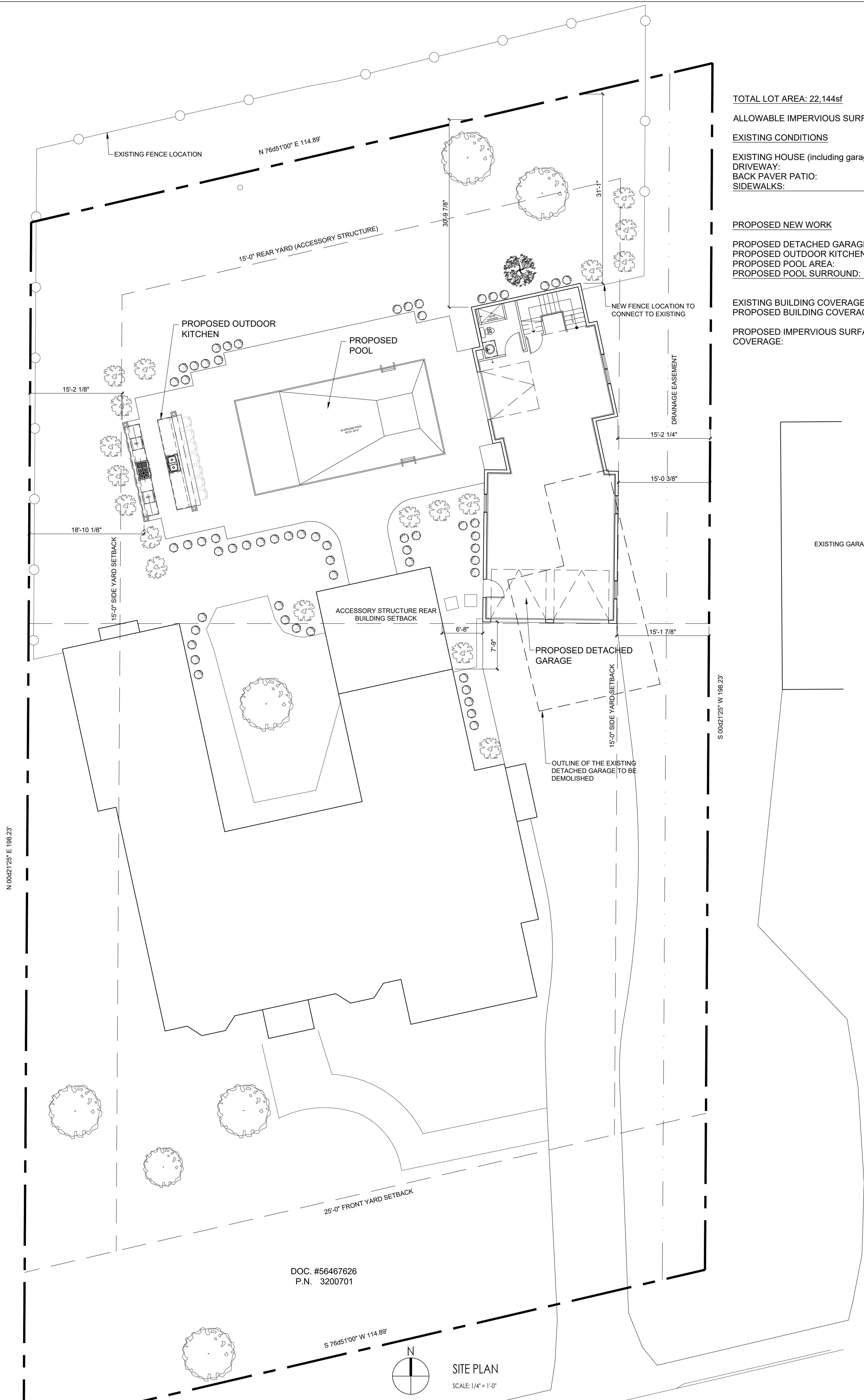




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TOTAL LOT AREA: 22,144sf

ALLOWABLE IMPERVIOUS SURFACE COVERAGE: 40%

EXISTING CONDITIONS

EXISTING HOUSE (including garage & porches):	3,485sf
DRIVEWAY:	1,693sf
BACK PAVEMENT PATIO:	485sf
SIDEWALKS:	329sf
	5,992sf

PROPOSED NEW WORK

PROPOSED DETACHED GARAGE:	1,113sf
PROPOSED OUTDOOR KITCHEN:	150sf
PROPOSED POOL AREA:	512sf
PROPOSED POOL SURROUND:	1,045sf
	2,820sf

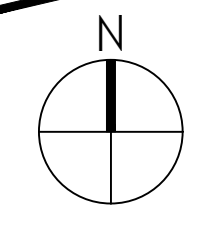
EXISTING BUILDING COVERAGE: 5,992/ 22,144 27.05%

PROPOSED BUILDING COVERAGE: 8,812/ 22,144 39.79%

PROPOSED IMPERVIOUS SURFACE COVERAGE: 8,812/ 22,144 39.79%

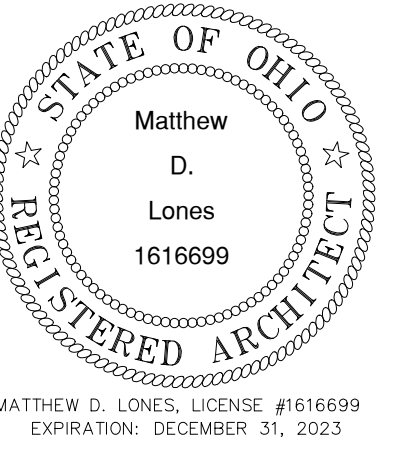
EXISTING HOUSE

DOC. #56467626
 P.N. 3200701



SITE PLAN
 SCALE: 1/4" = 1'-0"

