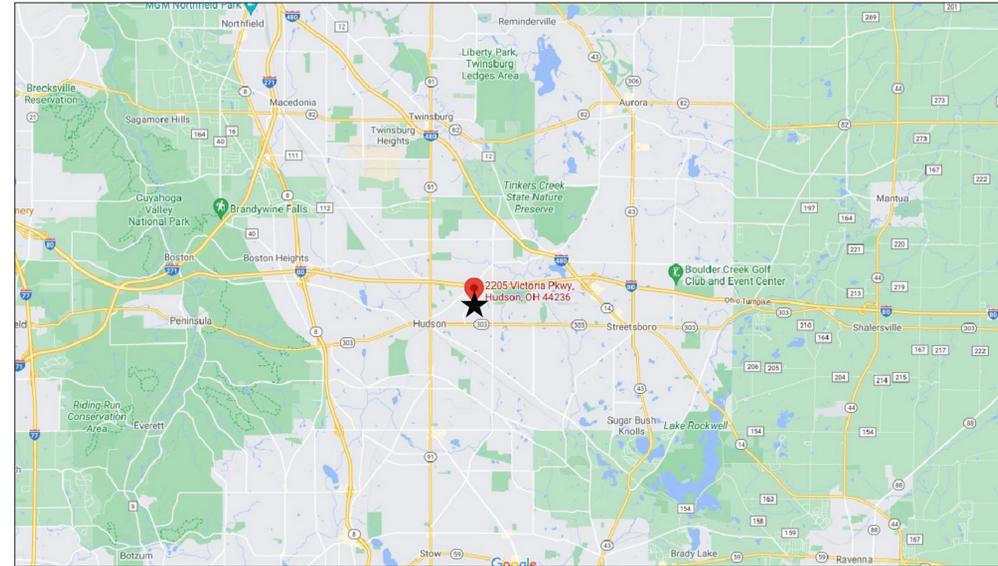


ALTERATIONS FOR: THE NISWANDER RESIDENCE

PPN: 300-0-996
2205 VICTORIA PARKWAY
HUDSON, OH 44236



LOCATION PLAN
N.T.S.



REV.	DATE

LS ARCHITECTS

22082 LORAIN ROAD
FAIRVIEW PARK, OHIO 44126
PHONE 26-408-8654 FAX 440-76-8887

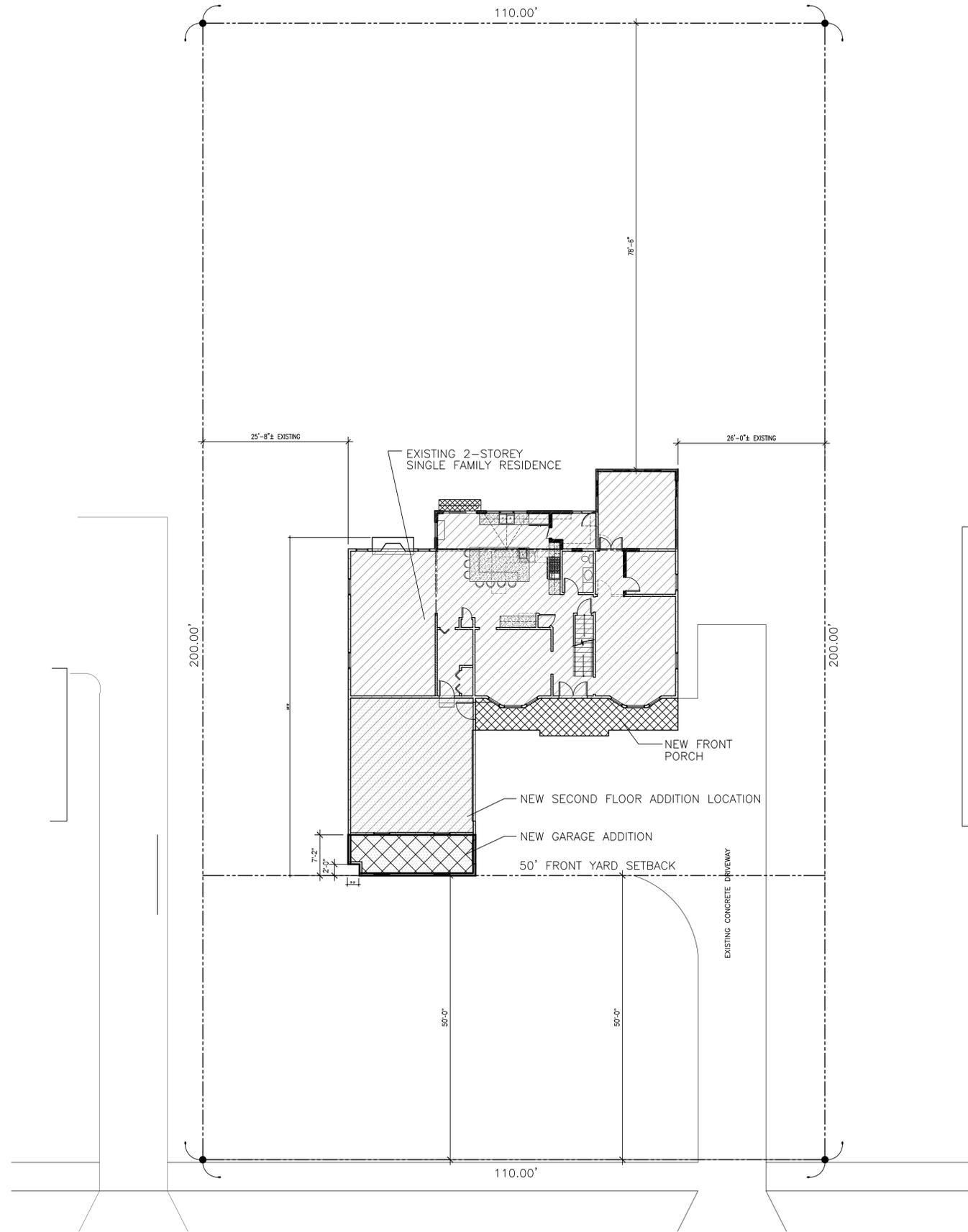


LEON S. SAMPAT
LICENSE# 13053
EXPIRATION DATE 12/31/2021

ALTERATIONS FOR:
NISWANDER RESIDENCE
2205 VICTORIA PARKWAY
HUDSON, OH

JOB NO: 21-069
DATE: 06.02.2021
ISSUE: PERMIT
SHEET:
T-1.0

DRAWING INDEX	SITE INFORMATION	GENERAL NOTES
T-1 - DRAWING INDEX AND SITE INFORMATION	<p>SITE:</p> <p>MUNICIPALITY: HUDSON COUNTY: SUMMIT COUNTY PARCEL NUMBER: 300-0-996 SITE AREA : 22,000 SQ.FT. (0.50 ACRES)</p>	<p>ALL CONDITIONS MARKED 'EXISTING' SHALL BE FIELD VERIFIED BEFORE WORK COMMENCES</p> <p>INTERIOR DIMENSIONS ARE FROM FACE OF STUD</p> <p>EXTERIOR DIMENSIONS ARE FROM FACE OF STUD OR FOUNDATION</p> <p>ALL WALLS SHALL BE 2x4 WOOD STUDS, U.N.O.</p> <p>ALL DIMENSIONAL LUMBER SHALL BE MARKED SPF #2 OR BETTER</p> <p>ALL WALLBOARD SHALL BE TAPED AND SANDED READY FOR PAINT</p> <p>INTERIOR TRIM SHALL BE 3 1/2" MDO CASING & 5 1/2" BASE, U.N.O.</p> <p>ALL WOOD MEMBERS EXPOSED TO WEATHER OR IN CONSTANT CONTACT WITH MASONRY, CONCRETE OR SOIL SHALL BE PRESSURE TREATED</p> <p>EXTERIOR DOORS TO BE INSULATED METAL SELECTED BY OWNER, U.N.O.</p> <p>ALL INTERIOR DOORS TO BE PAINT GRADE SOLID CORE WOOD SELECTED BY OWNER, U.N.O.</p> <p>ALL WINDOW AND DOOR HEADERS TO BE INSTALLED AT 80" A.F.F., U.N.O.</p> <p>ALL TRUSSES SHALL BE DESIGNED FOR STORAGE</p> <p>ALL ELECTRICAL WORK TO BE DONE IN ACCORDANCE WITH NFPA 70 (NATIONAL ELECTRICAL CODE), AND APPLICABLE STATE AND LOCAL CODES AND REGULATIONS</p> <p>BLOCKING SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: 54" A.F.F. FOR TOWEL BARS 24" A.F.F. FOR TOILET PAPER HOLDERS 34" MIN. 48" MAX. A.F.F. FOR DOOR STOPS (COORDINATE WITH DOOR SPEC.)</p> <p>ELECTRICAL DEVICES SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: 18" A.F.F. FOR ALL RECEPTACLES, U.N.O. 48" A.F.F. FOR ALL SWITCHES, U.N.O.</p> <p>WOOD SPEC. FOR ROOF: DOUGLAS FIR WITH F=1,200</p> <p>ALL WORK TO BE DONE IN ACCORDANCE WITH 2019 RESIDENTIAL CODE OF OHIO</p> <p>THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION; THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR EXPANSION & CONTRACTION; THE FOLLOWING SHALL BE CAULKED, GASKETED, WEATHERSTRIPPED OR OTHERWISE SEALED WITH AN AIR BARRIER MATERIAL: ALL JOINTS, SEAMS & PENETRATIONS, SITE-BUILT WINDOWS, DOORS, & SKYLIGHTS, OPENINGS BETWEEN WINDOW & DOOR ASSEMBLIES AND THEIR RESPECTIVE JAMBS AND FRAMING, UTILITY PENETRATIONS, DROPPED CEILINGS OR CHASES ADJACENT TO THE THERMAL ENVELOPE, KNEE WALLS, WALLS AND CEILINGS SEPARATING THE GARAGE FROM CONDITIONED SPACES, BEHIND TUBS AND SHOWERS ON EXTERIOR WALLS, COMMON WALLS BETWEEN DWELLING UNITS, ATTIC ACCESS