



VICINITY MAP

P.P.N. 30-06513  
 C. William Klausman, III, Trustee of the  
 C. William Klausman Revocable Trust  
 dated March 23, 2006.  
 Document # 55368855  
 September 19, 2006

S/L 336

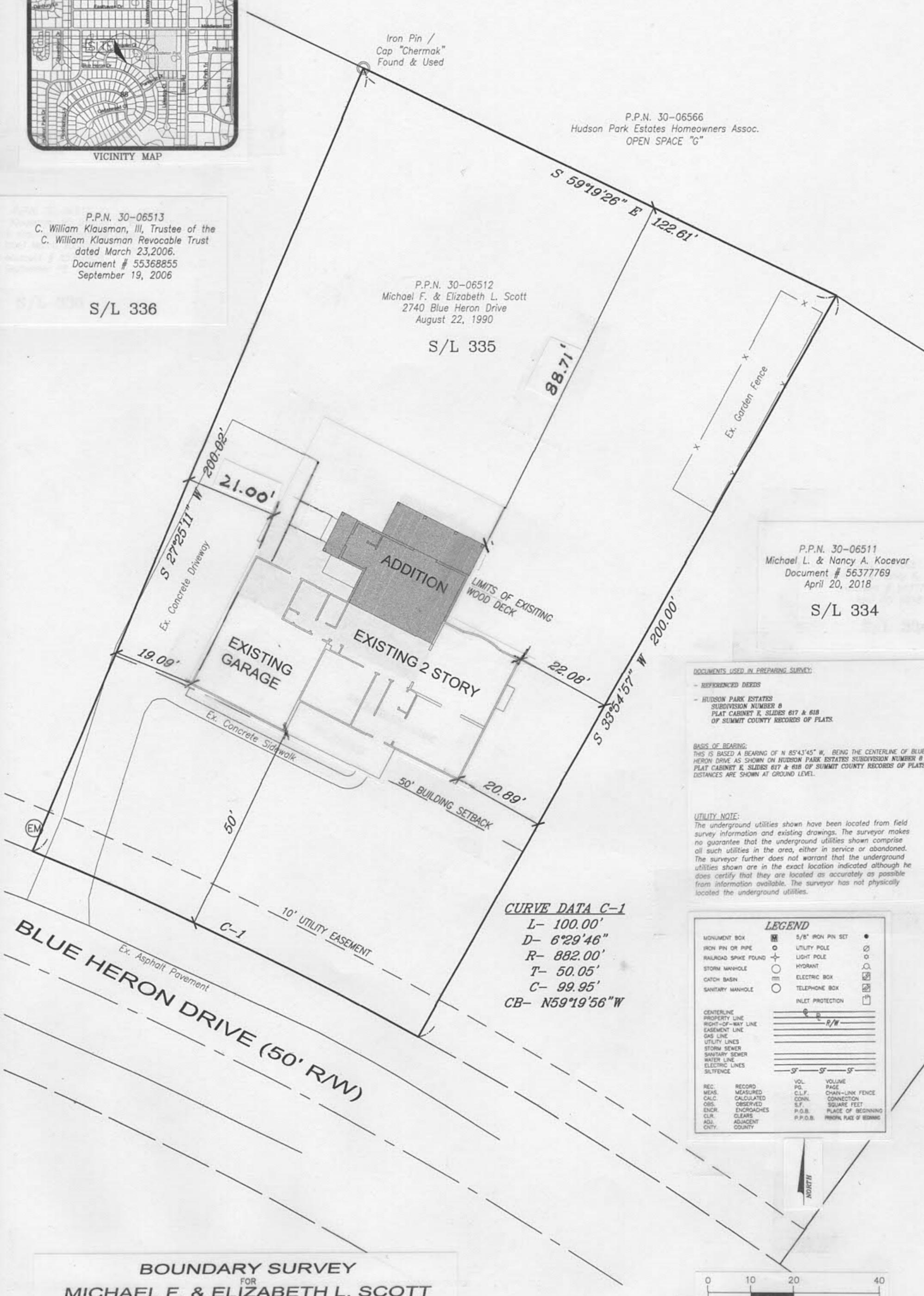
P.P.N. 30-06512  
 Michael F. & Elizabeth L. Scott  
 2740 Blue Heron Drive  
 August 22, 1990

S/L 335

P.P.N. 30-06566  
 Hudson Park Estates Homeowners Assoc.  
 OPEN SPACE "G"

P.P.N. 30-06511  
 Michael L. & Nancy A. Kocevar  
 Document # 56377769  
 April 20, 2018

S/L 334



DOCUMENTS USED IN PREPARING SURVEY:

- REFERENCED DEEDS
- HUDSON PARK ESTATES SUBDIVISION NUMBER 8 PLAT CABINET E, SLIDES 617 & 618 OF SUMMIT COUNTY RECORDS OF PLATS.

**BASIS OF BEARING:**  
 THIS IS BASED A BEARING OF N 85°43'45" W, BEING THE CENTERLINE OF BLUE HERON DRIVE AS SHOWN ON HUDSON PARK ESTATES SUBDIVISION NUMBER 8 PLAT CABINET E, SLIDES 617 & 618 OF SUMMIT COUNTY RECORDS OF PLATS. DISTANCES ARE SHOWN AT GROUND LEVEL.

**UTILITY NOTE:**  
 The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.

**CURVE DATA C-1**

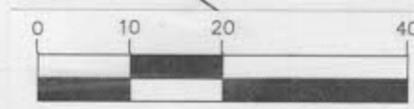
- L- 100.00'
- D- 6°29'46"
- R- 882.00'
- T- 50.05'
- C- 99.95'
- CB- N59°19'56"W

LEGEND	
MONUMENT BOX	5/8" IRON PIN SET
IRON PIN OR PIPE	UTILITY POLE
RAILROAD SPIKE FOUND	LIGHT POLE
STORM MANHOLE	HYDRANT
CATCH BASIN	ELECTRIC BOX
SANITARY MANHOLE	TELEPHONE BOX
	INLET PROTECTION
CENTERLINE	
PROPERTY LINE	
RIGHT-OF-WAY LINE	
EASEMENT LINE	
GAS LINE	
UTILITY LINES	
STORM SEWER	
SANITARY SEWER	
WATER LINE	
ELECTRIC LINES	
SILT FENCE	
REC. MEAS.	VOL. PAGE
PARK. MEASURED	P.L. CHAIN-LINK FENCE
CALC. CALCULATED	C.L.F. CONNECTION
CON. CONN.	S.F. SQUARE FEET
OB. OBSERVED	P.O.B. PLACE OF BEGINNING
ENCR. ENCROACHES	P.P.O.B. PRINCIPAL PLACE OF BEGINNING
CLR. CLEARS	
ADJ. ADJACENT	
CNTY. COUNTY	

BLUE HERON DRIVE (50' R/W)  
 Ex. Asphalt Pavement  
 10' UTILITY EASEMENT  
 50' BUILDING SETBACK  
 50' EXISTING GARAGE  
 EXISTING 2 STORY  
 ADDITION  
 LIMITS OF EXISTING WOOD DECK  
 22.08'  
 20.89'  
 19.09'  
 21.00'  
 200.02'  
 S 27°25'11" W  
 S 59°19'26" E  
 S 33°54'57" W  
 122.61'  
 88.71'
 200.00'
 C-1

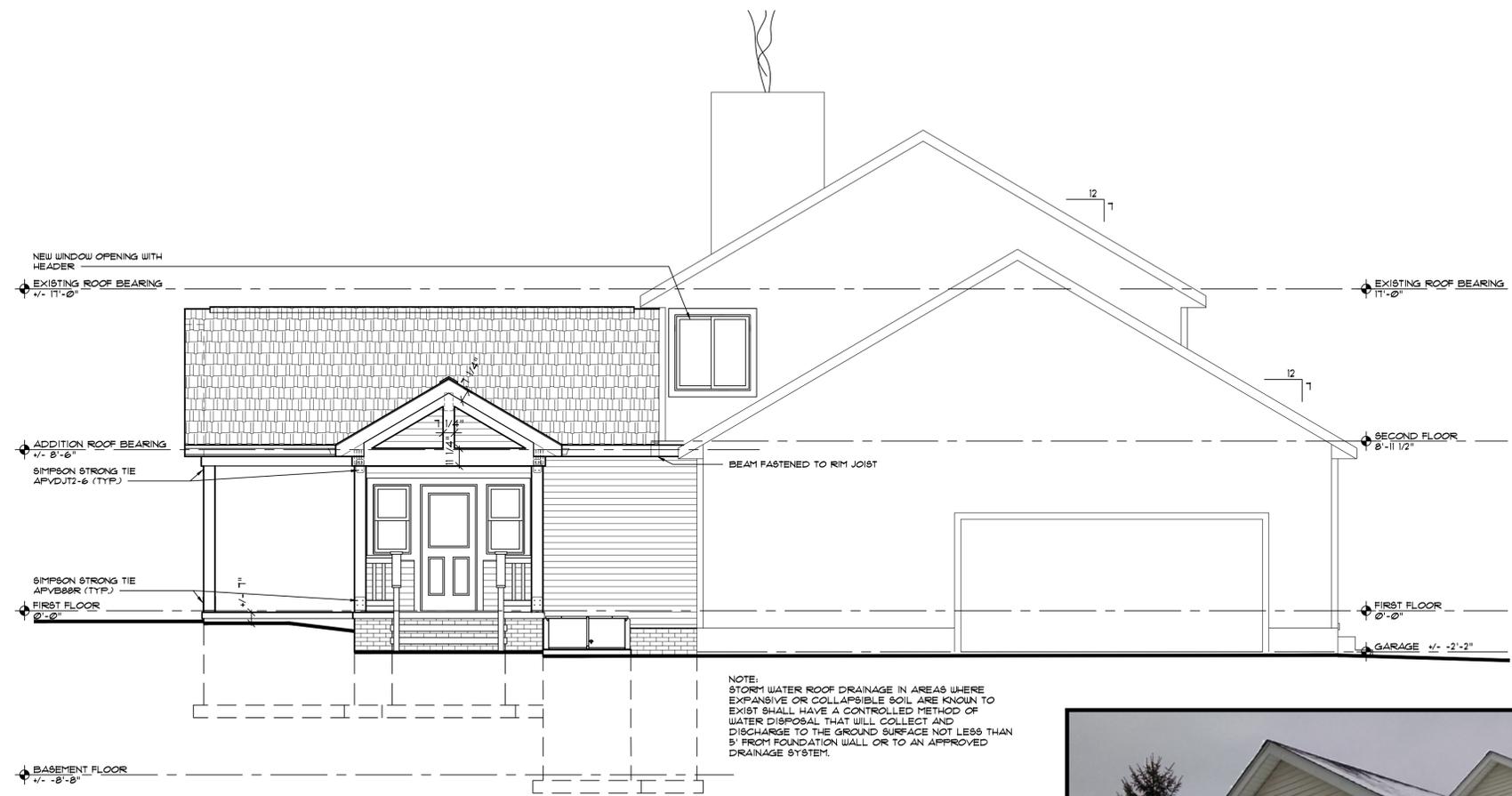
**BOUNDARY SURVEY**  
 FOR  
**MICHAEL F. & ELIZABETH L. SCOTT**

SITUATED IN THE CITY OF HUDSON, COUNTY OF SUMMIT, AND STATE OF OHIO, AND KNOWN AS BEING ALL OF SUBLOT 335 OF HUDSON PARK ESTATES SUBDIVISION NUMBER 8 AS RECORDED IN PLAT CABINET E, SLIDES 617 AND 618 OF SUMMIT COUNTY RECORDS OF PLATS.



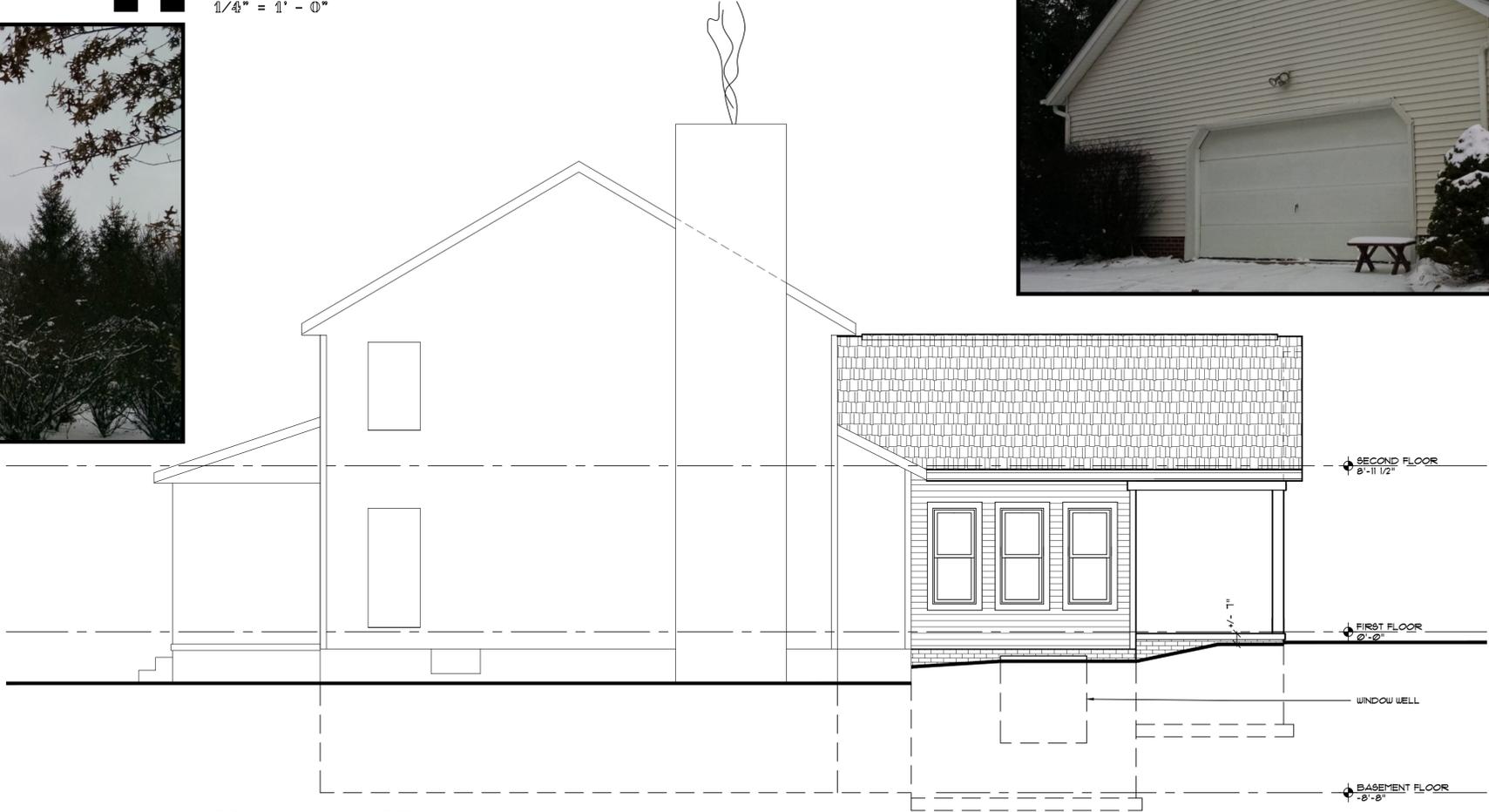
( IN FEET )  
 1 inch = 20 ft.





■ ■ LEFT ELEVATION  
 ■ ■ 1/4" = 1' - 0"

NOTE:  
 STORM WATER ROOF DRAINAGE IN AREAS WHERE EXPANSIVE OR COLLAPSIBLE SOIL ARE KNOWN TO EXIST SHALL HAVE A CONTROLLED METHOD OF WATER DISPOSAL THAT WILL COLLECT AND DISCHARGE TO THE GROUND SURFACE NOT LESS THAN 5' FROM FOUNDATION WALL OR TO AN APPROVED DRAINAGE SYSTEM.



■ ■ RIGHT ELEVATION  
 ■ ■ 1/4" = 1' - 0"

DESIGN AND DRAFTING BY KEVIN KOOGLE  
**K O O G L E D E S I G N**  
 RESIDENTIAL DESIGN & DEVELOPMENT  
 515 PARK AVENUE, KENT, OHIO 44240

RESIDENTIAL ADDITION FOR:  
**BETH AND MIKE SCOTT**  
 OWNER  
 2740 BLUE HERON DRIVE  
 HUBERT, OHIO 44256

CONSTRUCTION FROM THESE PLANS MUST BE IN STRICT COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL BUILDING CODES AND REGULATIONS. ALL DIMENSIONS AND SITE CONDITIONS MUST BE VERIFIED PRIOR TO COMMENCEMENT OF CONSTRUCTION. KEVIN KOOGLE (D.B.A. KOOGLE DESIGN) DOES NOT ASSUME ANY LIABILITY FOR ERRORS OR OMISSIONS ON THIS PLAN UNLESS ADVISED IN WRITING OF SUCH ERRORS OR OMISSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

ALL DRAWINGS APPEARING HEREIN CONSTITUTE THE ORIGINAL, AND UNPUBLISHED WORK OF KEVIN KOOGLE (D.B.A. KOOGLE DESIGN). THE SAME WORK MAY NOT BE SOLD, DISCLOSED, OR CONIGNED TO A THIRD PARTY.

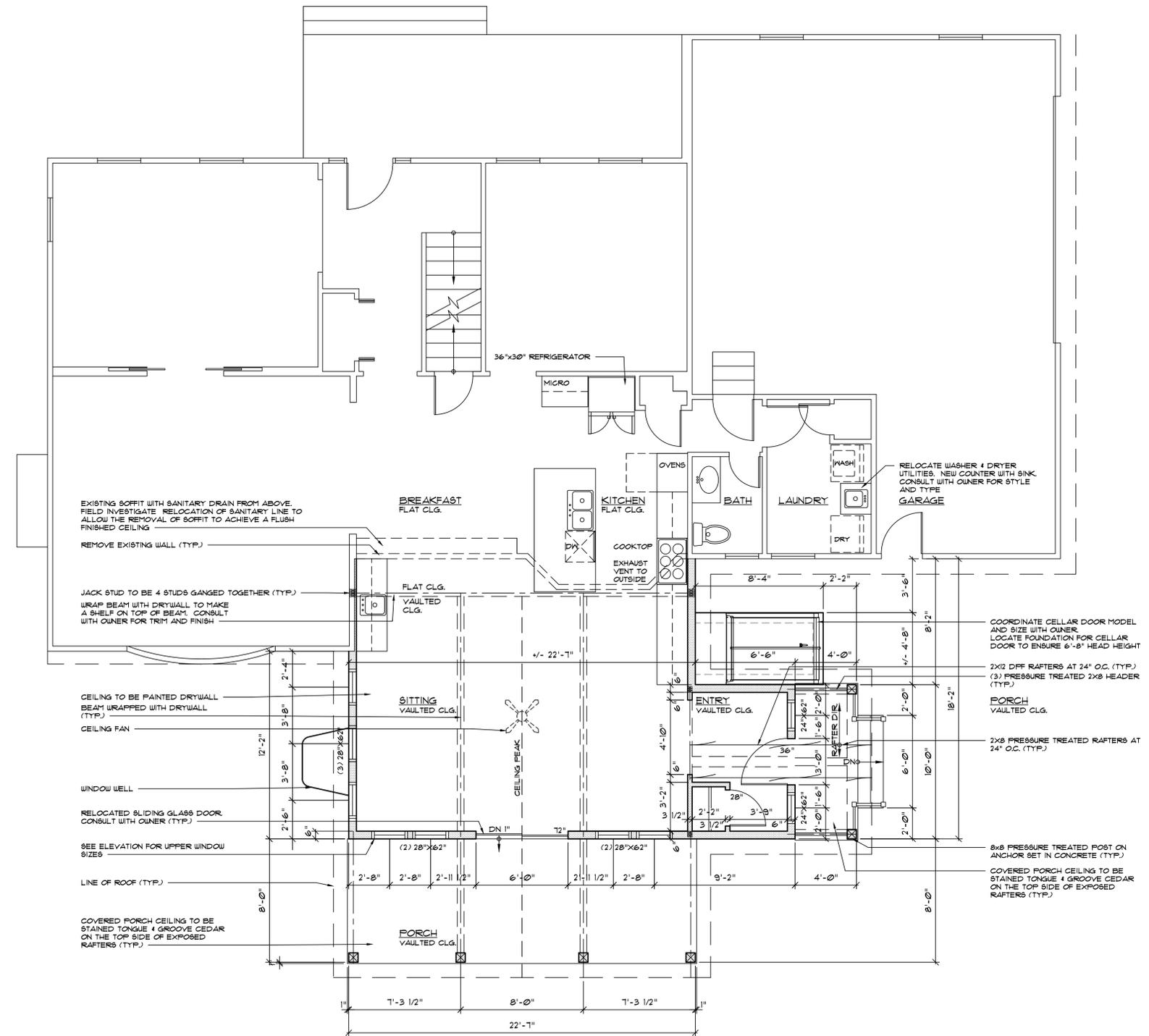
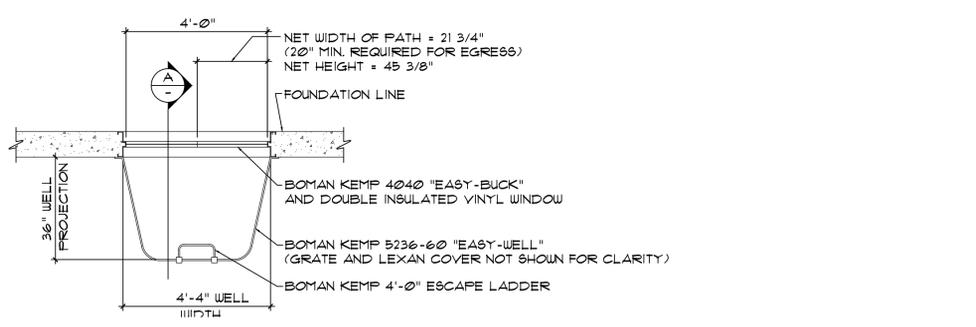
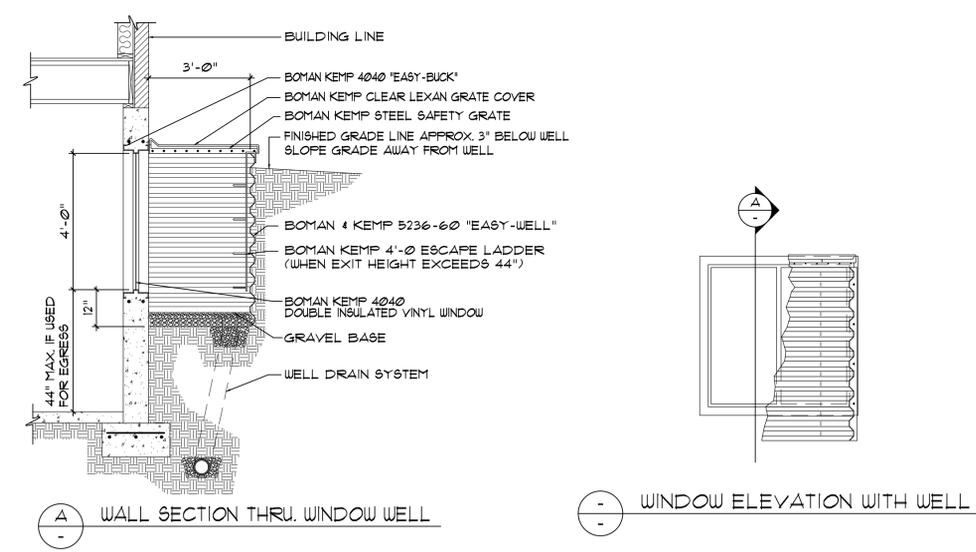
PROJECT NO.	20002
DATE	10/01
4/1/20	CONSTRUCTION DUGS



CONSTRUCTION FROM THESE PLANS MUST BE IN STRICT COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL BUILDING CODES AND REGULATIONS. ALL DIMENSIONS AND SITE CONDITIONS MUST BE VERIFIED PRIOR TO COMMENCEMENT OF CONSTRUCTION. KEVIN KOOGLE (DBA KOOGLE DESIGN) DOES NOT ASSUME ANY LIABILITY FOR ERRORS OR OMISSIONS ON THIS PLAN UNLESS ADVISED IN WRITING OF SUCH ERRORS OR OMISSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

ALL DRAWINGS APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KEVIN KOOGLE (DBA KOOGLE DESIGN). THE SAME WORK MAY NOT BE SOLD, DISCLOSED, OR CONFERRED TO A THIRD PARTY.

PROJECT NO.	20002
DATE	10/01
4/1/20	CONSTRUCTION DUGS
SHEET	
<b>A102</b>	
OF 5	
FIRST FLOOR PLAN	

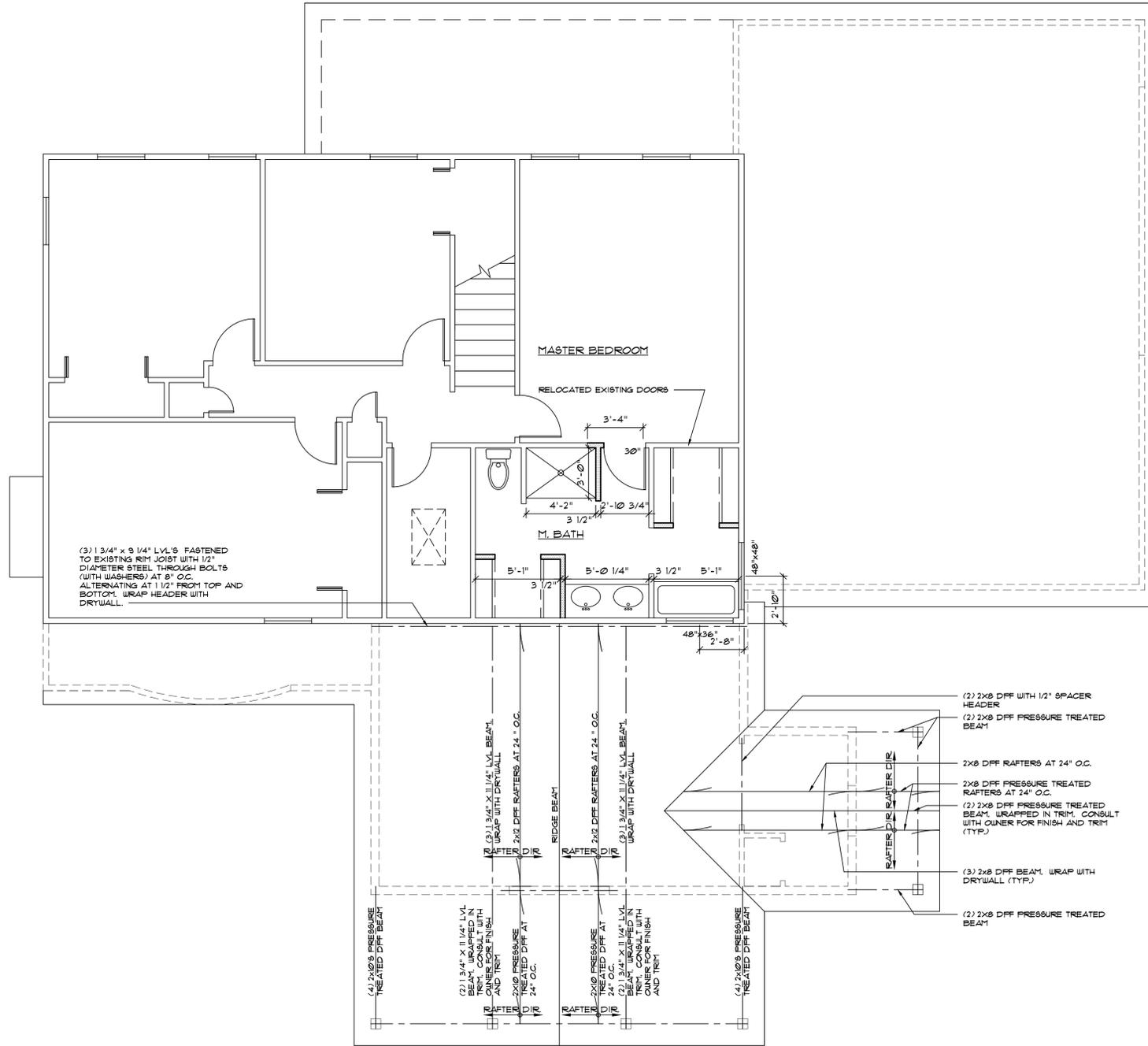


**FIRST FLOOR PLAN**  
 1/4" = 1' - 0"



# SECOND FLOOR PLAN

1/4" = 1' - 0"



RESIDENTIAL ADDITION FOR  
**BETH AND MIKE SCOTT**  
 OWNER  
 2740 BLUE HERON DRIVE  
 HUDSON, OHIO 44256



DESIGN AND DRAFTING BY KEVIN KOCOLE  
**K O O G L E D E S I G N**  
 RESIDENTIAL DESIGN & DEVELOPMENT  
 519 PARK AVENUE, KENT, OHIO 44240

(330) 677-9105  
 DESIGN@KOCOLE.COM  
 COPYRIGHTED 2020

CONSTRUCTION FROM THESE PLANS MUST BE IN STRICT COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL BUILDING CODES AND REGULATIONS. ALL DIMENSIONS AND SITE CONDITIONS MUST BE VERIFIED PRIOR TO COMMENCEMENT OF CONSTRUCTION. KEVIN KOCOLE (D.B.A. KOCOLE DESIGN) DOES NOT ASSUME ANY LIABILITY FOR ERRORS OR OMISSIONS ON THIS PLAN, UNLESS ADVISED IN WRITING OF SUCH ERRORS OR OMISSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

ALL DRAWINGS APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KEVIN KOCOLE (D.B.A. KOCOLE DESIGN). THE SAME WORK MAY NOT BE SOLD, DISCLOSED, OR CONIGNED TO A THIRD PARTY.

PROJECT NO.	20002
DATE	10/21
4/1/20	CONSTRUCTION DUGS

SHEET	
<b>A103</b>	
OF 5	
SECOND FLOOR PLAN	



2740







FOW 6150







