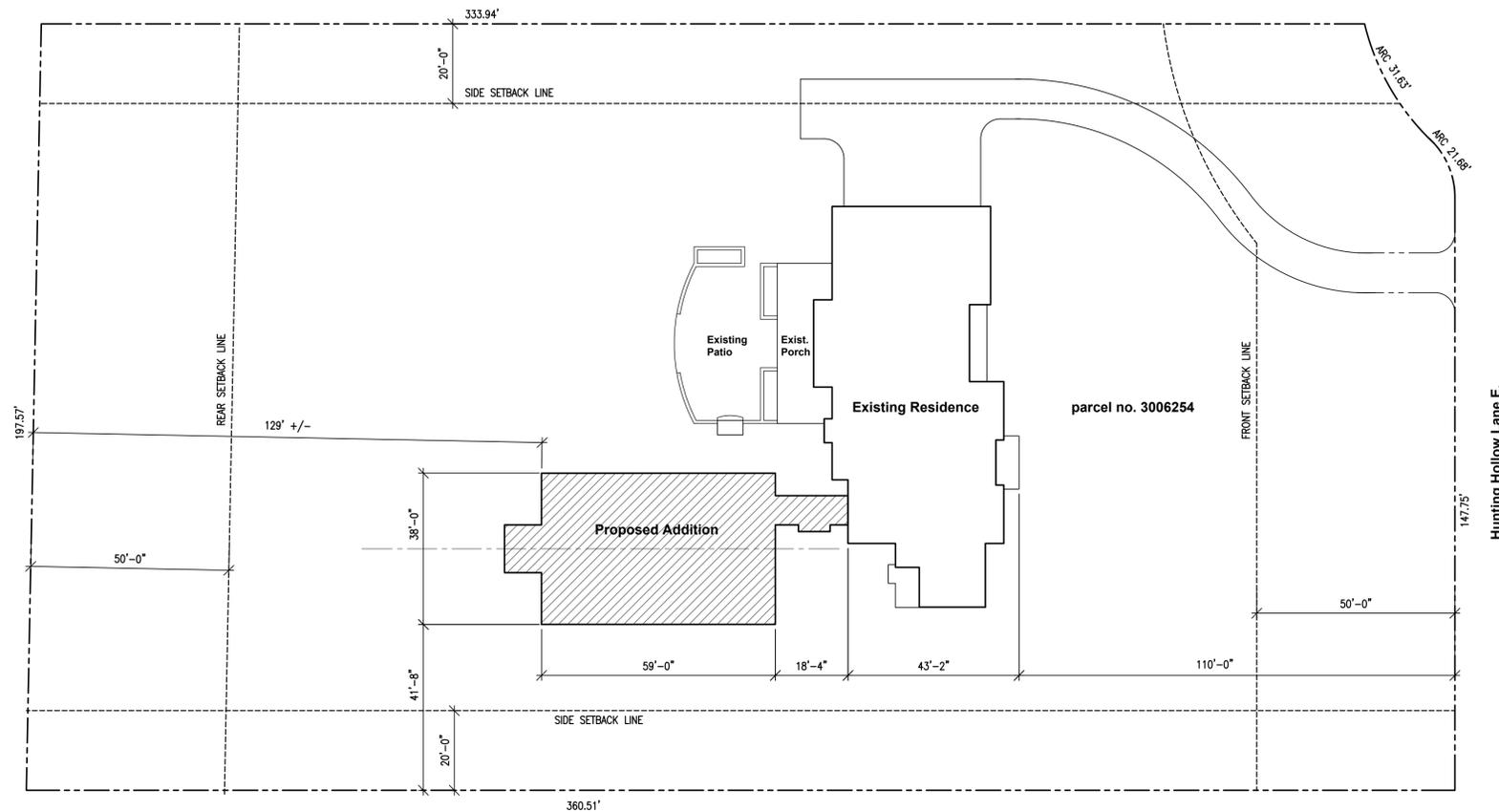


Proposed Addition

Dan and Leigh Ann Leugers Residence

6922 Hunting Hollow Lane E.
Hudson, Ohio 44236



Drawing Index

- A.1 TITLE SHEET - SITE PLAN
- SU.1 SURVEY/SITE PLAN
- A.2 OVERALL PLAN
- A.3 FIRST FLOOR PLAN - PROPOSED ADDITION
- A.4 EXTERIOR ELEVATIONS
- A.5 EXTERIOR ELEVATIONS AND SECTIONS
- A.6 EXTERIOR ELEVATIONS
- A.7 SECTIONS
- PH.1 EXTERIOR PHOTOGRAPHS - EXISTING RESIDENCE
- R.1 RENDERINGS