MITCHELL RESIDENCE
 DETACHED GARAGE AND POOL ADDITION
 167 HUDSON STREET HUDSON, OHIO 44236



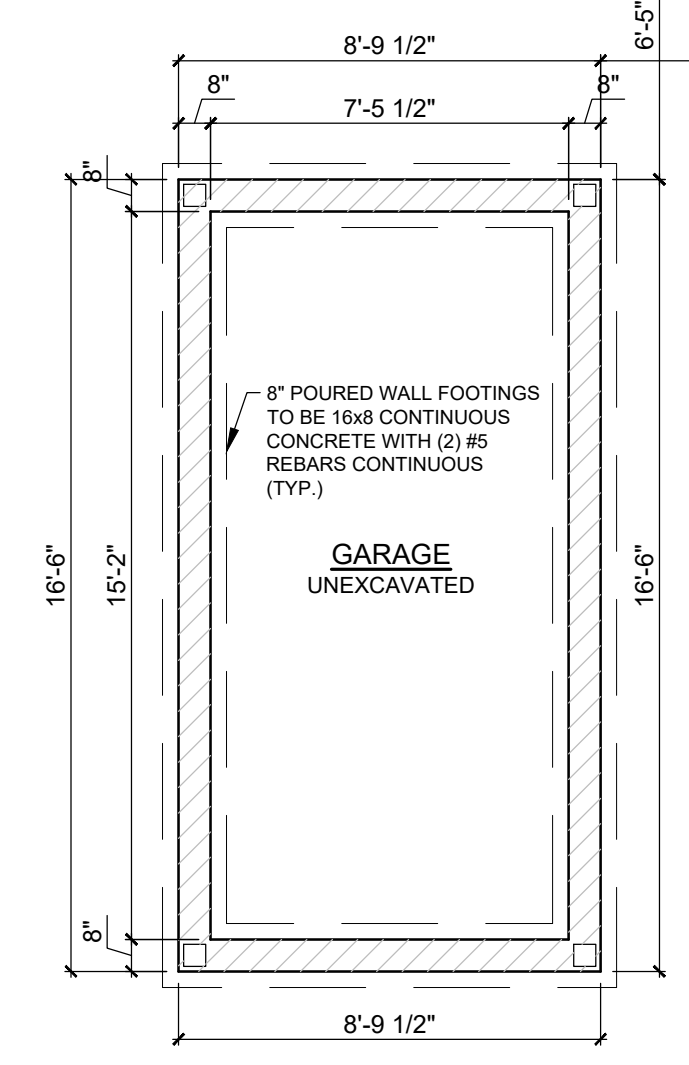
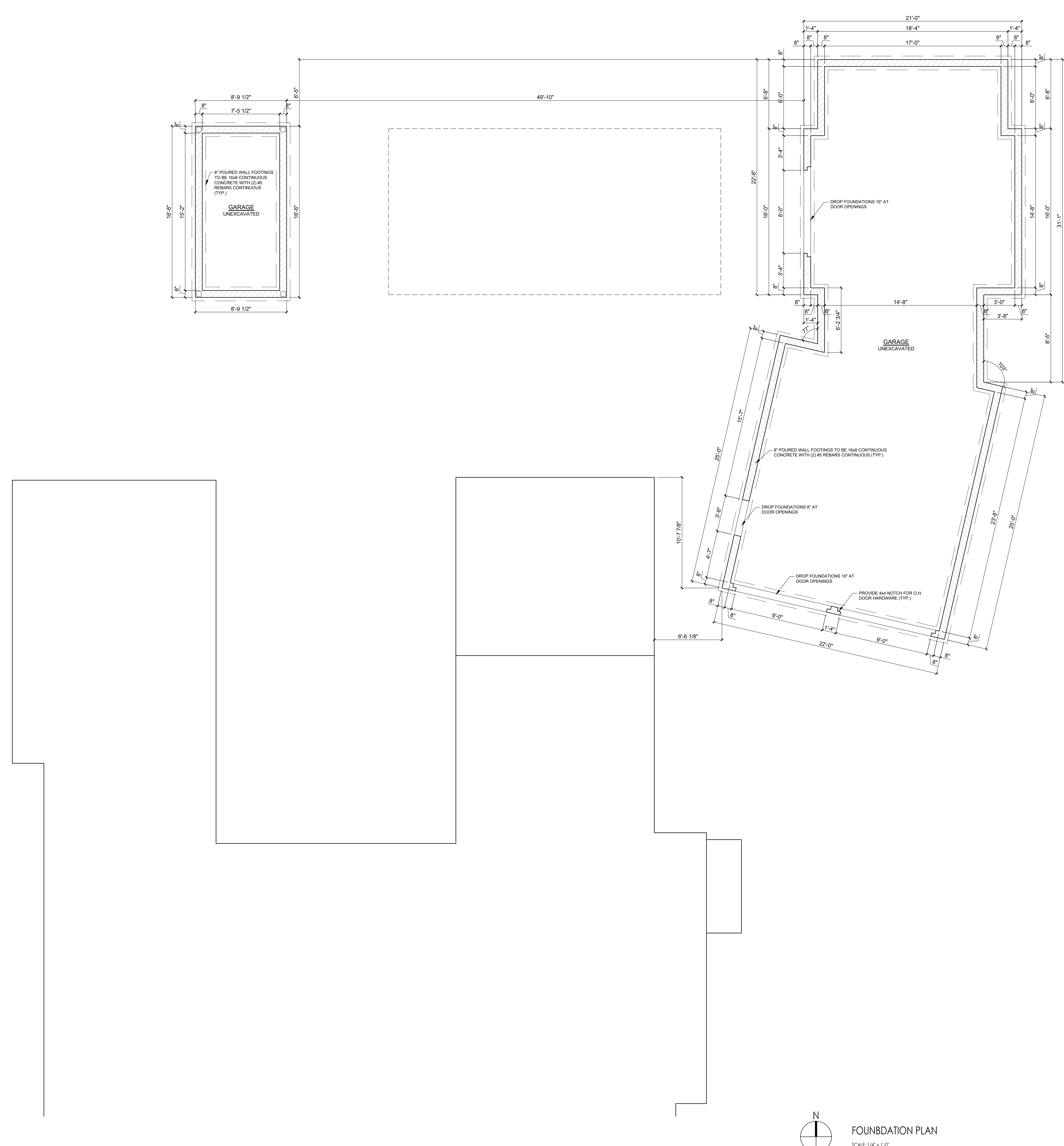
MATTHEW D. LONES, LICENSE #1616699
 EXPIRATION: DECEMBER 31, 2023

