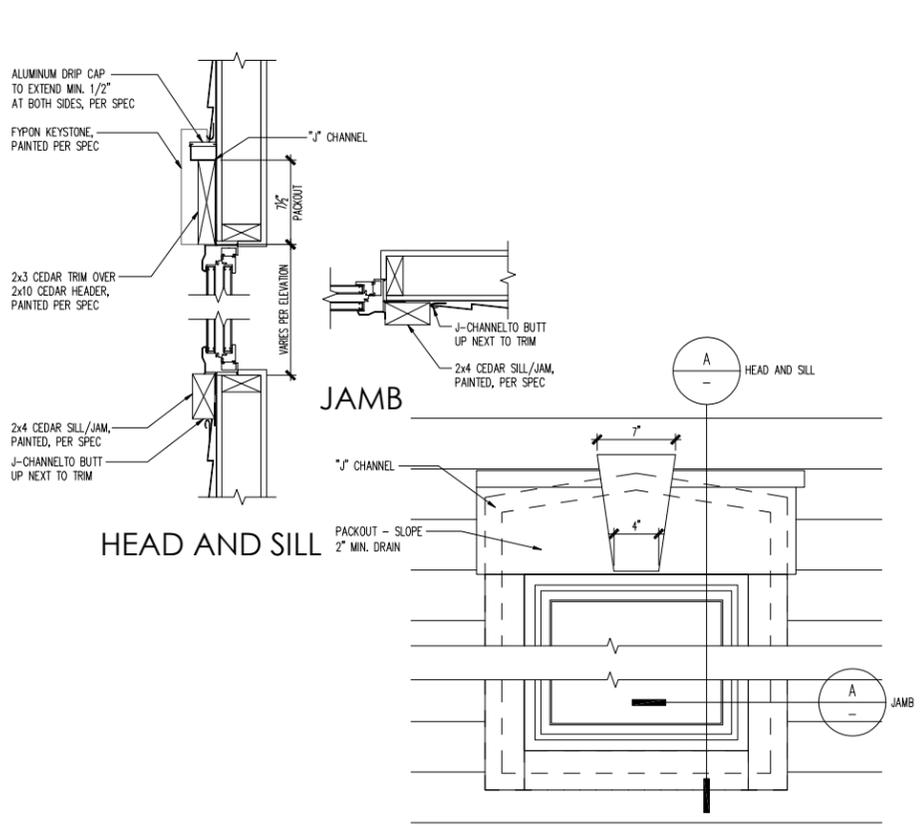
ENGINEERING and SURVEYING
 Civil Engineering - Land Surveying

SHEET CONTENT

SITE PLAN FOR PULTE HOMES SUBLT 154
 66.32 KINGSWOOD DRIVE IN THE RESERVE AT RIVER OAKS SUBDIVISION PH. 4 SITUATED IN THE CITY OF HUDSON COUNTY OF SUMMIT STATE OF OHIO

| REVISIONS | | | |
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| NO. | DATE | DESCRIPTION | BY |
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| HORIZ. SCALE | VERT. SCALE |
|--------------------|------------------------|
| 1" = 20' | 1" = 20' |
| DRAWN BY: KEC | DATE: 6-14-2021 |
| CHECKED BY: SRL | DRAWING NO: 20142977-4 |
| JOB NO: 20142977-4 | SHEET: 1 OF 1 |



(c) Copyright PulteGroup, Inc. - 2011
 Pulte Homes
 Front Elevation - Elev. 7
 Front and Rear Elevations
 PRODUCTION MANAGER: Gabe Kirksey
 CURRENT RELEASE DATE: 06/10/2021
 REV # | DATE | DESCRIPTION
 PROJECT TYPE: SINGLE FAMILY
 COMMUNITY NAME: RIVER OAKS LOT 154
 LAWSON COMMUNITY ID: ---
 GARAGE HANDING: GARAGE RIGHT
 SPECIFICATION LEVEL: TBD
 PLAN NAME: CRAWFORD
 NPC PLAN NUMBER: TBD
 LAWSON PLAN ID: ---
 LEGACY PLAN NUMBER / NAME: PLAN 2843
 SHEET: 7.07a2

