

APPROVED: _____ DATE _____
 STAFF APPROVAL

APPROVED: _____ DATE _____
 ENGINEERING DEPT. APPROVAL

APPROVED: _____ DATE _____
 LANDSCAPE ARCHITECT APPROVAL

BUILDER: PULTE HOMES OF OHIO, LLC
 ADDRESS: 307 MEDINA ROAD SUITE 1700, MEDINA, OHIO 44256
 PHONE: 330-239-1587



INITIAL SITE BENCHMARK:
 SUMMIT COUNTY GEODETIC MONUMENT HU 118
 STATE PLAN COORDINATE
 N 572,745.849
 E 2,250,912.641
 ELEVATION = 1006.912 NAVD 1988

NOTES:
 DOWNSPOUTS TO BE CONNECTED TO STORM SEWER CONNECTION
 SUMP PUMP REQUIRED FOR FOOTER DRAINS

NOTE:
 PURCHASER TO INSTALL MINIMUM OF 3 TREES PER MUNICIPAL REQUIREMENTS

NOTE:
 PURCHASER TO INSTALL LANDSCAPING PER CITY OF HUDSON LANDSCAPING REQUIREMENTS.

NOTE:
 PER A.B. ADDRESS WINDOW WELLS SHOULD BE NO MORE THAN 6" ABOVE FINISHED GRADE

NOTE:
 FINAL LOCATION OF (3) TREES TO BE DETERMINED AND INSTALLED BY PURCHASER IN COMPLIANCE WITH CITY OF HUDSON LAND DEVELOPMENT CODE (1207.04).

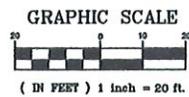
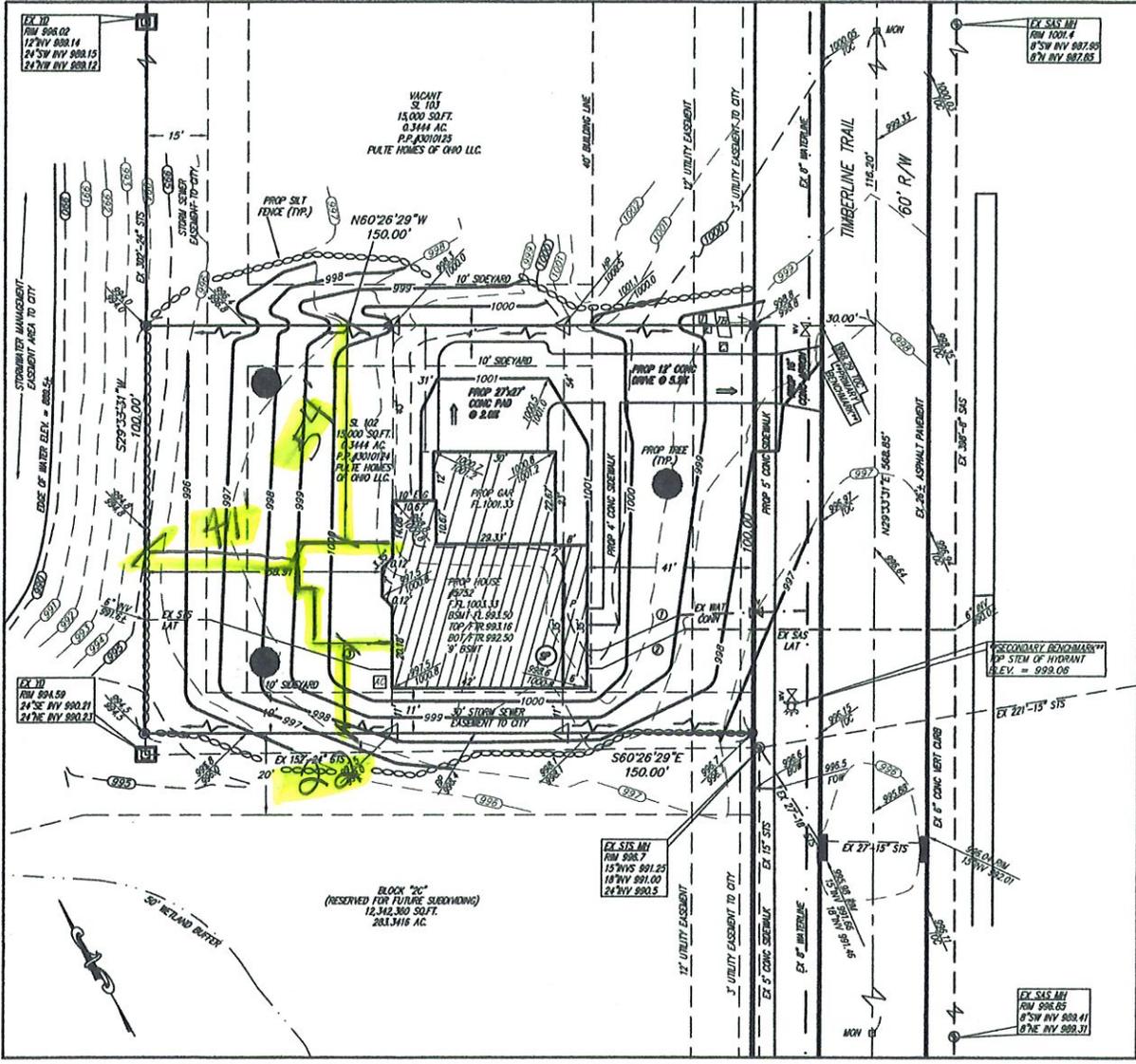
OWNER: _____
 ADDRESS: _____
 PHONE: _____

NOTE:
 ALL PROPOSED FOOTERS WILL REQUIRE SURVEY CERTIFICATION ONCE SET AND PRIOR TO THE COMPLETION OF HOME CONSTRUCTION

PRIMARY BENCHMARK
 TOC/B/C ELEV @ P/L IN FRONT OF SUBLOT 102/103 ELEV. = 998.29

SECONDARY BENCHMARK
 TOP STEM OF HYDRANT IN FRONT OF SUBLOT 102 ELEV. = 999.06

THE CONTRACTOR MUST CHECK THE BENCHMARK WITH THE CURB GRADES PRIOR TO DIGGING THE FOUNDATION.