NO.	DATE	REVISION

JOB NO. : 2023-16
 DATE : 10.16.2023

SITE PLAN

A101



408.1 Ventilation. The space between the bottom of the floor joists and the earth under any building (except such space as is occupied by a basement or cellar) shall be provided with ventilation openings through foundation walls or exterior walls. Ventilation openings shall be provided with corrosion-resistant wire mesh, with the least dimension being 1/8 inch (3.2 mm). The minimum net area of ventilation openings shall not be less than 1 square foot for each 150 square feet (13.7 m²) for each 100 sq. ft. of crawl space area. One such ventilating opening shall be within 3 feet (914 mm) of each corner of said building.

Exceptions:

1. Ventilation openings may be vented to the interior of buildings where warranted by climatic conditions.
2. The total area of ventilation openings may be reduced to 1/1,500 of the under-floor area where the ground surface is treated with an approved vapor barrier material and one such ventilation opening is within 3 feet (914 mm) of each corner of said building. The vents may have operable louvers.
3. Ventilation openings may be omitted on one side.
4. Under-floor spaces used as supply plenums for distribution of heated and cooled air shall comply with the requirements of Section 1901.4.
5. Ventilation openings may be omitted when continuously operated mechanical ventilation is provided at a rate of 1.0 cfm for each 50 square feet (4.65 m²) for each 10 m² of crawl space floor area and ground surface is covered with an approved vapor barrier material.

General Notes:

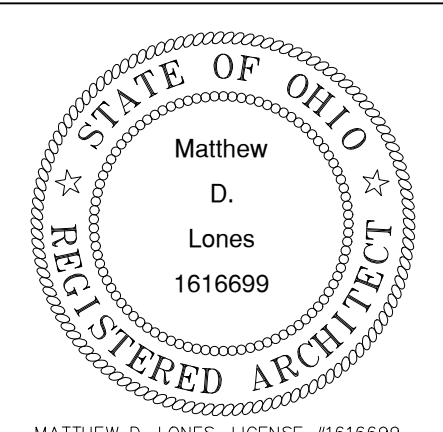
1. Anchor bolts are to be placed at 48" o.c. and not more than 7" from corners, and embedded 7" in poured concrete walls and embedded 7" into concrete block walls, or metal straps can be used per manufacturer's specifications.
2. All pipe columns called out in this plan set are to be adjustable.
3. 8" poured or concrete block foundation walls are to have a continuous concrete footing with the minimum dimensions of 16" wide and 8" deep.
4. 12" poured or concrete block foundation walls are to have a continuous concrete footing with the minimum dimensions of 20" wide and 8" deep.
5. All masonry chimneys are to have a concrete footing not less than 12" deep and must have a minimum projection of 6" from outside edge of its foundation wall.
6. All angled walls are 45° unless noted otherwise.
7. Floor joists are to be doubled under parallel walls.
8. It is the Builder's option to double floor joists to achieve a floor with less deflection for areas to receive tile.
9. All lumber sizes and species may be upgraded for ease of construction.
10. It is the builder's responsibility to assure all structural loads are transferred to the foundation.
11. All pad footings for steel pipe columns shall be placed on the centerline of the column in each direction.
12. All pad footings shown in this plan set shall be reinforced as follows:
 For a 36"x36"x12" pad size (1) #4 re-bar each way unless noted otherwise.
 For a 36"x36"x12" pad size (2) #5 re-bar each way unless noted otherwise.
 For a 42"x42"x12" pad size (1) #5 re-bar each way unless noted otherwise.
 For a 48"x48"x12" pad size (1) #4 re-bar each way unless noted otherwise.
 For a 54"x54"x12" pad size (1) #5 re-bar each way unless noted otherwise.
 For a 60"x60"x12" pad size (1) #5 re-bar each way unless noted otherwise.
 Frost depth for Delaware County is 30".

