

— O H I O —  
**HUDSON**

COMMUNITY DEVELOPMENT • 115 Executive Parkway, Suite 400 • Hudson, Ohio 44236 • (330) 342-1790

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DATE: April 8, 2015

TO: City of Hudson Planning Commission for April 13, 2015 Meeting

FROM: Greg Hannan, City Planner  
Mark Richardson, Community Development Director

SUBJECT: Site Plan Review for 200 Laurel Lake Drive  
Laurel Lake Retirement Community – Bistro/Pub Addition

ZONING: District 3 – Outer Village Residential Neighborhood

PC Case No: 2015-06

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**Project Introduction**

Application has been received for a proposed addition at the Laurel Lake Retirement Community. The proposed project includes a 2,974 square foot addition adjacent to the main entrance of the Commons Building. The improvements would include the addition to accommodate a bistro/pub food service area and an expanded convenience store for residents, and limited site work to relocate three parking stalls. The subject property and adjacent development are located within District 3. The proposed improvements are located within the interior of the property and setback 500 feet from Boston Mills Road. Single family residential development is to the north across Boston Mills Road.

The following information is attached to this report.

1. Site Plan submittal from Perspectus Architects, received March 2, 2015.
2. Letter from Thom Sheridan, City Engineer, dated March 16, 2015.

**Applicable Zoning District Standards, Section 1205.06**

Staff compared the proposal to zoning district standards and found the proposal to be in compliance with applicable standards.

**Applicable Use Regulations, Section 1206**

The existing continuing care retirement community is permitted as a conditional use in District 3. In addition to the general conditional use standards, several specific standards are applicable to continuing care retirement communities. Staff finds the proposal to be in compliance with the applicable standards.

**Applicable Zoning Development and Site Plan Standards, Section 1207**

Staff compared the proposal to zoning development and site plan standards. We comment on the following:

Tree and Vegetation Protection: Limits of disturbance have been noted on the plans.

Bufferyards: Bufferyard D is applicable to the surrounding single family residential development. The adjacent residences along Boston Mills Road are located over 600 feet from the project area and buffered by existing plantings.

Parking: Alterations have not been proposed to the existing parking capacity as the project is not intended to increase the number of residents. Three stalls have been relocated within the front entrance parking lot to accommodate the addition.

Engineering: City Engineer Thom Sheridan has completed a review and submitted correspondence dated February 5, 2014. Mr. Sheridan requested two minor revisions which have been addressed.

**Findings:**

The staff finds that the application complies with the purposes and intent of the code and community plans, regulations that minimize land disturbance and protect environmental features, and other applicable development regulations as specified in Section 1204.04 except as discussed above and recommended below.

**Required PC Action, Chapter 1203.09(g)(3)**

The PC shall consider the development application, the staff report, and then take final action. PC shall approve, approve with conditions, or deny the application based on its compliance with the appropriate review standards. All decisions of the Commission shall be based on findings of fact related to the relevant standards of the Code.

**Recommendation**

Approve the application for site plan approval for Laurel Lake Retirement Community at 200 Laurel Lake Drive per Case No. 2015-06 according to plans submitted March 2, 2015 with the following conditions:

1. The City Engineer must approve the final plans.
2. The applicant shall install silt fencing and/or polypropylene fencing to mark and protect the approved limits of disturbance, which shall be maintained by the applicant.
3. Satisfaction of the above conditions prior to scheduling of a preconstruction meeting with City Officials and no clearing or construction of any kind shall commence prior to the issuance of a Zoning Certificate.



ENGINEERING • 115 Executive Parkway, Suite 400 • Hudson, Ohio 44236 • (330) 342-1770

## MEMORANDUM

Date: March 16, 2015  
To: Greg Hannan, City Planner  
From: Thomas J. Sheridan P.E., P.S.  
Re: **Laurel Lake Bistro / Pub Addition**

The City of Hudson Engineering Department has reviewed and approved the plans submitted March 9, 2014. The City of Hudson Engineering Standards (Engineering Standards) and Land Development Code (LDC) are available online at the City of Hudson Website [www.hudson.oh.us](http://www.hudson.oh.us) under the Engineering Dept. and Community Development Department respectively. The standards are also available in print for a fee. Please contact our office (330-342-1770) if you would like a cost for the printed version.

- Storm water calculations and plans shall be stamped, signed and dated by Ohio P.E., per Ohio administrative code.
- Label storm water structure on plan sheet C5-01.

If you have any questions, please advise.

Sincerely,

A handwritten signature in black ink, appearing to read "Thomas J. Sheridan", written over a horizontal line.

Thomas J. Sheridan, P.E., P.S.  
Hudson City Engineer

C: T. Calabro - Inspector  
File.



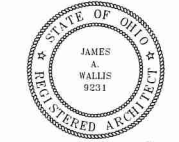


# Bistro/Pub Addition

Laurel Lake Retirement Community  
200 Laurel Lake Drive Hudson, Ohio 44236

Perspectus  
13212 Shaker Square  
Suite 204  
Cleveland, Ohio 44120  
P. 216.752.1800 F. 216.752.3833

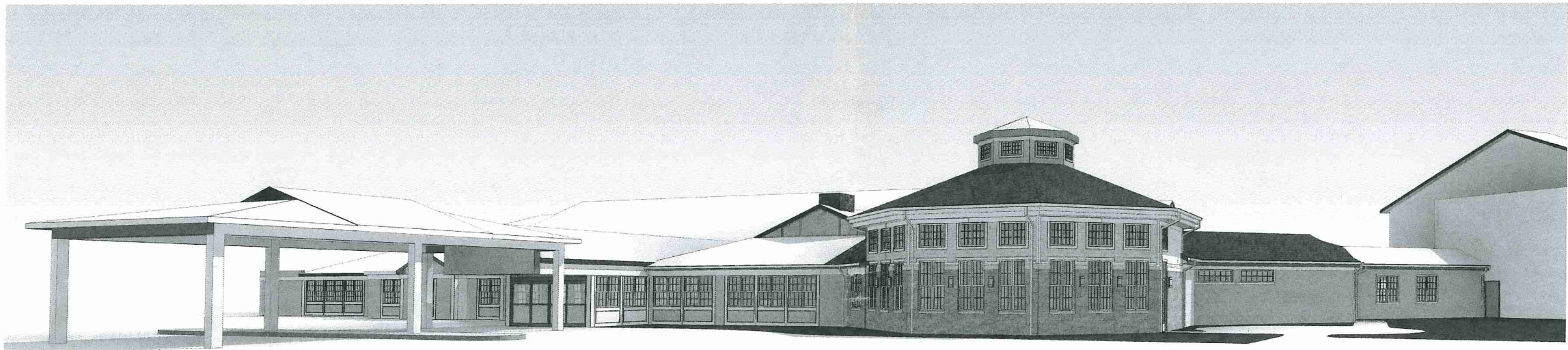
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Expiration Date 12/31/2015

Planning Commission - March 2, 2015

**BUILDING IMAGE:**



**PREPARED BY:**

**ARCHITECT**  
Perspectus Architecture  
13212 Shaker Square, Suite 204  
Cleveland, Ohio 44120  
p: 216-752-1800  
f: 216-752-3833  
contact: Jim Wallis

**STRUCTURAL ENGINEER**  
Barber & Hoffman, Inc  
2217 East 9th Street, Suite 350  
Cleveland, Ohio 44115  
p: 216-875-0100  
f: 216-875-0111  
contact: Fred Hussein

**MEP ENGINEER**  
Karpinski Engineering  
3135 Euclid Avenue  
Cleveland, Ohio 44115  
p: 216-391-3700  
f: 216-391-0108  
contact: Rich Haas

**FOOD SERVICE**  
INMAN Foodservices group  
3807 Charlotte Avenue  
Nashville, Tennessee 37209  
p: 615-321-5591  
f: 615-321-5689  
contact: Rick Palmer

**DRAWINGS:**

SP-1 Site Plan  
SP-2 Existing Site Plan  
A1-01 First Floor Demolition Plan  
A2-01 First Floor Plan  
C-1-01 Existing Conditions  
C-1-11 Demolition Plan  
C-3-0 Site Plan  
C-4-01 Grading Plan  
C-5-01 Utility Plan  
C-5-1 Site Details  
C-6-0 Stormwater Pollution Prevention Plan  
C-6-1 SWPS Details

Bistro/Pub Addition  
Laurel Lake Retirement Community  
200 Laurel Lake Drive Hudson, Ohio 44236

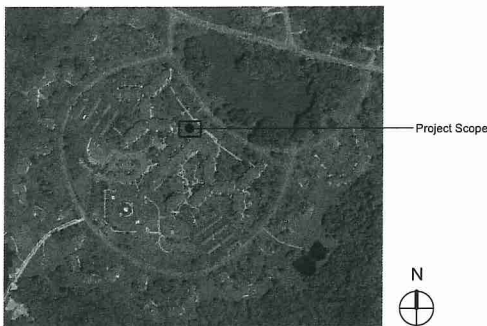


ISSUE DATE  
Planning Commission 03.02.2015

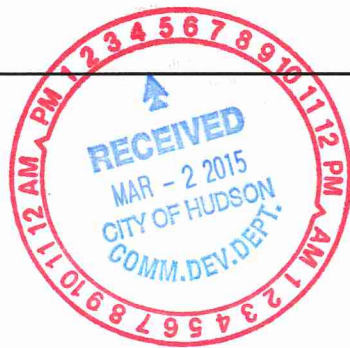
PROJECT NUMBER 14-136  
DRAWN BY Author  
CHECKED BY Checker  
Title Sheet