DATE OF SURVEY:
 JANUARY 9th, 2017

TYPE OF HOUSE:
 PLAN # A1WATER
 ELEVATION: 1 W/9' BSMT
 GAR: 3 CAR SIDE RIGHT W/ SUNROOM

- ① = PROP 1" NAT CONN
- ② = PROP 6" PVC SIS CONN @ 1.00 MIN 10% MAX
- ③ = PROP 8" PVC SIS CONN @ 1.00 MIN 10% MAX

- LEGEND:
- = PROPOSED TREE
 - = PROP MONUMENT
 - = EX CURB INLET
 - = EX SANITARY MANHOLE
 - = IRCH PIN SET
 - = 5/8"x30" REBAR CAPPED "AZITECH #8249"
 - = EXISTING GRADE
 - - - = PROPOSED GRADE
 - = SILT FENCE
 - XX = EX HYDRANT
 - WV = EX WATER VALVE
 - ⊕ = SUMP PUMP
 - ⊕ = EX STORM MANHOLE
 - = SWALE
 - = FLOW ARROW
 - ⊠ = ELECTRIC STUB
 - ⊠ = CABLE PEDESTAL
 - ⊠ = TELEPHONE PEDESTAL
 - ⊠ = TRANSFORMER BOX
 - ⊠ = AIR CONDITIONER
 - E = ELECTRIC CONNECTION
 - G = GAS CONNECTION
 - ▽ = OFFSET HUB
 - ☆ = LIGHT POST
 - = INLET PROTECTION



I CERTIFY THAT THIS PLAN WAS PREPARED BY ME AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

STAN R. LOCH P.E. #63332 DATE 1-12-17

5425 WARNER ROAD - SUITE 12
 VALLEY VIEW, OHIO 44125
 440-602-9071



ENGINEERING and SURVEYING
 CIVIL Engineering - Land Surveying

SHEET CONTENT

SITE PLAN FOR
 PULTE HOMES
 SUBLOT 102
 5752 TIMBERLINE TRAIL
 IN THE
 RESERVE AT RIVER
 OAKS SUBDIVISION PH.2
 SITUATED IN THE
 CITY OF HUDSON
 COUNTY OF SUMMIT
 STATE OF OHIO

REVISIONS		
NO.	DATE	DESCRIPTION

HORIZ. SCALE		VERT. SCALE	
1" = 20'		1" = 20'	
DRAWN BY	DATE	DATE	
KEG	1-12-2017		
CHECKED BY		DRAWING NO.	
SRL			River Oaks 2
JOB NO.		SHEET	
20142977-2		1 OF 1	

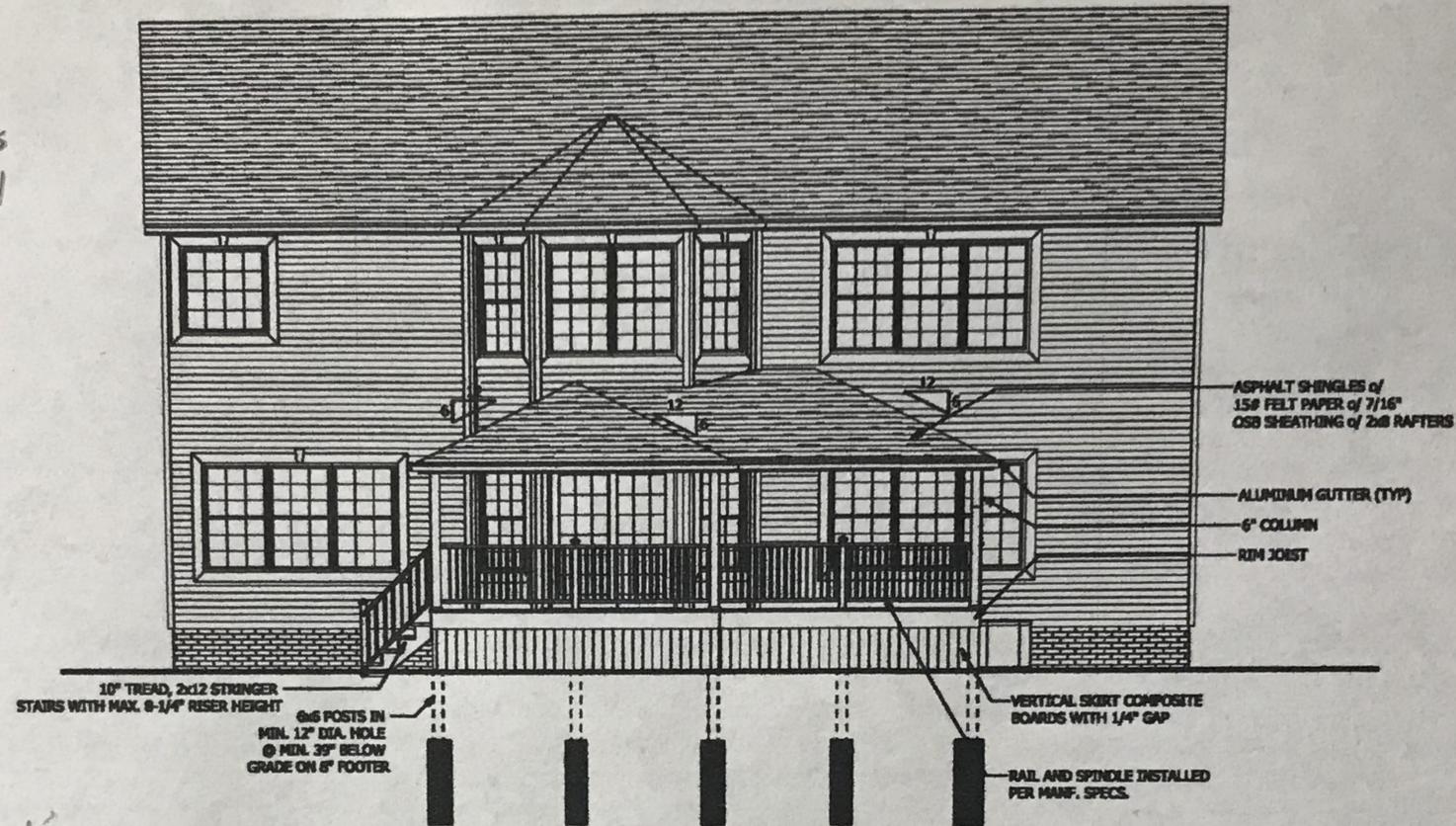
Trex composite decking installed over deck frame.