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MITCHELL RESIDENCE
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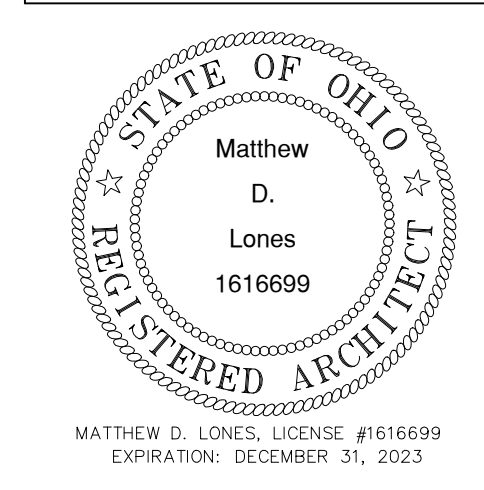
FOUNDATION
 PLAN

A301



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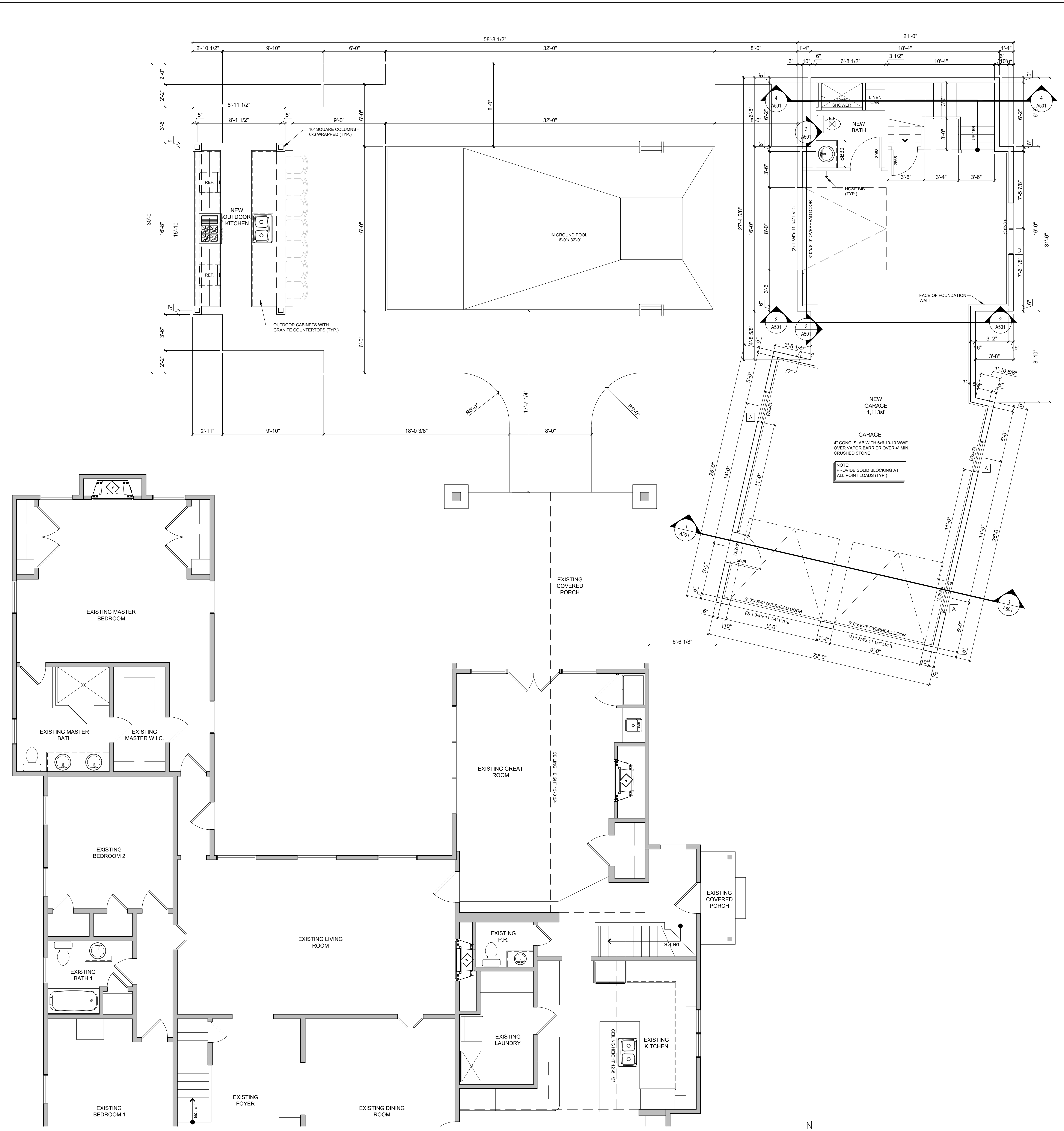
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NO.	DATE	REVISION

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FIRST FLOOR PLAN

A302



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

Code Compliance:
It is the builder's responsibility to ensure that the building complies with all governing codes. This includes but not limited to the RCO 2019 and all codes set forth by the Governing municipality.

The following notations are taken from RCO 2019 Code Section 303 Lighting, Ventilation and Heating.