PLOTTED: June 18, 2021 / Nick Misfeld / PLAN: 2843-RO-ELOI.DWG

PRODUCTION MANAGER
Cobe Kirksey
CURRENT RELEASE DATE: 06/10/2021

| REV # | DATE | DESCRIPTION |
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PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS LOT 154
LAWSON COMMUNITY ID

GARAGE HANDING
GARAGE RIGHT

SPECIFICATION LEVEL
TBD

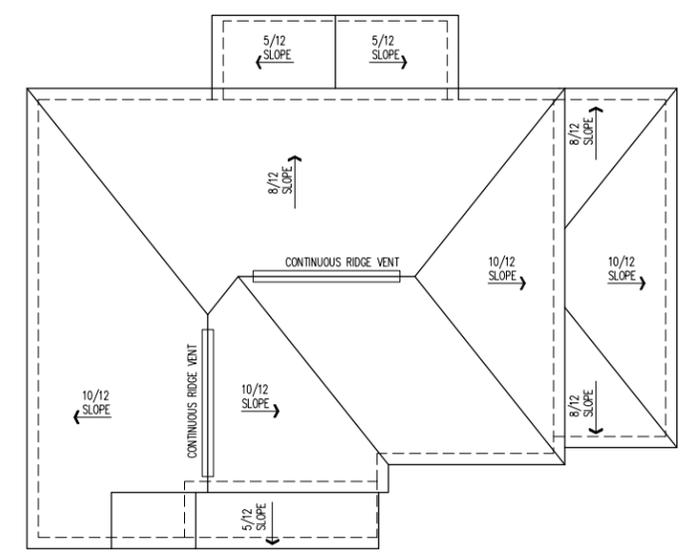
PLAN NAME
CRAWFORD
NPC PLAN NUMBER
TBD
LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME
PLAN 2843

SHEET
7.07a3

ATTIC VENTILATION SCHEDULE

| 7 ELEVATION | 1ST FLOOR ROOF | | | 2ND FLOOR ROOF | | | GARAGE ROOF | | | N/A | | | N/A | | |
|-------------|----------------|------|------------|----------------|------------|------|-------------|------|-----------|------|-----------|------|-----------|------|-----------|
| | LOC | AREA | REQD SUPP | AREA | REQD SUPP | AREA | REQD SUPP | AREA | REQD SUPP | AREA | REQD SUPP | AREA | REQD SUPP | AREA | REQD SUPP |
| | ROOF EAVE | 165 | 0.275 0.94 | 1764 | 2.94 3.95 | 352 | 0.59 0.71 | | | | | | | | |
| | TOTAL | | 0.55 1.88 | | 5.88 13.06 | | 1.17 4.09 | | | | | | | | |