Trex white composite railing with black round aluminum balusters an accent composite board installed on top of railing.

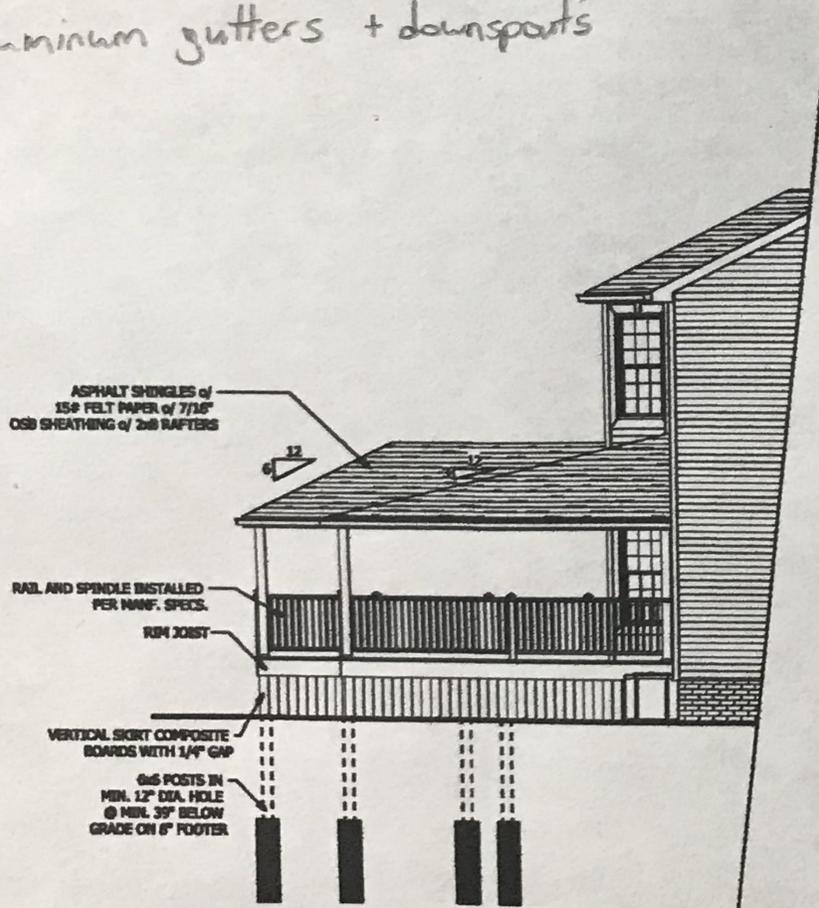
Solid skirting installed w/ vertical Trex composite deck boards

Roof:

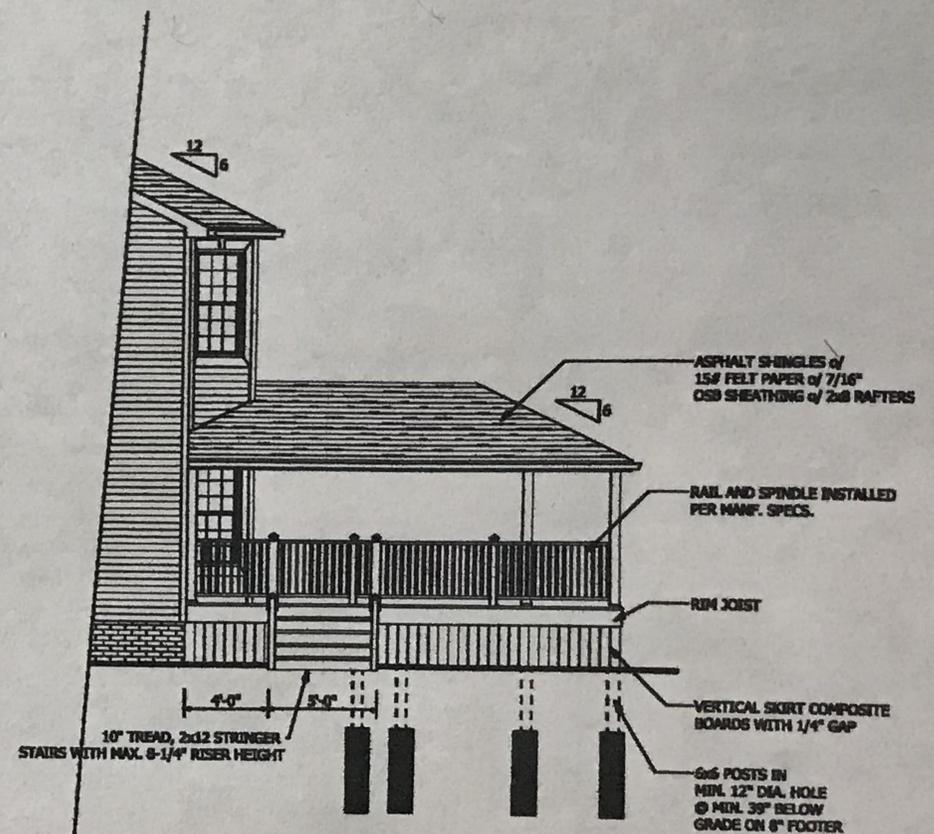
- Shingles to match house
- white Azek trim on fascia and support posts.
- Cedar t+g ceiling
- white aluminum gutters + downspouts



Rear Elevation
SCALE: 1/8" = 1'-0"

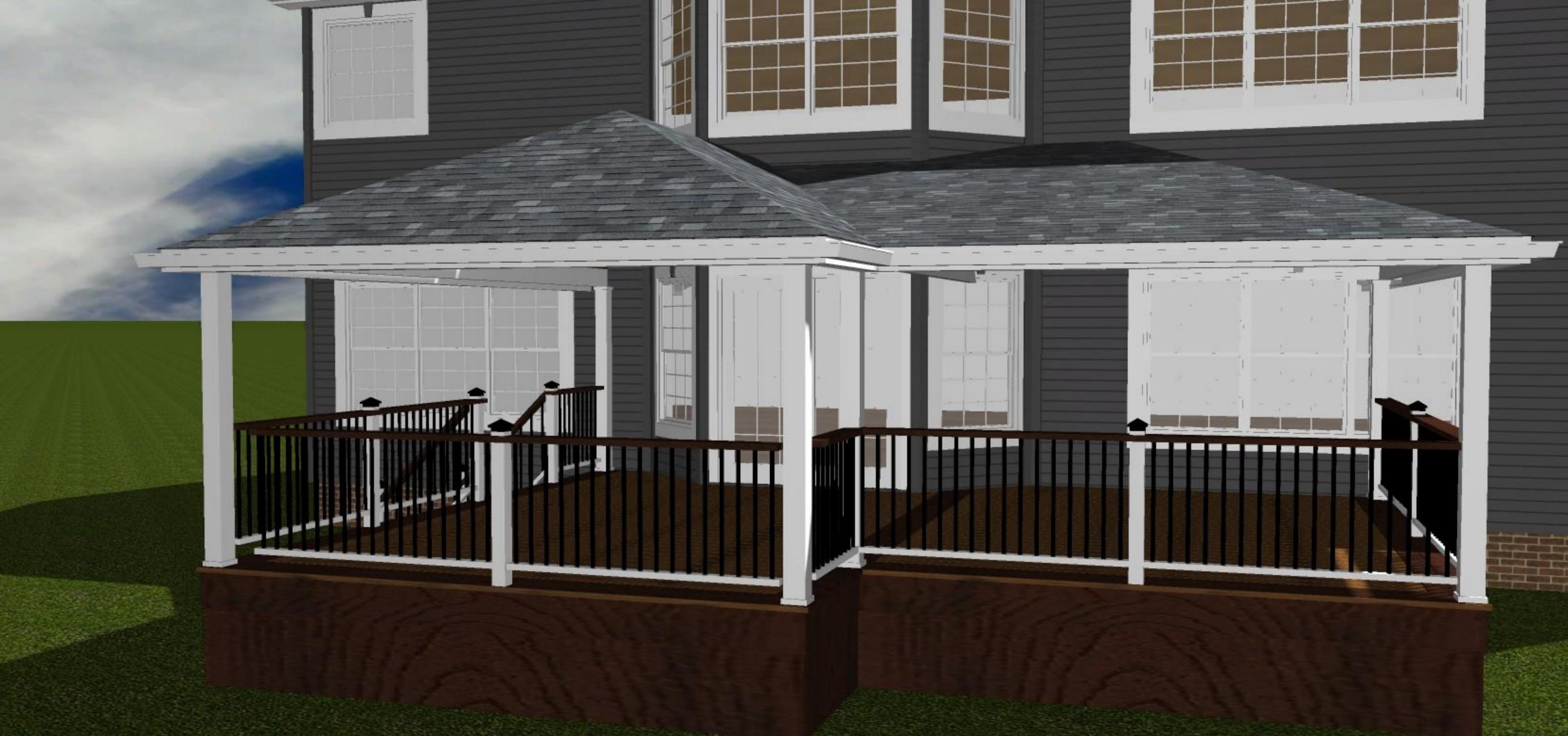


Left Elevation
SCALE: 1/8" = 1'-0"