303.1 Habitable rooms
Habitable rooms shall have an aggregate glazing area of not less than 8 percent of the floor area of such rooms. Natural ventilation shall be through windows, skylights, doors louvers or other approved openings to the outdoors air. Such openings shall be provided with ready access or shall otherwise be readily controllable by the building occupants. The operable area to the outdoors shall be not less than 4 percent of the floor area being ventilated.

The following notations are taken from RCO 2019 Code Section 308 Glazing

308.3 Human impact loads.
Individual glass panels, including glass mirrors in hazardous locations such as those indicated as defined in Section 308.4, shall pass the test requirements of Section 308.3.1.

308.3.1 Impact Test
Where required by other sections of the code, glazing shall be tested in accordance with CPSC 16 CFR 1201. Glazing shall comply with the test criteria for category II unless otherwise indicated in Table 308.3.1(1).

308.4 Hazardous locations
The following shall be considered specific hazardous locations for the purposes of glazing:

308.4.1 Glazing in doors
Glazing in fixed and operable panels of swinging, sliding and bifold doors shall be considered to be a hazardous location.

308.4.2 Glazing adjacent to doors
Glazing in an individual fixed or operable panel adjacent to a door shall be considered to be a hazardous location where the bottom exposed edge of the glazing is less than 60 inches above the floor or walking surface and it meets either of the following conditions:
1. Where the glazing is within 24 inches of either side of the door in the plane of the door in a closed position.
2. Where the glazing is on a wall less than 180 degrees from the plane of the door in a closed position and within 24 inches of the hinge side of an in-swinging door.

308.4.3 Glazing in windows
Glazing in an individual fixed or operable panel that meets all of the following conditions shall be considered to be hazardous locations:
1. The exposed area of an individual panel is larger than 8 square feet.
2. The bottom edge of the glazing is less than 18 inches above the floor.
3. The top edge of the glazing is more than 36 inches above the floor.
4. One or more walking surfaces are within 36 inches measured horizontally and in a straight line, of the glazing.

308.4.4 Glazing in guards and railings
Glazing in guards and railings, including structural baluster panels and nonstructural in-fill panels, regardless of area or height above a walking surface shall be considered to be a hazardous location.

308.4.5 Glazing and wet surfaces
Glazing in wells, enclosures or fences containing or facing hot tubs, spas, whirlpools, saunas, steam rooms, bathtubs, showers and indoor or outdoor swimming pools where the bottom exposed edge of the glazing is less than 60 inches measured vertically above any standing or walking surface shall be considered to be a hazardous location. This shall apply to single glazing and all panes in multiple glazing.

The following notations are taken from RCO 2019 Code Section 310 Egress:

310.1 Emergency escape and rescue openings required
Every sleeping room shall have not less than one operable emergency escape and rescue opening. Emergency escape and rescue openings shall open directly into a public way, or to a yard or court that opens to a public way.

310.2 Emergency escape and rescue openings.
Emergency escape and rescue openings shall have a minimum dimensions as specified in this section.

310.2.1 Minimum opening area
Emergency and rescue openings shall have a net clear opening of not less than 5.7 square feet. The net clear opening dimensions required by this section shall be obtained by the normal operation of the emergency escape and rescue opening from the inside. The net clear height of the opening shall be not less than 24 inches and the net clear width shall be not less than 20 inches.
Exception: Grade floor openings or below-grade openings shall have a net clear opening area of not less than 5 square feet.

310.2.2 Window sill height
When a window is provided as the emergency escape and rescue opening, it shall have a sill height of no more than 44 inches above the floor; where the sill height is below grade, it shall be provided with a window well in accordance with Section 310.2.3.

310.2.3 Window Wells
The horizontal area of the window well shall be not less than 9 square feet, with a horizontal projection and egress of not less than 36 inches. The area of the window well shall allow the emergency escape and rescue opening to be fully opened.

It is the builder's responsibility to ensure that the final windows selected for all emergency escape and rescue openings meet the criteria listed above.

Window shown on this plan are labeled as **Pella Proline Series**

Stair Compliance: (see RCO 2019 Code Section R311)

Minimum Rise:	10"
Minimum Tread:	11"
Max. Rise Variation:	3/8"
Max. Tread Variation:	3/8"
Max. Handrail Projection:	3/8"
Min. Stair Clear Width:	36"
Max. Rise Height:	7 1/2"
Min. Tread Depth:	11"
Min. Headroom Height:	6'8"
Max. Cross Section Dim. of the Handrail Portion:	2 1/2"
Min. Handrail Height:	36"
Max. Handrail Height:	42"
Min. Guardrail Height:	36"
Min. Guardrail Height at stairs:	34"

All Required Handrails shall be continuous the full length of the stairs. Ends shall be returned or shall terminate in newel posts or safety terminals.

The following notations are taken from RCO 2019 Code Section R314 Smoke Alarms:

314.1 General
Smoke alarms shall comply with household fire warning equipment provisions of NFPA 72 and Section 314.

314.1.1 Listings
Smoke alarms shall be listed and labeled in accordance with UL 217, Combination smoke and carbon monoxide alarms shall be listed and labeled in accordance with UL 217 and UL 2034.