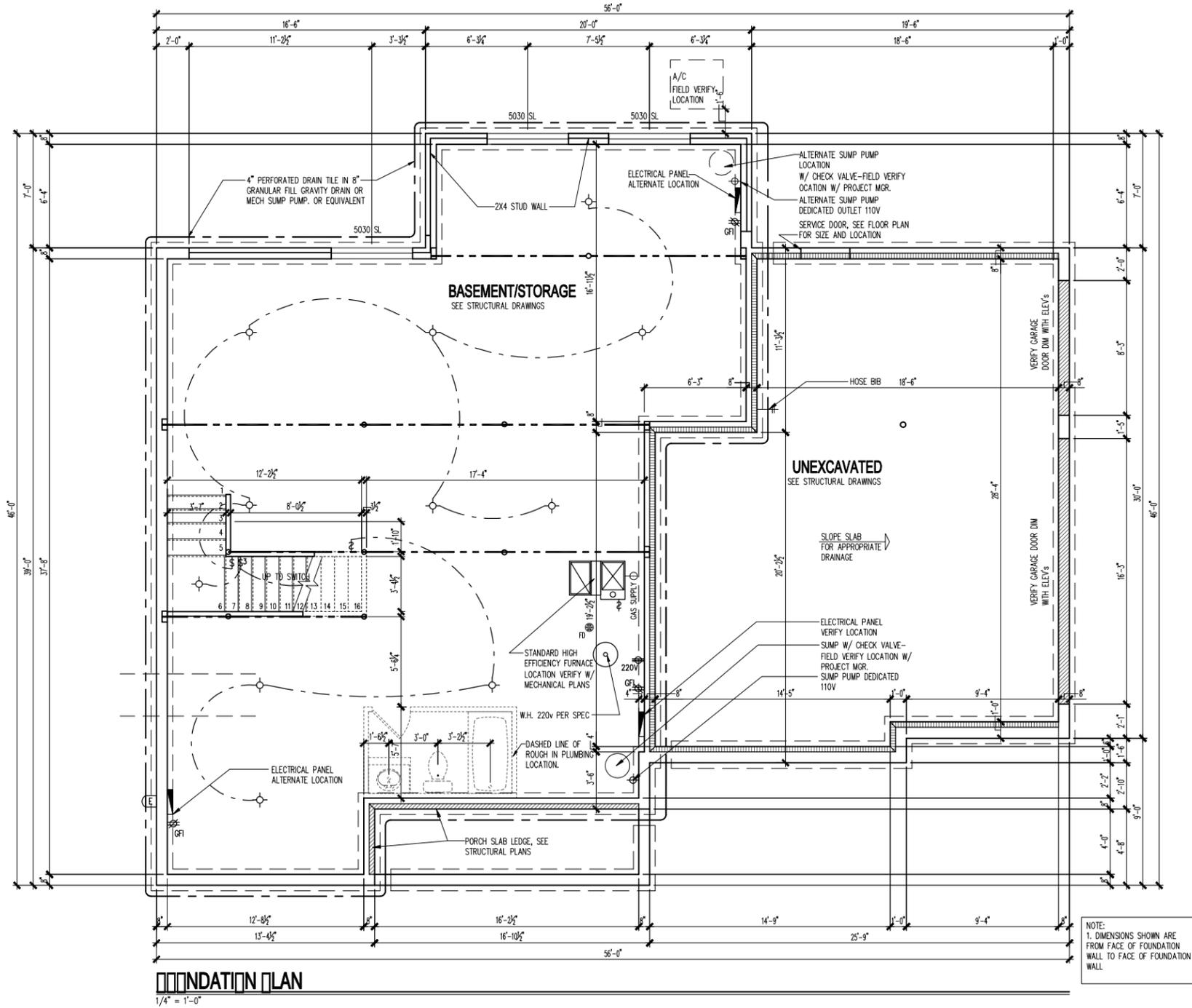
ROOF PLAN
SCALE 1/8" = 1'-0"



LEFT ELEVATION
SCALE 1/4" = 1'-0"



RIGHT ELEVATION
SCALE 1/4" = 1'-0"



Full Basement Foundation Plan

PRODUCTION MANAGER
Cobe Kirksey
CURRENT RELEASE DATE: 06/10/2021

| REV # | DATE | DESCRIPTION |
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PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS LOT 154
LAWSON COMMUNITY ID