Project Data

Location
6922 HUNTING HOLLOW LANE E.
HUDSON, OH 44236

Parcel No.
3006254

Zoning Classification
2 - RURAL RESIDENTIAL CONSERVATION

Required Setbacks
FRONT 50'
SIDE 20'
REAR 50'

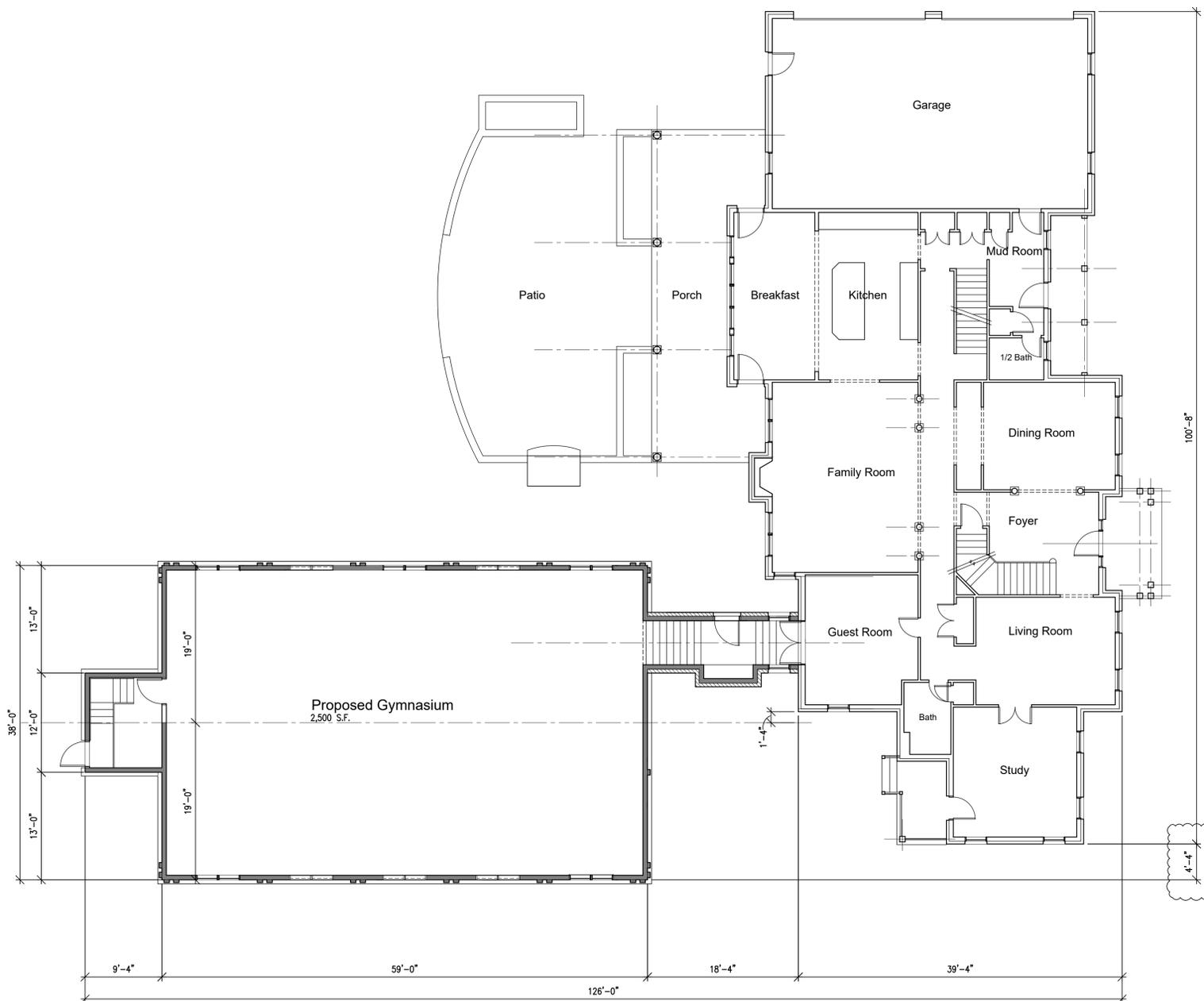
Site Area
68,873 S.F. - 1.58 AC.

Existing Residence
FIRST FLOOR - LIVING AREA 2,792 S.F.
FIRST FLOOR - GARAGE 958 S.F.
SECOND FLOOR LIVING AREA 2,409 S.F.
EXISTING RESIDENCE FOOTPRINT 3,750 S.F.

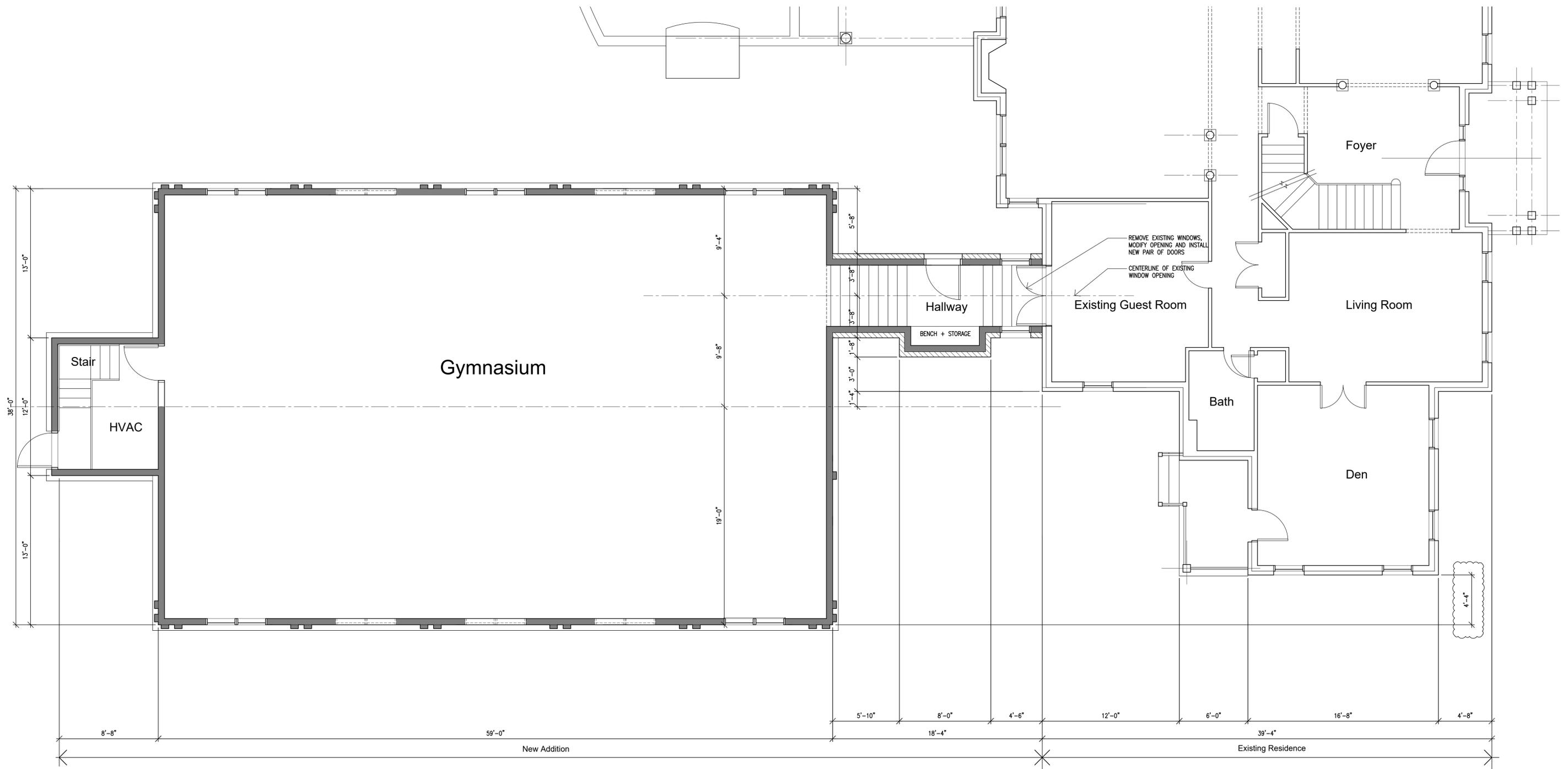
Proposed Addition
1 STORY GYMNASIUM 2,500 S.F.



Patrick Macoska ARCHITECT 1731 West 32nd Street (734) 669-6075 Cleveland, Ohio 44113 pmacoska@att.net	Proposed Addition project	Dan and Leigh Ann Leugers Residence 6922 Hunting Hollow Lane E. Hudson, Ohio 44236	Title Sheet, Site Plan drawing title	9-15-2022 OWNER REVIEW 9-13-2022 OWNER REVIEW 8-4-2022 OWNER REVIEW 8-1-2022 OWNER REVIEW	11-14-2022 PRELIM ABR SUBMITTAL REVISION 1 11-5-2022 PRELIM ABR SUBMITTAL	202209 project no.	as noted scale	A.1
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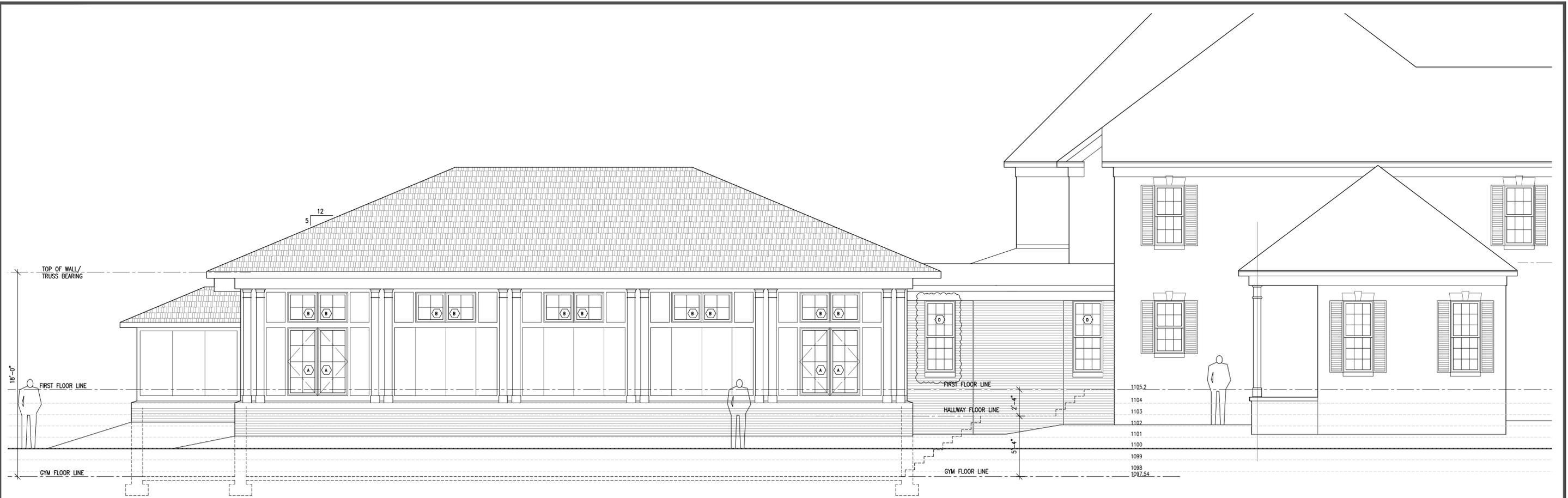


Overall Floor Plan
 Scale: 1/8" = 1'-0"



Overall Floor Plan
 Scale: 1/4" = 1'-0"

Patrick Macoska ARCHITECT <small>1731 West 32nd Street (734) 669-6075 Cleveland, Ohio 44113 pmacoska@att.net</small>	Proposed Addition <small>project</small>	Dan and Leigh Ann Leugers Residence 6922 Hunting Hollow Lane E. Hudson, Ohio 44236	First Floor Plan: Proposed Addition <small>drawing title</small>	<small>9-15-2022 OWNER REVIEW 9-13-2022 OWNER REVIEW 8-4-2022 OWNER REVIEW 8-1-2022 OWNER REVIEW</small>	<small>11-14-2022 PRELIM ABR SUBMITTAL REVISION 1 11-5-2022 PRELIM ABR SUBMITTAL</small>	202209 <small>project no.</small>	as noted <small>scale</small>	A.3
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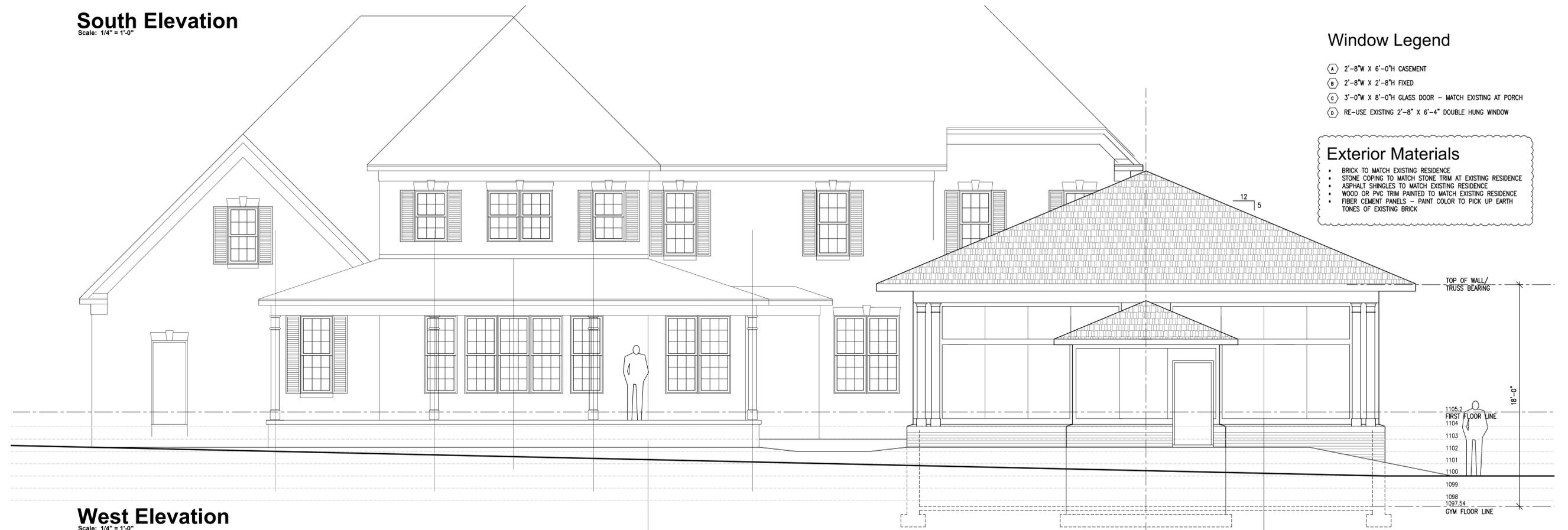
South Elevation
Scale: 1/4" = 1'-0"

Window Legend

- Ⓐ 2'-8"W x 6'-0"H CASEMENT
- Ⓑ 2'-8"W x 2'-8"H FIXED
- Ⓒ 3'-0"W x 8'-0"H GLASS DOOR - MATCH EXISTING AT PORCH
- Ⓓ RE-USE EXISTING 2'-8" x 6'-4" DOUBLE HUNG WINDOW

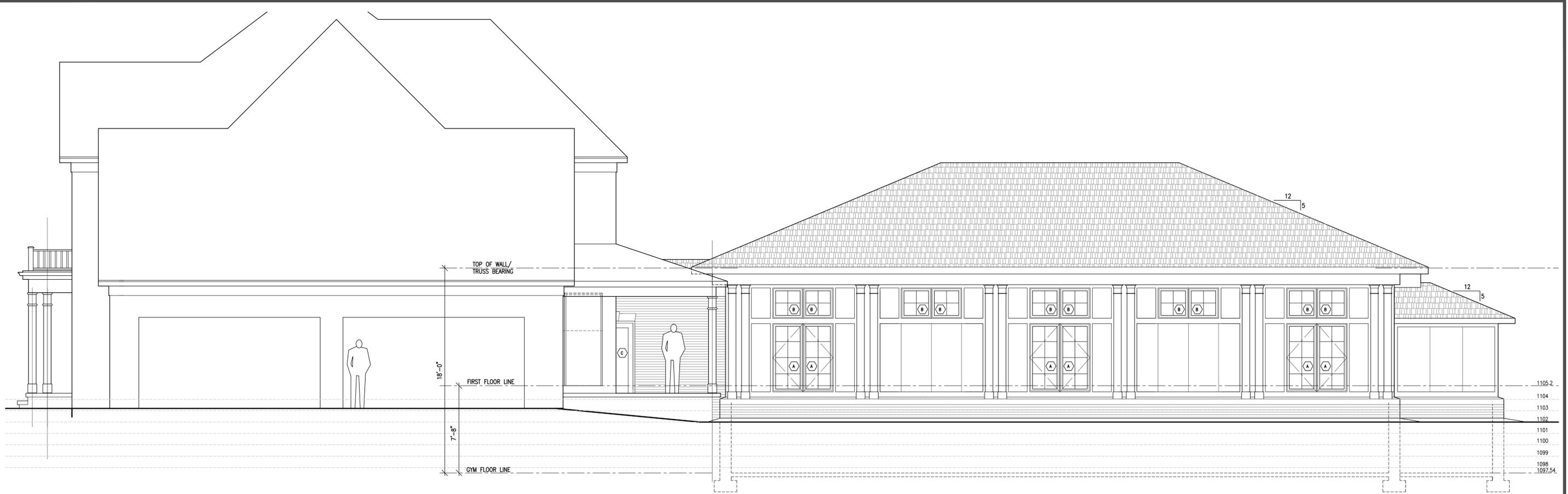
Exterior Materials

- BRICK TO MATCH EXISTING RESIDENCE
- STONE COPING TO MATCH STONE TRIM AT EXISTING RESIDENCE
- ASPHALT SHINGLES TO MATCH EXISTING RESIDENCE
- WOOD OR PVC TRIM PAINTED TO MATCH EXISTING RESIDENCE
- FIBER CEMENT PANELS - PAINT COLOR TO PICK UP EARTH TONES OF EXISTING BRICK

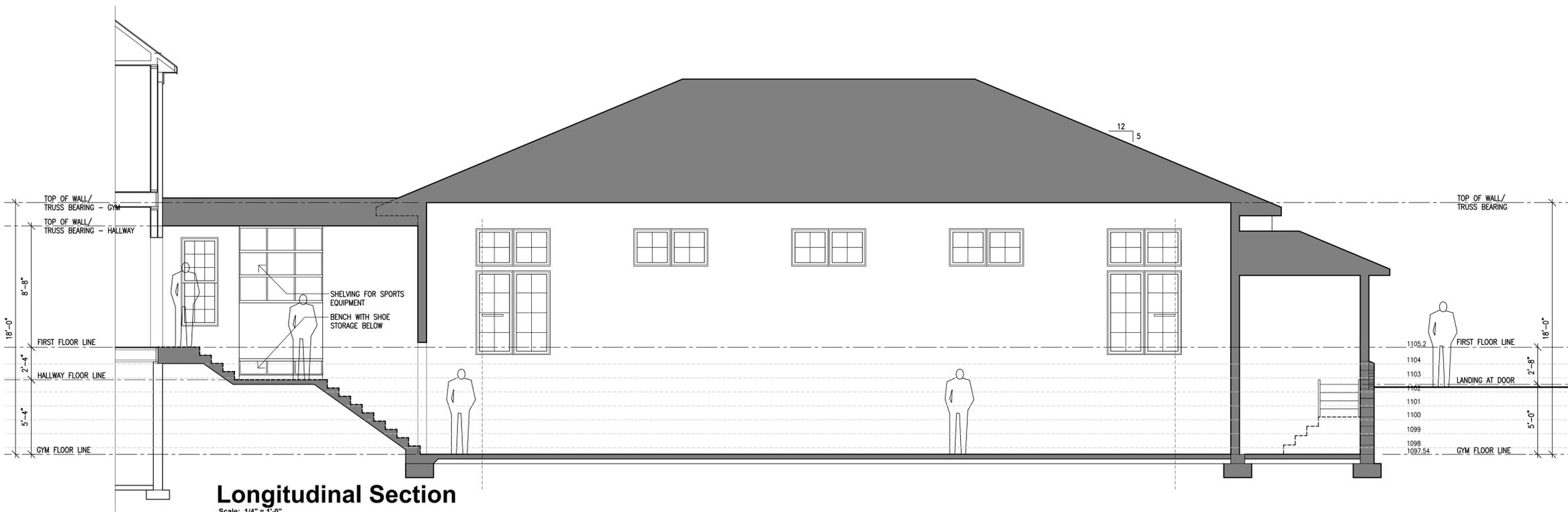


West Elevation
Scale: 1/4" = 1'-0"

Patrick Macoska ARCHITECT 1731 West 32nd Street (734) 669-9075	Proposed Addition project	Dan and Leigh Ann Leugers Residence 6922 Hunting Hollow Lane E. Hudson, Ohio 44236	Exterior Elevations drawing title	9-15-2022 OWNER REVIEW 9-13-2022 OWNER REVIEW 8-4-2022 OWNER REVIEW 8-1-2022 OWNER REVIEW	11-14-2022 PRELIM ABR SUBMITTAL REVISION 1 11-5-2022 PRELIM ABR SUBMITTAL 10-12-2022 WINDOW SIZES ADDED	202209 project no.	as noted scale	A.4
				date				



North Elevation
Scale: 1/4" = 1'-0"



Longitudinal Section
Scale: 1/4" = 1'-0"

Window Legend

- (A) 2'-8"W X 6'-0"H CASEMENT
- (B) 2'-8"W X 2'-8"H FIXED
- (C) 3'-0"W X 8'-0"H GLASS DOOR - MATCH EXISTING AT PORCH
- (D) RE-USE EXISTING 2'-8" X 6'-4" DOUBLE HUNG WINDOW

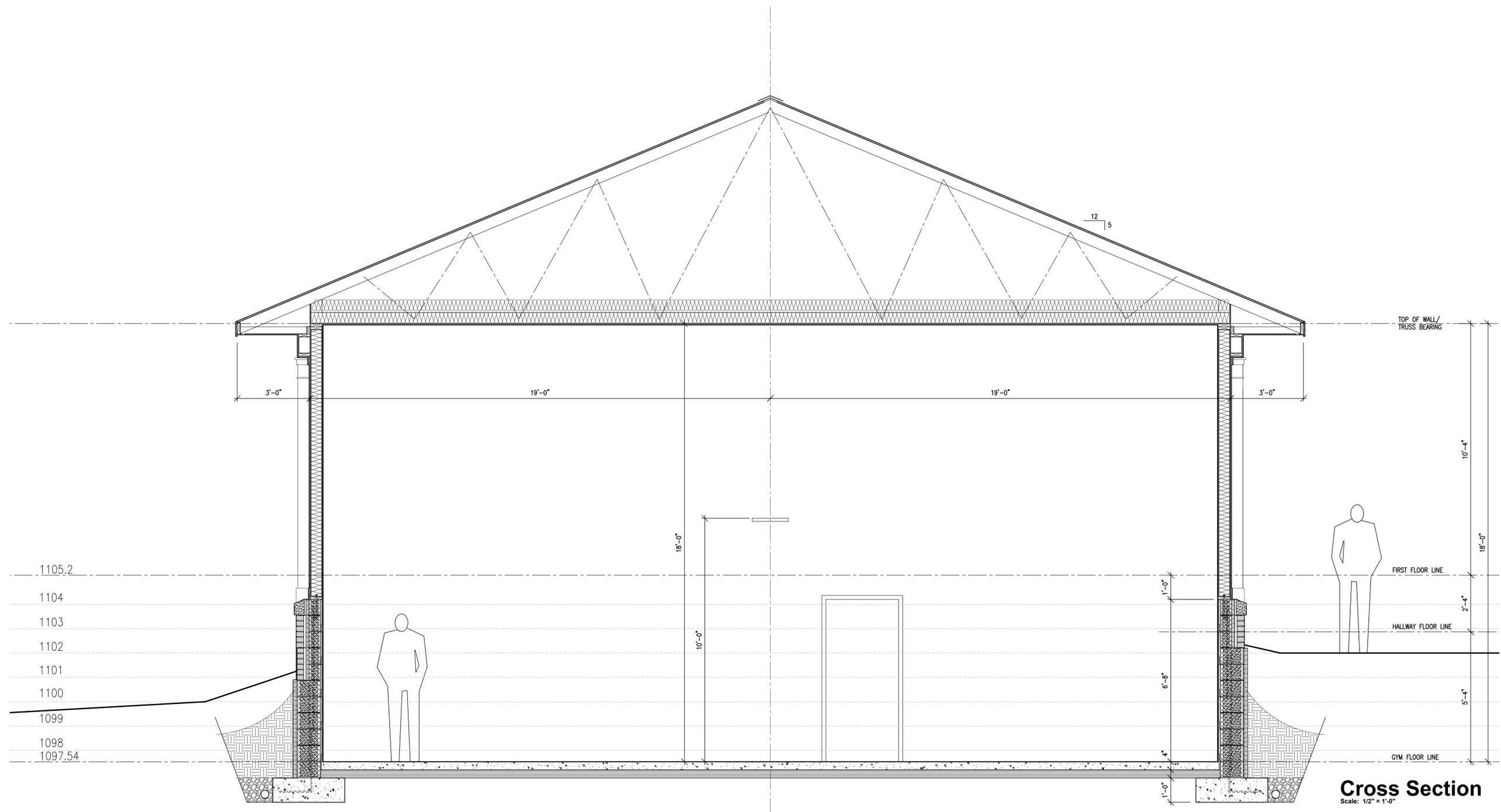
Exterior Materials

- BRICK TO MATCH EXISTING RESIDENCE
- STONE COPING TO MATCH STONE TRIM AT EXISTING RESIDENCE
- ASPHALT SHINGLES TO MATCH EXISTING RESIDENCE
- WOOD OR PVC TRIM PAINTED TO MATCH EXISTING RESIDENCE
- FIBER CEMENT PANELS - PAINT COLOR TO PICK UP EARTH TONES OF EXISTING BRICK



- Exterior Materials**
- BRICK TO MATCH EXISTING RESIDENCE
 - STONE COPING TO MATCH STONE TRIM AT EXISTING RESIDENCE
 - ASPHALT SHINGLES TO MATCH EXISTING RESIDENCE
 - WOOD OR PVC TRIM PAINTED TO MATCH EXISTING RESIDENCE
 - FIBER CEMENT PANELS - PAINT COLOR TO PICK UP EARTH TONES OF EXISTING BRICK

Patrick Macoska ARCHITECT 1731 West 32nd Street Cleveland, Ohio 44113 (734) 669-6075 pmacoska@att.net	Proposed Addition project	Dan and Leigh Ann Leugers Residence 6922 Hunting Hollow Lane E. Hudson, Ohio 44236	Exterior Elevations drawing title	<table border="0"> <tr> <td>9-15-2022</td> <td>OWNER REVIEW</td> <td>11-14-2022</td> <td>PRELIM ABR SUBMITTAL REVISION 1</td> </tr> <tr> <td>9-13-2022</td> <td>OWNER REVIEW</td> <td>11-5-2022</td> <td>PRELIM ABR SUBMITTAL</td> </tr> <tr> <td>8-4-2022</td> <td>OWNER REVIEW</td> <td>10-12-2022</td> <td>WINDOW SIZES ADDED</td> </tr> <tr> <td>8-1-2022</td> <td>OWNER REVIEW</td> <td></td> <td></td> </tr> </table>	9-15-2022	OWNER REVIEW	11-14-2022	PRELIM ABR SUBMITTAL REVISION 1	9-13-2022	OWNER REVIEW	11-5-2022	PRELIM ABR SUBMITTAL	8-4-2022	OWNER REVIEW	10-12-2022	WINDOW SIZES ADDED	8-1-2022	OWNER REVIEW			202209 project no.	as noted scale	A.6
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8-1-2022	OWNER REVIEW																						



Cross Section
Scale: 1/2" = 1'-0"



Front (East) Elevation



Side (South) Elevation



Rear (West) Elevation



Back Yard - View toward Proposed Addition Site



Side (South) Elevation



Rear (West) Elevation



Birds Eye View



View from Porch and Patio