TS-1

**AERIAL MAP:**



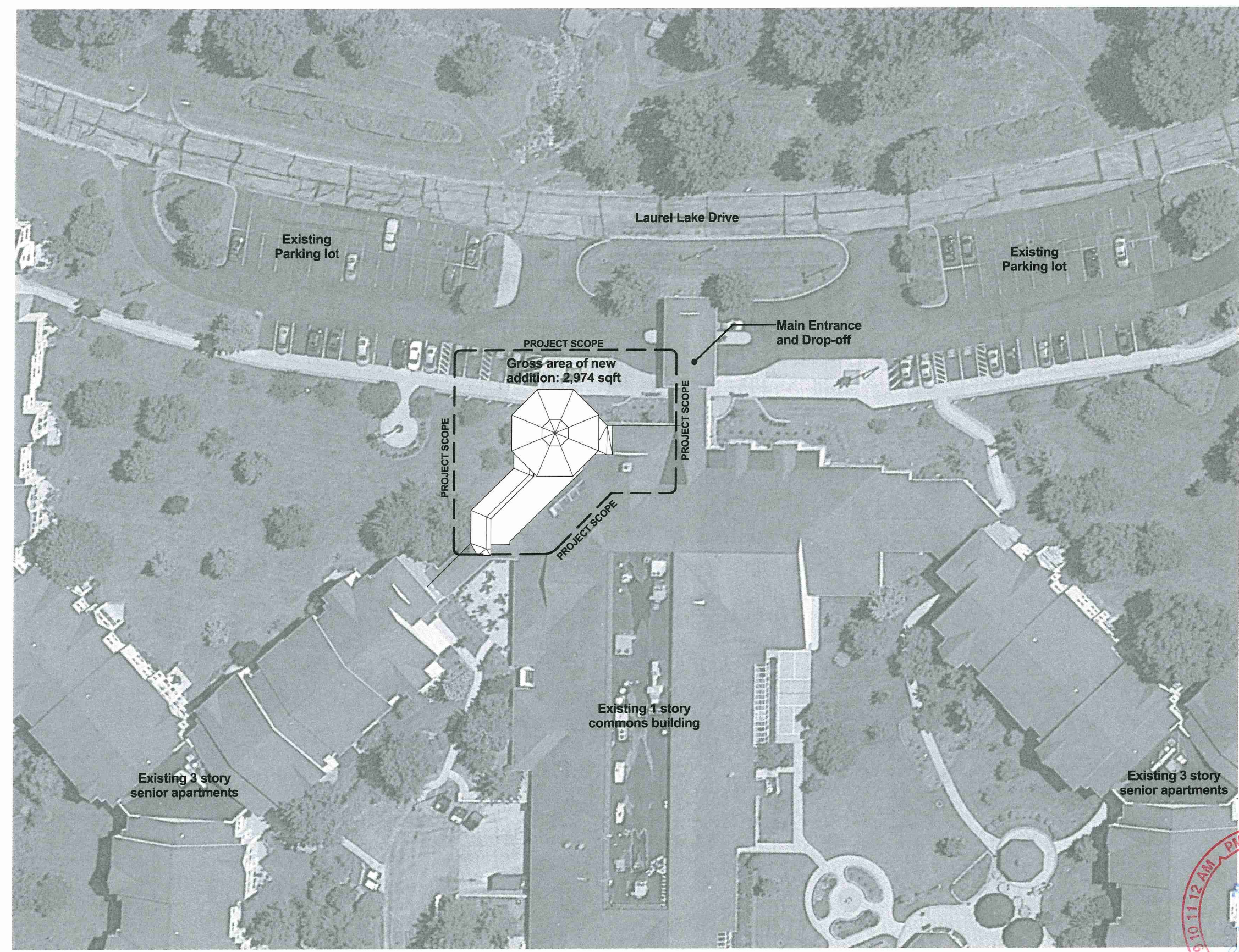
**LOCATION PLAN:**





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PRELIMINARY  
NOT FOR CONSTRUCTION



1 Site Plan  
Scale 1" = 20'-0"



**Bistro/Pub Addition**  
Laurel Lake Retirement Community  
200 Laurel Lake Drive  
Hudson, Ohio 44236

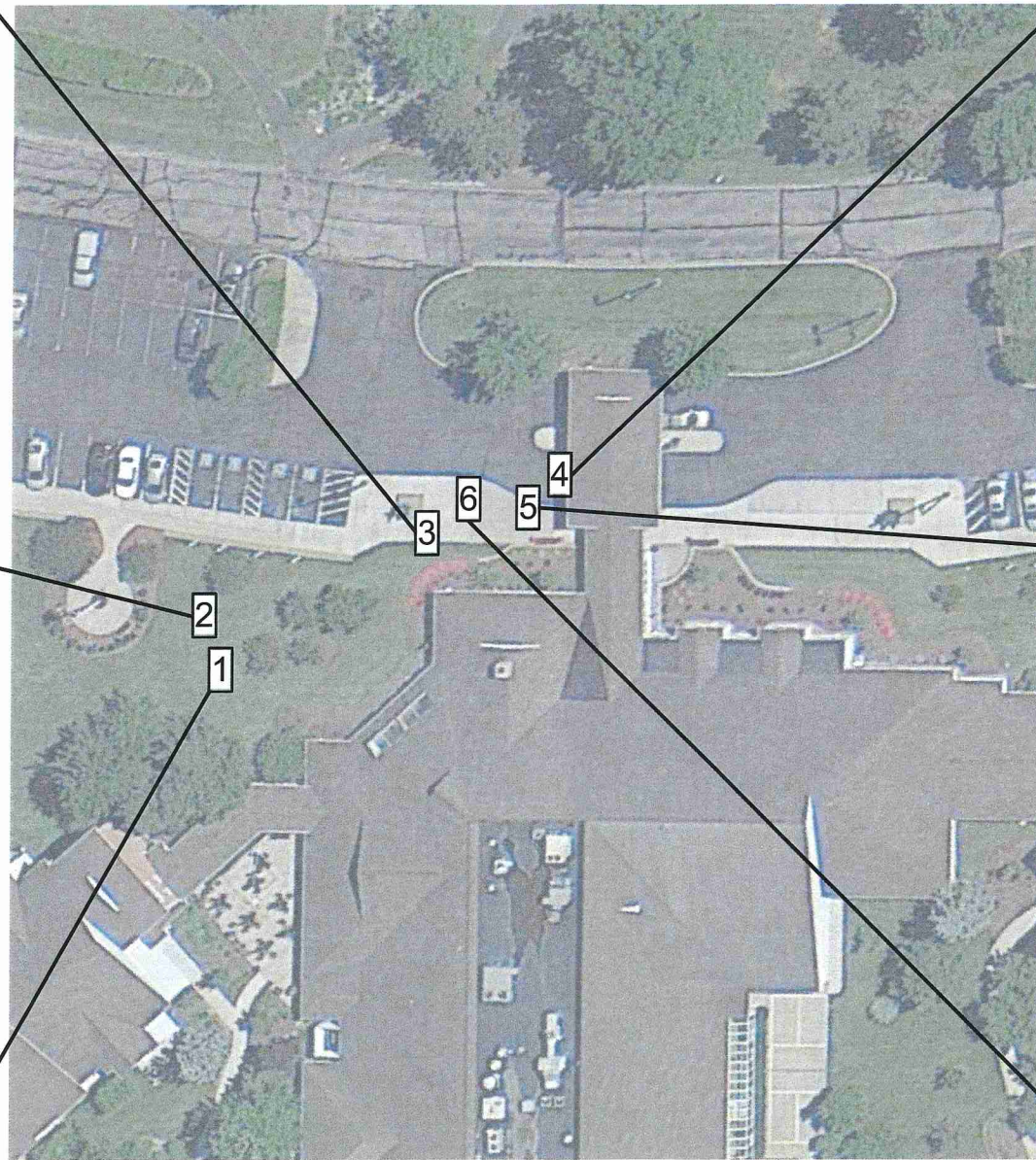
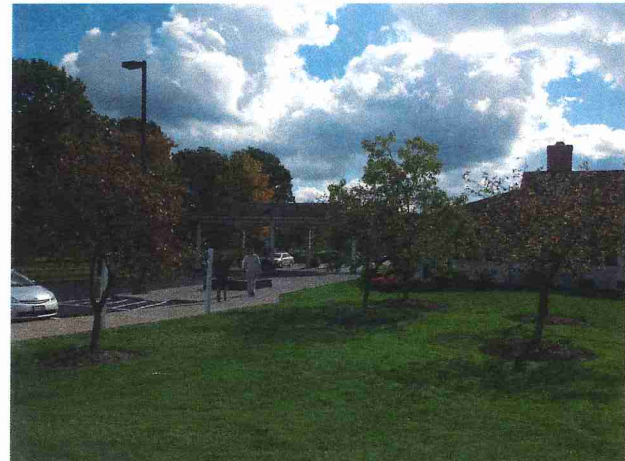


ISSUE DATE  
Planning Commission 02.19.2015

PROJECT NUMBER 14-138  
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CHECKED BY Checker  
Site Plan

SP -1





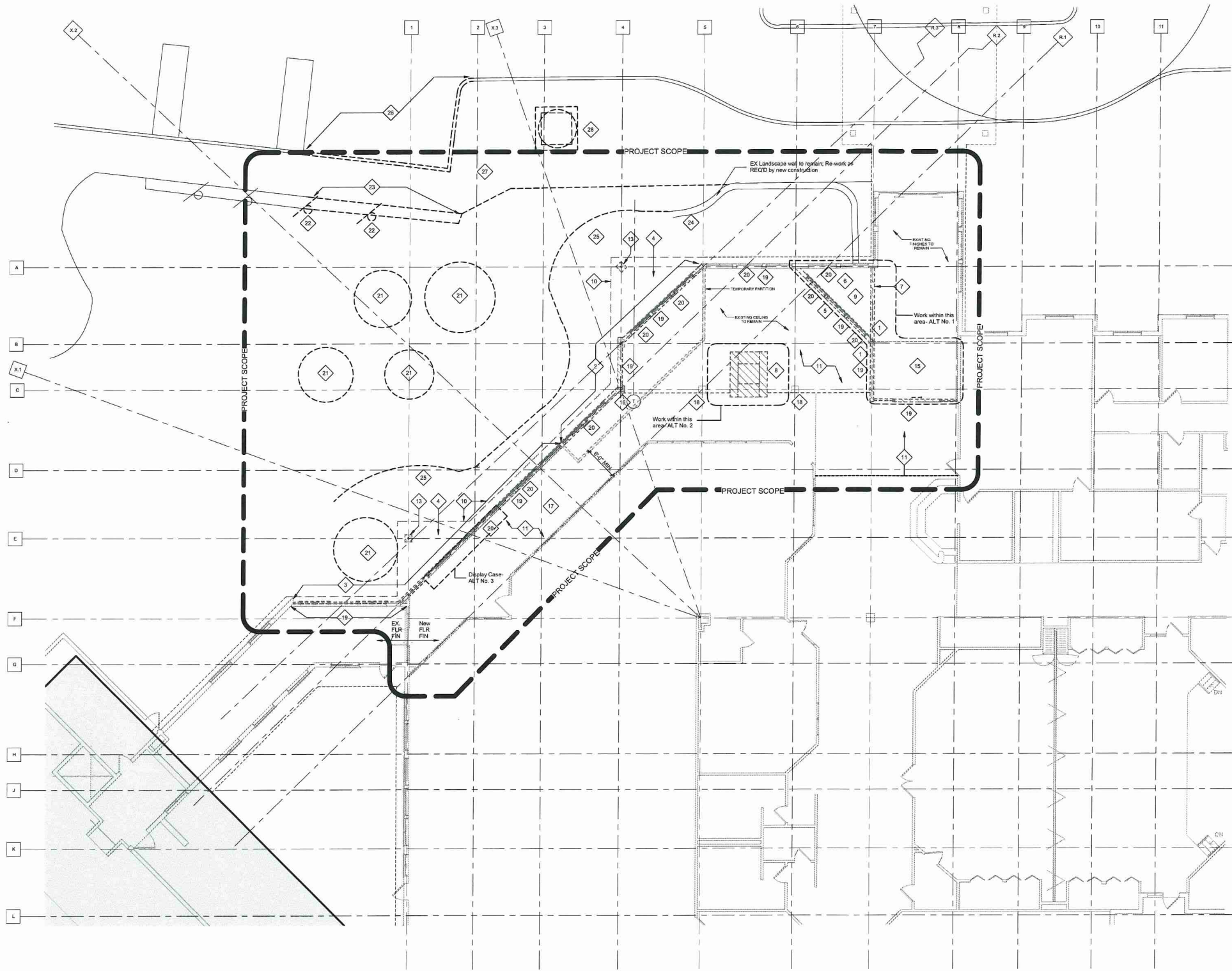
**Bistro/Pub Addition**  
Laurel Lake Retirement Community  
200 Laurel Lake Drive  
Hudson, Ohio 44236



ISSUE	DATE
Planning Commission	02.19.2015

PROJECT NUMBER	14-136
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Existing Site Photos	





1 First Floor Demolition Plan  
Scale: 1/8" = 1'-0"

GENERAL DEMOLITION NOTES

A Refer to specifications section 024119 - Selective Demolition for additional requirements and information.