GARAGE HANDING
GARAGE RIGHT

SPECIFICATION LEVEL
TBD

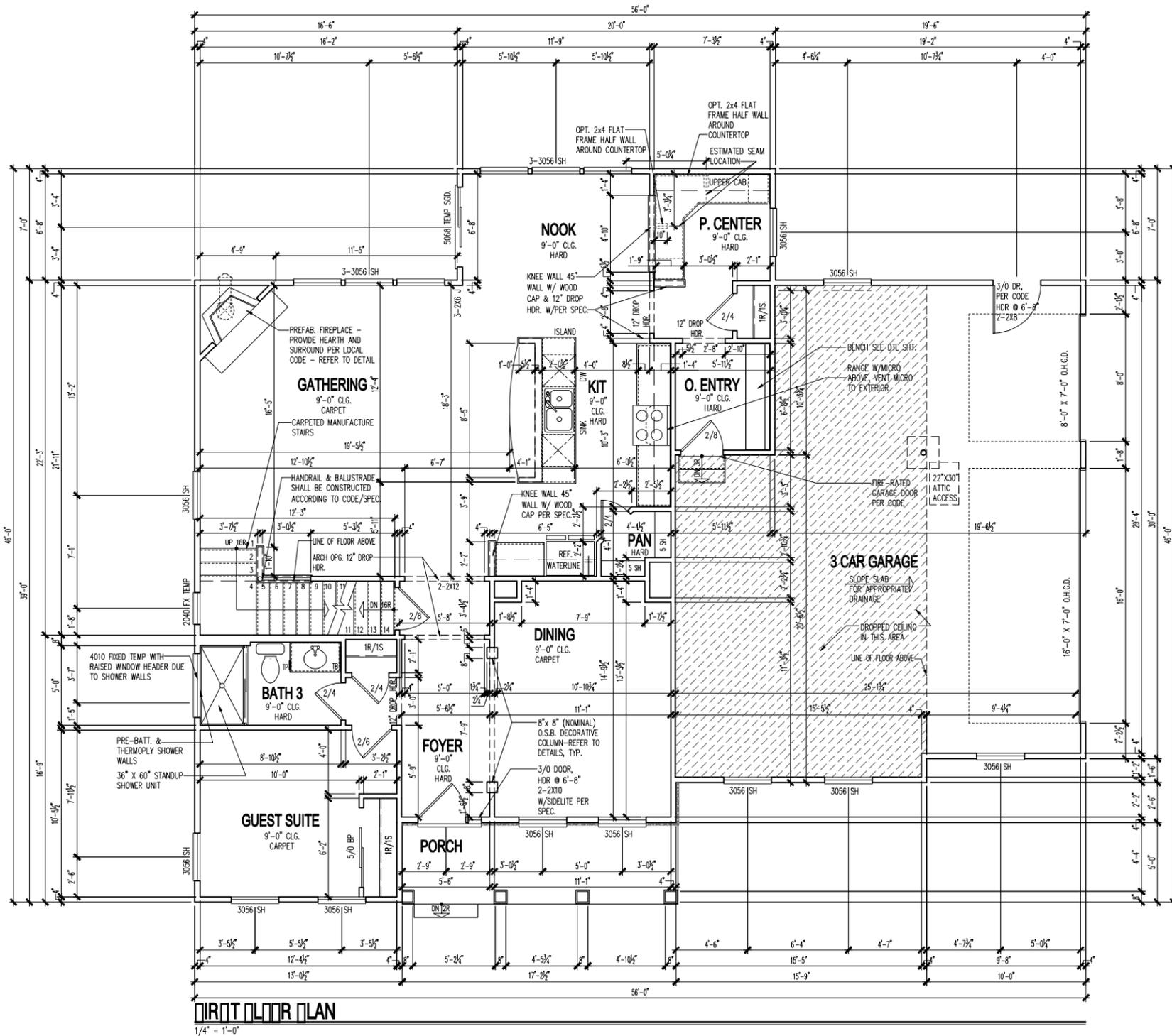
PLAN NAME
CRAWFORD
NPC PLAN NUMBER
TBD
LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME
PLAN 2843