314.1.2 Technologies
On each level within each dwelling unit smoke alarms utilizing photoelectric and ionization technologies shall be installed. Separate or dual-sensing smoke alarms may be used. A smoke alarm located in accordance with Section 314.3(2) shall include photoelectric technology.

314.2 Where required
Smoke alarms shall be provided in accordance with this section.

314.2.1 New construction
Smoke alarms shall be provided in dwelling units in the locations described in Section 314.3.

314.3 Location
Smoke alarms shall be installed in the following locations:
1. In each sleeping room.
2. Outside each separated sleeping area in the immediate vicinity of the sleeping rooms.
On each additional story of the dwelling, including basements and habitable attic and not including crawl spaces and uninhabitable attics.

314.6 Power source
Smoke alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source, and when primary power is interrupted, shall receive power from a battery. Wiring shall be permanent and without a disconnecting switch other than those required for overcurrent protection.
Exception: Smoke detectors may be battery operated when installed in buildings without commercial power.

General Notes:

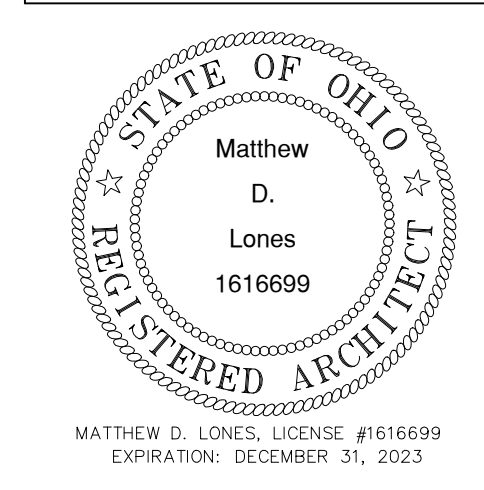
- All exterior walls are dimensioned from face of sheathing to face of sheathing - interior walls are dimensioned from face-of-stud to face-of-stud unless noted otherwise.
- Exterior walls to be 2x6 unless noted otherwise.
- Interior walls to be 3 1/2" unless noted otherwise.
- All angled walls are 45° unless noted otherwise.
- All openings in load bearing and exterior walls shall have a minimum lintel made up (3/2x6's with 1/2" plywood spacers).
- Floor joists are to be doubled under parallel walls.
- All lumber sizes and species may be upgraded for ease of construction.
- All joists for point loads are to be a minimum of (2)2x4's nailed per the fastening schedule on sheet A501.
- In addition to these notes, refer to the notes on Sheet A501.
- It is the builder's responsibility to ensure all structural loads are transferred to the foundation.
- When engineered floor trusses are used, All truss data and layout sheets must be provided at the time of framing inspection.
- All sill plates to be ACCQ pressure treated.
- Provide engineering data sheets for all engineered lumber, including LVL's, PSL's and Glu-Lams, at the time of framing inspection. Follow all manufacturers spec. and recommendations for nailing and fastening members.
- Maintain a 1" min. airspace between foundation wall and the wood framed walls.
- Due to the variances between prefabricated fireplace unit dimensions, all dimensions pertaining to fireplace enclosures are to be field-verified.
- Provide solid blocking at all point loads.
- All exterior door returns to be 4 1/2" unless door is centered in a room closet or noted otherwise.

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MITCHELL RESIDENCE
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ROOF PLAN

A304

Code Compliance:
 It is the builder's responsibility to ensure that the building complies with all governing codes, this includes but not limited to the RCO 2019 and all codes set forth by the Governing Municipality.

The following notations are taken from RCO 2019 Code section 806 Roof Ventilation:

806.1 Ventilation required:
 Enclosed attics and enclosed rafter spaces formed where ceilings are applied directly to the underside of roof rafters shall have cross ventilation for each separate space by ventilating openings protected against the entrance of rain or snow. Ventilation openings shall have a least dimension of 1 1/8 inch minimum and 1/4 inch maximum. Ventilation openings having a least dimension larger than 1/4 inch shall be provided with corrosion-resistant wire cloth screening, hardware cloth, perforated vinyl or similar material.

806.2 Minimum vent area:
 The minimum net free ventilating area shall be 1/150 of the area of the vented space.

Exception: The minimum net free ventilation area shall be 1/300 of the vented space provided both of the following conditions are met: not less than 40 percent and not more than 50 percent of the required ventilating area is provided by ventilators located in the upper portion of the attic or rafter space. Upper ventilators shall be located not more than 3 feet below the ridge or highest part of the space, measured vertically. The balance of the required ventilation provided shall be located in the bottom one-third of the attic space.

General Notes:

- Where rafters are parallel to ceiling joists they shall be nailed together at their intersection to create a continuous tie between bearing points.
- Where rafters and ceiling joists are not parallel, a 2x4(min. collar tie @48" o.c. (unless noted otherwise) shall be provided in the bottom 2/3rd of the distance from the rafter bearing end and ridge.
- To maintain a continuous tie between rafters and rafter bearing points, ceiling joists are to be lapped together at intermediate bearing points. The nail both ceiling joists to the intermediate bearing member.
- Ridge boards are to be a minimum of 1" nominal thickness and as wide as the plumb cut of the rafter that is fastened to it.
- Valley and hip rafters are to be a minimum of 2" nominal thickness and as wide as the plumb cut of the rafter that is fastened to it.
- Provide a post under the ridge at the point that the hip rafters tie into the ridgejoist a bearing wall or beam designed to carry the given load.
- All openings in load bearing and exterior walls shall have a minimum lintel made up of 2x6's with 1/2" plywood fish.
- All lumber sizes and species may be upgraded for ease of construction.
- All posts for point loads are to be a minimum of 2x6's nailed per the fastening schedule on Sheet A001.
- Adjust rafter cuts to align fascia boards, per the elevation drawings in this plan set, as needed. This holds especially true when roof pitches vary from one another.
- In addition to these notes, refer to the notes on Sheet A001.
- It is the builder's responsibility to ensure all structural loads are transferred to the foundation.
- All rafter bearing heights called out on the plan are to be field verified. Adjust dimensions as needed to assure fascia boards and freeze boards appear as they do in the elevation drawings.
- Provide solid blocking at all point loads.
- Provide engineering data sheets for all engineered lumber including LVL's, PS's and Glue Lams at the time of framing inspection. Follow all manufacturers spec. and recommendations for nailing and fastening members.

Wood Trusses:
 The following notes only apply if wood trusses are used.

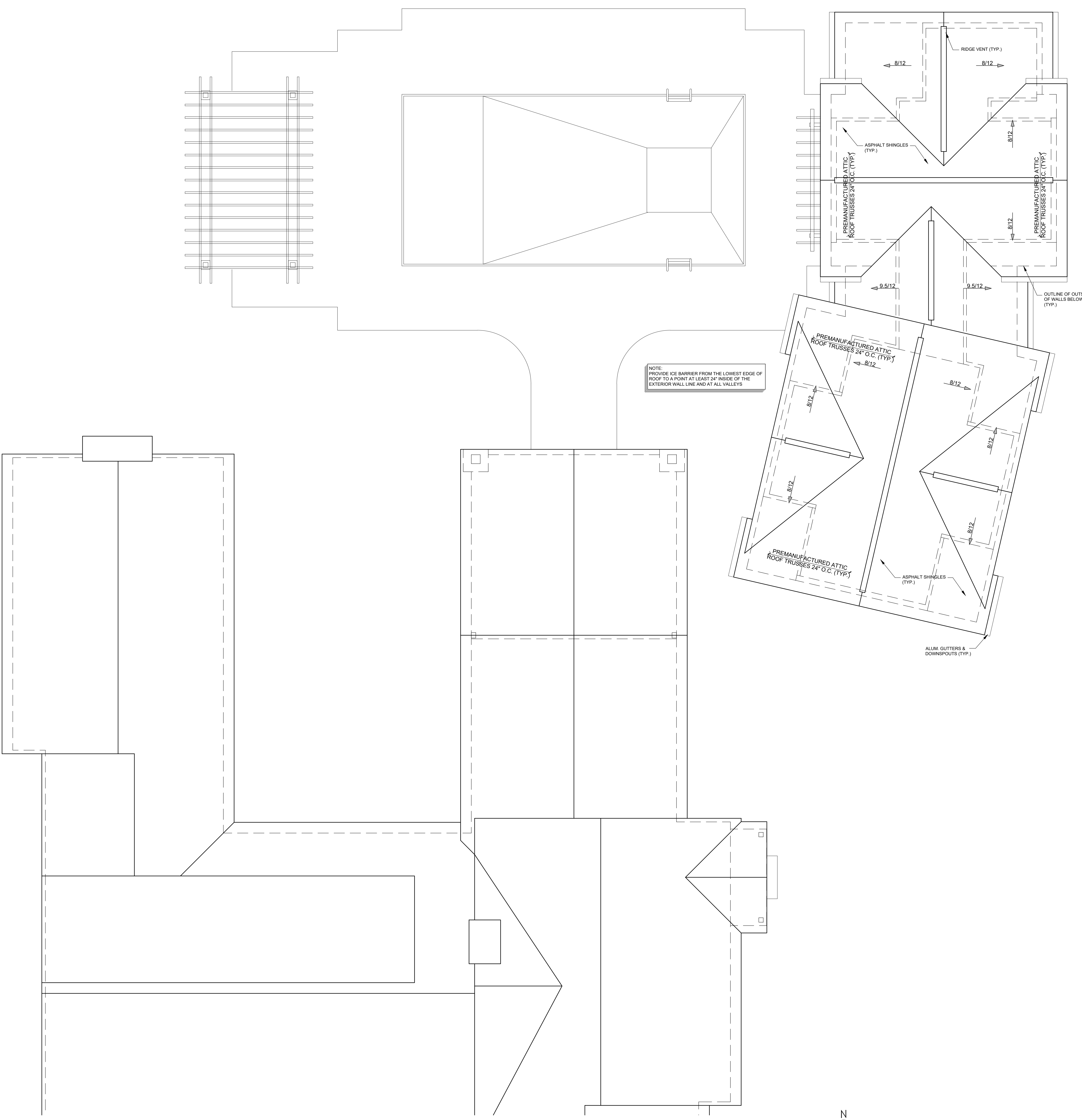
- It is the Builder's and/or the Truss Manufacturer's responsibility to take all measurements used for truss manufacturing from good the actual field conditions. Do not build trusses from the dimensions on this plan for actual field conditions may vary from the information given in this plan set. Orange Frog Design Group, LLC is not responsible for any error in truss orders or manufacturing.
- The truss manufacturer is to adjust heel heights as needed to align fascia boards and any other trim material to match the elevation drawings in this plan set.
- When engineered wood trusses are used, all truss data and layout sheets must be provided at the time of framing inspection.