B Project Scope line is indicated for general intent only. Additional demolition will be REQD outside of this line. Architectural demolition drawings are for schematic purposes. Contractor shall COORD all demolition with the entire set of contract documents for full scope of demolition work REQD for the project.

C EXIST conditions shown on these drawings are not guaranteed to be complete. The contractor shall verify all EXIST conditions, dimensions, and materials REQD for the contracted work. Report all discrepancies to architect prior to fabrication, erection, and/or installation.

D COORD all new penetrations and/or openings with other associated trades.

E The Owner may select and tag items for demolition to be salvaged. The contractor shall remove selected items from the scope of work and deliver to the Owner's requested location within the EXIST facility.

F Contractor shall provide HEPA filtered negative air machine(s) to maintain negative pressure to scope of work area ensuring no dust will be transferred to occupied areas. Provide visual pressure monitoring device at dust proof barricade to confirm pressure.

G The Facility's EXIST smoke and fire suppression system shall remain in operation during the entire construction phase.

H All demolition work being done outside of temporary partitions is to be appropriately sealed off to prevent the transmission of dust and debris and minimize disruption to visitors, residents, and staff. COORD location of barriers with Owner.

J Remove partitions indicated to the underside of the structure above.

K Some items may be indicated in the demolition drawings and demolition notes which are not necessarily demolition work but are included to describe the overall scope of the project and to aid in the demolition COORD. The contractor is responsible for all work required to complete the intended work of the overall project.

L Flooring demolition includes the removal of EXIST floor finishes, including VCT, sheet vinyl, ceramic tile, quarry tile, carpet and other finishes, grouts, mastics, and setting beds complete to EXIST CONC floor slab or other substrate ready for new floor finishes. Floor preparation shall be by the installing contractor.

M Remove MISC items within limits of demolition. COORD with Owner any items to be salvaged.

N Demolition of ceilings includes, grid, tile, supports, soffits, and related items as well as any ceiling MTD ELEC and MECH fixtures contained therein.

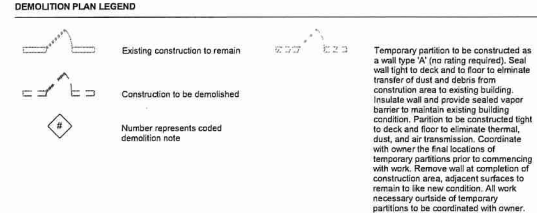
O Plug abandoned floor openings with new CONC. Plug shall match EXIST slab depth and be structurally sound to carry floor load of 100 LBS/ SQ FT unless noted otherwise.

P All fire rated assemblies (columns, shafts, walls, etc.) shall be maintained or be relocated/ patched. Match EXIST fire rating unless noted otherwise.

Q Where new doors are indicated, cut openings in EXIST wall. Prepare openings for new door. Patch ADJ walls to match EXIST. Provide intels as REQD for new openings.

R

- DEMOLITION CODED NOTES
- Relocate EX irrigation SYS controls to new wall location.
  - Remove section of exterior wall complete as required by new construction. Removal of wall includes removal of exterior skin, stud, windows, reinforcing, and foundation as required by new construction. Coordinate with mechanical and electrical for disconnection and removal of existing utilities and devices located with areas scheduled to be demolished.
  - Remove exterior siding, weather barrier, sheathing, windows, and trim in area indicated. Existing wall structure and interior gypsum board to remain. Prepare EX openings for new metal stud and gypsum wall. Cut opening in EX wall and provide header for new opening to new corridor. Modify EX studs as required for new windows to Colony Shop.
  - Remove portion of existing roof overhang as indicated for new construction. Coordinate with structural for full extent of demolition.
  - Remove partition indicated in its entirety to below finish floor. Salvage demolished windows for installation in new wall.
  - Remove existing planter and content in its entirety. Remove existing slab in its entirety below planter surface. Prepare subsurface for installation of new slab.
  - Remove EX partial HT partition in its entirety. Prepare ADJ surfaces for installation of new partition.
  - Remove EX stone and brick behind stone back to EXIST fireplace substrate. Remove stone, brick, and framing at chimney flue to ceiling. Install new STL support to support chimney above ceiling. Prepare ADJ surfaces to receive new framing and finishes as indicated on additional details. Remove existing WD and stone bench finish back to concrete substrate. Prepare bench for new finishes.
  - Remove existing ceiling system, supports, ties, and related equipment within limits of construction (unless noted otherwise). Coordinate with electrical work on removal and/or relocation of lights, conduit, ties, supports, and related wiring. Coordinate with mechanical on removal of diffusers, grids and related ductwork and equipment. Contractor shall verify fixtures for salvage or relocation prior to commencing demolition.
  - Remove EX gutter and downspout SYS entire length of wall.
  - Remove existing floor finish and base from entire room to top of structural slab or subfloor as REQD for new construction. Patch and level EXIST floor to receive new finish as scheduled. Level per new floor finish MANUF recommendations. Patch EXIST walls as REQD to receive new finish as scheduled. COORD w/ ID DWGS for extent of new finishes.
  - Remove EX skylight in its entirety. Prepare opening for new roof framing and roof SYS.
  - Remove existing column and enclosure in its entirety. Coordinate with structural.
  - Remove EX roof overhang in its entirety. Cut back roof overhang to face of EX wall. Where new addition abuts EX BLDG, COORD with wall sections & details & roof plan for additional information.
  - Remove EX floor finish, base, and ceiling up to location of relocated sliding entry system.
  - Remove EX fire extinguisher and cabinet. Salvage for re-installation as indicated in new plan.
  - Remove EX CLING SYS within corridor, including lighting, devices, etc for installation of new ceiling SYS.
  - Remove EX GYP BD and base column surround in preparation for installation of new cement board and stone as indicated on drawings.
  - Remove EX Wall covering this wall.
  - Remove EX wall heaters this wall. COORD with MECH for removal requirements.
  - Remove EX tree and stump in its entirety.
  - Remove EX parking sign and post. Salvage and turn over to Owner for re-installation.
  - Remove portion of EX gravel move strip as indicated and REQD for new construction.
  - Re-work EX landscape wall as REQD.
  - Modify EX landscaping and bed as REQD for new construction.
  - Remove portion of EX Curb and paving as REQD by new construction.
  - Remove portion of EX sidewalk as REQD by new construction.
  - Remove EX stone wall raised planting bed and plantings in its entirety, incl. trees, groundcover, etc.



**Perspectus**  
ARCHITECTURE

13212 Shaker Square  
Suite 204  
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P. 216.752.1800 F. 216.752.3833

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James A. Wallis, License #9231  
Expiration Date 12/31/2015

**Bistro/Pub Addition**  
Laurel Lake Retirement Community  
200 Laurel Lake Drive  
Hudson, Ohio 44236

LAUREL LAKE

ISSUE DATE  
Bidding Permit 03.02.2015



PROJECT NUMBER 14-136  
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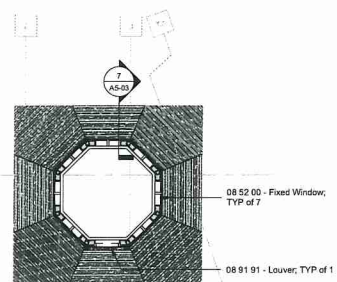
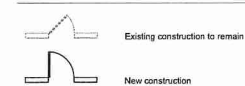
First Floor Demolition Plan



# GENERAL FLOOR PLAN NOTES

- A All partitions to be Type 'X' unless noted otherwise. COORD with AS sheet for partition types.
- B Refer to Life Safety Plans for rated wall locations.
- C Dashed furniture and equipment items shown for reference only and is not part of the General Contract. These items will be provided and installed by Owner. Contractor may need to coordinate specific fixture and equipment requirements if noted.
- D Contractor to verify all dimensions and conditions in the field prior to commencement of work. If drawings conflict with actual field conditions, contact Architect before proceeding with work.
- E All dimensions are to finish face of wall unless noted otherwise.
- F Provide concealed in-wall reinforcing/blocking for attachment of all millwork, casework, and/or accessories as required.
- G Exterior walls are dimensioned to face of sheathing.
- H For kitchen equipment layout, COORD with Food Service Drawings.
- I Coordinate with STRUCT drawings for extent of frost slabs at exterior doors.

## WALL LEGEND



## 2 FIRST FLOOR PLAN- CUPOLA LEVEL

Scale 1/8" = 1'-0"

## 1 FIRST FLOOR PLAN

Scale 1/8" = 1'-0"

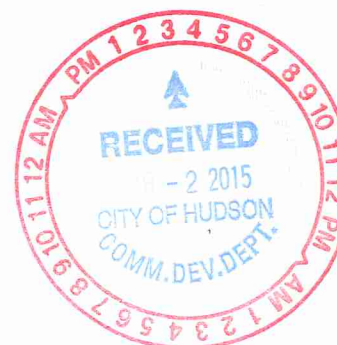
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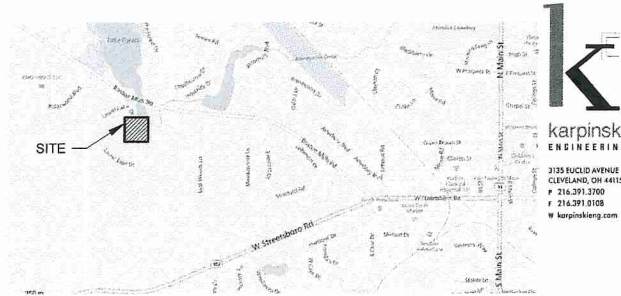
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PROJECT NUMBER 14-138  
DRAWN BY LP  
CHECKED BY Checker  
Floor Plan

A2-01







**Perspectus**  
Architecture  
13212 Shaker Square  
Suite 204  
Cleveland, Ohio 44120  
P. 216.752.1800 F. 216.752.3833

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Civil Engineering  
11111 E. 12th Ave., Suite 100  
Cleveland, OH 44120  
P. 216.391.3700  
F. 216.391.8108  
www.langaneng.com

### SURVEYOR'S NOTES

1. TOPOGRAPHIC INFORMATION SHOWN BASED ON A FIELD SURVEY PERFORMED BY LANGAN ENGINEERING & ENVIRONMENTAL SERVICES ON OCTOBER 28TH, 2014.
  2. OFFSETS (IF SHOWN) ARE FOR SURVEY REFERENCES ONLY AND ARE NOT TO BE USED FOR CONSTRUCTION OF ANY TYPE.
  3. WETLANDS, ENVIRONMENTAL AND/OR HAZARDOUS MATERIALS LOCATION, IF ANY, NOT COVERED UNDER THIS CONTRACT.
  4. UNLESS SPECIFICALLY NOTED HEREON, STORM AND SANITARY SEWER INFORMATION (INCLUDING PIPE INVERT, PIPE MATERIAL, AND PIPE SIZE) WAS OBSERVED AND MEASURED AT FIELD LOCATED STRUCTURES (MANHOLES/CATCH BASINS, ETC). CONDITIONS CAN VARY FROM THOSE ENCOUNTERED AT THE TIMES WHEN AND LOCATIONS WHERE DATA IS OBTAINED, DESPITE MEETING THE REQUIRED STANDARD OF CARE THE SURVEYOR CANNOT AND DOES NOT WARRANT THAT PIPE MATERIAL AND/OR PIPE SIZE THROUGHOUT THE PIPE RUN ARE THE SAME AS THOSE OBSERVED AT EACH STRUCTURE, OR THAT THE PIPE RUN IS STRAIGHT BETWEEN THE LOCATED STRUCTURES. ADDITIONAL UTILITY (WATER, GAS, ELECTRIC ETC) DATA MAY BE SHOWN FROM FIELD LOCATED SURFACE MARKINGS (BY OTHERS), EXISTING STRUCTURES, AND/OR FROM EXISTING DRAWINGS, UNLESS SPECIFICALLY NOTED HERE-ON THE SURVEYOR HAS NOT EXCAVATED TO PHYSICALLY LOCATE THE UNDERGROUND UTILITIES. THE SURVEYOR MAKES NO GUARANTEES THAT THE SHOWN UNDERGROUND UTILITIES ARE EITHER IN SERVICE, ABANDONED OR SUITABLE FOR USE, NOR ARE IN THE EXACT LOCATION OR CONFIGURATION INDICATED HEREON. PRIOR TO ANY DESIGN OR CONSTRUCTION THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
  5. THE SURVEY WAS PREPARED WITH RESPECT TO THE FOLLOWING REFERENCES:
    - A. ELECTRONIC PLANS AND NOTES TITLED 2014.10.22 Civil Dwg. LAST REVISED ON SEPTEMBER 5TH, 2001
    - B. ELECTRONIC PLANS AND NOTES RECEIVED FROM DOMINION EAST OHIO OCTOBER 24TH, 2014
- OUPS CALL TICKETS:**  
OUPS TICKET # A428602876  
OUPS TICKET # A428602881
- DATUM:**  
MERIDIAN IS REFERENCED TO OHIO STATE PLANE COORDINATE SYSTEM, ZONE NORTH, NAD 83 PER GPS OBSERVATIONS ON OCTOBER 28, 2014.  
VERTICAL DATUM IS BASED ON NAVD 88 PER GPS OBSERVATIONS ON OCTOBER 28, 2014.

### SITE DESIGNER'S NOTES

1. PER PHONE CONVERSATION ON 2-26-15 WITH THOMAS J. SHERIDAN, PE, PS THE BENCHMARK SHOWN ON THESE PLANS IS ACCEPTABLE FOR THIS PROJECT.
2. REFER TO ARCHITECTURAL PLANS FOR ZONING CLASSIFICATION
3. THIS PROJECT IS ANTICIPATED TO BE CONSTRUCTED IN A SINGLE PHASE. REFER TO ARCHITECTURAL PLANS FOR APPROXIMATE DATE OF COMPLETION OF PROPOSED IMPROVEMENTS.
4. THE PLANNED IMPROVEMENTS DISTURB UNDER 1 Ac THEREFORE AN NOI PERMIT IS NOT REQUIRED. REFER TO THE SWP3 PLAN FOR ADDITIONAL INFORMATION.
5. SITE DESIGNER CONTACT INFORMATION:  
KARPINSKI ENGINEERING  
3135 EUCLID AVE.  
CLEVELAND, OH 44115  
ATTN: W.E. DUNAGAN, PE
6. NO ADDITIONAL EXTERIOR SITE LIGHTING WILL BE ADDED TO THE CURRENT CONFIGURATION.

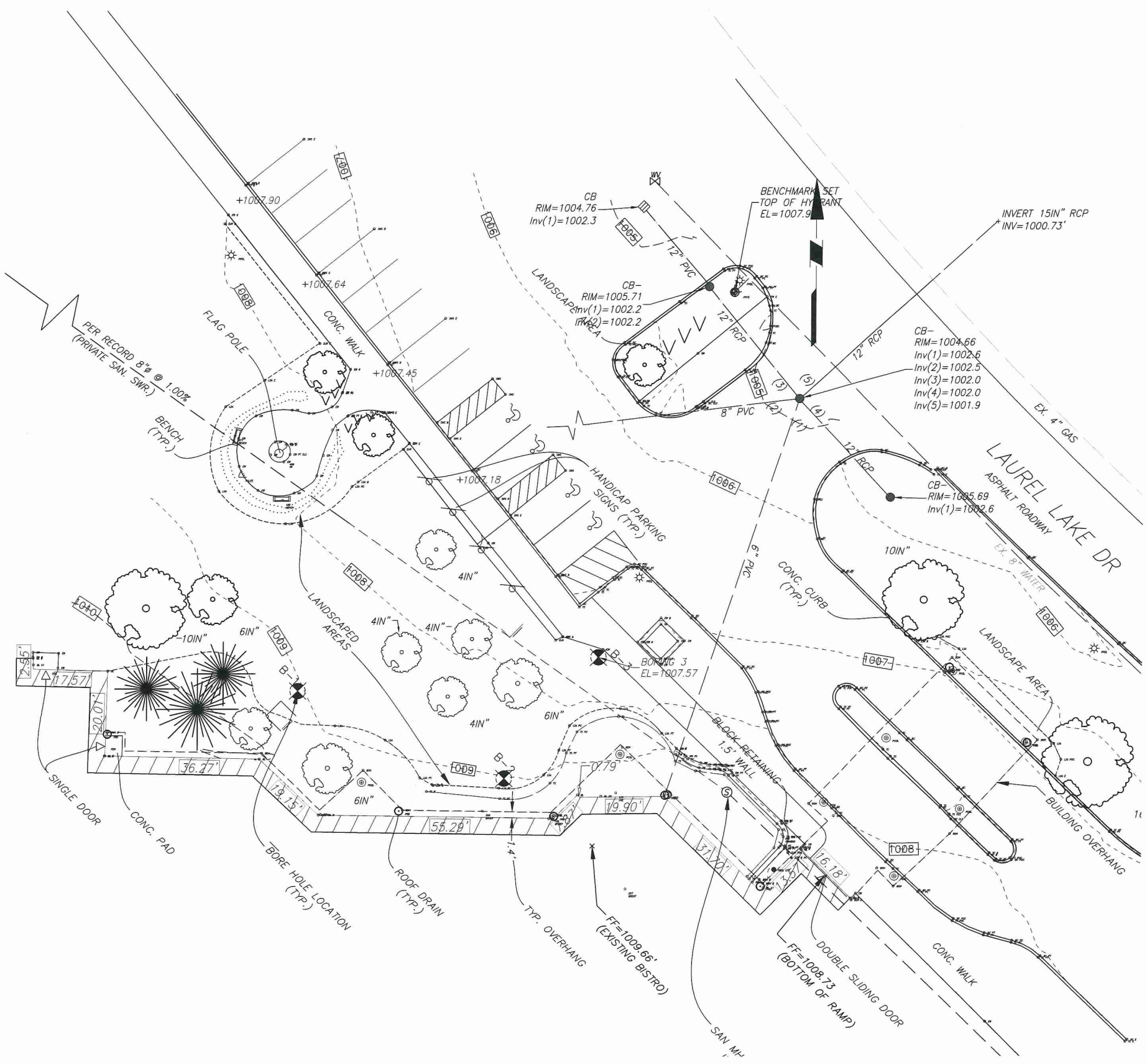


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RECEIVED  
CITY OF HUDSON  
COMM. DEV. DEPT.  
2015

PROJECT NUMBER  
DRAWN BY  
CHECKED BY  
EXISTING CONDITIONS

**C1-01**



SURVEY LEGEND (NOT SHOWN TO SCALE)	
	HYDRANT
	STREET LIGHT
	AREA LIGHT
	SIGNAL POLE
	POLE/ WITH LIGHT
	ANCHOR POLE
	MANHOLE (TYPE AS LABELED)
	WATER VALVE
	GAS VALVE
	UNKNOWN VALVE
	CATCH BASIN
	SPOT ELEVATION
	SHRUB/TREE
	SIGN
	ROLLARD
	ELECTRIC BOX
	DOOR
	COLUMN
	ROOF DRAIN
	STORM DRAIN
	SANITARY LINE
	GAS LINE
	WATER LINE
	ELECTRIC LINE
	TELEPHONE LINE
	COMBINED SEWER LINE
	OVERHEAD WIRE
	GUIDE RAIL (TYPE AS NOTED)
	FENCE (TYPE AS NOTED)
	TREE LINE
	PROPERTY/RIGHT-OF-WAY LINE
	CONTOUR LINE
	UTILITY MARKER
	GUIDE WIRE
	REFERENCED UTILITY LINE (TYPE AS NOTED)- PLOTTED FROM EXISTING MAPPING

EXISTING CONDITION PLAN (SCALE 1:20)

OHIO  
Utilities Protection  
SERVICE  
Call Before You Dig  
811 or 1.800.362.2764

SCALE: 1" = 20'  
EXISTING CONDITIONS  
(30" x 42" FULL SIZED DWG ONLY)





1. CONTRACTOR IS TO REMOVE ALL EX. IMPROVEMENTS ( PAVEMENT, WALKS, CURBS, UTILITIES, VEGETATION, HC SIGNS, ETC.) AND ON CONSTRUCTION OF NEW LINES UNLESS NOTED OTHERWISE.
2. CONTRACTOR TO REMOVE AND PROPERLY TERMINATE EX. IRRIGATION LINES, VALVES, ETC. AFFECTED BY IMPROVEMENTS.
3. CONTRACTOR TO PROOF ROLL SUBGRADE SITE ONCE IT IS BROUGHT TO ROUGH GRADE FOR FLOOR SLAB AND PAVEMENT. ANY UNSUITABLE AREAS SHALL BE UNDERCUT AND BACKFILLED W/ PROPERLY COMPACTED ENGINEERED FILL, AS REQUIRED, ON A T-M BASIS AS WRITTEN CHANGE ORDER IS REQUIRED FOR UNDERCUTTING AND BACKFILLING.
4. THERE IS AN EX. SANITARY CONNECTION THAT WILL NEED TO BE CONNECTED TO THE NEW SITE SANITARY SYSTEM
5. REFER TO ARCHITECTURAL DRAWINGS FOR REMOVE OF BUILDING DEMOLITION
6. REMOVE TOPSOIL AND EXCESS SOIL TO CONSTRUCT IMPROVEMENTS. PROOF ROLL ALL SUBGRADES TO RECEIVE FOUNDATIONS, FLOOR FOOTINGS AND SLAB ON PAVEMENT. UNDERCUT UNSUITABLE AREAS AND REPLACE WITH COMPACTED ENGINEERED FILL.
7. SAWCUT PAVEMENT FULL DEPTH. REMOVE AND REPLACE PAVEMENT FOR STORM SEWER INSTALLATION THROUGH EX. PARKING LOT.

**Bistro/Pub Addition**  
Laurel Lake Retirement Community  
200 Laurel Lake Drive  
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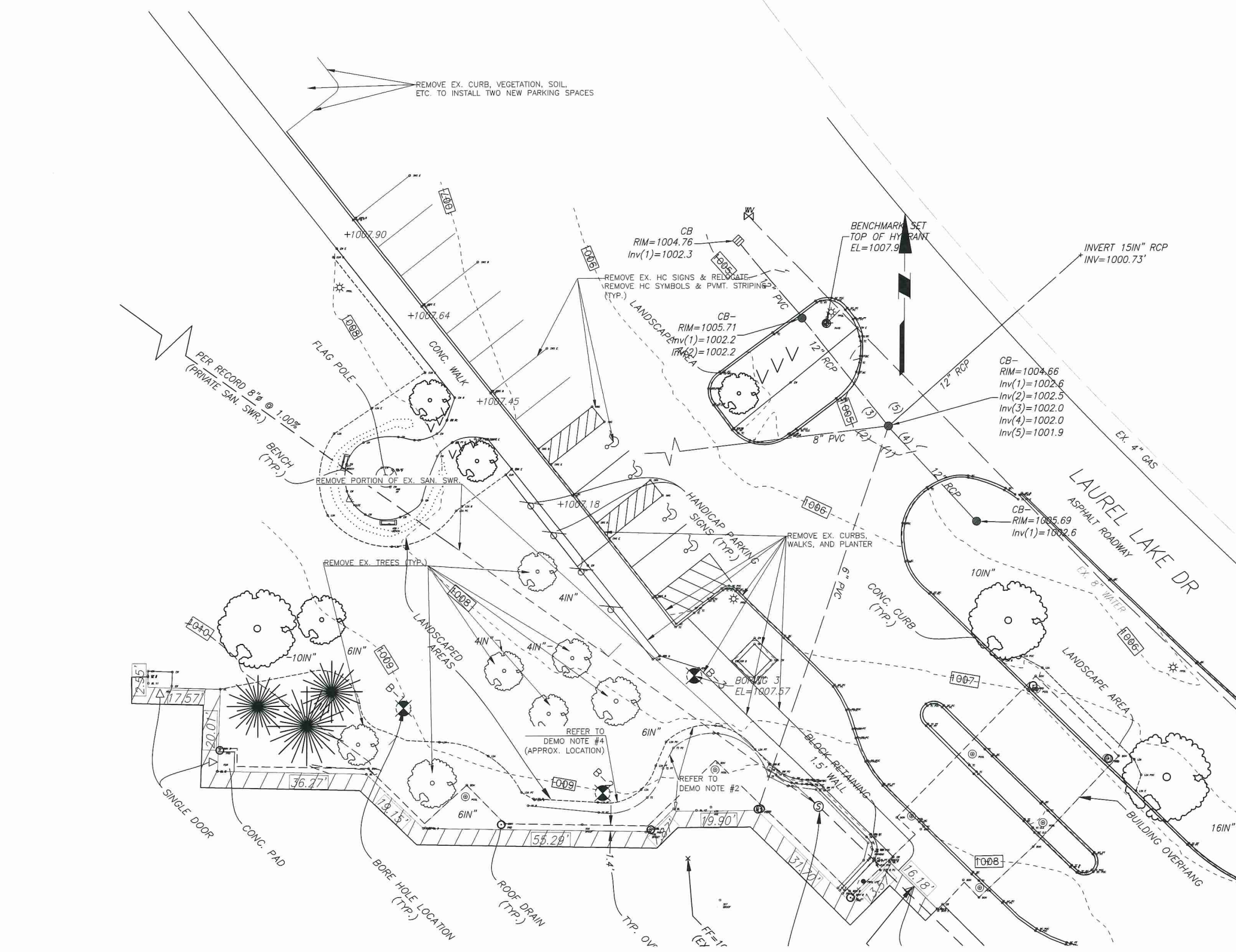


ISSUE	DATE
BIDDING/ PERMIT	03.02.15
ISSUE	DATE

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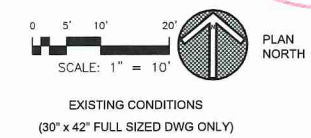
DEMOLITION  
PLAN

C-1.1



1. PROVIDE AND MAINTAIN TEMPORARY FUNCTIONALITY OF UTILITIES THAT ARE RELOCATED OR REPLACED DUE TO CONSTRUCTION ACTIVITY.
2. CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS AND FEES INCLUDING CITY INSPECTIONS.
3. XXXXX

LEGEND		
	HYDRANT	STORM DRAIN
	STREET LIGHT	SANITARY LINE
	AREA LIGHT	GAS LINE
	SIGNAL POLE	WATER LINE
	POLE/ WITH LIGHT	ELECTRIC LINE
	ANCHOR POLE	TELEPHONE LINE
	MANHOLE (TYPE AS LABELED)	COMBINED SEWER LINE
	WATER VALVE	OVERHEAD WIRE
	GAS VALVE	GUIDE RAIL (TYPE AS NOTED)
	UNKNOWN VALVE	FENCE (TYPE AS NOTED)
	CATCH BASIN	TRUNK LINE
	SPOT ELEVATION	PROPERTY/RIGHT-OF-WAY LINE
	SHRUB/TREE	CONTOUR LINE
	SIGN	UTILITY MARKER
	ROLLARD	GUIDE WIRE
	ELECTRIC BOX	REFERENCED UTILITY LINE (TYPE AS NOTED) - PLOTTED FROM EXISTING MAPPING
	DOOR	
	COLUMN	
	ROOF DRAIN	









#### GRADING NOTES

1. THERE ARE NO SIGNIFICANT REQUIRED GRADE CHANGES TO INSTALL THE IMPROVEMENTS
2. UNLESS NOTED OTHERWISE MEET EX. GRADES AT LIMITS OF IMPROVEMENTS.
3. MAX. HC CROSS SLOPE IS 2%

## Bistro/Pub Addition Laurel Lake Retirement Community 200 Laurel Lake Drive Hudson, Ohio 44236



ISSUE DATE

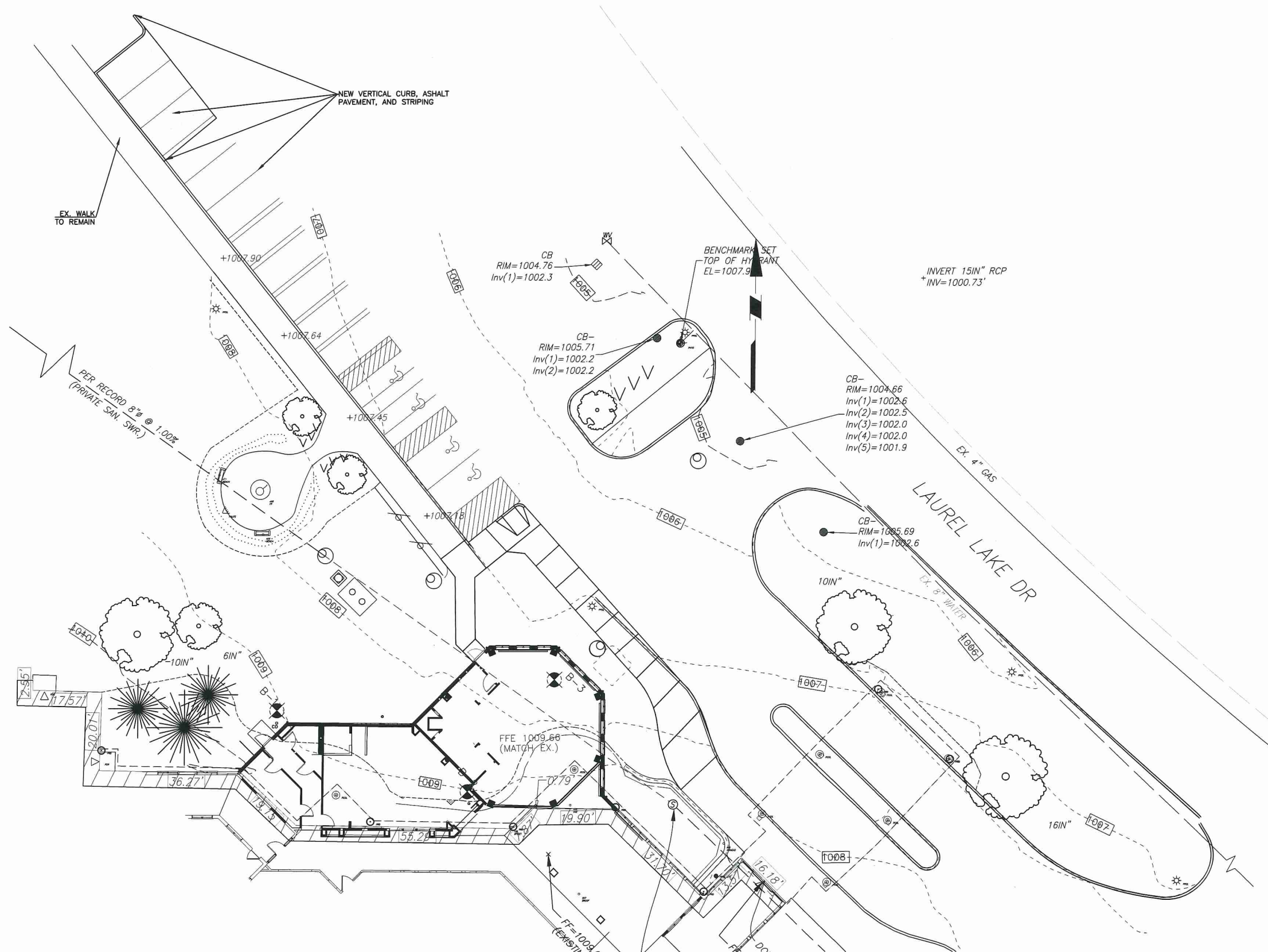
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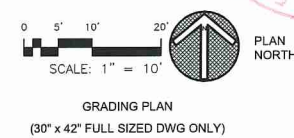
GRADING PLAN

C4-01



LEGEND (NOT SHOWN TO SCALE)	
	HYDRANT
	STREET LIGHT
	AREA LIGHT
	SIGNAL POLE
	POLE/ WITH LIGHT
	ANCHOR POLE
	MANHOLE (TYPE AS LABELED)
	WATER VALVE
	GAS VALVE
	UNKNOWN VALVE
	CATCH BASIN
	SPOT ELEVATION
	SHRUB/TREE
	SIGN
	BOLLARD
	ELECTRIC BOX
	DOOR
	COLUMN
	ROAD DRAIN
	STORM DRAIN
	SANITARY LINE
	GAS LINE
	WATER LINE
	ELECTRIC LINE
	TELEPHONE LINE
	COMBINED SEWER LINE
	OVERHEAD WIRE
	GUIDE RAIL (TYPE AS NOTED)
	FENCE (TYPE AS NOTED)
	TREE LINE
	PROPERTY/RIGHT-OF-WAY LINE
	CONTOUR LINE
	UTILITY MARKER
	GUIDE WIRE
	REFERENCED UTILITY LINE (TYPE AS NOTED) - PLOTTED FROM EXISTING MAPPING

OHIO  
Utilities Protection  
SERVICE  
Call Before You Dig  
811 or 1.800.362.2764



GRADING PLAN  
(30" x 42" FULL SIZED DWG ONLY)





**Bistro/Pub Addition**  
Laurel Lake Retirement Community  
200 Laurel Lake Drive  
Hudson, Ohio 44236



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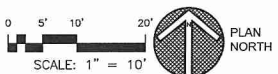
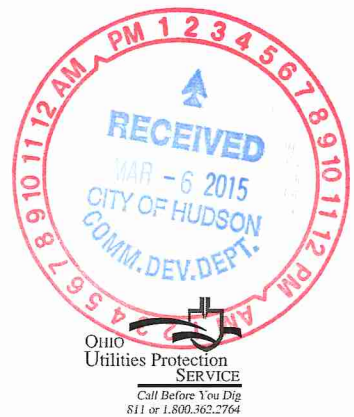
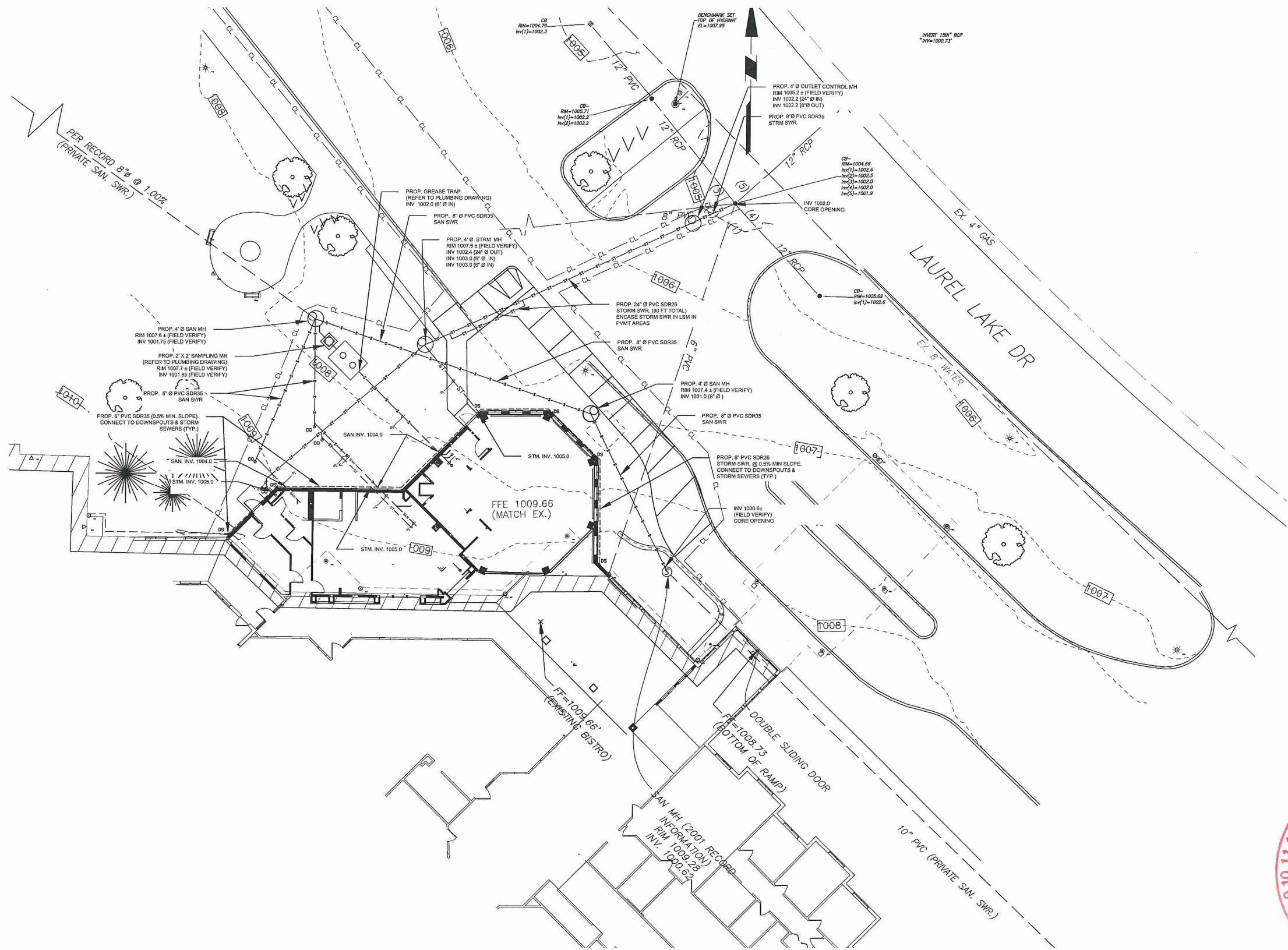
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UTILITY PLAN

C5-01



UTILITY PLAN  
(30" x 42" FULL SIZED DWG ONLY)

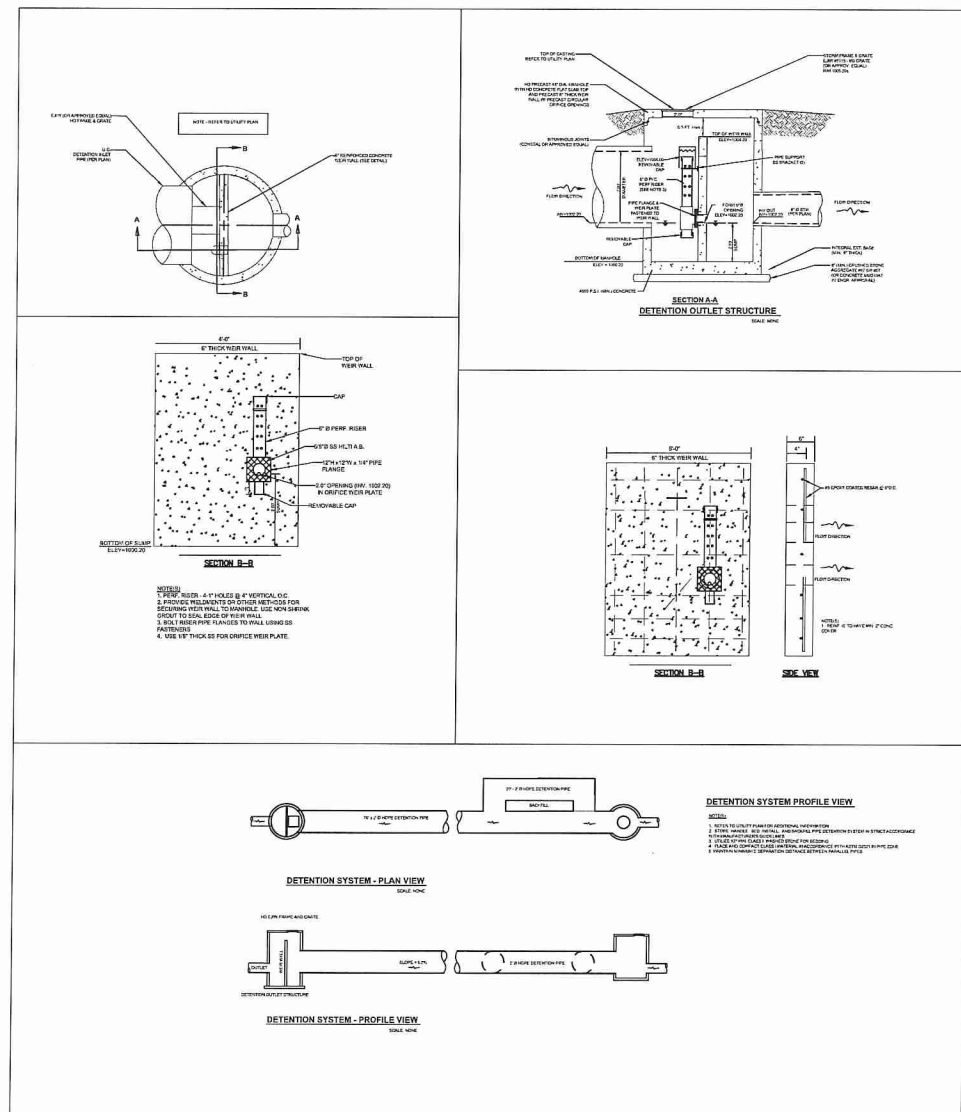






### GENERAL CONSTRUCTION NOTES

- |    |  |    |   |    |   |
|----|--|----|---|----|---|
| 1  | CONSTRUCTION OF THE SITE WORK AND UTILITIES SHALL BE GOVERNED BY THE CITY OF HUDSON'S "ENGINEERING STANDARDS FOR INFRASTRUCTURE CONSTRUCTION", LATEST EDITION.   | 1  | ALL DISTURBED STORM SEWERS AROUND APPEARANCES, SIGNS, GUARD RAILS, AND OTHER PUBLIC AREAS, SHALL BE PROTECTED BY THE CITY OF HUDSON'S "ENGINEERING STANDARDS FOR INFRASTRUCTURE CONSTRUCTION", LATEST EDITION. ALL DISTURBED AREAS BY THE CONSTRUCTION SHALL BE RESTORED OR REPAID TO A BETTER CONDITION THAN THE ORIGINAL. | 1  | SHALL BE REMOVED AND PROPERLY DISPOSED AT THE EXPENSE OF THE CONTRACTOR.  |
| 2  | THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS REQUIRED FOR THE PROJECT.   | 2  | ANY DEFECTS DISCOVERED IN NEW CONSTRUCTION, WORKMANSHIP, EQUIPMENT OR MATERIALS, SHALL BE CORRECTED OR CORRECTED BY APPROVED METHODS AS DIRECTED BY THE CITY OF HUDSON.   | 2  | ALL DELIVERED MATERIALS SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF HUDSON OR OTHER APPLICABLE AGENCIES. THE CITY OF HUDSON, OR OTHER AGENCY, RESERVES THE RIGHT TO REVIEW THE PLANS, SPECIFICATIONS AND MATERIALS WHICH DO NOT CONFORM TO THE APPLICABLE STANDARDS AND SPECIFICATIONS.  |
| 3  | THE CONTRACTOR MUST ALERT THE DUTY POLICE PROTECTION SERVICES AT 1-800-360-7414 AT LEAST 48 HOURS BEFORE ANY CONSTRUCTION OF ANY SERVICE.  | 3  | NUCLEAR COMPACTON TESTING SHALL BE REQUIRED FOR ALL FILL AREAS OVER TWO FEET DEEP AND ALL EXISTING AREAS OF FILL OVER TWO FEET DEEP.  | 3  | THE CITY OF HUDSON OR ITS REPRESENTATIVE, RESERVES THE RIGHT TO HALT ALL WORKS OF THE CONTRACTOR IF THE CONTRACTOR DOES NOT FOLLOW THE PLANS, SPECIFICATIONS AND OTHER APPLICABLE STANDARDS OR REGULATIONS.   |
| 4  | ALL EXISTING APPEARANCES: CHIMNEY PIPES, VALVES, HYDRANTS, MANHOLES, ETC. ARE TO BE MAINTAINED BY THE CONTRACTOR UNLESS OTHERWISE SHOWN ON THE DRAWINGS.   | 4  | APPROVAL BY THE CITY OF HUDSON ENGINEER CONSTITUTES IMPLIED EXPRESSED NOR IMPLIED WARRANTIES AS TO THE FITNESS, ACCURACY, OR SUFFICIENCY OF THE DESIGN OR SPECIFICATIONS.   | 4  | ALL CHANGES TO APPROVED DRAWINGS AND/OR SPECIFICATIONS MUST BE SUBMITTED TO THE CITY OF HUDSON FOR REVIEW AND APPROVAL.   |
| 5  | THE DESIGN ENGINEER CERTIFIES THAT ALL UTILITIES ARE OTHERWISE AS APPEAR ON EXISTING RECORDS OR FIELD LOCATED.   | 5  | DURING TURNING OF EXISTING UTILITIES, ANY TRAFFIC CONTROL, REQUESTED OR NOT REQUESTED BY THE CITY OF HUDSON WILL BE PROVIDED BY THE CONTRACTOR AT HIS OWN EXPENSE.  | 5  | ALL PAVING MATERIALS MUST BE PROVIDED BY COTY CERTIFIED SUPPLIER. WRITTEN PROOF SHALL BE REQUIRED UPON DELIVERY OF MATERIALS. THE CERTIFIED MIX PROOF SHALL BE SUBMITTED TO THE CITY OF HUDSON FOR REVIEW AND APPROVAL BY SCHEDULING A PRECONSTRUCTION MEETING.   |
| 6  | ALL KNOWN ABOVE AND UNDERGROUND SERVICES HAVE BEEN NOTED ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY SERVICE DAMAGE DURING THE CONSTRUCTION OF THE PROJECT, WHETHER SHOWN OR NOT ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING THE SAME AS SOON AS POSSIBLE AT THE CONTRACTOR'S OWN EXPENSE. | 6  | COMPLIANCE WITH THE OCCUPATIONAL AND SAFETY ACT OF 1970 IS REQUIRED BY ALL CONTRACTORS ON THIS PROJECT.   | 6  | CONTRACTOR/DEVELOPER SHALL PROVIDE ALL REQUIRED ROADWAY SIGNAGE AS PER CITY OF HUDSON'S "ENGINEERING STANDARDS FOR INFRASTRUCTURE CONSTRUCTION", LATEST EDITION.  |
| 7  | VIDEO TAPING OF PROJECT SHALL BE DELIVERED AND APPROVED BY THE CITY OF HUDSON. THE CITY OF HUDSON DESIRES A MINIMUM OF 14 CONSECUTIVE HOURS TO START OF CONSTRUCTION ACTIVITIES.   | 7  | ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE STORM SEWER SHALL BE PROVIDED BY THE CONTRACTOR.   | 7  | CONTRACTOR/DEVELOPER SHALL PROVIDE ALL REQUIRED ROADWAY SIGNAGE AS PER CITY OF HUDSON'S "ENGINEERING STANDARDS FOR INFRASTRUCTURE CONSTRUCTION", LATEST EDITION.  |
| 8  | NOTIFY THE CITY OF HUDSON ENGINEERING DEPARTMENT A MINIMUM OF FORTY-EIGHT (48) HOURS BEFORE ANY CONSTRUCTION OF ANY SERVICE.   | 8  | ALL DISTURBED AREAS SHALL RECEIVE A 6" TOPSOIL AND BE RESEED AND MULCHED TO MATCH THE EXISTING SURFACE. THE CONTRACTOR SHALL FOLLOW THE CITY OF HUDSON'S "ENGINEERING STANDARDS FOR INFRASTRUCTURE CONSTRUCTION", LATEST EDITION.   | 8  | ALL BONDS AND OR LETTERS OF CREDIT SHALL NOT BE RELEASED OR REDUCED AND NO WORK OR SANITARY SERVICE CUSTOMERS CAN BE CONNECTED UNTIL ALL WORKS ARE COMPLETED AND THE CITY OF HUDSON HAS APPROVED BY THE CITY OF HUDSON.   |
| 9  | A PRECONSTRUCTION MEETING SHALL BE SCHEDULED A MINIMUM OF 48 HOURS (2 WORKING DAYS) AFTER SUBMISSION OF A MINIMUM OF 6 APPROVED SETS OF PLANS AND ALL EXISTING DRAWINGS. THE CITY OF HUDSON ENGINEERING DEPARTMENT PRECONSTRUCTION MEETING MUST BE HELD PRIOR TO START OF ANY CONSTRUCTION.  | 9  | IF MUD, SOIL, OR OTHER DEBRIS IS DEPOSITED ON ADJACENT STREETS, ROADS, OR OTHER PUBLIC AREAS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SUCH DEBRIS AS DIRECTED BY THE CITY OF HUDSON OR HIS ENGINEER AT THE END OF EACH DAY OR AS REQUIRED BY THE CITY OF HUDSON.   | 9  | ALL WORK, EXCEPT SIDEWALKS, STREET LIGHTS AND STREET LIGHTS, AS PART OF THE PROJECT, SHALL BE COMPLETED AND ACCEPTED BY THE CITY OF HUDSON WITHIN TWO (2) YEARS OF THE DATE OF THE DATE OF APPROVAL BY THE CITY ENGINEER AND SHALL BE COMPLETED AND ACCEPTED BY THE CITY OF HUDSON WITHIN TWO (2) YEARS OF THE DATE OF APPROVAL BY THE CITY ENGINEER. |
| 10 | THE LIMITS OF CLEARING AND GRADING SHALL BE FIELD STAKED AND LINED TO ORANGE CONSTRUCTION FENCING 48 HOURS (2 WORKING DAYS) PRIOR TO THE PRECONSTRUCTION MEETING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE GRADING SHALL NOT BE DISTURBED INCLUDING THE STOCKPILE OF ANY MATERIALS OR EQUIPMENT ON THE TRAFFY.                  | 10 | ALL PROPOSED 36" OR 48" STORMSEIN AND ALL EASTERN DRAINAGE WAYS SHALL RECEIVE AIRT OR EXCELUTION MATERIALS AS PER COTY OR PER 68.   | 10 | FAILURE TO COMPLETE THE PROJECT IN ITS ENTIRETY AS APPROVED BY THE CITY OF HUDSON, SHALL BE CONSIDERED A BREACH OF THE CONTRACT. THE CITY OF HUDSON HOLDING ALL FUTURE ZONING CERTIFICATES UNTIL ALL WORKS HAS BEEN COMPLETED AND APPROVED BY THE CITY OF HUDSON.   |
| 11 | ALL ROAD SURFACES, EASEMENTS, OR RIGHT-OF-WAY DISTURBED BY THE CONSTRUCTION OF ANY PART OF THESE IMPROVEMENTS ARE TO BE RESTORED TO EXISTING CONDITION. THE CONTRACTOR SHALL FOLLOW THE CITY OF HUDSON'S "ENGINEERING STANDARDS FOR INFRASTRUCTURE CONSTRUCTION" AS DIRECTED BY THE CITY OF HUDSON AND/OR HIS ENGINEER.            | 11 | ALL PIPES SHALL BE PLACED OVER 4' OF BEDDING. BEDDING MATERIAL SHALL BE AS SPECIFIED BY THE CITY OF HUDSON. THE CONTRACTOR SHALL FOLLOW THE CITY OF HUDSON'S "ENGINEERING STANDARDS FOR INFRASTRUCTURE CONSTRUCTION", LATEST EDITION.   | 11 | MANUFACTURERS OR SUPPLIERS AFFOWAY FOR ALL CONSTRUCTION MATERIALS SHALL BE PROVIDED AS PER THE CITY'S "ENGINEERING STANDARDS FOR INFRASTRUCTURE CONSTRUCTION", LATEST EDITION PRIOR TO THE START OF CONSTRUCTION.   |
| 12 | THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE CITY OF HUDSON OR ITS REPRESENTATIVE IF SUSPECTED HAZARDOUS MATERIAL OR ANY OTHER MATERIAL, SUCH AS OIL, MAY CAUSE A HEALTH OR ENVIRONMENTAL HAZARD.   | 12 | CONTROL SHALL BE RESPONSIBLE FOR MAINTAINING AND PROTECTING THE ALLOWED EASEMENTS AND RIGHT-OF-WAY. THE CONTRACTOR SHALL FOLLOW THE CITY OF HUDSON'S "ENGINEERING STANDARDS FOR INFRASTRUCTURE CONSTRUCTION", LATEST EDITION.   | 12 | THE CONSTRUCTION OF SANITARY SERVICES, WATER MAINS, LIFT STATIONS AND OTHER SANITARY SERVICES SHALL BE COMPLETED AND ACCEPTED BY THE CITY OF HUDSON WITHIN TWO (2) YEARS OF THE DATE OF APPROVAL BY THE CITY ENGINEER.  |
| 13 |  | 13 | THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING PLANT TENTS FOR ALL MATERIALS DELIVERED TO THE PROJECT. ALL PLANT MATERIALS SHALL BE DELIVERED MATERIAL, MATERIAL DELIVERED OR PLACED WITHOUT PLANT TICKETS.  | 13 | ALL SANITARY SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF HUDSON'S "ENGINEERING STANDARDS FOR INFRASTRUCTURE CONSTRUCTION", LATEST EDITION.   |



SHEET SIZE 30x42 J:\2014\1402770\MAIN\INSTRACAD\CIVIL\CD\140277 s10\_n70\_R2.dwg  
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**Bistro/Pub Addition**  
Laurel Lake Retirement Community  
200 Laurel Lake Drive  
Hudson, Ohio 44236



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SITE NOTES  
SITE DETAILS

C5-03







**Bistro/Pub Addition**  
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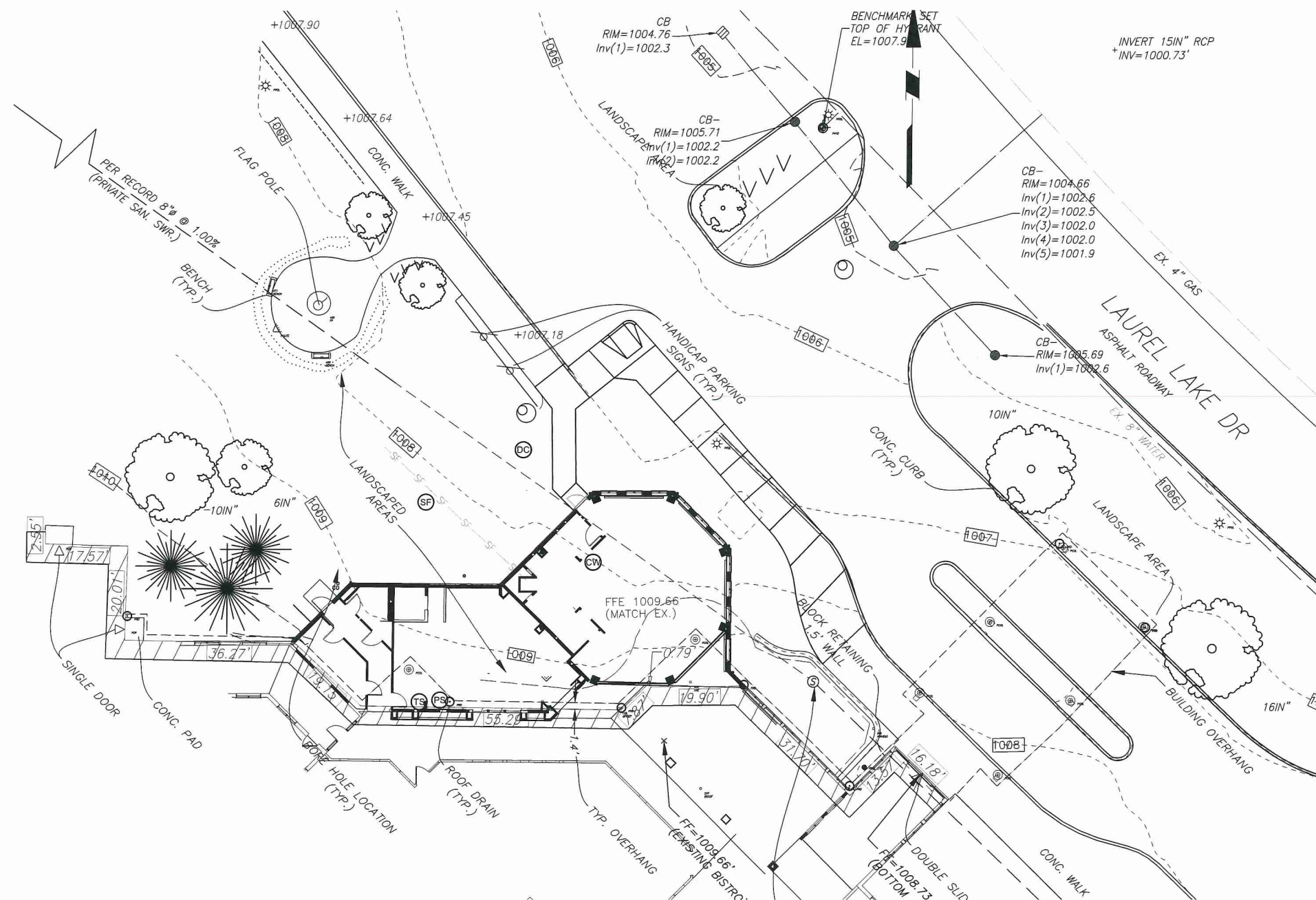
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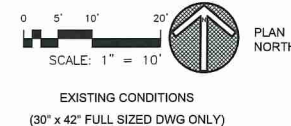
# STORMWATER POLLUTION PREVENTION PLAN

C-6.0



1. THE CONTRACTOR IS TO REFER TO THIS PLAN AND THE EAS PLAN, NOTES, AND DETAILS.
2. THE SITE DEMOLITION AREA IS APPROXIMATELY 0.07 AC. ACTUAL DISTURBED AREA IS APPROXIMATELY 0.07 AC.
3. THE CONTRACTOR IS TO INSTALL AND MAINTAIN THE EAS CONTROLS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL THE SITE IS FULLY STABILIZED.
4. THE CONTRACTOR IS RESPONSIBLE TO REMOVE THE TEMPORARY EAS CONTROLS. ONCE THE SITE IS FULLY STABILIZED.
5. CONTRACTOR IS TO MAINTAIN A LOG DOCUMENTING GRADING AND STABILIZATION ACTIVITIES AS WELL AS AMENDMENTS TO THE SWPS.
6. REFER TO LANDSCAPE PLANS FOR LIMITS OF LANDSCAPING, LAWN/ SEEDING, & PLANTING AREAS.
7. U.G. DETENTION WATER QUALITY SYSTEM WILL CONSIST OF A 28 PIPE AS SHOWN WITH A SW OFFICE TO CONTROL PEAK STORMWATER DISCHARGES. THIS SYSTEM WAS SELECTED TO COMPLY WITH CITY OF CHICAGO STANDARDS.

SWP3 LEGEND		BMPs UTILIZED ON THIS PROJECT "X"
—SF—    SF—    (SF)	SILT FENCE	X
 (IP)	STORM DRAIN INLET PROTECTION	
 (CE)	CONSTRUCTION ENTRANCE	
(TS)	TEMPORARY SEEDING	X
(PS)	PERMANENT SEEDING	X
(DC)	DUST CONTROL	X
(CW)	CONCRETE WASH OUT AREA	X

[illegible][illegible]





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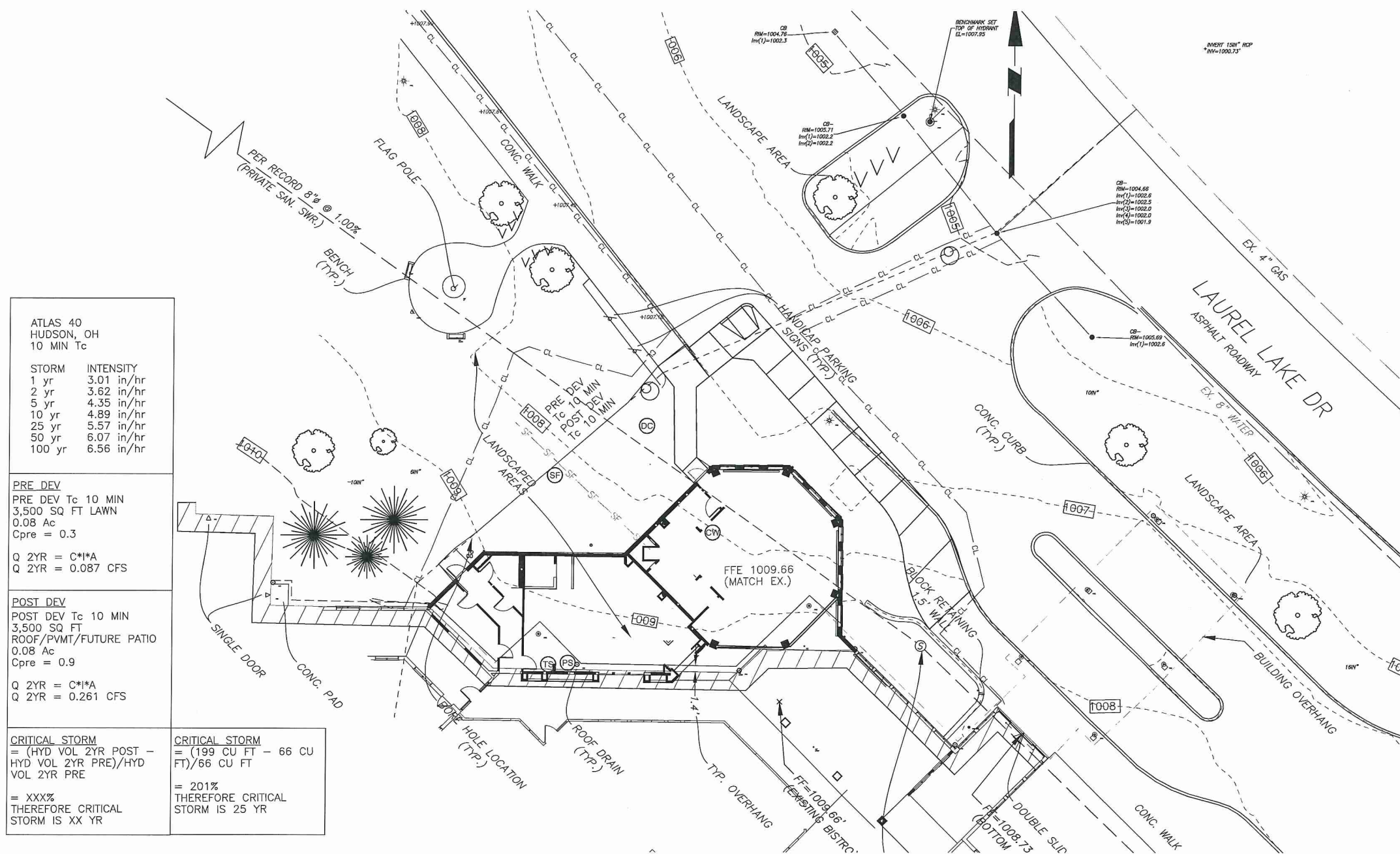
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STORMWATER  
POLLUTION  
PREVENTION  
PLAN

**C6-01**



ATLAS 40 HUDSON, OH 10 MIN Tc	
STORM	INTENSITY
1 yr	3.01 in/hr
2 yr	3.62 in/hr
5 yr	4.35 in/hr
10 yr	4.89 in/hr
25 yr	5.57 in/hr
50 yr	6.07 in/hr
100 yr	6.56 in/hr
PRE DEV PRE DEV Tc 10 MIN 3,500 SQ FT LAWN 0.08 Ac Cpre = 0.3	
Q 2YR = C*I*A Q 2YR = 0.087 CFS	
POST DEV POST DEV Tc 10 MIN 3,500 SQ FT ROOF/PVMT/FUTURE PATIO 0.08 Ac Cpre = 0.9	
Q 2YR = C*I*A Q 2YR = 0.261 CFS	
CRITICAL STORM = (HYD VOL 2YR POST - HYD VOL 2YR PRE)/HYD VOL 2YR PRE = XXX% THEREFORE CRITICAL STORM IS XX YR	
CRITICAL STORM = (199 CU FT - 66 CU FT)/66 CU FT = 201% THEREFORE CRITICAL STORM IS 25 YR	

**EROSION AND SEDIMENT CONTROL NOTES:**

- THE CONTRACTOR IS TO REFER TO THIS PLAN AND THE EAS PLAN, NOTES, AND DETAILS.
- THE SITE DEMOLITION AREA IS APPROXIMATELY 0.07 AC. ACTUAL DISTURBED AREA IS APPROXIMATELY 0.07 AC.
- THE CONTRACTOR IS TO INSTALL AND MAINTAIN THE E&S CONTROLS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL THE SITE IS FULLY STABILIZED.
- THE CONTRACTOR IS RESPONSIBLE TO REMOVE THE TEMPORARY E&S CONTROLS ONCE THE SITE IS FULLY STABILIZED.
- CONTRACTOR IS TO MAINTAIN A LOG DOCUMENTING GRADING AND STABILIZATION ACTIVITIES AS WELL AS AMENDMENTS TO THE SWP3.
- REFER TO LANDSCAPE PLANS FOR LIMITS OF LANDSCAPING, LAWN SEEDING, & PLANTING AREAS.
- U.G. DETENTION WATER QUALITY SYSTEM WILL CONSIST OF A 24\"/>

SWP3 LEGEND		BMP'S UTILIZED ON THIS PROJECT "X"
—SF—SF—(SF)	SILT FENCE	X
(IP)	STORM DRAIN INLET PROTECTION	
(CE)	CONSTRUCTION ENTRANCE	
(TS)	TEMPORARY SEEDING	X
(PS)	PERMANENT SEEDING	X
(DC)	DUST CONTROL	X
(CW)	CONCRETE WASH OUT AREA	X

ACCEPTABLE EROSION CONTROL TIMETABLE (2015)													
	F	M	A	M	J	J	A	S	O	N	D	J	J
TEMP SEEDING	X	X	X	X	X	X	X	X	X	X	X	X	X
PERM SEEDING				X	X		X	X					
LANDSCAPING							X	X	X				
MULCHING			X	X	X	X	X	X	X	X	X	X	X
MAINTENANCE	X	X	X	X	X	X	X	X	X	X	X	X	X

SCHEDULE OF MAJOR CONSTRUCTION OPERATIONS (2015)													
	F	M	A	M	J	J	A	S	O	N	D	J	J
CLEARING													
ROUGH GRADING	X	X											
TEMP. EROSION CONTROL	X	X	X	X	X	X	X	X	X	X	X	X	X
UTILITIES			X	X	X								
FINE GRADING (2015)							X						
PAVING (2015)							X	X					
TOPSOIL & SEEDING (2015)							X	X					
LANDSCAPE (2015)							X	X	X				
TEMP. EROSION CONTROL MAINTENANCE (2015)	X	X	X	X	X	X	X	X	X	X	X	X	X



0 5' 10' 20'  
SCALE: 1" = 10'

EXISTING CONDITIONS  
(30" x 42" FULL SIZED DWG ONLY)