SHEET
1.30a

ENGINEER OF RECORD: MULHERN & KULP ENGINEERING
ARCHITECT OF RECORD: GODOLCO DESIGN - ARCHITECTS

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



First Floor Plan

PRODUCTION MANAGER
Cobe Kirksey
CURRENT RELEASE DATE: 06/10/2021

| REV # | DATE | DESCRIPTION |
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PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS LOT 154

LAWSON COMMUNITY ID

GARAGE HANDING
GARAGE RIGHT

SPECIFICATION LEVEL
TBD

PLAN NAME
CRAWFORD

NPC PLAN NUMBER
TBD

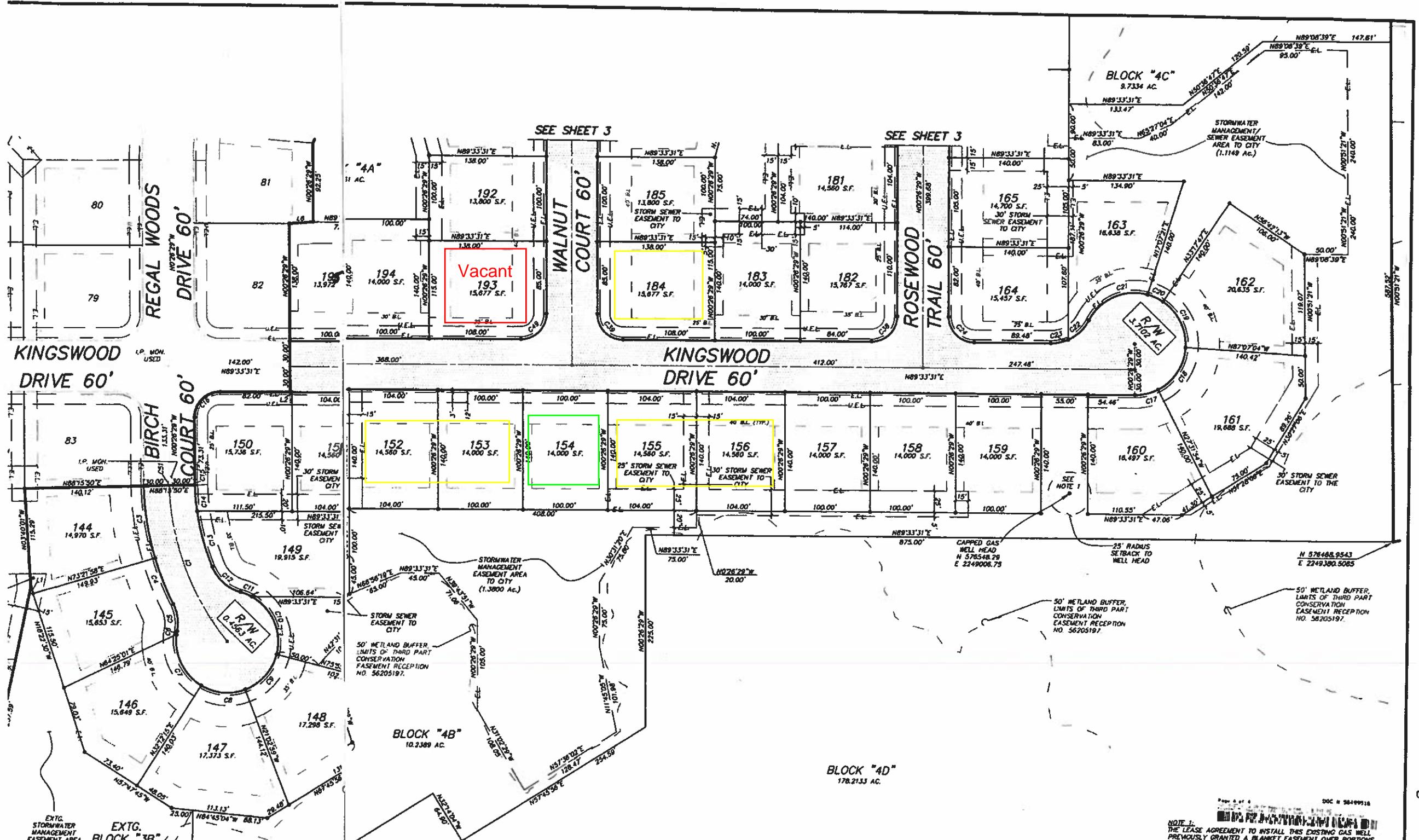
LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME
PLAN 2843