Quantity Roof Rafters:
 The following is a list of the maximum clear spans for scab rafters used in overlay roofing:
 2x4: 6'-0" @24" o.c.
 2x6: 9'-0" @24" o.c.
 2x8: 12'-0" @24" o.c.
 2x10: 12'-0" @24" o.c.

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Attic Ventilation:
 Split vents and roof or ridge vents are to be used. The required total ft. of attic vent is determined by calculation below. The total number of attic vents is determined by the total SF. of ventilation needed (below) divide by the net free clear opening created by each vent (see manufacturers specification)

GARAGE ROOF:
 1,584 (net SF. FT.) divide by 300 = 5.28 SF. (Required vent opening)
 5.21x144= 321.60 / 750.72/64 (vent size)= 11.73 vents required



NOTE:
 PROVIDE ICE BARRIER FROM THE LOWEST EDGE OF ROOF TO A POINT AT LEAST 24" INSIDE OF THE EXTERIOR WALL LINE AND AT ALL VALLEYS

ROOF PLAN
 SCALE: 1/4" = 1'-0"







WELCOME HOME



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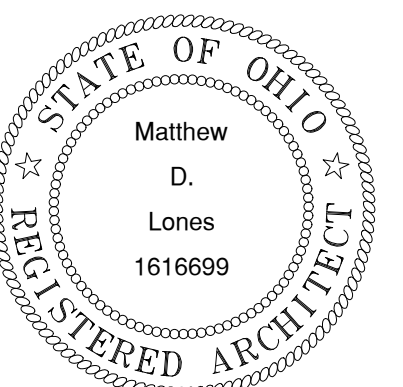


FRONT EXTERIOR RENDERING
 SCALE: N.T.S. LOOKING NORTH



LEFT EXTERIOR RENDERING
 SCALE: N.T.S. LOOKING SOUTHWEST

MITCHELL RESIDENCE
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EXTERIOR
 RENDERINGS

A402



REAR EXTERIOR RENDERING
SCALE: N.T.S. LOOKING SOUTHWEST

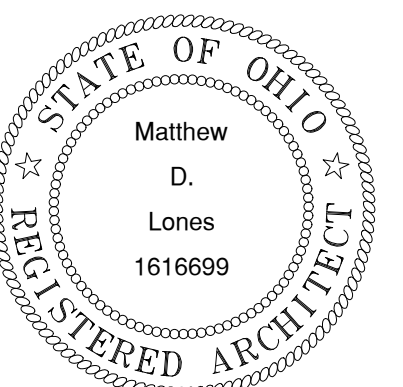


REAR EXTERIOR RENDERING
SCALE: N.T.S. LOOKING SOUTH



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EXTERIOR
RENDERINGS

A403



WEST EXTERIOR RENDERING
SCALE: N.T.S. LOOKING SOUTHEAST

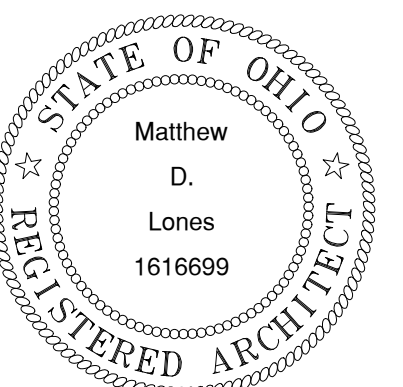


WEST EXTERIOR RENDERING
SCALE: N.T.S. LOOKING EAST



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EXTERIOR
RENDERINGS

A404



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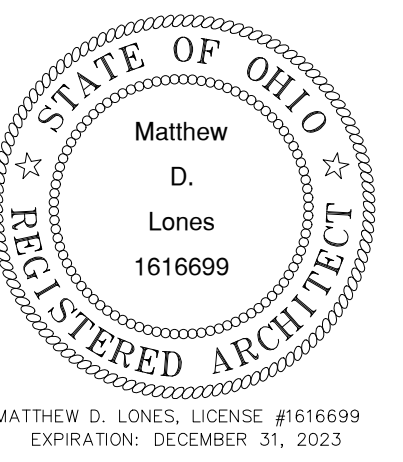


NORTH EXTERIOR RENDERING
 SCALE: N.T.S. LOOKING NORTH



NORTH EXTERIOR RENDERING
 SCALE: N.T.S. LOOKING NORTHWEST

MITCHELL RESIDENCE
 DETACHED GARAGE AND POOL ADDITION
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EXTERIOR
 RENDERINGS

A405



NORTH EXTERIOR RENDERING
SCALE: N.T.S. LOOKING NORTHWEST

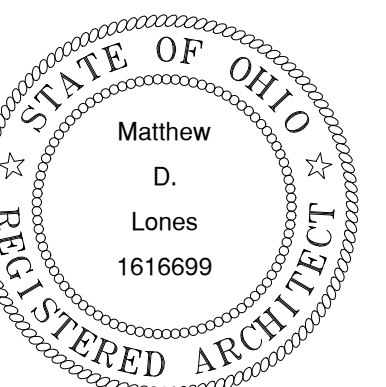


POOL EXTERIOR RENDERING
SCALE: N.T.S. LOOKING WEST



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EXTERIOR
RENDERINGS

A406