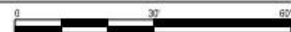


2

SITE PLAN

SCALE: 1" = 30'



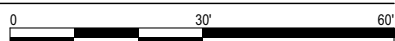


The architectural drawings include:

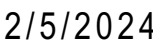
- DETAIL:** A circular detail labeled A4.00, shown in a dashed outline.
- EXTERIOR ELEVATION:** A diamond-shaped elevation labeled A2.00, with a small circle labeled 1 at the top.
- BUILDING SECTION:** A cross-section showing two gabled roof sections. The left section is labeled A3.00 and the right section is labeled A3.00. A small circle labeled 1 is at the top of the right section.
- INTERIOR ELEVATION:** A diamond-shaped elevation labeled A5.00, with a small circle labeled 1 at the top and a small circle labeled 3 at the bottom.
- WALL SECTION:** A cross-section showing a gabled roof section labeled A3.00, with a small circle labeled 1 at the top.
- CENTERLINE AND GRID:** A dashed line with a small circle labeled 1 at the end.

The site plan shows a property bounded by Atterbury Boulevard to the east. The existing residence is a light gray polygon. The proposed addition is a dark gray polygon attached to the left side of the existing residence. A red double-headed arrow indicates the width of the existing residence to remain, labeled as 61'-4 1/2". A label "PROPOSED ADDITION 800 SF" points to the dark gray area.

SCALE: 1" = 30'



NO SUBSTITUTIONS ARE PERMITTED EXCEPT WHERE THE TERM "APPROVED EQUAL" APPEARS. ALL SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE ARCHITECT. THE CONTRACTOR IS TO SUBMIT SAMPLES OR CATALOG CUTS OF ALL VISIBLE MATERIALS AND EQUIPMENT FOR THE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.



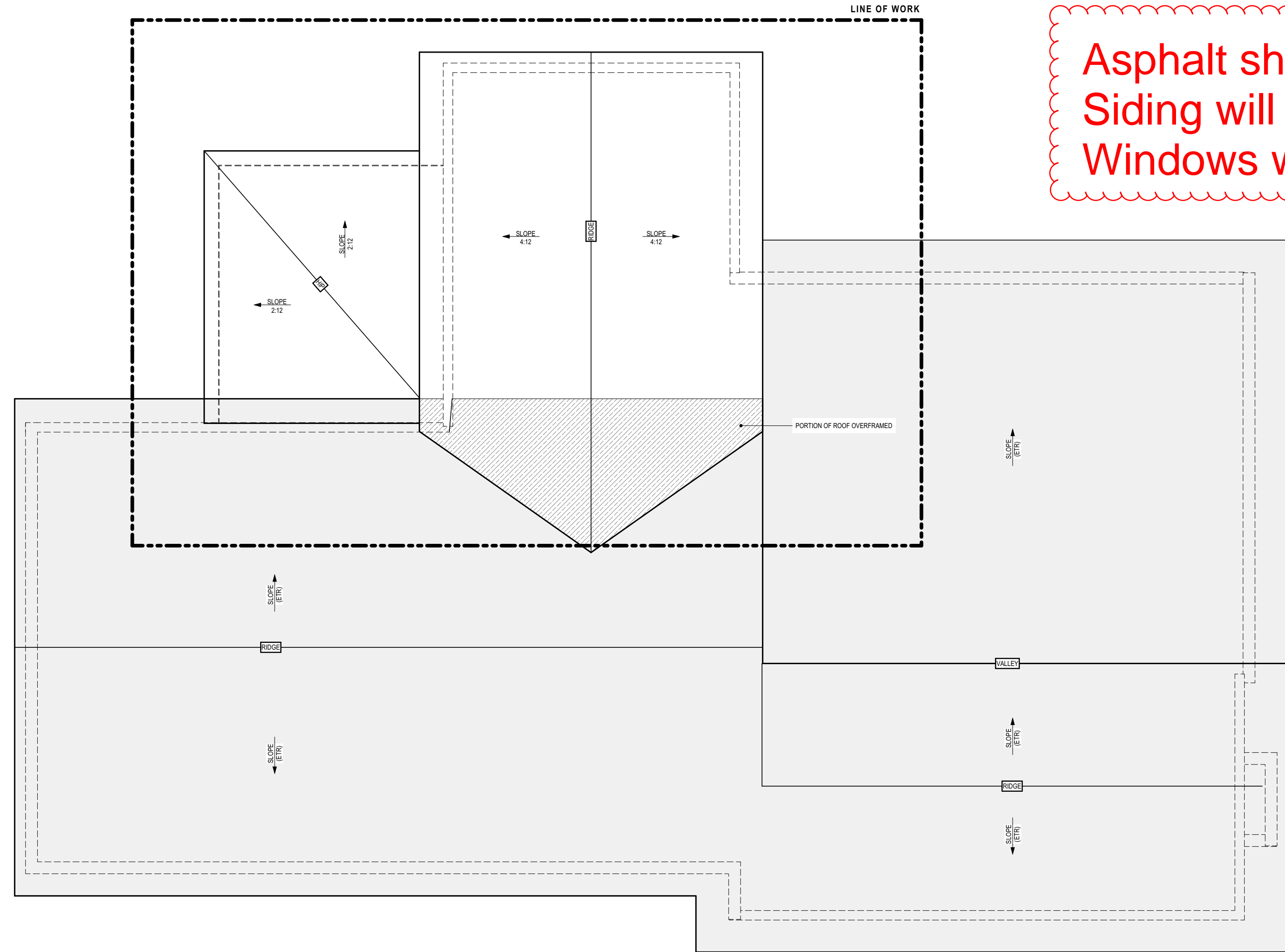
G100

 INDICATES BEARING WALL



| ISSUE | ID | DATE |
|-------|----|------|
| | | |
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| | | |
| | | |
| | | |
| | | |
| | | |

Asphalt shingle roofing
Siding will be horizontal, painted to match
Windows will be vinyl



| WINDOW SCHEDULE | | | |
|-----------------|-----|-------------|---------|
| ID | QTY | W x H | REMARKS |
| W01 | 1 | 5'-0"x7'-6" | |
| W02 | 2 | 5'-0"x6'-0" | |
| W03 | 2 | 5'-0"x1'-6" | |
| W04 | 1 | 1'-6"x2'-0" | |
| W05 | 2 | 4'-0"x6'-0" | |
| W06 | 2 | 4'-0"x1'-6" | |
| W07 | 1 | 2'-0"x7'-6" | |

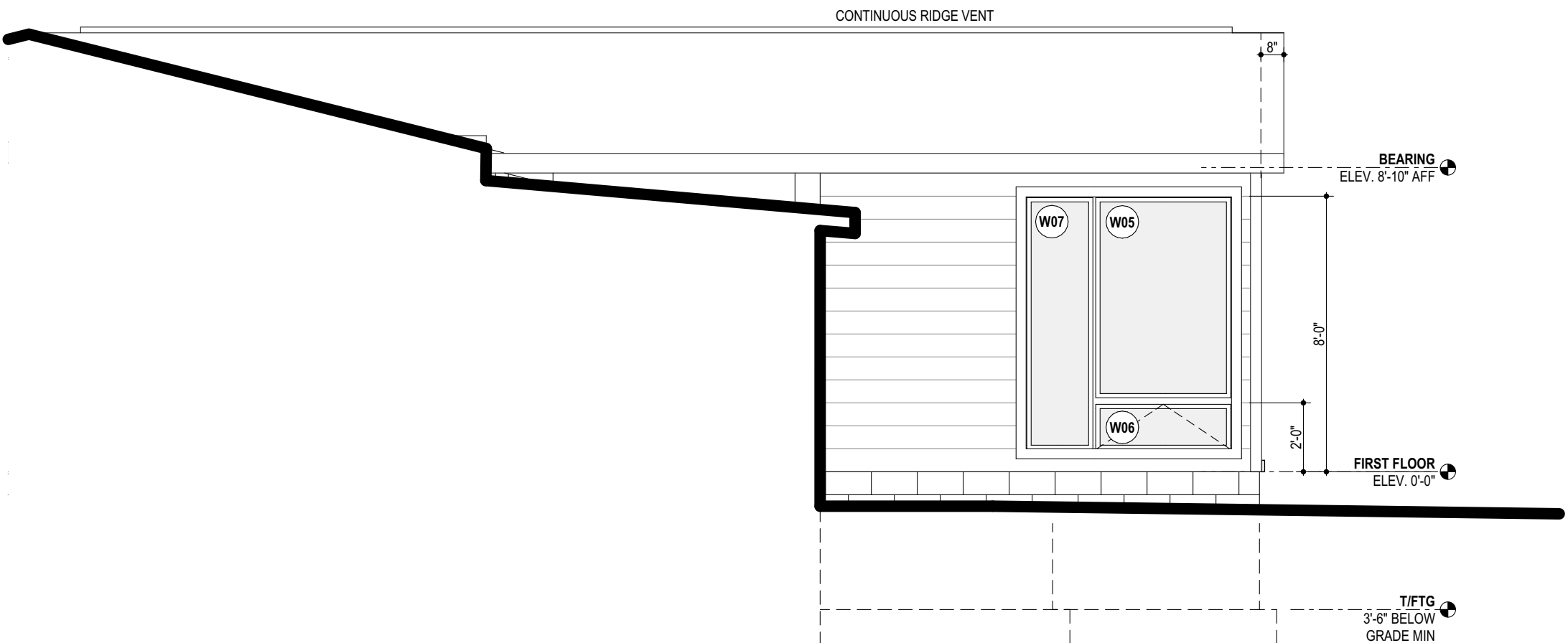
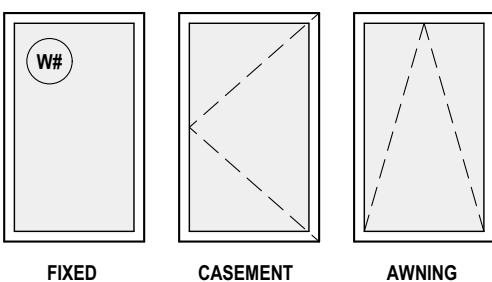
EXTERIOR ELEVATION GENERAL NOTES

ROOF SOFFITS TO BE AC PLYWOOD WITH A CONTINUOUS LINEAR VENT UNLESS NOTED OTHERWISE.
ALL FIBER CEMENT EXTERIOR TRIM TO BE AZEK OR BORAL, PAINTED, OR APPROVED EQUAL.
ALL EXPOSED WOOD ELEMENTS AND TONGUE AND GROOVE CEILINGS IS TO BE DOUG FIR, STAINED AND SEALED. COORDINATE FINAL COLOR WITH ARCHITECT AND OWNER.
ALL ROOF PENETRATIONS TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION TO ENSURE AESTHETIC EXPECTATIONS ARE MAINTAINED.
GUTTER PROFILES SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ORDERING.
SAFETY GLAZING TO BE IN ACCORDANCE WITH THE 2019 RESIDENTIAL CODE OF OHIO (SECTION R308).
BEDROOM EGRESS WINDOWS TO COMPLY WITH THE 2019 RESIDENTIAL CODE OF OHIO (SECTION R310).

ROOF PLAN GENERAL NOTES

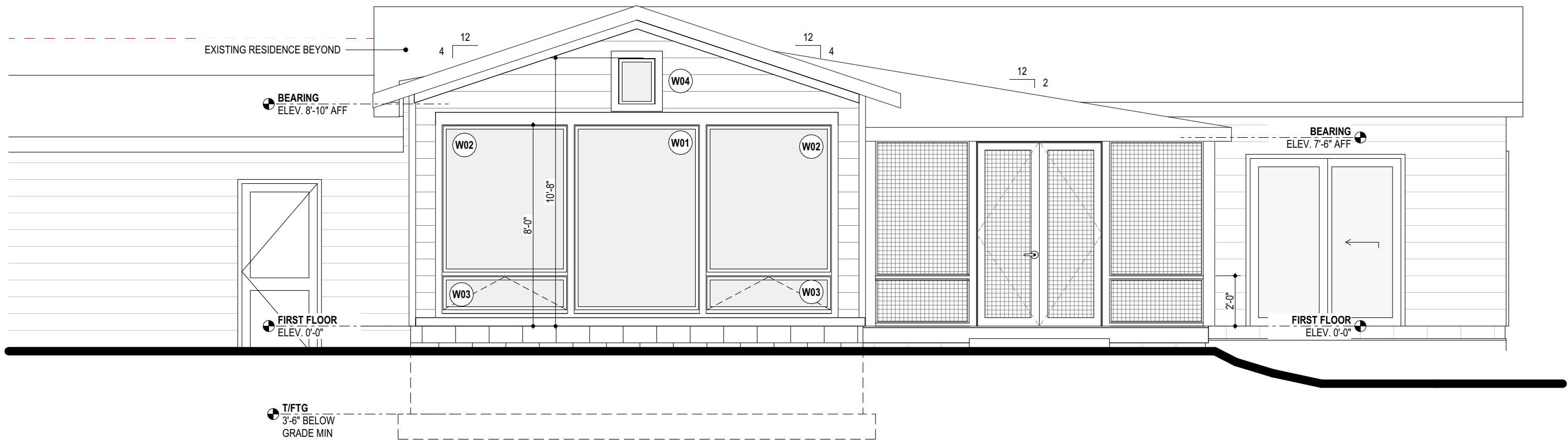
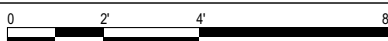
OVERHANG DIMENSIONS ARE NOTED FROM THE EXTERIOR FACE OF SHEATHING TO THE EXTERIOR FACE OF THE 1X FASCIA BOARD.
ALL BEARING ELEVATIONS NOTED ARE FROM THE INSIDE FACE OF THE 2X FRAMING U.N.O.
OVERFRAMING AND CRICKETS TO BE CONSTRUCTED OF A MINIMUM 2 X 8 FRAMING.
ALL ROOF PENETRATIONS TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION TO ENSURE AESTHETIC EXPECTATIONS ARE MAINTAINED.
FLASH AND TERMINATE ALL PROOF PENETRATIONS PER MANUFACTURERS RECOMMENDATIONS U.N.O.
IN THE EVENT THAT A LIGHTNING PROTECTION SYSTEM IS TO BE PROVIDED, G.C. TO COORDINATE WITH E.C. FOR ALL SYSTEM COMPONENTS.
GUTTER PROFILES SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ORDERING.
PROVIDE A MINIMUM OF 36" ICE GUARD AT ALL EAVES. WRAP OVER FASCIA AND UP VALLEY 8".

WINDOW LEGEND



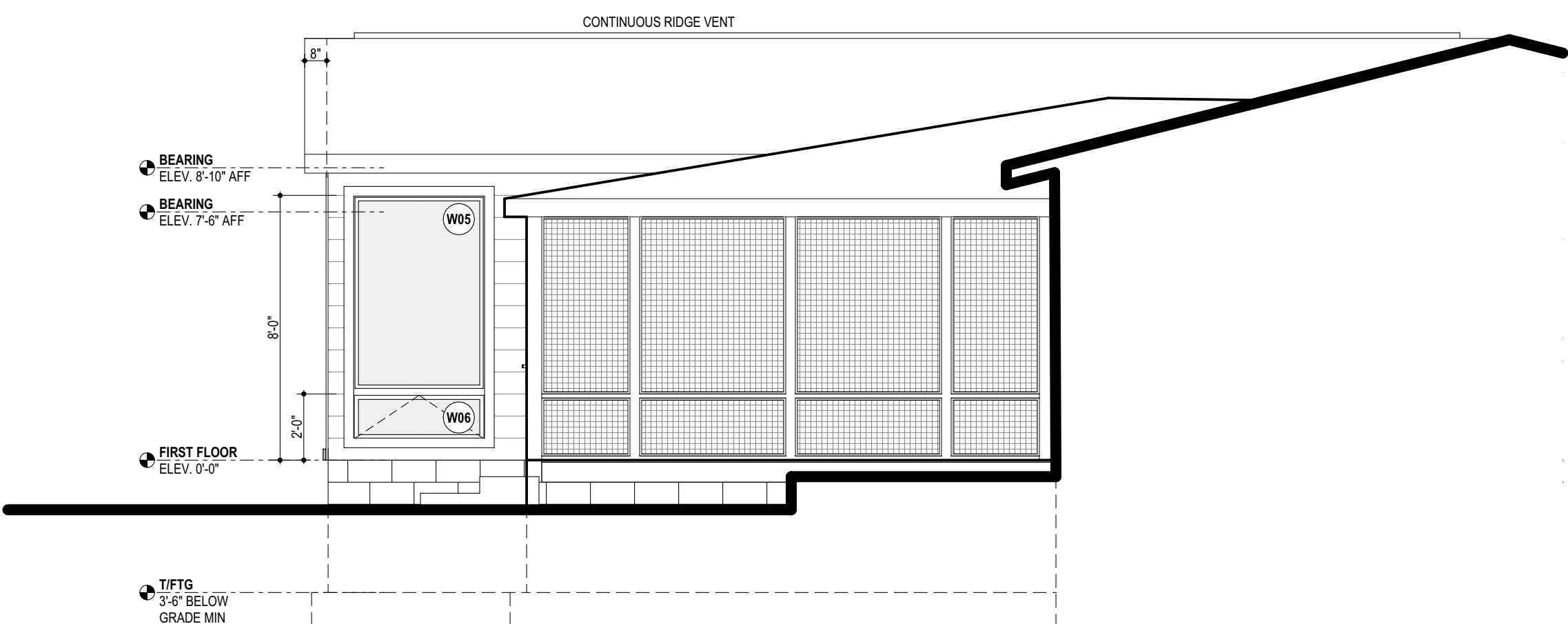
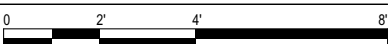
3 NORTH ELEVATION (SIDE OF HOUSE)

SCALE: 1/4" = 1'-0"



2 WEST ELEVATION (REAR OF HOUSE)

SCALE: 1/4" = 1'-0"



4 SOUTH ELEVATION (SIDE OF HOUSE)

SCALE: 1/4" = 1'-0"