ENGINEER OF RECORD: MULHERN & KULP ENGINEERING
ARCHITECT OF RECORD: GODOLICO DESIGN - ARCHITECTS

SHEET
2.10a

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



EXTG. STORMWATER MANAGEMENT FACILITY

EXTG. BLOCK "3R"

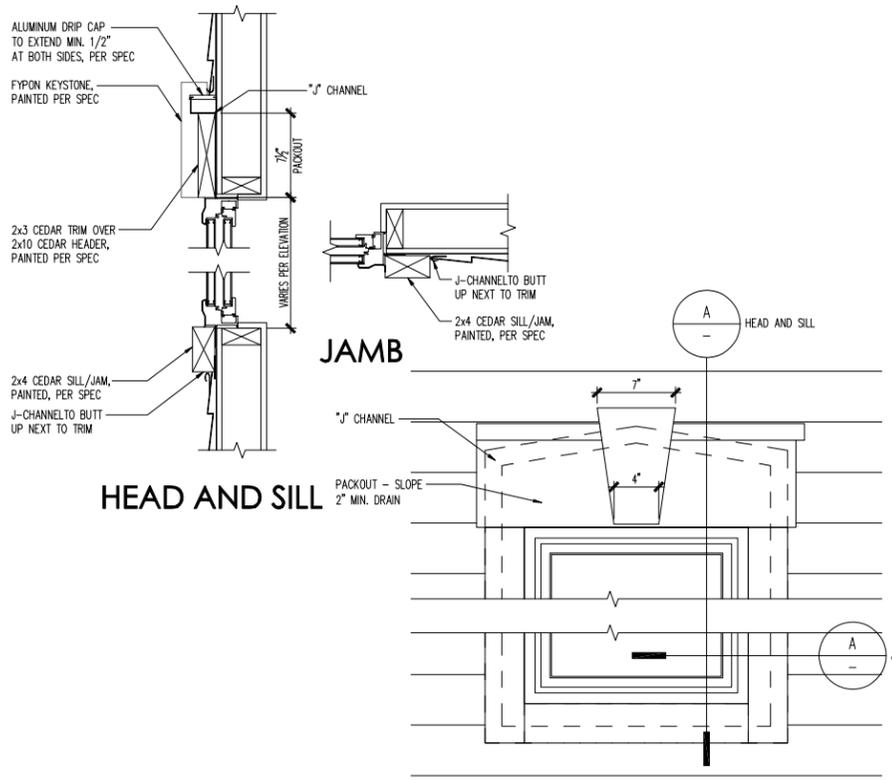
BLOCK "4B" 10.2389 AC.

BLOCK "4D" 178.2133 AC.

NOTE 1:
 THE LEASE AGREEMENT TO INSTALL THIS EXISTING GAS WELL PREVIOUSLY GRANTED A BLANKET EASEMENT OVER THE

Page 3 of 4
 DOC # 5849916

A WNDW TRIM DETAIL
SCALE: 1 1/2" = 1'-0"



Cleveland Division
387 Medina Rd. Suite 1700
Medina, OH 44256



Elevation - 1
Front and Rear Elevation

PRODUCTION MANAGER
Cobe Kirksey
CURRENT RELEASE DATE: 07/08/2016

| REV # | DATE | DESCRIPTION |
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PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS LOT 152
LAWSON COMMUNITY ID

