

BOOTH RESIDENCE

PROJECT INFORMATION

HUDSON SUMMIT COUNTY COUNTY **PARCEL NO** 3201937

DISTRICT 3 | OUTER VILLAGE RESIDENTIAL NEIGHBORHOOD

AN ADDITION ON THE REAR OF AN EXISTING SINGLE FAMILY

RESIDENCE

GREAT ROOM 2,250 SF 290 SF

SCREEN PORCH

PROJECT TEAM

AREA

ARCHITECT:

HARA ARCHITECTS HUDSON, OHIO P: 419.410.6241

CONTACT: NATE BAILEY

DRAWING INDEX

G100	COVER SHEET	02-05-2024
A101	FLOOR PLANS & NOTES	02-05-2024
A103	ROOF PLAN & ELEVATIONS	02-05-2024

ABBREVIATIONS

		HC	HOLLOW CORE
V	ABOVE	HDWR.	HARDWARE
`	AIR CONDITIONING	HM	HOLLOW METAL
,	ABOVE FINISHED FLOOR		
ı T	ALTERNATE	HVAC	HEATING, VENTILATION, ANI
1	AUTHORITY HAVING JURISDICTION	COND.	
J		HT	HEIGHT
UM	ALUMINUM		
PROX.	APPROXIMATELY	INSUL	INSULATION
CH	ARCHITECTURAL		
PH	ASPHALT	JST	JOIST
	BOARD	LAM	LAMINATED
DG	BUILDING	LF.	LINEAR FOOT
TT	BOTTOM OF	- i	2111271111 001
G	BEARING	MAS	MASONRY
TT	BOTTOM	MATL	MATERIAL
W	BETWEEN	MAX.	MAXIMUM
	CUBIC FEET	MECH	MECHANICAL
	CAST IN PLACE	MFG.	MANUFACTURER
	CONTROL JOINT	MIN.	MINIMUM
_		MISC	MISCELLANEOUS
G	CEILING	MO	MASONRY OPENING
R	CLEAR	MTD	MOUNTED
IU	CONCRETE MASONRY UNIT	MTL	METAL
NC	CONCRETE		
) -	CLEAN OUT	NOM	NOMINAL
NT	CONTINUOUS	NTS	NOT TO SCALE
L	DOUBLE	0/	OVER
PT	DEPARTMENT	0.C.	ON CENTER
4	DIAMETER	OPN	OPENING
Л	DIMENSION	OFN	OI LIVING
·· 	DOWN	PREFAB	PREFABRICATED
	DOOR	PLYWD	PLYWOOD
•	DOWNSPOUT		PLASTIC LAMINATE
1	DETAIL	P. LAM PR	
/G	DRAWING		PAIR
10	DRAWING	PSI	POUNDS PER SQUARE INCH
	EACH	REF	REFERENCE
EC	ELECTRICAL	RM	ROOM
!	EQUAL	RO	ROUGH OPENING
Н	EXHAUST	REQ	REQUIRED
IST	EXISTING		
P	EXPOSED	SC	SOLID CORE
T	EXTERIOR	SECT	SECTION
	EXTENSIT	SIM.	SIMILAR
	FLOOR DRAIN	STRUC	STRUCTURAL
NI			
N	FOUNDATION	TYP	TYPICAL
1 .	FINISHED		
R	FLOOR	UNO	UNLESS NOTED OTHERWISE
	FOOT	UNO	GIVELOS INOTED OTTERWISE
G	FOOTING	W/	WITH
R	FURRING		
		WWF	WELDED WIRE FABRIC

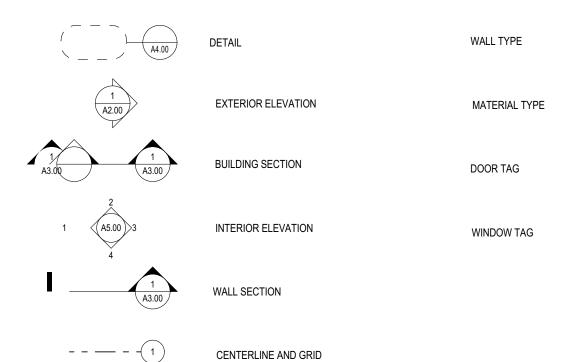
GALVANIZED GAUGE

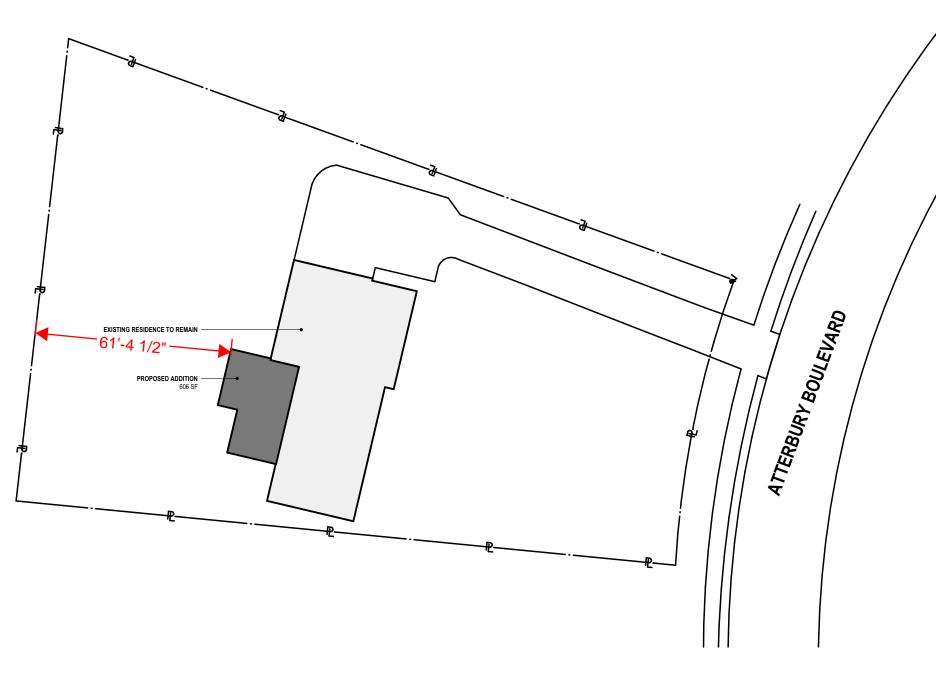
GYPSUM BOARD GYPSUM

GYP. BD.

GENERAL CONTRACTOR

DRAWING SYMBOLS





PROJECT GENERAL NOTES

THE CONTRACTOR WILL FURNISH ALL LABOR, MATERIAL, EQUIPMENT, PERMITS, TAXES, AND INSURANCE NECESSARY TO COMPLETE THE WORK INDICATED AND/ OR IMPLIED IN THE CONSTRUCTION DOCUMENTS UNLESS NOTED OTHERWISE AND WILL COORDINATE THE WORK RESPONSIBILITIES OF ALL SUBCONTRACTORS. ALL LABOR AND MATERIALS TO CARRY OUT FULLY THE INTENTIONS OF THE PLANS AND SPECIFICATIONS ARE PART OF THE CONTRACT, WHETHER OR NOT SPECIFICALLY DOCUMENTED.

ALL WORK WILL CONFORM TO THE CURRENT OHIO BUILDING, MECHANICAL & PLUMBING CODES, AS WELL AS THE CURRENT NATIONAL BOARD OF FIRE UNDERWRITERS AND ALL OTHER APPLICABLE CITY CODES, LOCAL LAWS, AND AUTHORITIES HAVING JURISDICTION. CODE STANDARDS AND PUBLICATIONS OF PRIVATE AND PUBLIC BODIES MENTIONED WITHIN THE SPECIFICATIONS OR ON THE DRAWINGS, WILL BE CONSIDERED TO BE THOSE IN FORCE AT THE TIME OF THE CONTRACT

THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONTROLLED INSPECTIONS AND ANY TECHNICAL TESTING REQUIRED FOR CONTROLLED INSPECTIONS AS STIPULATED BY ALL APPLICABLE CODES.

ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT WILL BE NEW AND FREE OF DEFECTS AND WILL BE SUPPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED, AND CONDITIONED AS DIRECTED BY THE RESPECTIVE MANUFACTURERS, UNLESS SPECIFIED OTHERWISE.

THE CONTRACTOR WILL NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS, CONFLICTS, OR AMBIGUITIES IN AND BETWEEN THE DRAWINGS AND THE SPECIFICATIONS PRIOR TO PROCEEDING WITH THE WORK. IF SUCH NOTICE IS NOT FURNISHED TO THE ARCHITECT, THE CONTRACTOR WILL BE DEEMED TO HAVE INSPECTED THE DRAWINGS AND SPECIFICATIONS AND TO HAVE FOUND THEM IN PROPER FORM FOR EXECUTION.

THE CONTRACTOR REPRESENTS THAT HE HAS HAD ADEQUATE ACCESS TO THE JOB SITE AND BUILDING AREA IN WHICH THE WORK IS TO BE PERFORMED, THAT HE HAS SATISFIED HIMSELF AT TO THE NATURE AND LOCATION OF WORK, INCLUDING ANY OBSTRUCTIONS, SCOPE OF WORK, ACTUAL LEVELS, THE EQUIPMENT AND FACILITIES NEEDED PRELIMINARY TO AND DURING THE EXECUTION OF THE WORK AND ALL OTHER MATTERS, WHICH CAN IN ANY WAY AFFECT THE WORK OR THE COST THEREOF UNDER THIS CONTRACT, AND THAT HE HAS STUDIED THE CONTRACT DOCUMENTS AND ALL OTHER DOCUMENTS PERTAINING TO THE INSTALLATION OF OTHER TRADES WHICH MAY INFLUENCE HIS WORK.

THE CONTRACTOR WILL ASSUME FULL RESPONSIBILITY, INCLUDING RESPONSIBILITY FOR ALL RELATED COSTS FOR ANY AND ALL WORK DONE WITHOUT THE APPROVAL OF THE ARCHITECT IF SUCH WORK IS IN CONFLICT WITH THE CONTRACT,

THE OWNER WILL ESTABLISH THE LIMITS OF THE CONSTRUCTION SITE IN ADDITION TO ANY CONTRACT LIMIT LINES SHOWN IN THE DRAWINGS. THE CONTRACTOR WILL CONTINUE HIS OPERATIONS WITHIN THESE LIMITS, UNLESS UPON WRITTEN REQUEST AND REPLY, A VARIANCE IS AGREED TO BY THE OWNER. THE CONTRACTOR WILL BE RESPONSIBLE FOR TRESPASS ON AND/ OR DAMAGE TO OTHER PROPERTY BY ANY OF HIS EMPLOYEES OR HIS SUBCONTRACTOR'S

THE CONTRACTOR WILL BE RESPONSIBLE FOR THE SAFE WORKING CONDITIONS AT THE SITE. THE ARCHITECT AND OWNER WILL NOT BE DEEMED TO HAVE ANY RESPONSIBILITY OR LIABILITY IN CONNECTION HEREWITH.

CONSTRUCTION OPERATIONS WILL NOT INVOLVE INTERRUPTION OF HEATING, WATER, ELECTRICAL, OR OTHER SERVICES TO ANY PORTION OF THE BUILDING OUTSIDE THE LIMITS OF THE CONSTRUCTION SITE DESCRIBED IN NOTE 9.

THE CONTRACTOR WILL BE RESPONSIBLE FOR CORRECTING ANY DEFICIENCIES CUASED BY DEFECTIVE OR ILL TIMED WORK AT NO ADDITIONAL COST TO THE OWNER.

NO SUBSTITUTIONS ARE PERMITTED EXCEPT WHERE THE TERM "APPROVED EQUAL" APPEARS. ALL SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE ARCHITECT. THE CONTRACTOR IS TO SUBMIT SAMPLES OR CATALOG CUTS OF ALL VISIBLE MATERIALS AND EQUIPMENT FOR THE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.

HARA ARCHITECTS

PROJECT TEAM:

HARA ARCHITECTS CIVIL ENGINEER STRUCTURAL ENGINEER

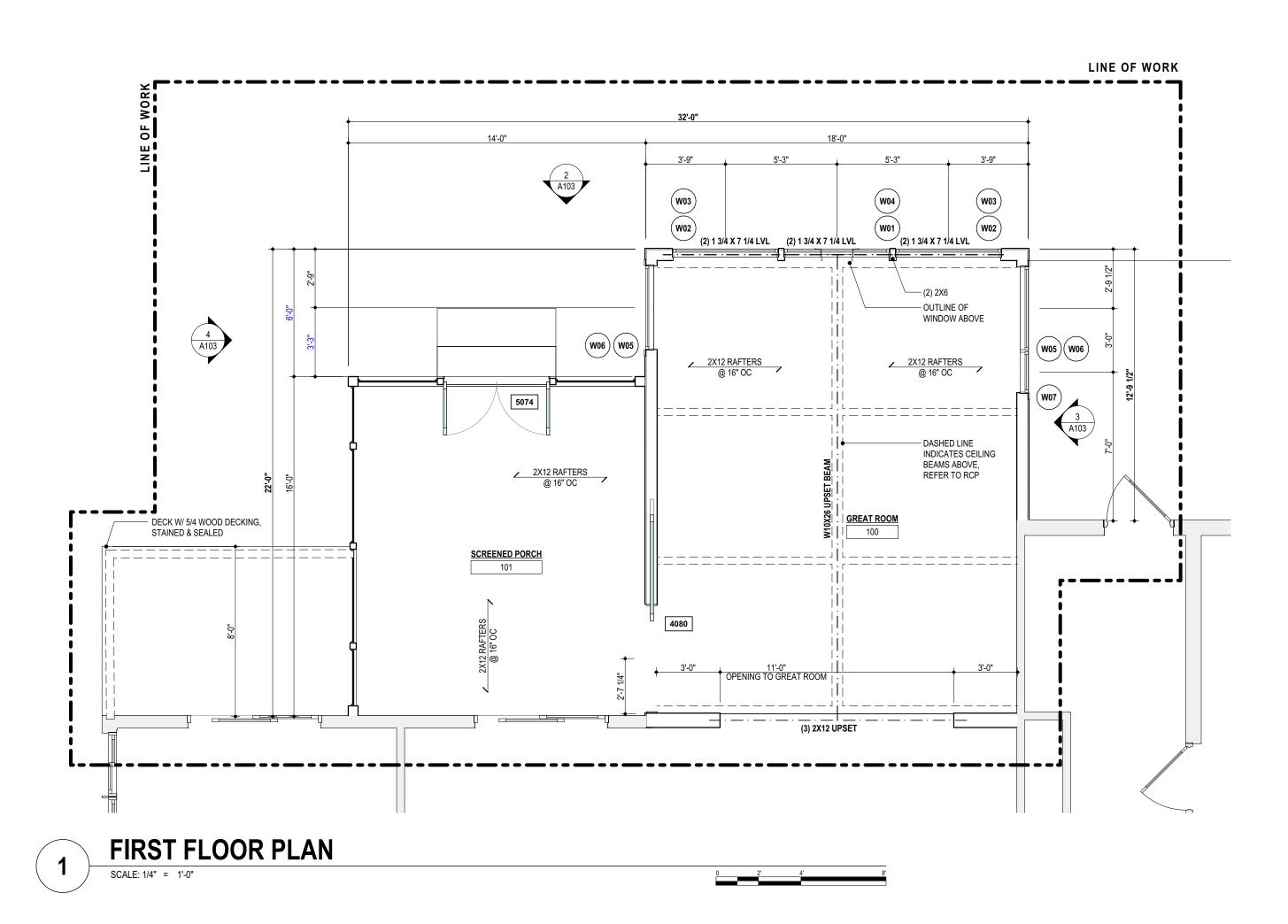
INTERIOR DESIGNER LANDSCAPE ARCHITECT

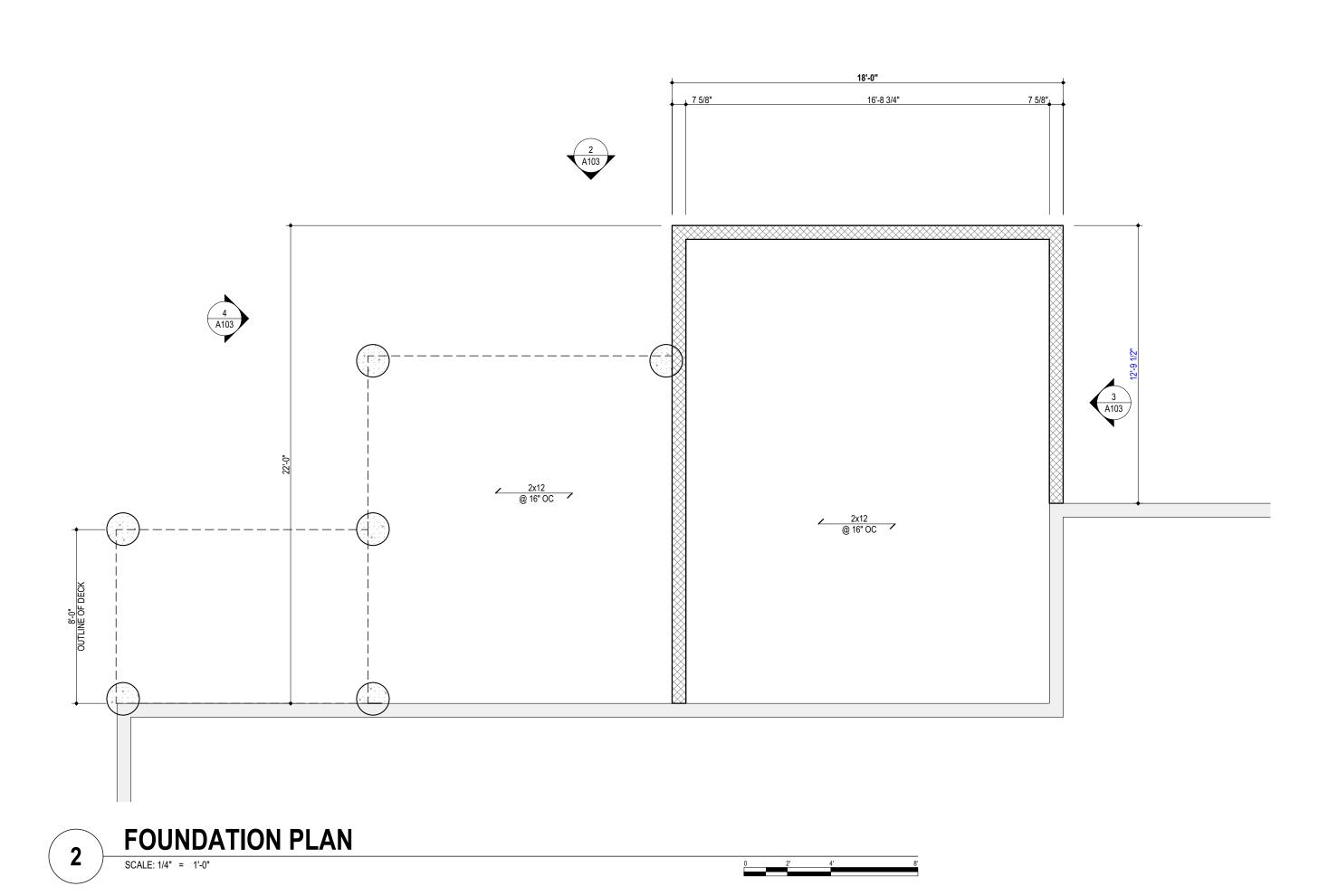
PROGRESS

NOT FOR CONSTRUCTION

2/5/2024

COVER SHEET







FLOOR PLAN GENERAL NOTES

VERIFY DIMENSIONS AND CONDITIONS IN FIELD. WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON DRAWINGS CONFLICT WITH ACTUAL, CONTACT ARCHITECT FOR CLARIFICATION

PROVIDE SOUND DEADENING INSULATION AROUND BEDROOMS, BATHROOMS, MECHANICAL ROOMS, AND PLUMBING STACKS

BLOCK WEBS SOLID AT BEARING WALL LOCATIONS ABOVE

CONTRACTOR TO EXTEND ALL POSTS DOWN TO SOUND FOUNDATION, INSTALL FULL DEPTH SOLID BLOCKING AT ALL POINT LOAD LOCATIONS.

ALL FOOTINGS TO EXTEND DOWN TO FROST LEVEL MINIMUM.

COORDINATE EXACT LOCATIONS OF FLOOR DRAINS WITH MECHANICAL CONTRACTOR.

PROVIDE 5/8" GYP. BOARD TYPE "X" ON GARAGE CEILINGS.

ALL INTERIOR DOORS TO BE 1 7/8" SOLID CORE WOOD DOORS. COORDINATE WITH FINISH PLANS FOR FINAL FINISH SELECTIONS

ALL INTERIOR TRIM TO BE POPLAR OR APPROVED EQUAL. COORDINATE WITH INTERIOR ELEVATIONS AND MILLWORK DRAWINGS FOR SELECT TYPES AND PROFILES.

ALL MILLWORK TO BE CUSTOM PER DRAWINGS.

REFER TO CONSULTANT DRAWINGS IF APPLICABLE FOR COORDINATION OF WORK BETWEEN TRADES

FLOOR TRUSS CRITERIA

TCL= 30 PSF TCDL= 10 PSF BCDL= 10 PSF NET UPLIFT= 15 PSF

19/32" APA RATED EXPOSURE 1 OSB

ROOF TRUSS CRITERIA TCLL= 25 PSF TCDL= 10 PSF BCDL= 10 PSF

NET UPLIFT= 10 PSF ATTIC LL= 40 PSF Δ TTL < L/360

USE (2) SIMPSON SWDC15600 SCREWS AT TRUSS BRG

WOOD HEADERS (U.N.O.) OPENING HEADERS

OPENING	HÈADERS	NON BEARING	BEARING
UP TO 4'-0"	(2) 2 X 8	1 JACK, 1 KING	1 JACK, 1 KING
4'-0" - 6'-0"	(2) 2 X 10	1 JACK, 1 KING	2 JACK, 1 KING
6'-1" - 8'-0"	(2) 2 X 12	1 JACK, 1 KING	2 JACK, 1 KIN
8'-1" - 10'-0"	(2) 11 1/4 LVL	2 JACK, 1 KING	3 JACK, 1 KIN

INDICATES WEB STIFFENING BELOW BEARING WALL ABOVE

INDICATES LOCATION OF

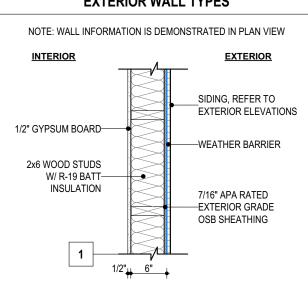
INDICATES AREA OF ADDITIONAL FRAMING REQUIRED

INDICATES POINT LOAD FROM ABOVE

BEARING WALL ABOVE

INDICATES BEARING WALL

EXTERIOR WALL TYPES



haraarchitects.com

PROJECT TEAM:

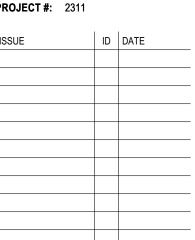
ARCHITECT HARA ARCHITECTS

CIVIL ENGINEER

STRUCTURAL ENGINEER

INTERIOR DESIGNER LANDSCAPE ARCHITECT

ВООТН



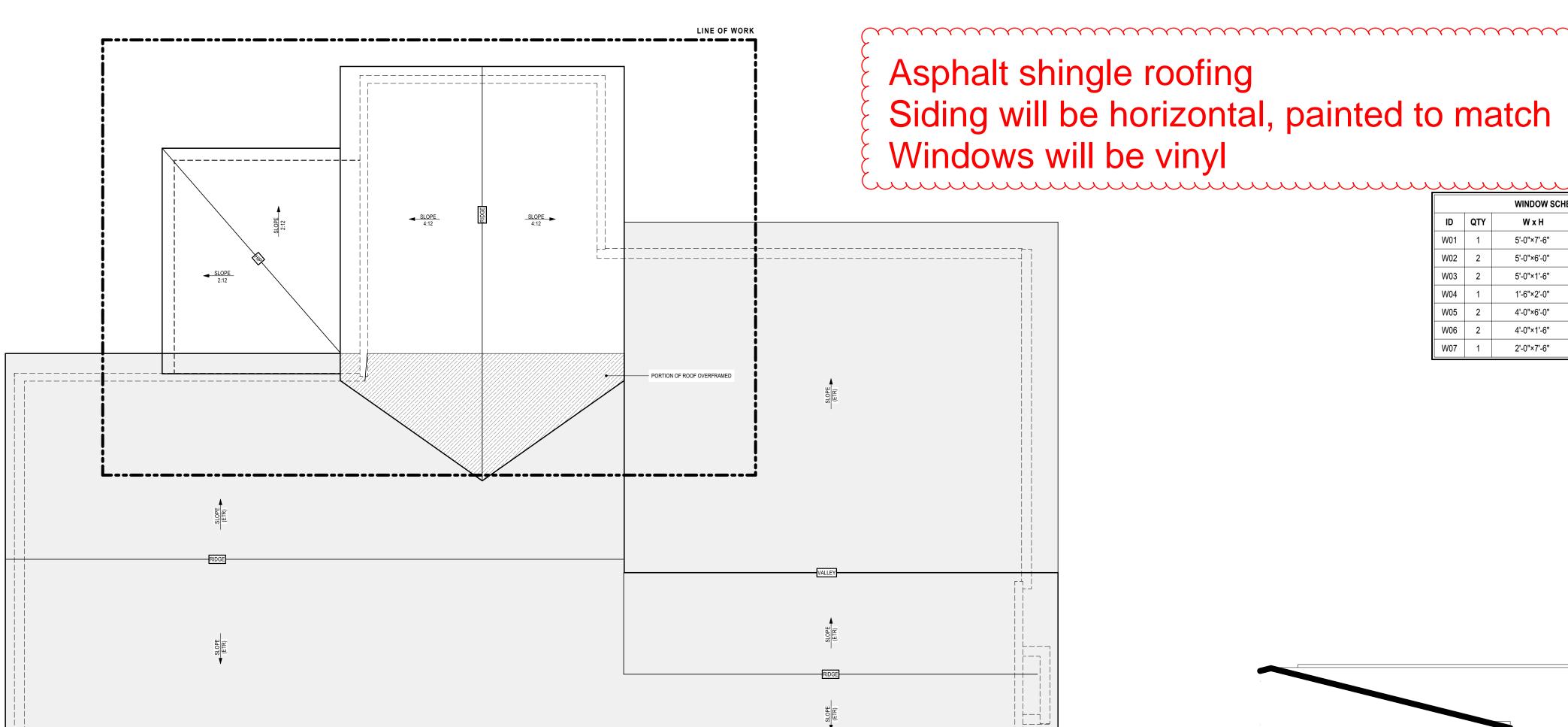
PROGRESS

NOT FOR CONSTRUCTION

2/5/2024

FLOOR PLANS & NOTES

© 2024 HARA ARCHITECTS LLC



EXISTING RESIDENCE BEYOND —

WEST ELEVATION (REAR OF HOUSE)

SCALE: 1/4" = 1'-0"

Asphalt shingle roofing
Siding will be horizontal, painted to match
Windows will be vinyl

BEARING ELEV. 7'-6" AFF



haraarchitects.com

PROJECT TEAM:

HARA ARCHITECTS

STRUCTURAL ENGINEER

INTERIOR DESIGNER

LANDSCAPE ARCHITECT

CIVIL ENGINEER

EXTERIOR ELEVATION GENERAL NOTES ROOF SOFFITS TO BE AC PLYWOOD WITH A CONTINUOUS LINEAR VENT UNLESS

WINDOW SCHEDULE

WxH

5'-0"×7'-6"

5'-0"×6'-0"

5'-0"×1'-6"

1'-6"×2'-0"

4'-0"×6'-0"

4'-0"×1'-6"

2'-0"×7'-6"

ID QTY

W02 2

W03 2

ALL FIBER CEMENT EXTERIOR TRIM TO BE AZEK OR BORAL, PAINTED, OR APPROVED EQUAL. ALL EXPOSED WOOD ELEMENTS AND TONGUE AND GROOVE CEILINGS IS TO BE DOUG FIR, STAINED AND SEALED. COORDINATE FINAL COLOR WITH ARCHITECT

ALL ROOF PENETRATIONS TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLTION TO ENSURE AESTHETIC EXPECTATIONS ARE MAINTAINED. GUTTER PROFILES SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ORDERING SAFETY GLAZING TO BE IN ACCORDANCE WITH THE 2019 RESIDENTIAL CODE OF OHIO (SECTION R308)

BEDROOM EGRESS WINDOWS TO COMPLY WITH THE 2019 RESIDENTIAL CODE OF

ROOF PLAN GENERAL NOTES

OVERHANG DIMENSIONS ARE NOTED FROM THE EXTERIOR FACE OF SHEATHING TO THE EXTERIOR FACE OF THE 1X FASCIA BOARD ALL BEARING ELEVATIONS NOTED ARE FROM THE INSIDE FACE OF THE 2X OVERFRAMING AND CRICKETS TO BE CONSTRUCTED OF A MINIMUM 2 X 8

ALL ROOF PENETRATIONS TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLTION TO ENSURE

AESTHETIC EXPECTATIONS ARE MAINTAINED. FLASH AND TERMINATE ALL PROOF PENETRATIONS PER MANUFACTURERS RECOMMENDATIONS U.N.O.

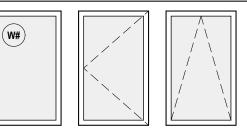
GUTTER PROFILES SHALL BE SUBMITTED FOR APPROVAL PRIOR TO

IN THE EVENT THAT A LIGHTNING PROTECTION SYSTEM IS TO BE PROVIDED.

PROVIDE A MINIMUM OF 36" ICE GUARD AT ALL EAVES. WRAP OVER FASCIA

G.C. TO COORDINATE WITH E.C. FOR ALL SYSTEM COMPONENTS.

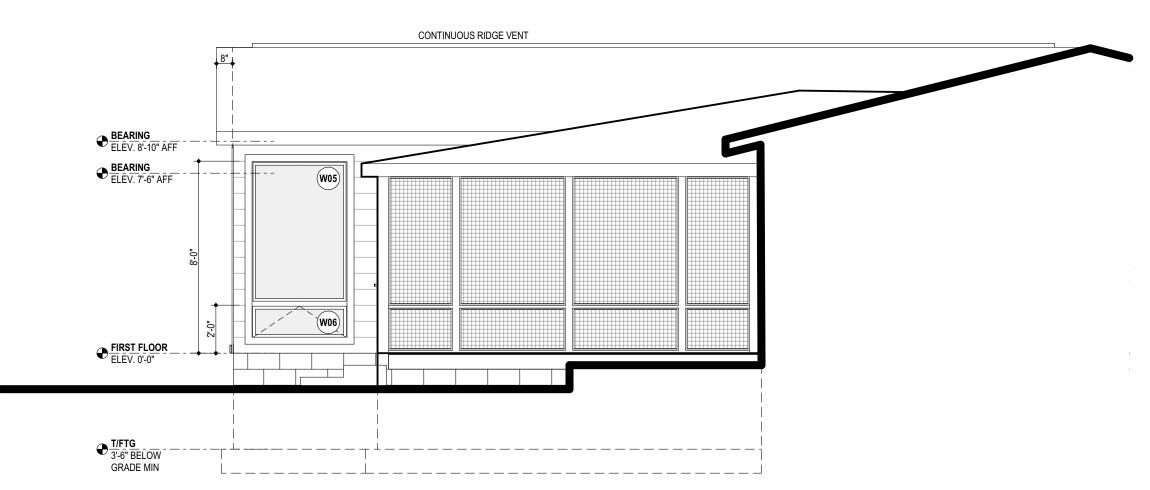
WINDOW LEGEND



CONTINUOUS RIDGE VENT

NORTH ELEVATION (SIDE OF HOUSE)

SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"

PROGRESS _____

NOT FOR CONSTRUCTION 2/5/2024

ROOF PLAN & ELEVATIONS