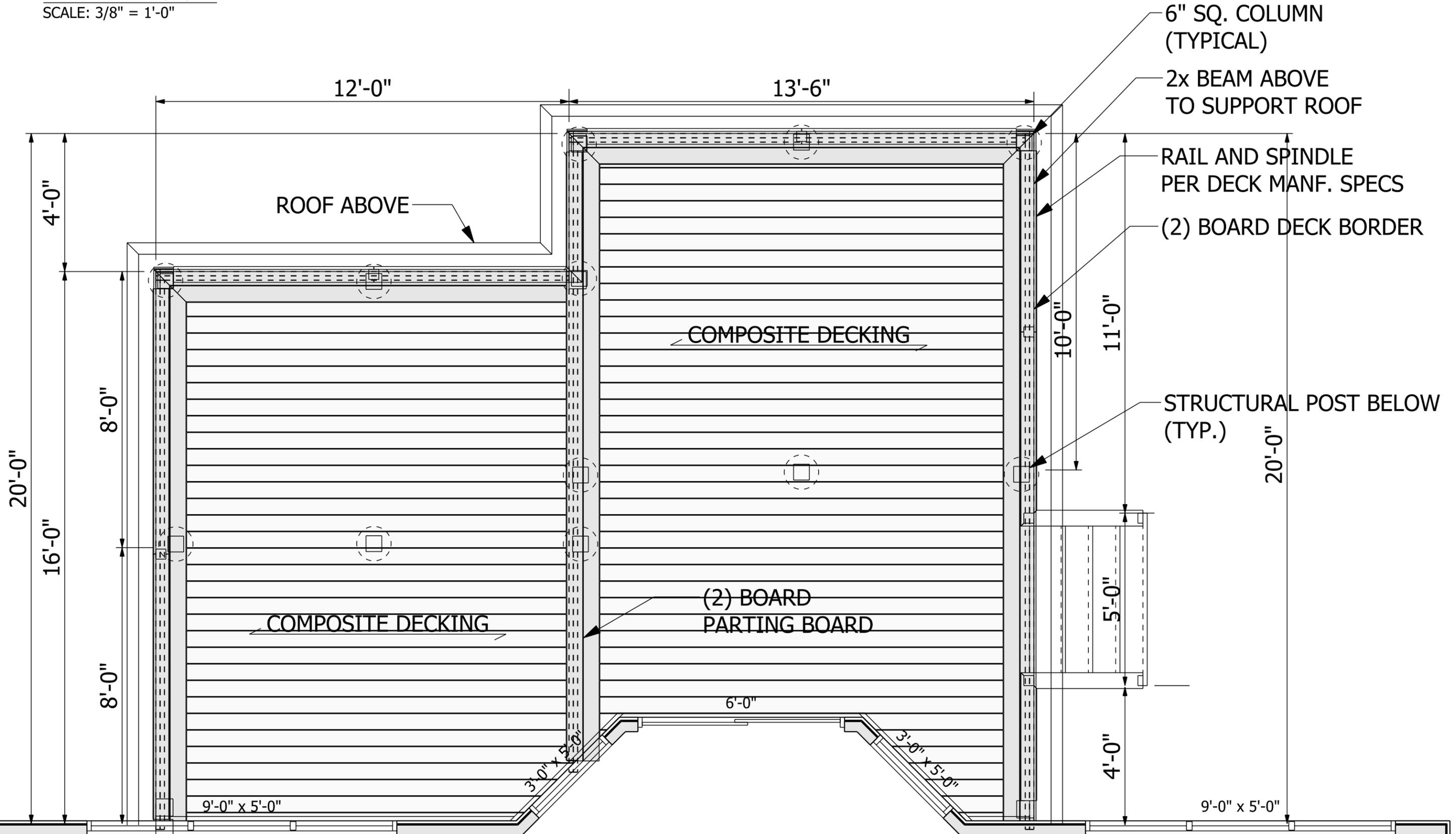
Right Elevation
SCALE: 1/8" = 1'-0"