GARAGE HANDING
GARAGE LEFT

SPECIFICATION LEVEL
TBD

PLAN NAME
ATWATER
NPC PLAN NUMBER
1642
LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME
PLAN 3295

SHEET
7.01a1

ENGINEER OF RECORD: MULHERN & KULP ENGINEERS
ARCHITECT OF RECORD: GODOLICO DESIGN - ARCHITECTS

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

PLOTTED: November 4, 2019 / Prem Kumar / 2380-KIRKLAND-01--ROMK-EL--RHA.DWG



FRONT ELEVATION
1/4" = 1'-0"



REAR ELEVATION
1/4" = 1'-0"

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Midwest Zone Office
1900 E. Golf Road, - Suite 300
Schaumburg, Illinois 60173



Elevation Farmhouse 1A
3 Car Side Entry
Front and Rear Elevations.

PRODUCTION MANAGER
Jamey Fleishman
INITIAL RELEASE DATE:
09-09-2016
CURRENT RELEASE DATE:
10-31-2019

| REV # | DATE | DESCRIPTION |
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GARAGE HANDING
Left

PLAN NAME
Kirkland
NPC PLAN NUMBER
2380.300.00.NPC
LAWSON PLAN ID
Lot 153

SHEET
A3-FH1A
3SB.1

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



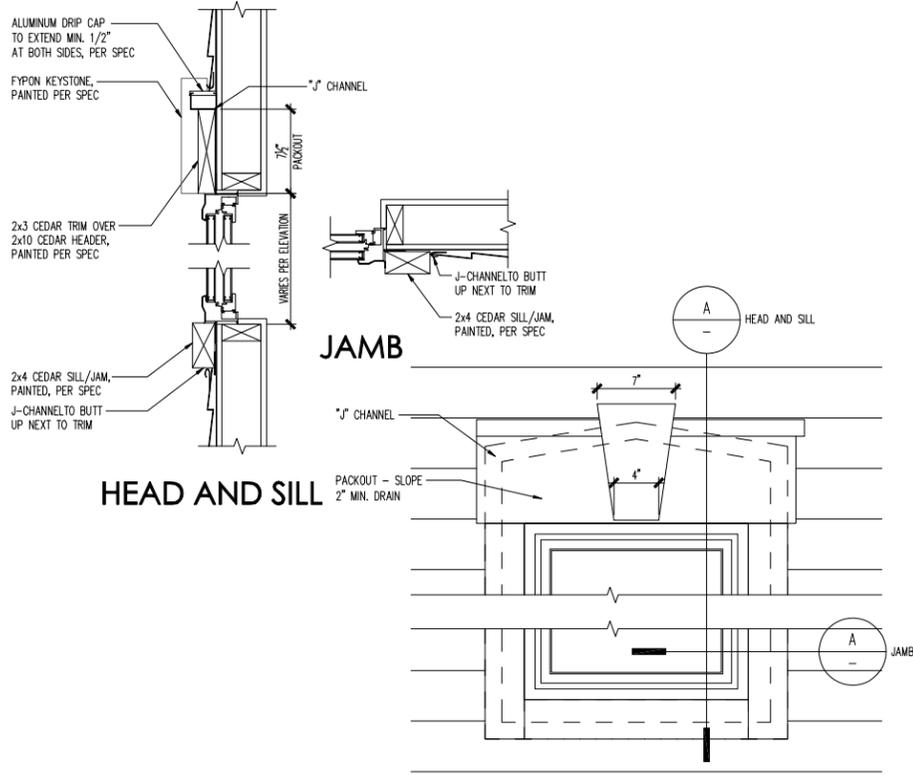
REAR ELEVATION
SCALE 1/4" = 1'-0"



FRONT ELEVATION
SCALE 1/4" = 1'-0"

| REV # | DATE | DESCRIPTION |
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NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