OPENINGS, RIM JOISTS JUNCTION, OTHER SOURCES OF INFILTRATION</p> <p>HVAC DRAWINGS, IF REQUIRED, TO BE SUBMITTED BY CONTRACTOR UNDER SEPARATE COVER</p> <p>TRUSS DRAWINGS, IF REQUIRED, TO BE SUBMITTED BY CONTRACTOR UNDER SEPARATE COVER PRIOR TO INSTALLATION</p> <p>CONTRACTOR SHALL INSPECT EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DEFICIENCIES BEFORE PROCEEDING WITH WORK</p> <p>EXISTING ON-SITE TOPOGRAPHY SHALL NOT BE CHANGED. SOIL EXCAVATED FROM FOUNDATION OR OTHER CONSTRUCTION SHALL BE HAULED OFF SITE UNLESS A PROPOSED GRADING PLAN IS PROVIDED FOR REVIEW AND IS APPROVED</p>
SP-1.0- SITE PLAN	<p>SQUARE FOOTAGES</p> <p>EXISTING FIRST FLOOR 1,144 SQ.FT. PROPOSED FIRST FLOOR ADDITION 0 SQ.FT. EXISTING SECOND FLOOR 1,508 SQ.FT. PROPOSED SECOND FLOOR ADDITION 677 SQ.FT.</p> <p>TOTAL LIVING AREA: 3,329 SQ.FT. EXISTING GARAGE 513 SQ.FT. PROPOSED GARAGE ADDITION 164 SQ.FT. TOTAL ADDITION AREA: 841 SQ.FT. PROPOSED PORCH ADDITION 190 SQ.FT.</p>	
D-1.0- FIRST FLOOR DEMOLITION PLAN	<p>LOT COVERAGE:</p> <p>FOOTPRINT: 2,866 SQ.FT. PERCENTAGE OF SITE USE: 13 %</p>	
A-1.0 - PROPOSED FOUNDATION PLAN, FIRST FLOOR PLAN	<p>CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA</p> <p>GROUND SNOW LOAD: 30 POUNDS PER SQUARE FOOT WIND SPEED: 115 MILES PER HOUR; EXPOSURE CATEGORY 'B' SEISMIC DESIGN CATEGORY: A</p> <p>SUBJECT TO DAMAGE FROM WEATHERING: SEVERE SUBJECT TO DAMAGE FROM FROST LINE DEPTH: 42" MINIMUM DEPTH OF FOOTING BELOW FINISHED GRADE, EXCEPT WHERE SPECIFICALLY PERMITTED BY CODE</p> <p>SUBJECT TO DAMAGE FROM TERMITES: MODERATE TO HEAVY SUBJECT TO DAMAGE FROM DECAY: SLIGHT TO MODERATE</p> <p>WINTER DESIGN TEMPERATURE: 5°F 6,351 HEATING DEGREE DAYS. ICE SHIELD UNDERLAYMENT REQUIRED: YES FLOOD HAZARDS: BY RICHFIELD CITY ORDINANCE.</p> <p>AIR FREEZING INDEX: 1500 DEGREE-DAYS BELOW 32 °F MEAN ANNUAL TEMPERATURE: 50 °F</p> <p>DESIGN LOADS: ROOF LIVE LOAD: 30 psf CONCRETE: 3000 psi FLOOR LIVE LOAD: 40 psf SOIL BEARING: MINIMUM 2500 psf ATTIC LIVE LOAD: 20 psf DEAD LOAD: 15 psf</p>	
A-1.1 - PROPOSED SECOND FLOOR PLAN AND ROOF PLAN		
A-2.0 - DOOR & WINDOW SCHEDULE AND ELEVATIONS		
A-3.0 - SECTION AND PORCH SECTION		
A-3.1 - PORCH SECTION AND DETAILS		
S-1.0 - FIRST FLOOR STRUCTURAL PLAN & SECOND FLOOR STRUCTURAL PLAN		
E-1.0 - FIRST FLOOR ELECTRICAL PLAN & SECOND FLOOR ELECTRICAL PLAN		
P-1.1 - SECOND FLOOR PLUMBING PLANS, NOTES, AND STACK DIAGRAM		
M1.2 - SECOND FLOOR MECHANICAL PLAN AND NOTES		



SITE PLAN
SCALE: 3/32" = 1'-0"

REV.	DATE

LS ARCHITECTS
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FAIRVIEW PARK, OH 44126
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JOB NO: 21-069
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SHEET:
SP-1.0

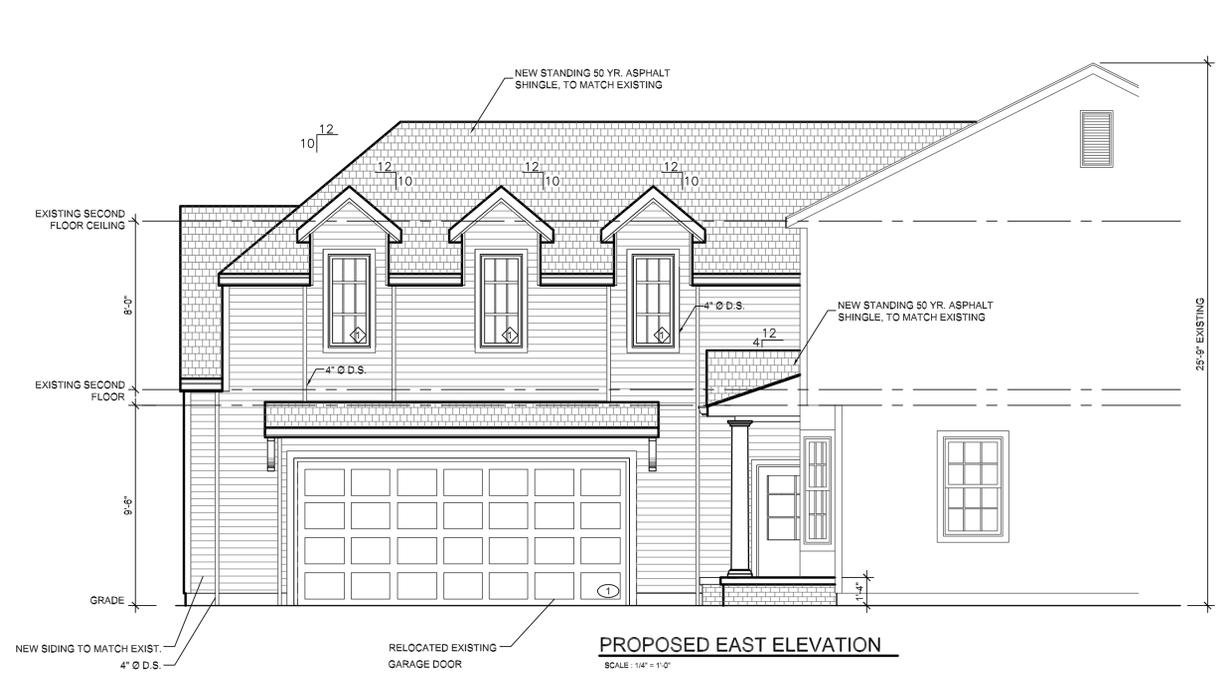
GENERAL CONTRACTOR TO VERIFY ALL EXTERIOR MATERIAL SELECTIONS WITH OWNER BEFORE PURCHASE

WINDOW & DOOR SCHEDULE							
#	QTY	SIZE	STYLE	EGRESS	MANUFACTURER	COLOR	NOTES
1	3	2'-0"x4'-5"	CASEMENT	YES	OWNER TO SELECT	WHITE	WINDOW MANUFACTURER TO VERIFY ALL OPENING PRIOR TO PURCHASING G.C. TO VERIFY EXISTING WINDOWS TO BE RELOCATED
2	2	2'-9"x5'-1"	DOUBLE HUNG	YES	-	-	-
3	3	2'-0"x3'-0"	CASEMENT	YES	OWNER TO SELECT	-	WINDOW MANUFACTURER TO VERIFY ALL OPENING PRIOR TO PURCHASING G.C. TO VERIFY
4	2	3'-0"x2'-0"	FIXED	NO	OWNER TO SELECT	-	WINDOW MANUFACTURER TO VERIFY ALL OPENING PRIOR TO PURCHASING G.C. TO VERIFY

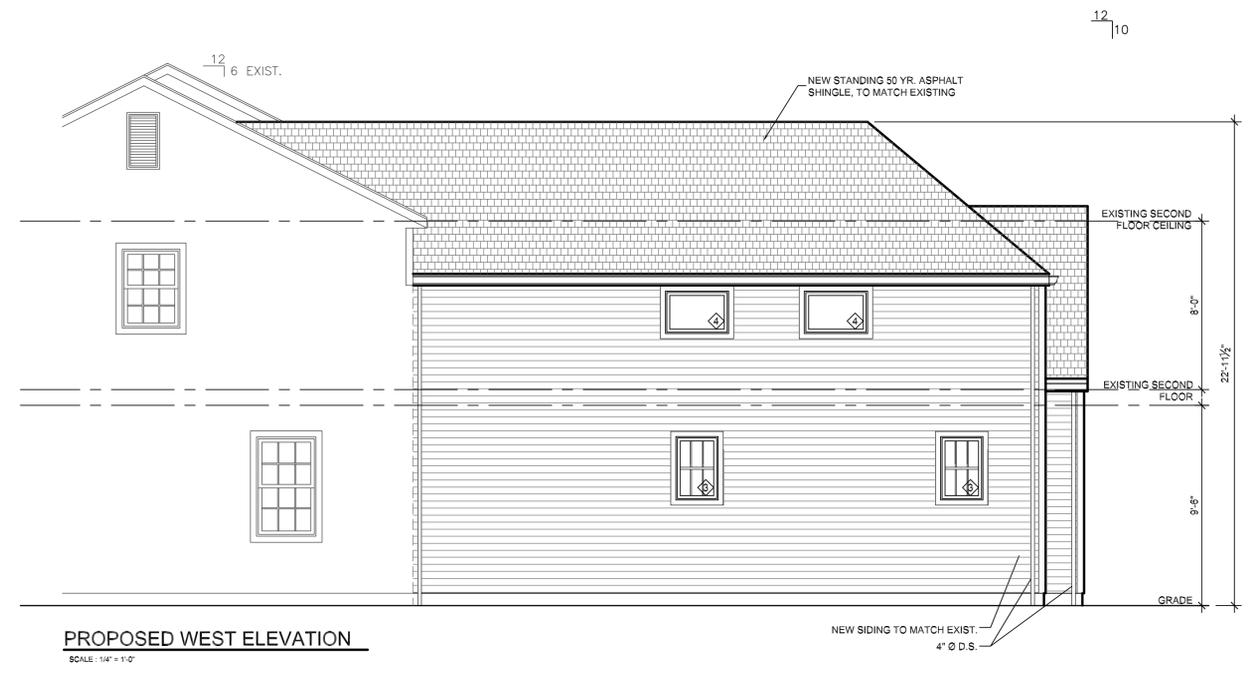
DOOR SCHEDULE	
1	1 16'-0"x7'-0" GARAGE

*EACH BEDROOM TO HAVE EGRESS 5.7 SQ.FT

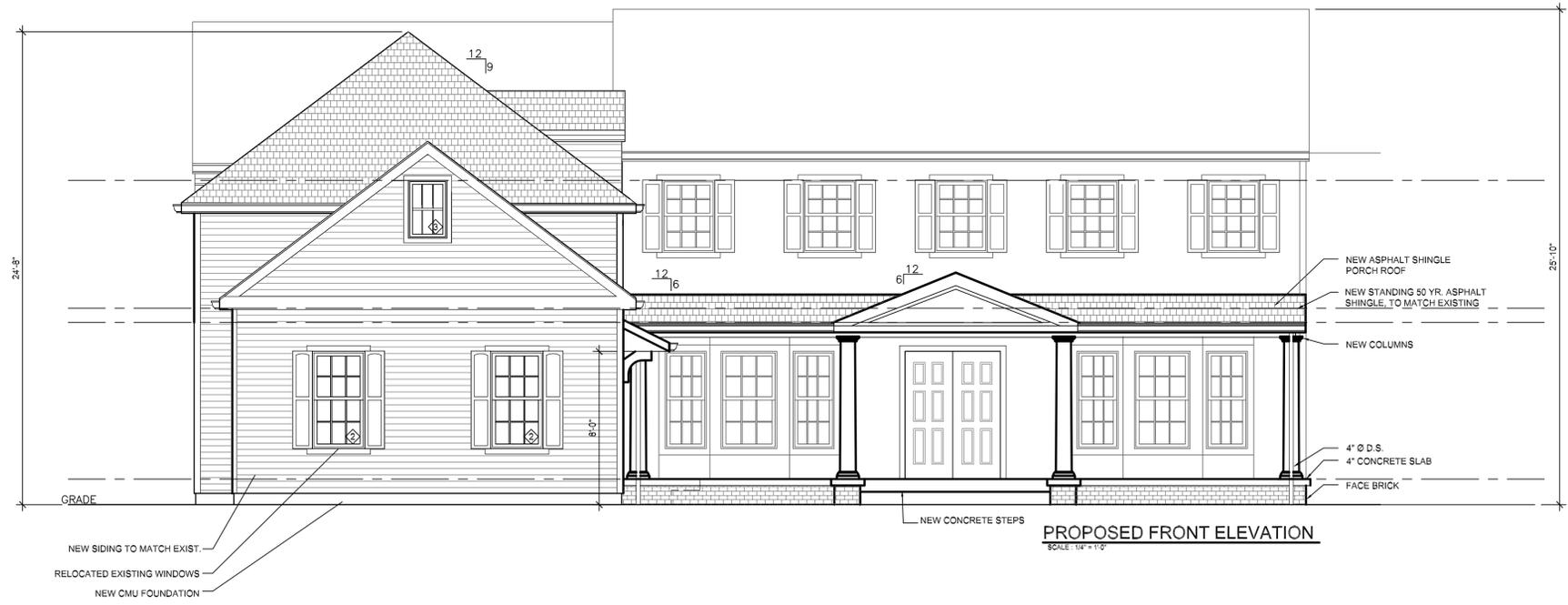
REV.	DATE



PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"

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2205 VICTORIA PARKWAY
HUDSON, OH

JOB NO: 21-069
DATE: 06.02.2021
ISSUE: PERMIT
SHEET: **REVISED**

A-2.0

REV.	DATE

LS ARCHITECTS
 22082 LORAIN ROAD
 FAIRVIEW PARK, OHIO 44126
 PHONE 26-408-9654 FAX 440-76-8887

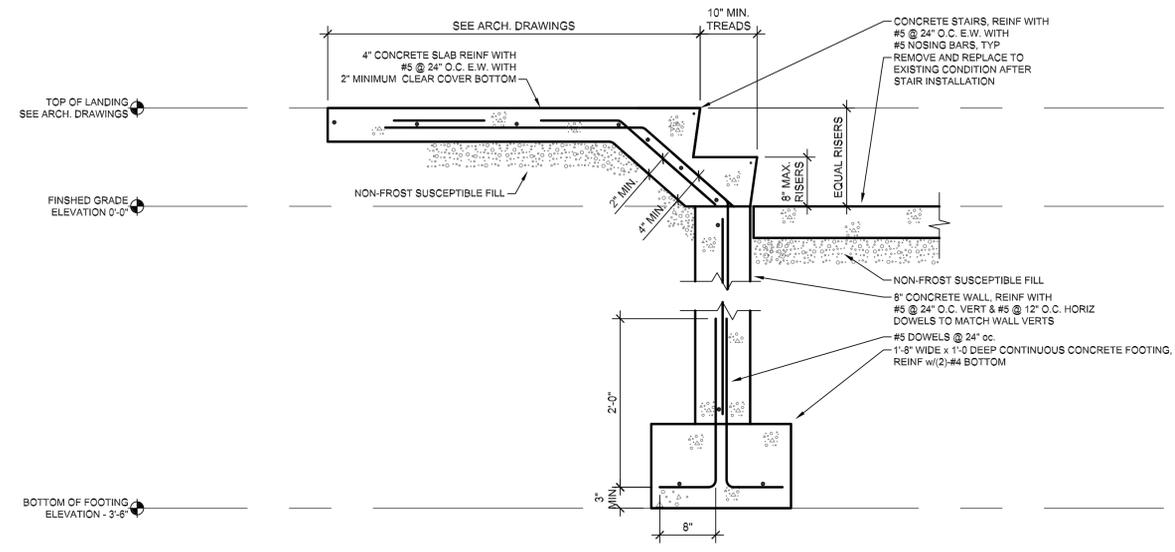


LEON S. SAMPAT
 LICENSE# 13053
 EXPIRATION DATE 12/31/2021

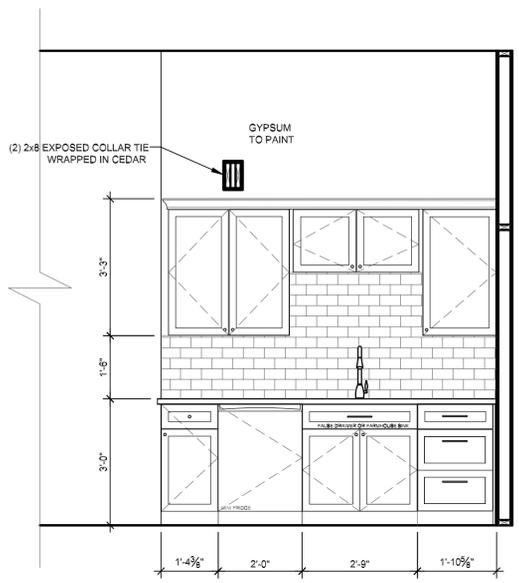
ALTERATIONS FOR:
NISWANDER RESIDENCE
 2205 VICTORIA PARKWAY
 HUDSON, OH

JOB NO: 21-069
 DATE: 06.02.2021
 ISSUE: PERMIT
 SHEET:

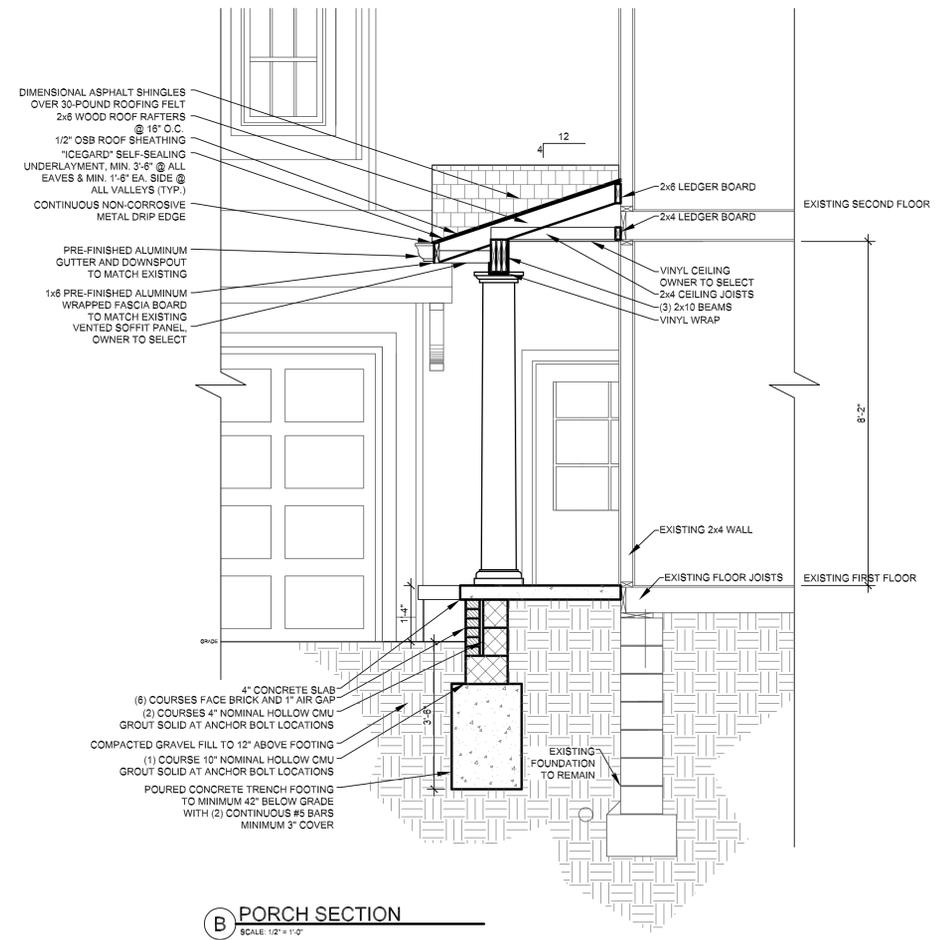
A-3.1



(A) CONCRETE STAIR SECTION
 SCALE: 1" = 1'-0"



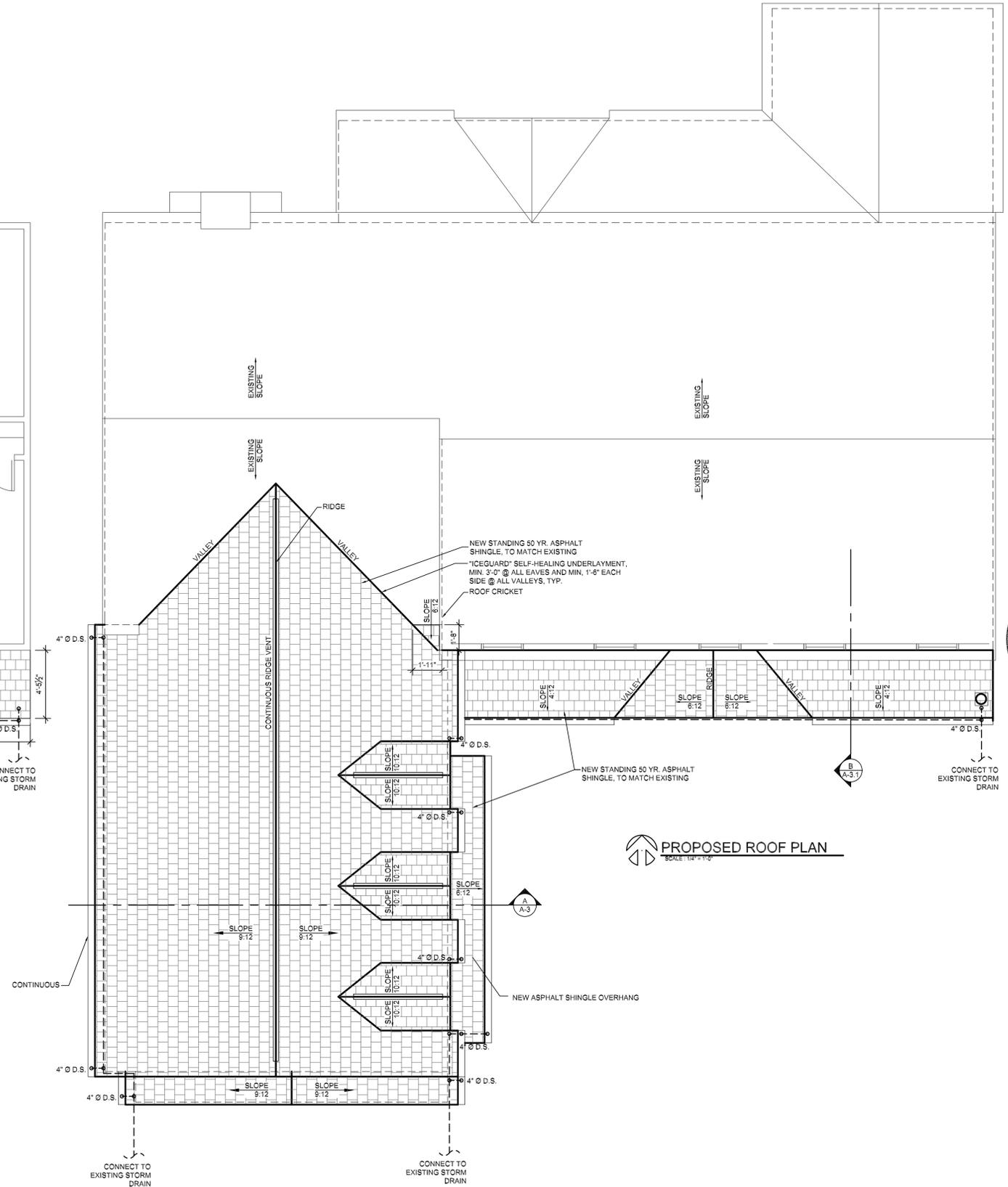
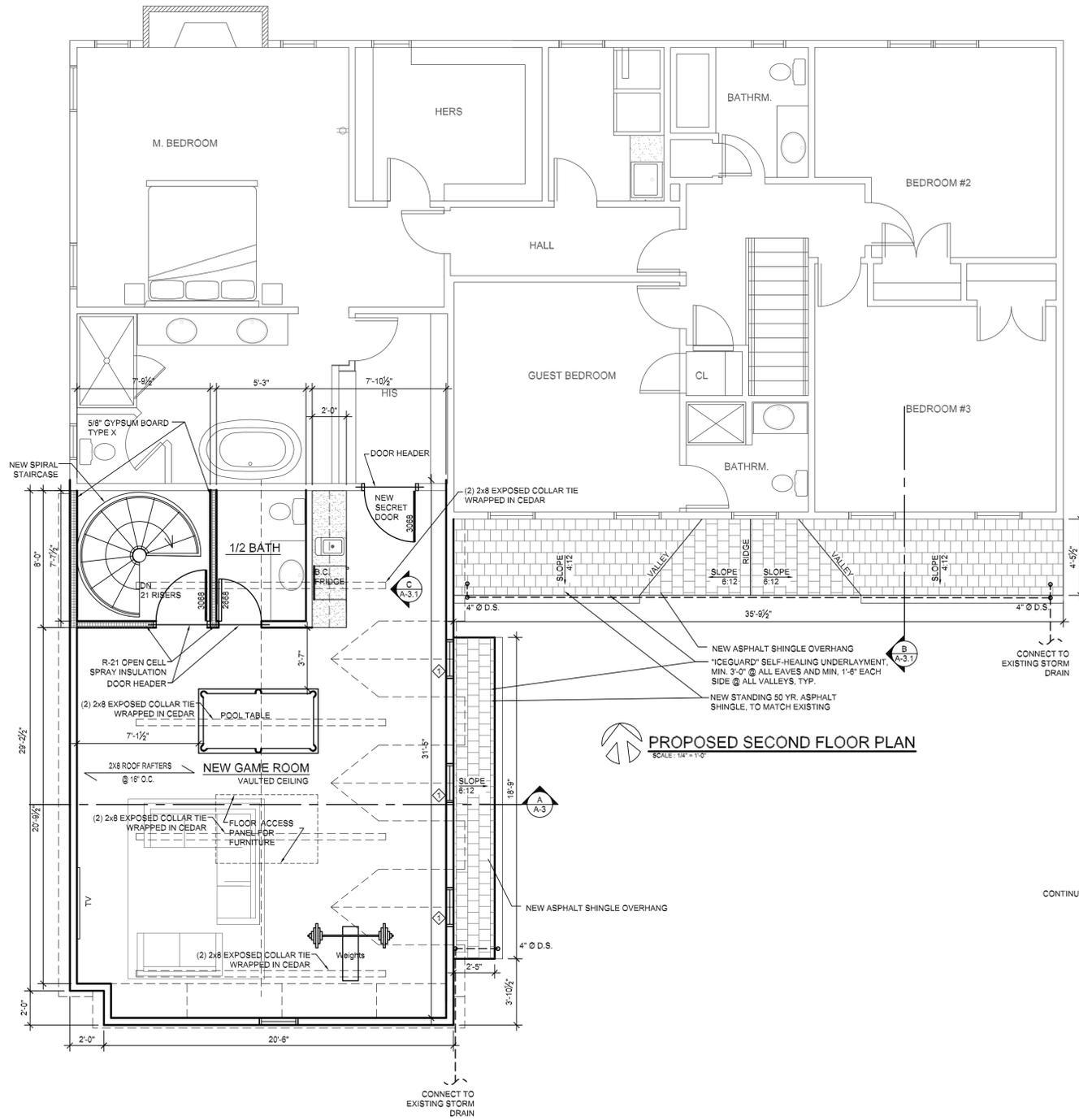
(C) ELEVATION
 SCALE: 1/2" = 1'-0"



(B) PORCH SECTION
 SCALE: 1/2" = 1'-0"

BEAM AND HEADER BEARING REQUIREMENTS				
SIZE OF OPENING	WALL STUDS @ 24" O.C.		WALL STUDS @ 16" O.C.	
	JACK STUDS	KING STUDS	JACK STUDS	KING STUDS
0'-0" to 3'-6"	1	1	1	1
3'-6" to 5'-0"	1	2	1	2
5'-0" to 8'-0"	1	2	2	2
8'-0" to 10'-6"	2	2	2	3
10'-6" to 12'-0"	2	2	3	3
12'-0" to 13'-0"	2	3	3	3
13'-0" to 18'-0"	2	3	3	4
18'-0" to 18'-0"	3	3	4	4

TYPICAL WOOD HEADER: (2) 2X10 WITH 1/2" PLYWOOD BETWEEN



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A-1.1



2305



A sunroom with a white frame and glass walls, situated on the left side of the house. It has a white railing and a small table with a yellow top and blue legs inside. The sunroom is connected to the main house by a white door.

A large wooden deck with a white railing, extending across the front of the house. The deck is covered in snow and has a wooden bench on it. The deck is elevated above the ground level.









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