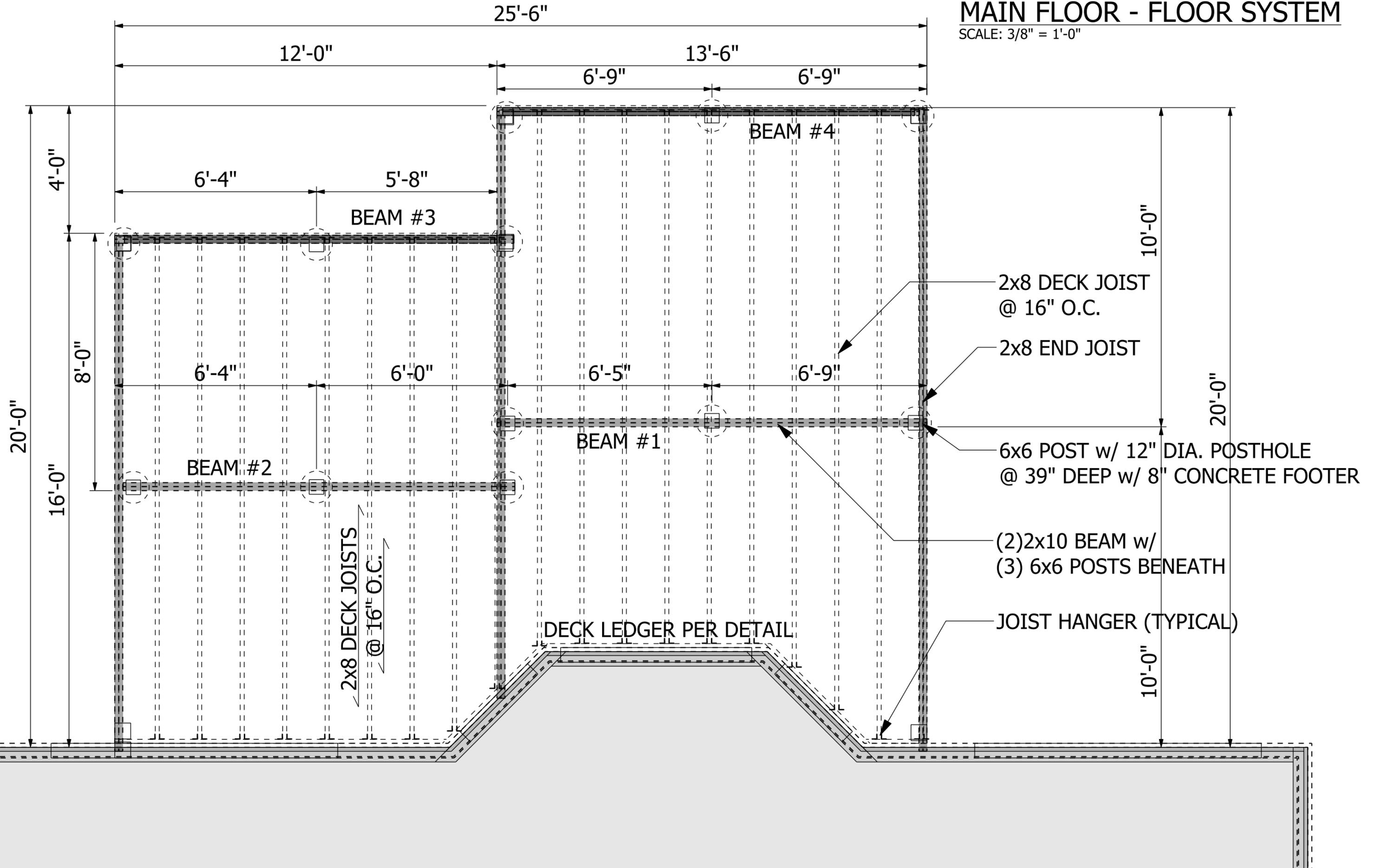
MAIN FLOOR

SCALE: 3/8" = 1'-0"