Cleveland Division
387 Medina Rd. Suite 1700
Medina, OH 44256



Elevation - 1
Front and Rear Elevation

PRODUCTION MANAGER
Cobe Kirksey
CURRENT RELEASE DATE: 03/04/2020

| REV # | DATE | DESCRIPTION |
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PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS LOT 156
LAWSON COMMUNITY ID

GARAGE HANDING
GARAGE LEFT

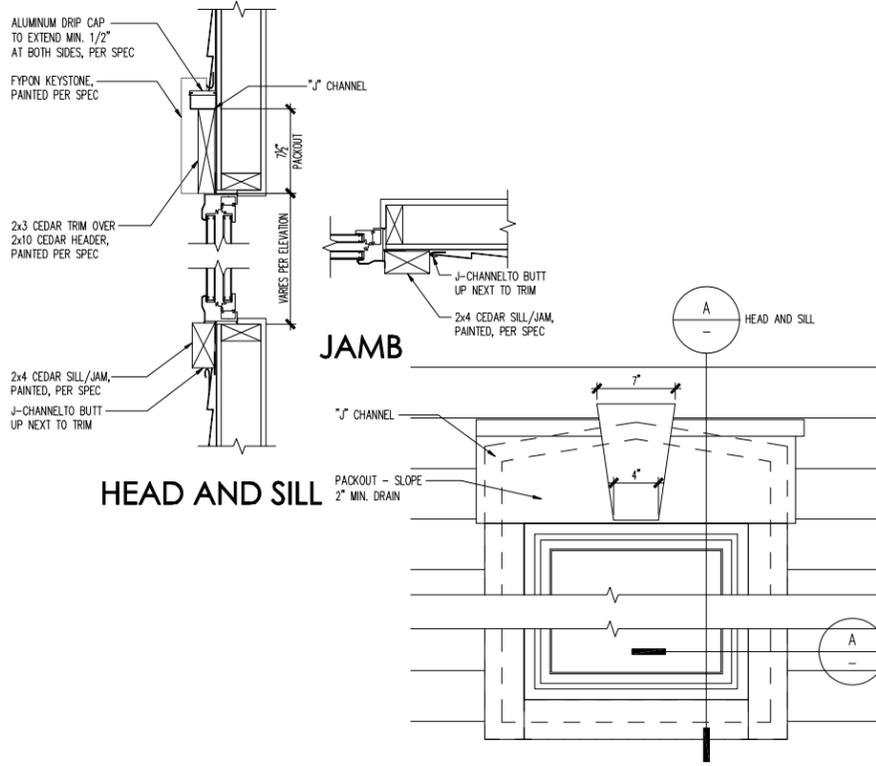
SPECIFICATION LEVEL
TBD

PLAN NAME
CRAWFORD
NPC PLAN NUMBER
TBD
LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME
PLAN 2843

ENGINEER OF RECORD: MULHORN & KULP ENGINEERING
ARCHITECT OF RECORD: GODOLICO DESIGN - ARCHITECTS

SHEET
7.01a1



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Cleveland Division
 387 Medina Rd. Suite 1700
 Medina, OH 44256



Elevation -1
 Front and Rear Elevations

PRODUCTION MANAGER
 Gabe Kirksey
 CURRENT RELEASE DATE: 05/22/2020

| REV # | DATE | DESCRIPTION |
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PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS LOT 184
 LAWSON COMMUNITY ID

GARAGE HANDING
GARAGE LEFT

SPECIFICATION LEVEL
TBD

PLAN NAME
ATWATER
 NPC PLAN NUMBER
1642
 LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME
PLAN 3295

SHEET
7.01a1

PLOTTED: May 22, 2020 / Firm: Kumar / PLAN: 3295-RR-EL01.DWG

ENGINEER OF RECORD: MULHERN & KULP, ENGINEERS
 ARCHITECT OF RECORD: GODOLICO DESIGN - ARCHITECTS

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS