

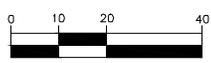
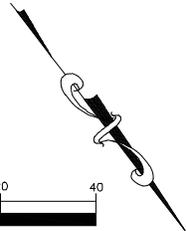
REVISIONS:  
1.

OHIO  
**HUDSON**  
ENGINEERING DEPARTMENT  
 Approved  
 Approved, as noted  
 Rejected  
 Reviewed By: Anthony L. Calabro  
 7:22 am, Jul 08, 2020

# TOPOGRAPHIC SURVEY & SITE PLAN

## for The Thompson Residence by LDA Builders, Inc.

Situated in the City of Hudson, County of Summit and State of Ohio: And known as being Sublot 7 in the Lake Christine Subdivision, as recorded in Doc. #56294530.



SCALE: 1" = 20'

**DATUM:**

B.O.B.: RECORD PLAT  
VERT: IMPROVEMENT PLANS

**LEGEND**

- Ex. Contour
- PR. CONTOUR
- Ex. Tree Line
- PR. CLEARING
- PR. SILT FENCE
- PR. GRADE
- Ex. Grade
- PR. DRAINAGE
- TREE TO BE REMOVED
- PR. CONST. ENTRANCE
- PR. DOWNSPOUT
- Ex. = Existing PR. = PROPOSED
- Ex. San./Strm. MH.
- Ex. Pedestals
- Ex. Hydrant
- Iron Pin Fnd./Set
- Iron Pipe Fnd.
- Mon. Fnd.

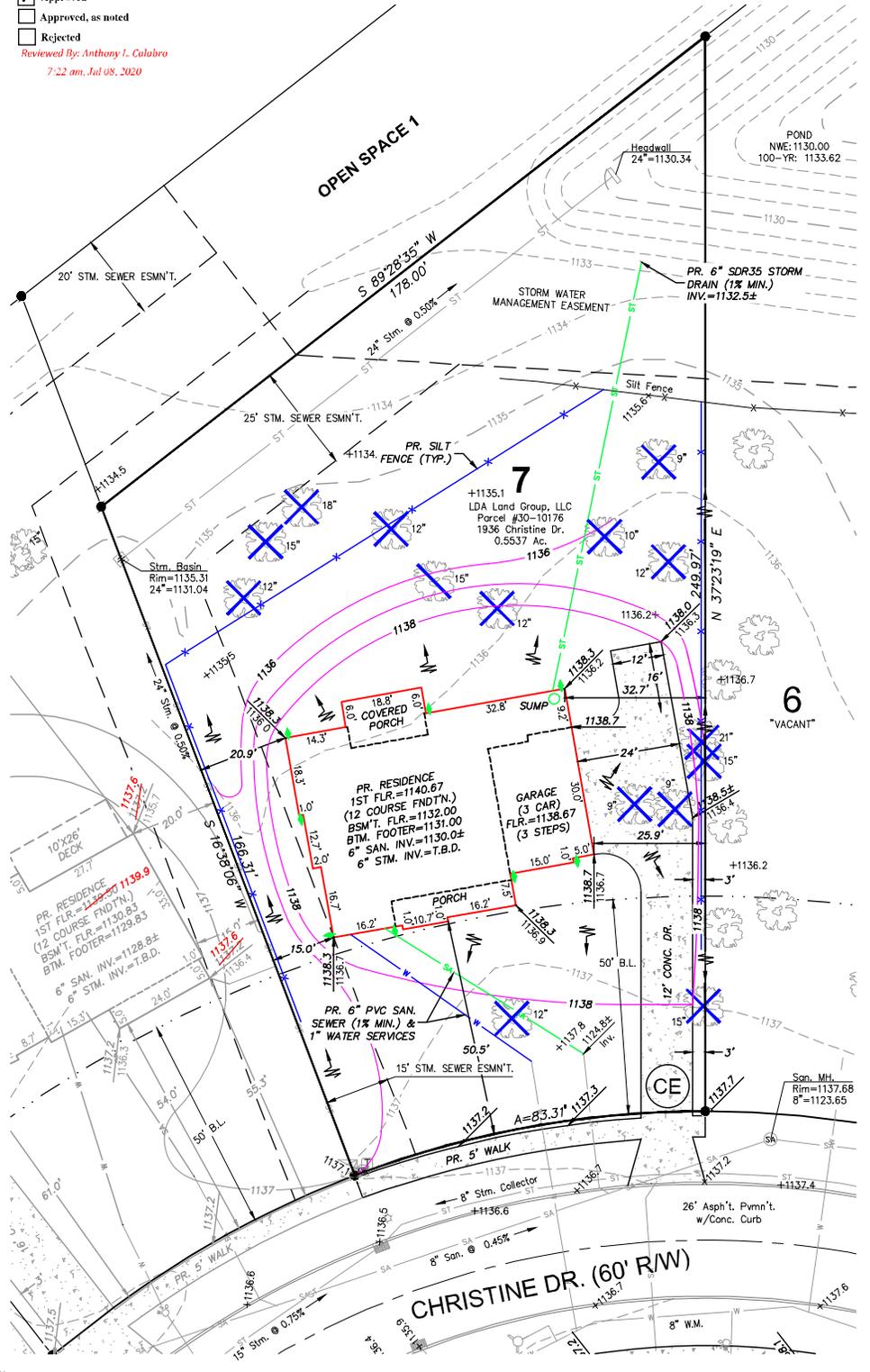
NOTE: CONCRETE WASHOUT PIT LOCATED AT ENTRANCE TO DEVELOPMENT.



Know what's below.  
Call before you dig.

**CONSTRUCTION NOTES:**

1. The contractor must verify all foundation dimensions and proposed grades shown on this plan. Any errors resulting from failure to check or to notify the surveyor of any changes shall not be the responsibility of Apex Land Surveying.
2. All grades shall comply w/corresponding government office.
3. All swales must maintain a minimum slope of 1%.
4. Maintain positive yard drainage away from house.
5. Contractor to notify utilities protection services/ OUPS prior to construction.
6. Contractor shall verify location and depths of existing laterals & verify if proper connections can be made to house. Contact corresponding government office if discrepancies occur.
7. All sewer connections must maintain a minimum slope of 1%.
8. A foundation sump pump is required.
9. Silt fence must surround any excavation areas so that no silt escapes site.
10. There was no search for easements of record, right-of-ways, restrictive covenants, encumbrances, ownership title evidence, or any other facts that a title search may disclose.



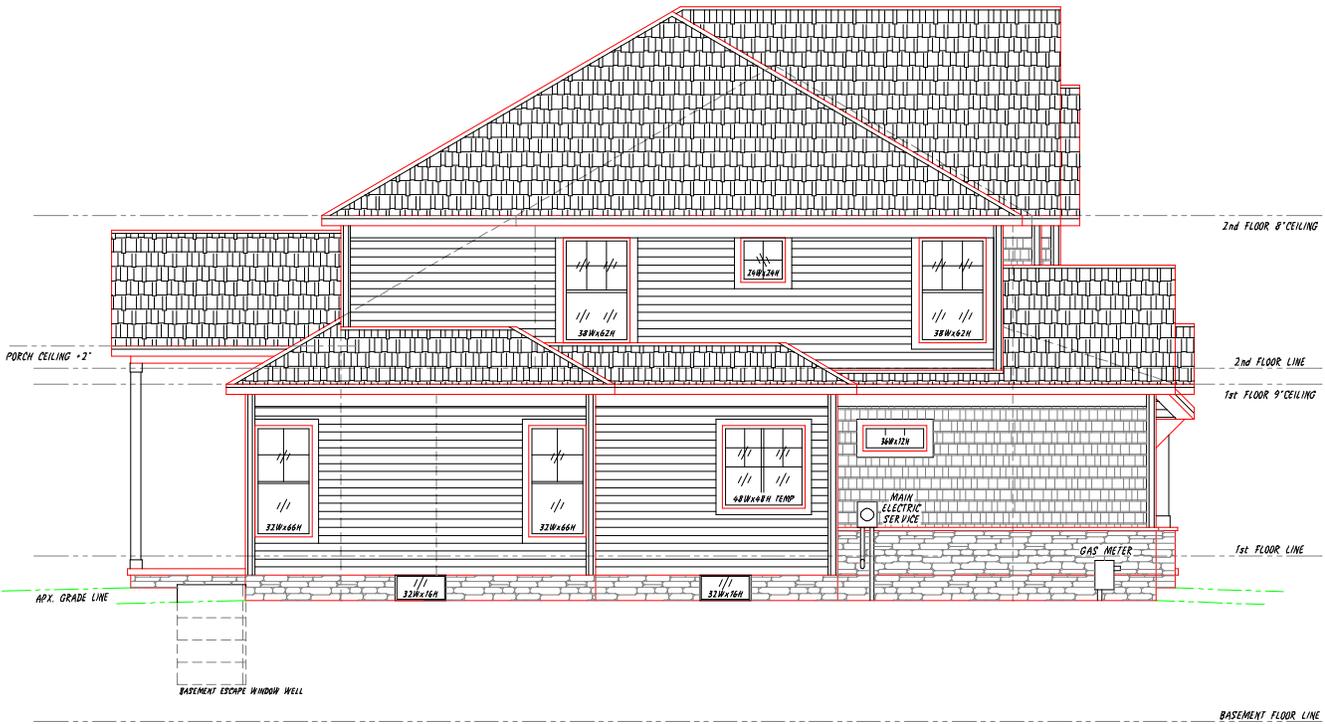
SURVEYED BY:



KELLY D. DUNFORD, P.S. 8182  
2858 FULMER DR., SILVER LAKE, OH  
(330) 928-7750  
ps8182@sbcglobal.net  
www.apexlandsurveying.com

TITLE: TOPO & SITE PLAN		DATE: JUNE 2020
CLIENT: LDA BUILDERS		PROJ.: 2018063
SCALE: 1" = 20'	FILE: 2018063.dwg	
DRAWN BY: KDD	CHECKED BY: KDD	
CREW: KDD		
SHEET SIZE: 17" X 22"		SHEET: 1 OF 1





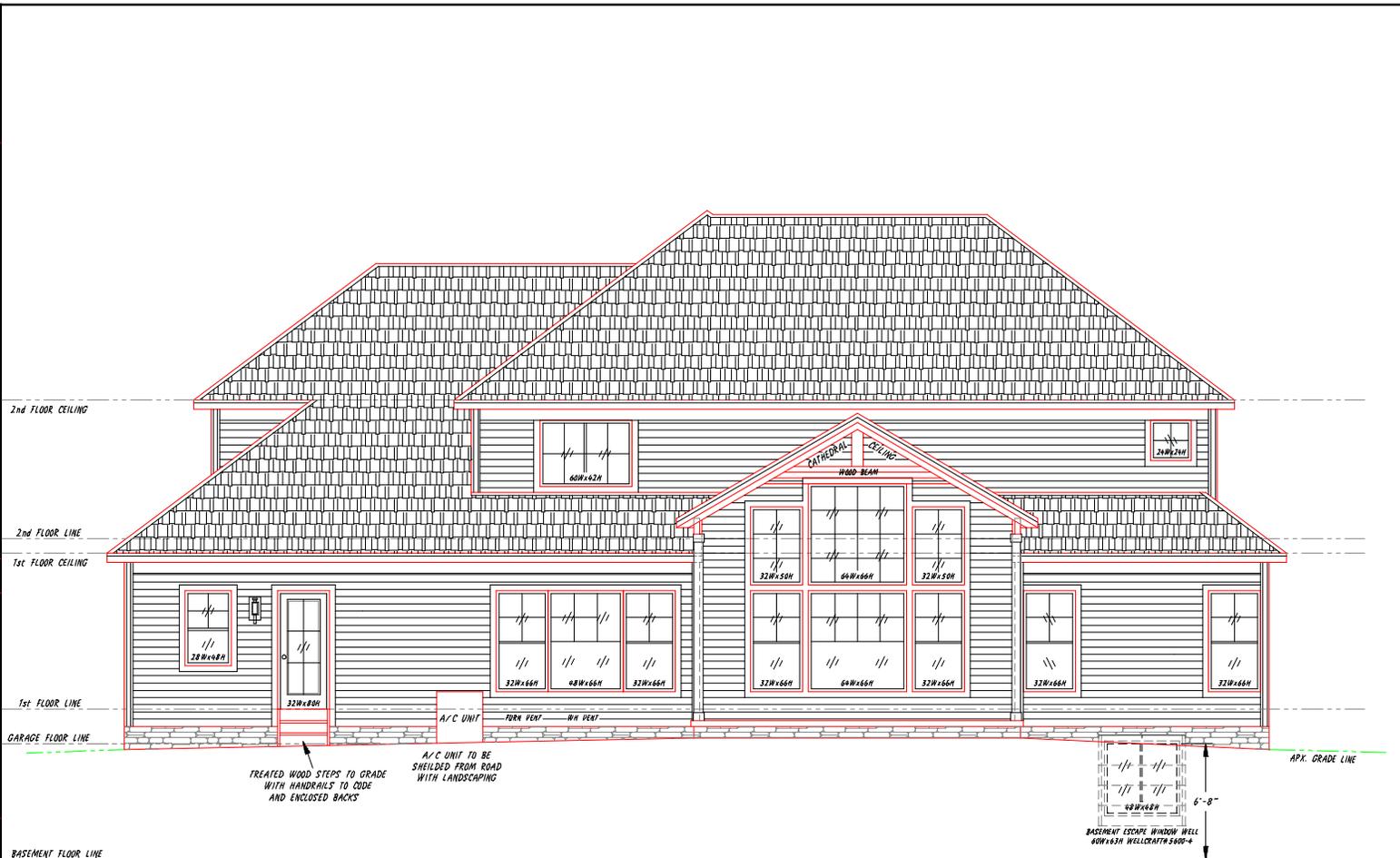
Left Side Elevation

**LIDA BUILDERS**  
 IN CORPORATION  
 10000 W. 10th St. U.S.A. • Phone/Fax: (330) 528-3800 • Email: (330) 542-4210  
 HAMBRIDGE Modified, 2-STORY (3574 sq.ft.)  
 20-10007-11  
 LEFT SIDE ELEVATION

REVISIONS	BY	DATE

SCALE: 1/4" = 1'-0"  
 DATE: 07/20/20  
 DRAWN: JTS  
 CHECKED: JTS  
 PAPER:

**Aciriana & Jeff Thompson**

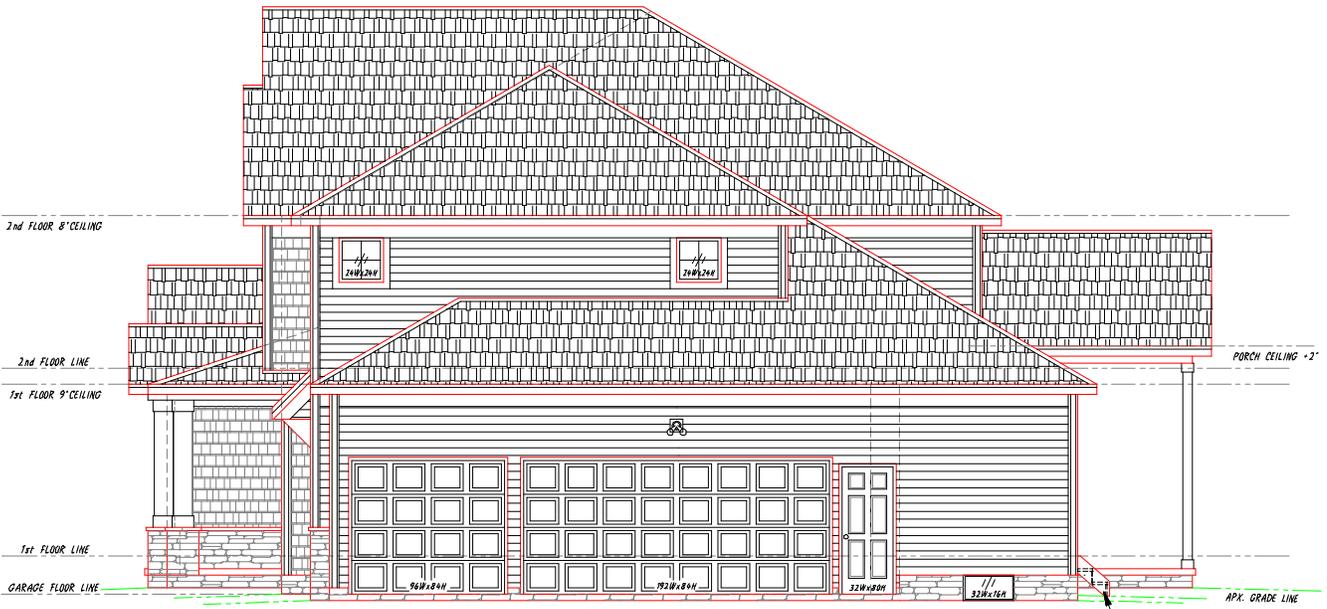


Rear Elevation

LIDA BUILDERS  
 LIDA BUILDERS  
 INCORPORATED  
 10000 W. 10th St. • Phone/Fax: (503) 528-3800 • Email: info@lida.com  
 20-10007-12  
 REAR ELEVATION

SCALE	DATE
1/4" = 1'	07/20
DATE	BY
07/20	
DATE	BY
07/20	

CUSTOMER  
 Adriana & Jeff Thompson



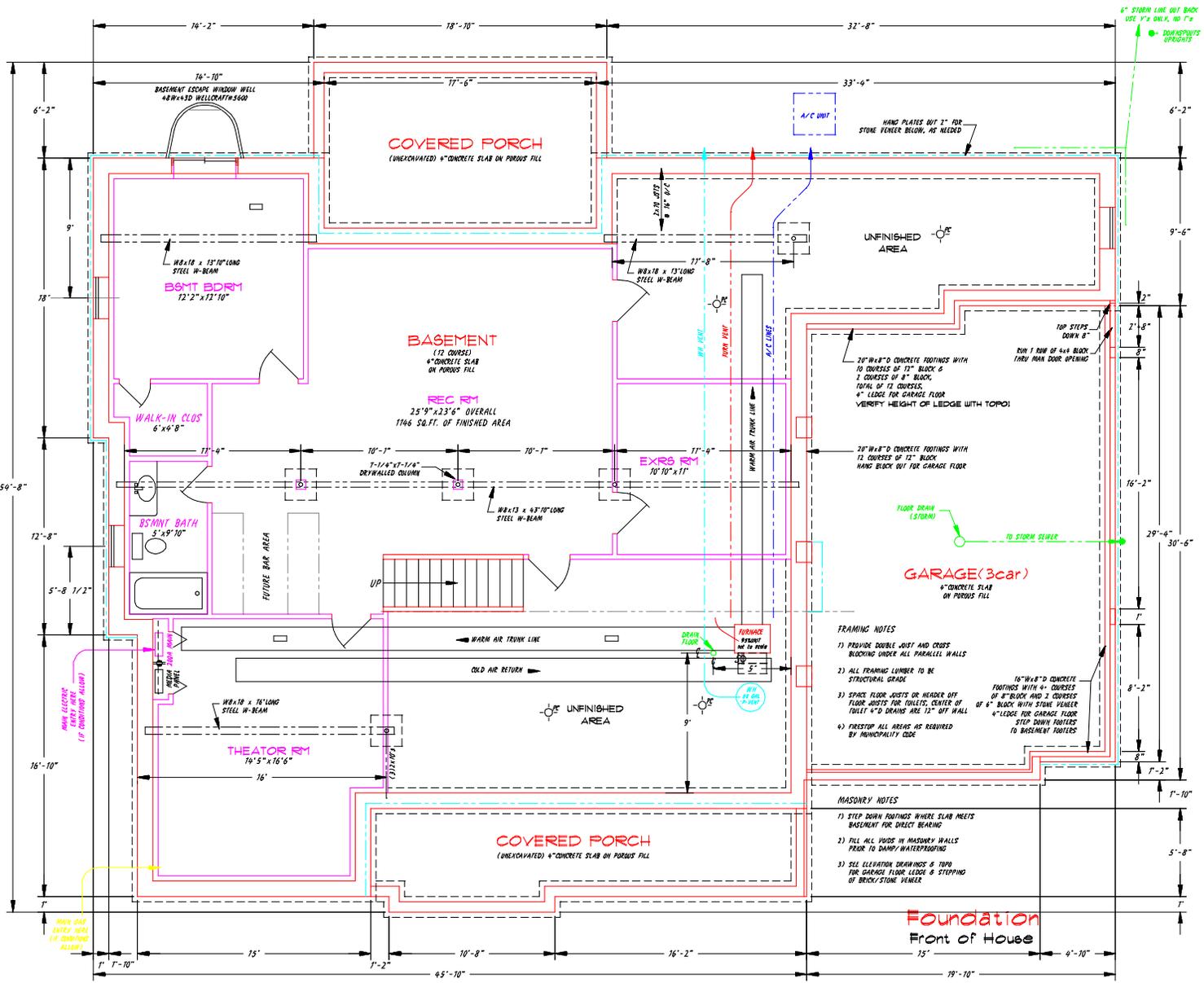
Right Side Elevation

**LDA BUILDERS**  
 INCORPORATED  
 1000 W. 10th St. U.S.A. • Phone/Fax: (505) 528-3800 • Email: (505) 542-4210  
 HAMBRIDGE Modified, 2-STORY (3574 sqft.)  
 20-1000-13  
 RIGHT SIDE ELEVATION

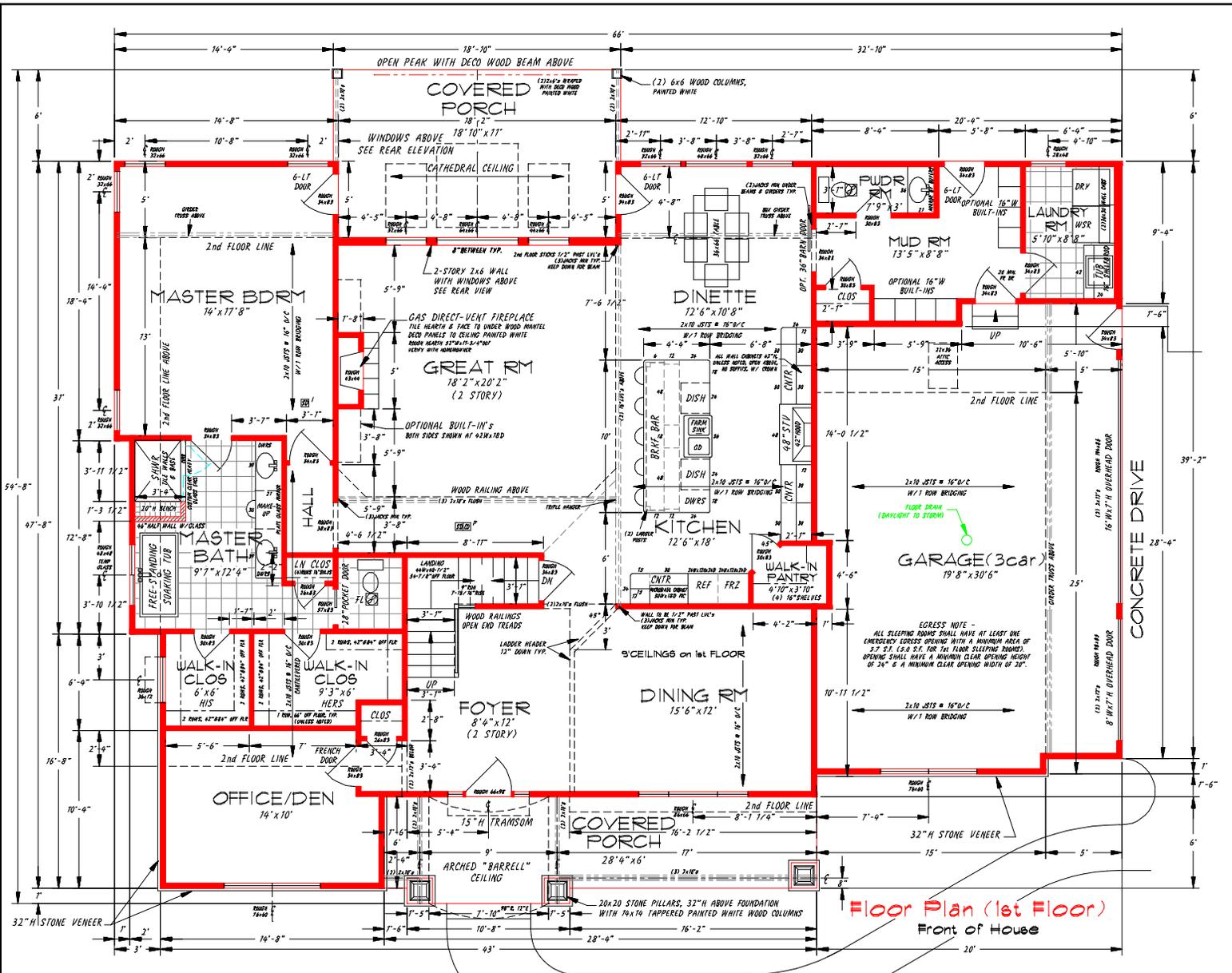
REVISIONS	DATE

SCALE: 1/4" = 1'  
 DATE: 07/20/20  
 DRAWN: JTS  
 CHECKED: JTS  
 PAPER:

**Adriana & Jeff Thompson**



LIDA BUILDERS  
 LIDA BUILDERS INCORPORATED  
 1800 W. 10th St. U.S.A. Phone/Fax: (505) 558-3850  
 (505) 558-3850  
 20-LC007-22  
 FOUNDATION PLAN  
 Arianara & Jeff Thompson



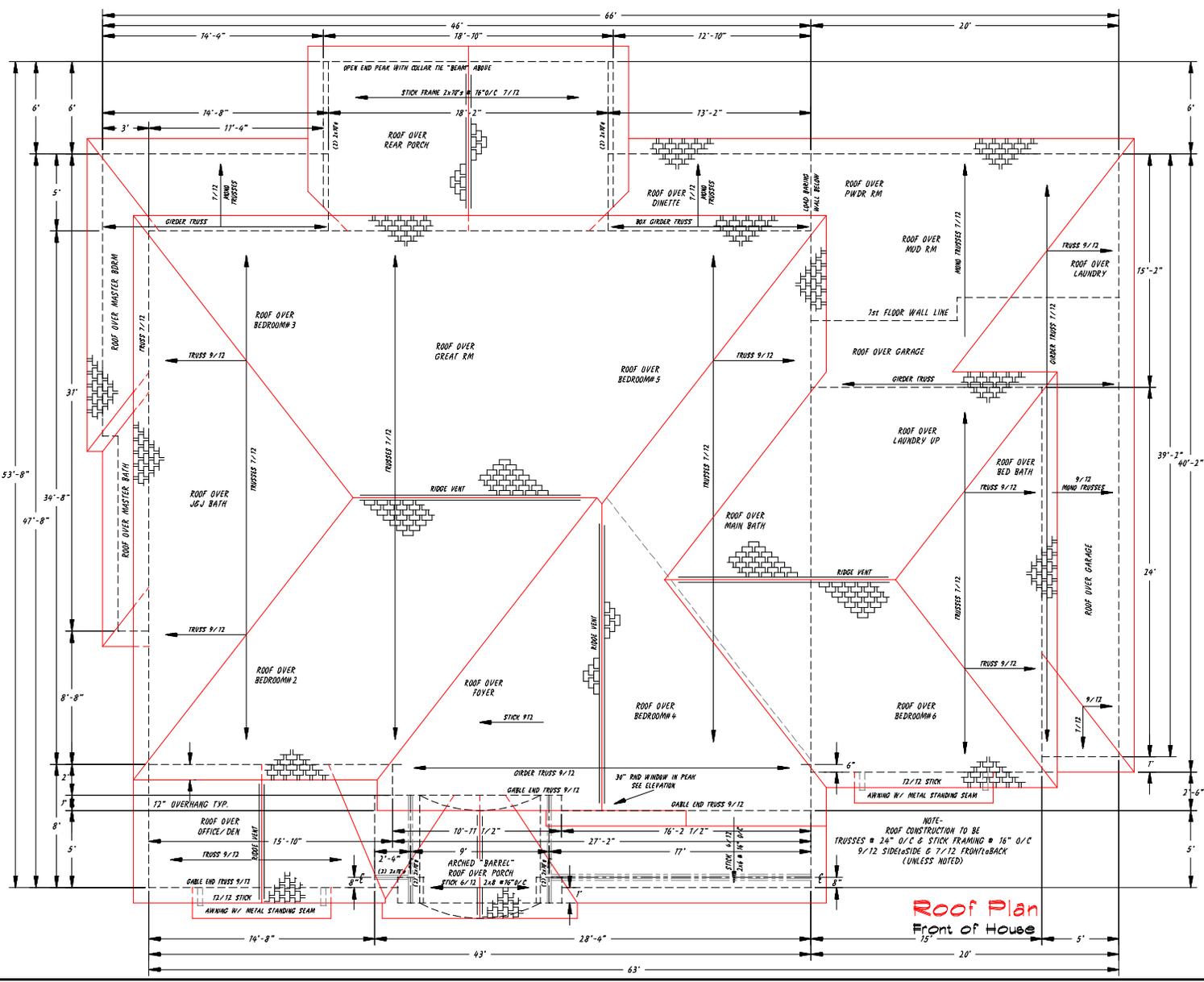
**Floor Plan (1st Floor)**  
 Front of House

**L.D.A. BUILDERS**  
 INCORPORATED  
 1000 W. 10th St. U.S.A. Phone/Fax: (505) 558-3850  
 (505) 558-3850  
 20-LC001-23  
 FLOOR PLAN (1st Floor)

DATE: 11-17  
 DRAWN: JTB  
 CHECKED: JTB

CUSTOMER: **Adriana & Jeff Thompson**



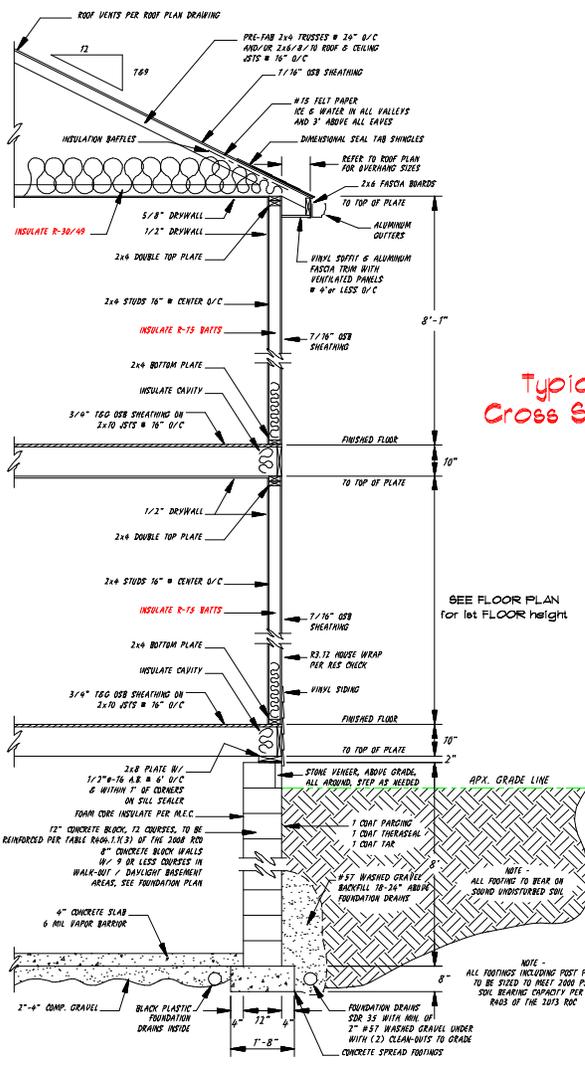


**Roof Plan**  
Front of House

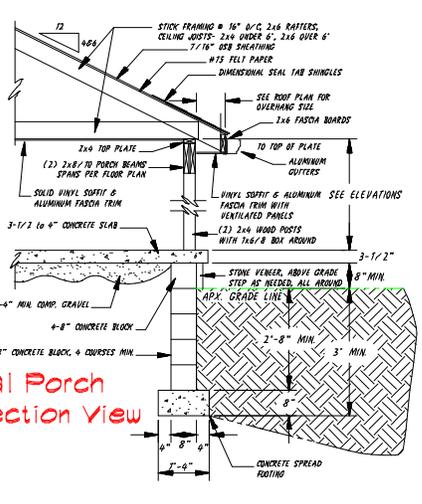
LIDA BUILDERS  
 INCORPORATED  
 1800 N. 10th St. • Phoenix, AZ 85016 • Phone: (602) 998-3880 • Fax: (602) 998-3881  
 Email: info@lida.com • Website: www.lidabuilders.com

SCALE: 3/4" = 1'-0"  
 DATE: 07/20/12  
 DRAWN BY: JTH  
 CHECKED BY: JTH

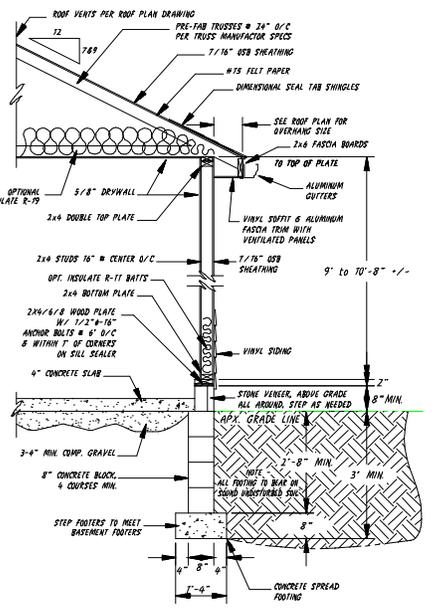
CUSTOMER: Adrianna & Jeff Thompson  
 PROJECT: PHOENIX HOME, 2-STORY (3574 sq ft.)  
 NO.: 20-LC001-25  
 TITLE: ROOF PLAN



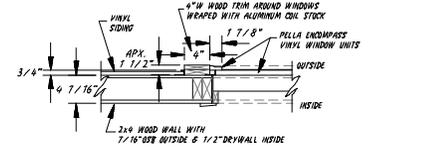
Main House Wall Cross Section View



Typical Porch Cross Section View



Garage Wall Cross Section View



Typical Window Section View  
(Scale 1" = 1')

CONSTRUCTION NOTES (2013 CODE)

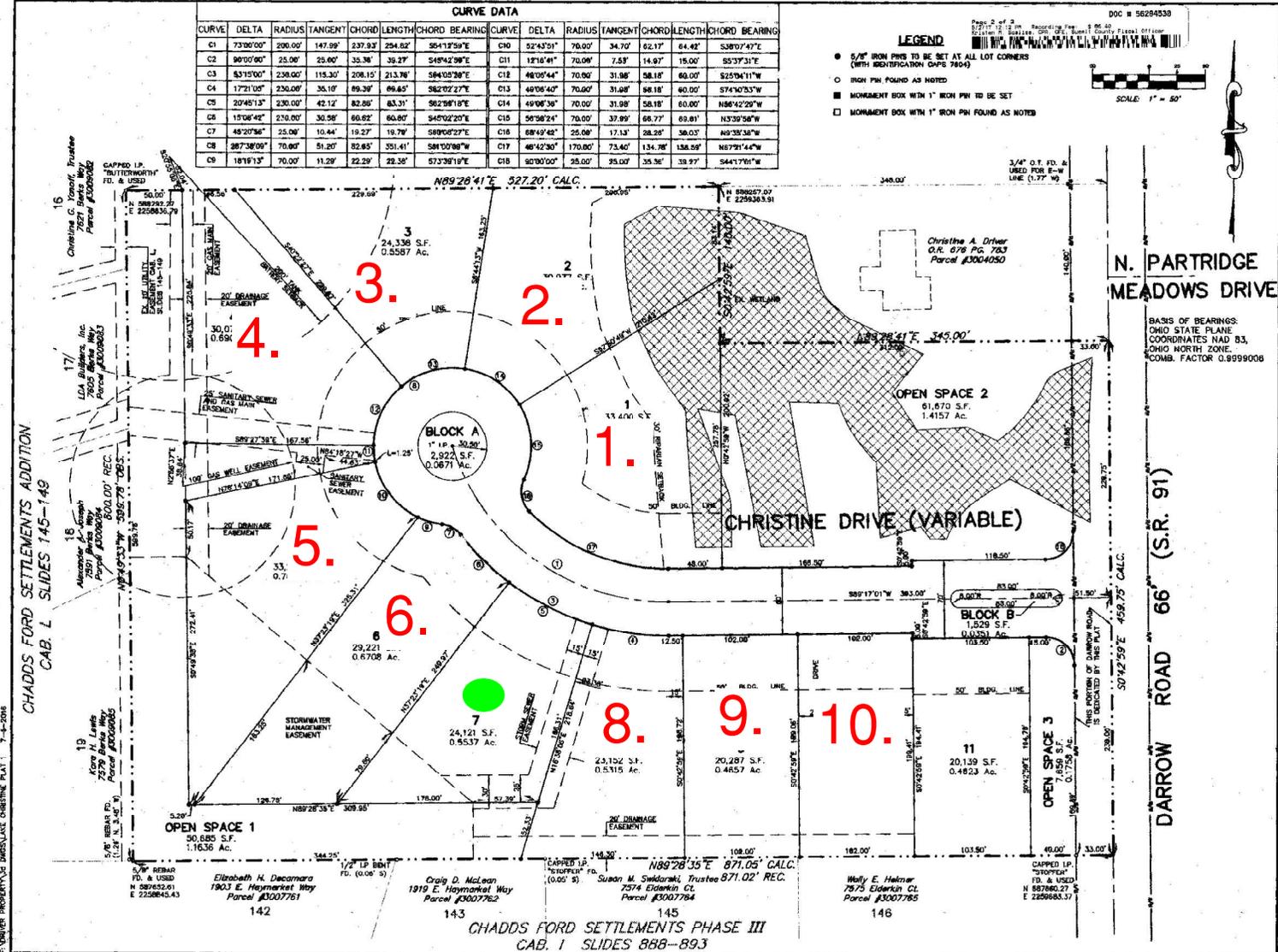
- 1) ALL ROOF PITCHES TO BE A 9/12 SIDE TO SIDE & A 7/12 FRONT TO BACK, UNLESS NOTED, INCLUDING GARAGES, PORCHES & OVERHUNG EAVES.
- 2) ALL PARALLEL WALLS TO HAVE DOUBLE JOISTS AND CROSS BRACING UNDER THEM.
- 3) GARAGE WALLS, BETWEEN GARAGE & HOUSE, AND GARAGE CEILING TO HAVE 5/8\"/>
- 4) BLOCK WALLS TO BE REINFORCED PER TABLE R406.1.1(3) OF THE 2013 IRC AND HAVE HORIZONTAL REINFORCEMENT EVERY 4TH COURSE.
- 5) ALL HEADERS TO BE A MIN. OF (2) 2x10'S WITH 1/16\"/>
- 6) ALL ROOF STICK FRAMING & OVERHUNG TO BE A MIN. OF 2x4 FOR SPANS UNDER 14', A MIN. OF 2x4 FOR SPANS 14' TO 18' AND INCLUDE 2x8 SHOE PLATES, 2x8 RIDGE BOARDS AND 3/4\"/>
- 7) TRUSS ANCHORS TO BE INSTALLED PER SECTION R402.10.5 OF THE 2013 IRC.
- 8) ALL DEAD AND LIVE LOADS TO BE PER THE 2013 IRC, AND MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS TO BE PER TABLE R301.5.
- 9) THE MAIN DOOR BETWEEN THE HOUSE AND GARAGE IS TO COMPLY WITH SECTION R301.1 OF THE 2013 IRC.

LIDA A. BAUMGARTNER  
 ARCHITECT  
 1500 N. W. 10th St., Suite 100, Ft. Lauderdale, FL 33304  
 Phone: (954) 555-3800 Fax: (954) 555-3800  
 20-LC001-23  
 CROSS SECTION DRAW & DETAILS  
 DATE: 07/20/10  
 SCALE: 1/2" = 1'  
 CUSTOMER: Adrianna & Jeff Thompson

CURVE DATA													
CURVE	DELTA	RADIUS	TANGENT	CHORD	LENGTH	CHORD BEARING	CURVE	DELTA	RADIUS	TANGENT	CHORD	LENGTH	CHORD BEARING
C1	73°00'00"	200.00'	147.99'	237.93'	254.82'	S54°12'59"E	C10	52°45'51"	70.00'	34.70'	62.17'	64.42'	S38°07'47"E
C2	90°00'00"	25.00'	25.00'	35.38'	35.27'	S48°42'38"E	C11	18°16'41"	70.00'	7.55'	14.97'	15.00'	S53°31'31"E
C3	53°15'00"	230.00'	115.30'	208.10'	213.78'	S84°03'29"E	C12	48°05'44"	70.00'	31.98'	58.18'	60.00'	S25°04'11"W
C4	17°21'00"	230.00'	35.10'	89.29'	89.65'	S82°22'27"E	C13	49°06'40"	70.00'	31.98'	58.18'	60.00'	S74°40'53"W
C5	20°45'15"	230.00'	42.12'	82.80'	83.31'	S82°29'18"E	C14	49°06'38"	70.00'	31.98'	58.18'	60.00'	N68°42'29"W
C6	17°56'44"	230.00'	32.58'	80.82'	80.87'	S45°02'20"E	C15	59°58'24"	70.00'	37.99'	66.77'	69.81'	N33°39'58"W
C7	48°20'36"	23.00'	10.44'	19.27'	19.79'	S89°03'27"E	C16	88°49'42"	25.00'	17.13'	28.28'	28.05'	N49°28'38"W
C8	28°73'09"	70.00'	51.20'	82.85'	55.41'	S81°00'38"W	C17	48°42'30"	170.00'	73.40'	134.78'	138.59'	N67°51'44"W
C9	18°18'15"	70.00'	11.29'	22.29'	22.38'	S73°38'19"E	C18	50°00'00"	25.00'	25.00'	35.36'	35.97'	S44°17'01"W

**LEGEND**

- 5/8" IRON PINS TO BE SET AT ALL LOT CORNERS (WITH IDENTIFICATION CAPS 7804)
- IRON PIN FOUND AS NOTED
- MONUMENT BOX WITH 1" IRON PIN TO BE SET
- MONUMENT BOX WITH 1" IRON PIN FOUND AS NOTED



**N. PARTRIDGE MEADOWS DRIVE**

**DARROW ROAD 66' (S.R. 91)**

BASIS OF BEARINGS:  
 OHIO STATE PLANE  
 COORDINATES NAD 83,  
 LONG NORTH ZONE,  
 COMB. FACTOR 0.9998006

**CHADDS FORD SETTLEMENTS PHASE III  
 CAB. 1, SLIDES 888-893**

1.



**1931 Christine Dr.**

2.



**Lot #2**  
**1919 Christine Dr.**

3.



1911 Christine Dr.

**4.**



**1904 Christine Dr.**

5.

Lot # 5  
1912 Christine Dr.

**6.**

**Lot #6  
1924 Christine Dr.**

8.



**1948 Christine Dr.**

9.



1956 Christine Dr.

**10.**



**Lot #10  
1968 Christine Dr.**