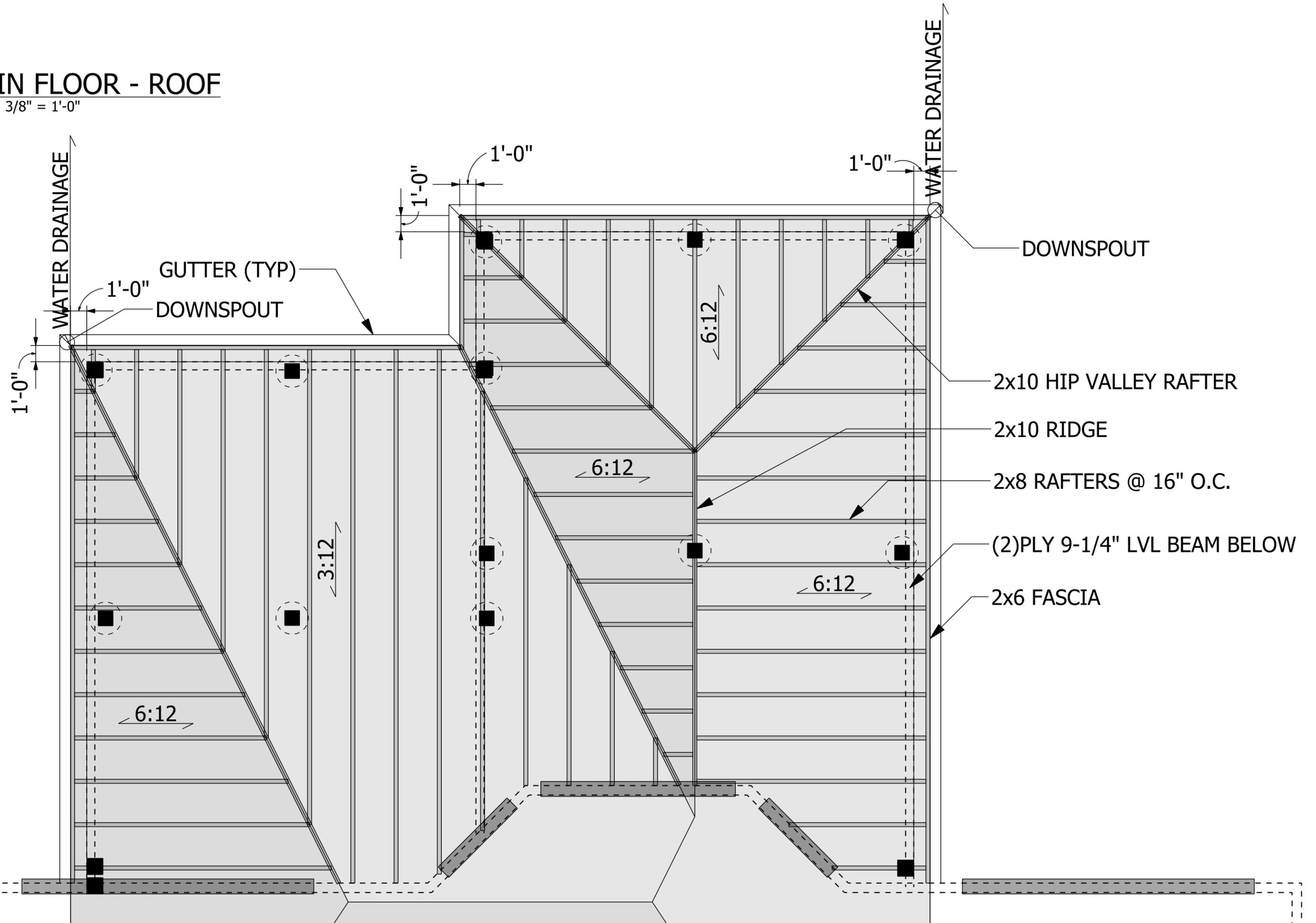
MAIN FLOOR - FLOOR SYSTEM

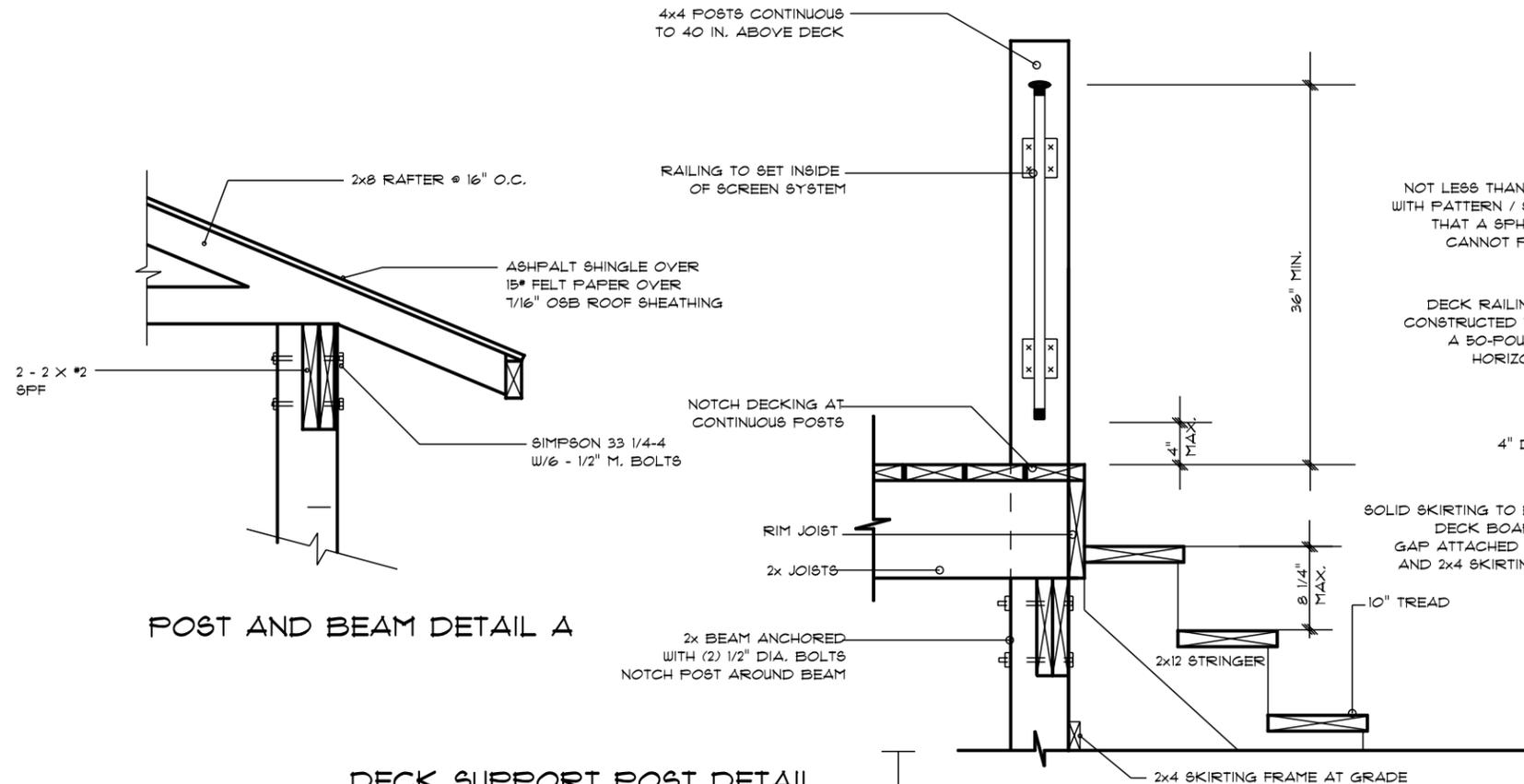
SCALE: 3/8" = 1'-0"



MAIN FLOOR - ROOF

SCALE: 3/8" = 1'-0"

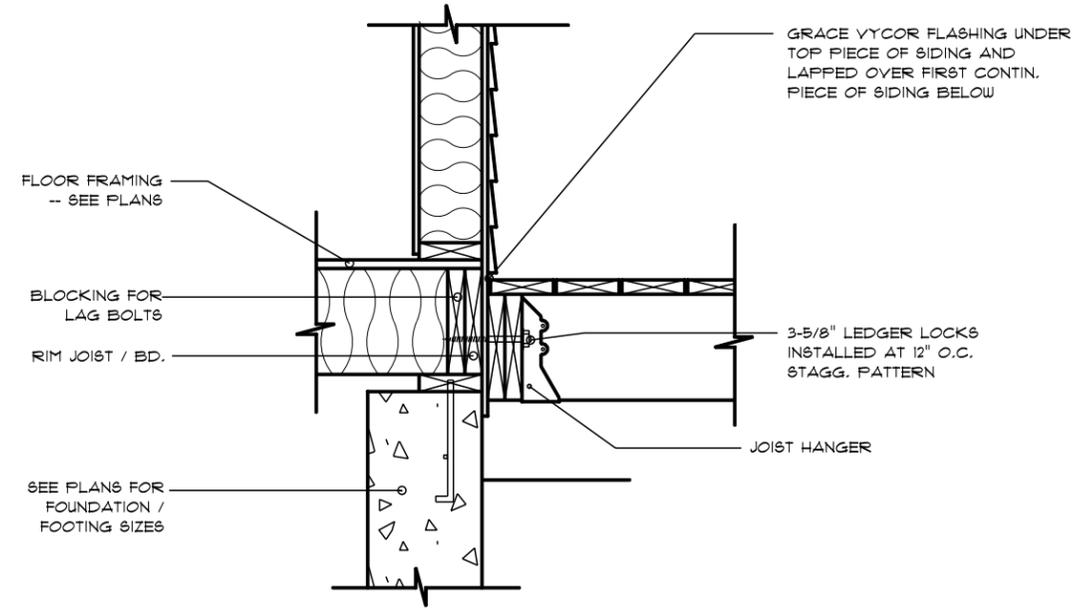
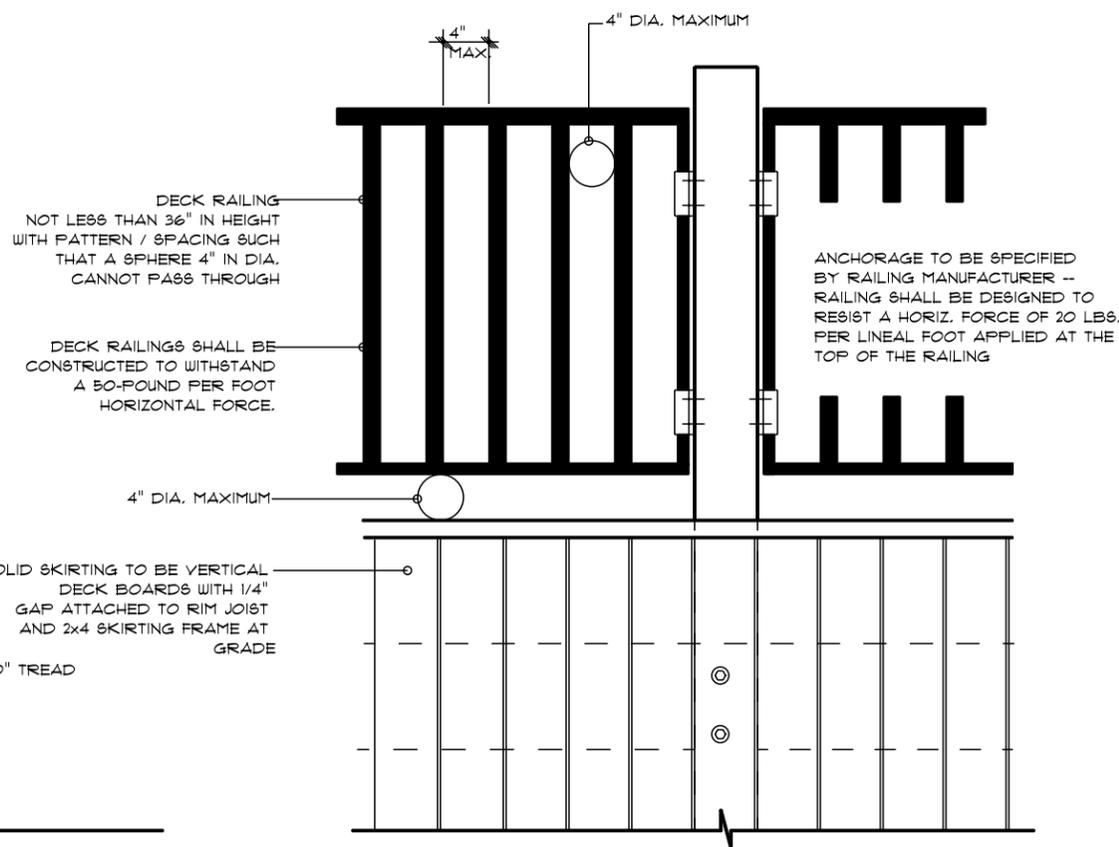
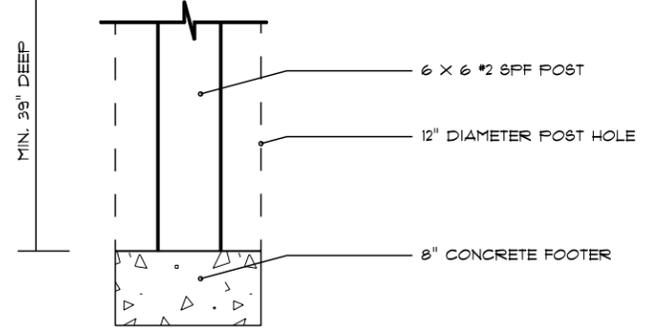




POST AND BEAM DETAIL A

DECK SUPPORT POST DETAIL

MISC. DETAILS
SCALE: 3/4" = 1'-0"



DECK LEDGER CONNECTION



5752

WINDY WALKER







5752