

## DRAWING INDEX

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## MATERIAL LEGEND

	EARTH		POROUS FILL/ GRAVEL
	CONCRETE MASONRY		SAND/MORTAR/ CUT STONE
	BRICK MASONRY		CAST-IN-PLACE CONCRETE
	FIRE BRICK		LIGHTWEIGHT CONCRETE
	STRUCT. GLAZED FACING TILE		ALUMINUM ( LARGE SCALE )
	MARBLE		STEEL/METALS ( LARGE SCALE )
	PLYWOOD ( SMALL SCALE )		MISC. WOOD BLKG./SHIMMING
	PLYWOOD ( LARGE SCALE )		NOMINAL ROUGH WOOD FRAMING
	GYPSUM BOARD		FINISH WOOD
	GLASS/MINERAL FIBER INSULATION		MASONRY (IN ELEVATION)
	RIGID INSULATION		SHEET METAL (IN ELEVATION)
	ACOUSTICAL TILE		FINISH WOOD (IN ELEVATION)
	GLASS ( LARGE SCALE )		GLASS (IN ELEVATION)
	CARPET		SHAKES/SHINGLES (IN ELEVATION)

## REFERENCED CODES

ALL PROJECT WORK SHALL INSTALLED IN STRICT ACCORDANCE WITH THE FOLLOWING CODES:  
2019 RESIDENTIAL CODE OF OHIO (RCO)

THE CONTRACTOR SHALL INSTALL EACH WORK ITEM PER EACH MANUFACTURER'S WRITTEN INSTRUCTIONS & TO MAINTAIN SUCH INSTRUCTIONS ON SITE AT ALL TIMES.

## SURVEY DATA

SURVEY INFORMATION TAKEN FOR OWNER'S RECORDED DEED FOR THE PROPERTY ON FILE IN LAKE COUNTY RECORDER'S OFFICE.

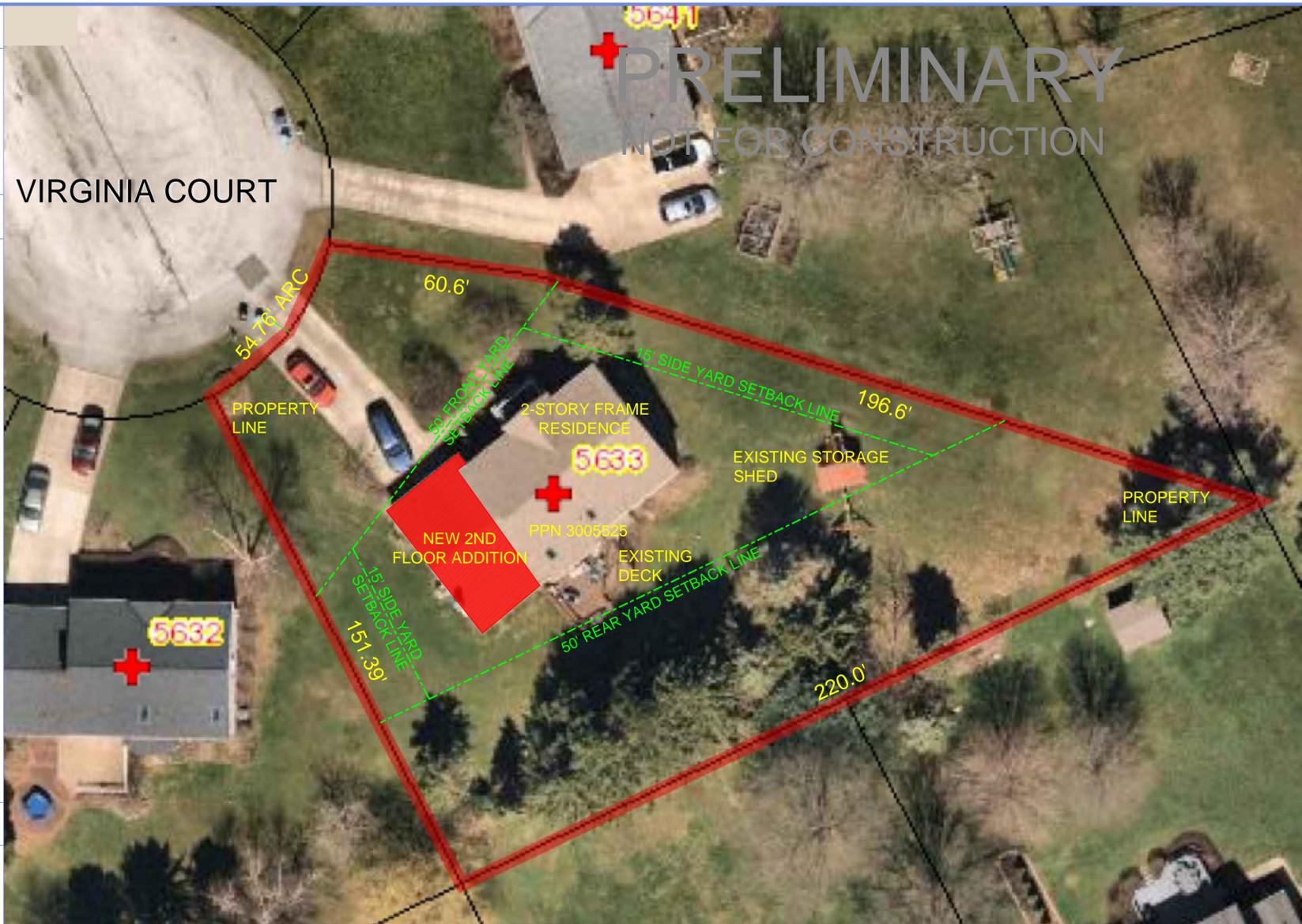
## ABBREVIATIONS

A/C	AIR CONDITIONING	CONT	CONTINUE, CONTINUOUS
ACT	ACOUSTIC(AL)	CONTR	CONTRACTOR
ADD	ADDENDUM	COORD	COORDINATE, COORDINATOR
ADJ	ADJACENT	COR	CORRIDOR
AFF	ABOVE FINISHED FLOOR	CRI	CASH REGISTER INSTALLER
ALUM	ALUMINUM	CT	CERAMIC TILE
ALT	ALTERNATE, ALTERNATIVE	DBL	DOUBLE
APPROV	APPROVED	DEM	DEMOLISH
ARCH	ARCHITECT(URAL)	DES	DESIGN(ER)
AUTO	AUTOMATIC	DIA	DIAMETER
BD	BOARD	DIM	DIMENSION
BET	BETWEEN	DN	DOWN
BLDG	BUILDING	DR	DOOR
BOT	BOTTOM	DTL	DETAIL
CAB	CABINET	DWG	DRAWING
CB	CERAMIC BASE	EA	EACH
CFM	CUBIC FEET PER MINUTE	EC	ELECTRICAL CONTRACTOR
CG	CORNER GUARD	EL	ELEVATION
CLG	CEILING	ELECT	ELECTRIC, ELECTRICAL
CLR	CLEAR(ANCE)	ENT	ENTRANCE
CTR	CENTER	EQ	EQUAL
COL	COLUMN	EQUIP	EQUIPMENT
CONC	CONCRETE	EWH	ELECTRIC WATER HEATER
CONST	CONSTRUCTION	EXH	EXHAUST

EXIST	EXISTING	HDW	HARDWARE
EXT	EXTERNAL	HM	HOLLOW METAL
FD	FLOOR DRAIN	HOR	HORIZONTAL
FEC	FIRE EXTINGUISHER CABINET	HR	HOUR
FEX	FIRE EXTINGUISHER	HT	HEIGHT
FFE	FINISHED FLOOR ELEVATION	HVAC	HEATING/VENTILATING/AC
FIN	FINISHED	IN	INCH(ES)
FLUOR	FLUORESCENT	INCDND	INCANDESCENT
FLR	FLOOR	INCL	INCLUDE(ED), (ING)
FOS	FACE OF STUD	INFO	INFORMATION
FR	FIRE RESISTIVE	INS	INSULATION
FRP	FIBER REINFORCED PANEL	INT	INTERIOR
FS	FLOOR SINK	LAM	LAMINATE
FT	FOOT, FEET	LAV	LAVATORY
FUT	FUTURE	LB	POUND(S)
F.V.	FIELD VERIFY	LT	LINEAL
GA	GAUGE	LT	LIGHT
GALV	GALVANIZED	MAINT	MAINTENANCE
GB	GRAB BAR	MSY	MASONRY
GC	GENERAL CONTRACTOR	MAX	MAXIMUM
GR	GRILLE	M.E.	MATCH EXISTING
GWB	GYPSUM WALL BOARD	MECH	MECHANICAL
GYP	GYPSUM	MFR	MANUFACTURER
H	HIGH	MTL	METAL
HDCP	HANDICAPPED		

MIN	MINIMUM	REINF	REINFORCEMENT
MIR	MIRROR	REQ	REQUIRE(ED), (MENT)
MISC	MISCELLANEOUS	RM	ROOM
MR	MOISTURE RESISTANT	SAC	SUSPENDED ACOUSTICAL CLG
MNT	MOUNT(ED)	SC	SOLID CORE
NOM	NOMINAL	SCH	SCHEDULE
NTS	NOT TO SCALE	SEC	SECTION
OC	ON CENTER	SH	SHELF, SHELIVING
OH	OVERHEAD	SHT	SHEET
OPP	OPPOSITE	SIM	SIMILAR
OWN	OWNER	SPEC	SPECIFICATION(S)
OZ	OUNCE(S)	SQ	SQUARE
PL	PLASTIC LAMINATE	SS	STAINLESS STEEL
PLBG	PLUMBING	STD	STANDARD
PT	PRESSURE TREATED	STL	STEEL
PSF	POUNDS PER SQUARE FOOT	STOR	STORAGE
PSI	POUNDS PER SQUARE INCH	STRUCT	STRUCTURE, STRUCTURAL
PVC	POLYVINYL CHLORIDE	SUSP	SUSPEND(ED)
PWD	PLYWOOD	SYM	SYMMETRIC(AL)
QTY	QUANTITY	SV	SHEET VINYL
RAD	RADIUS	TEN	TENANT
RE	REFERENCE, REFER TO	T&G	TOUNGE AND GROOVE
		TEL	TELEPHONE

NEW SITEWORK NOTES:  
MAINTAIN EXISTING BUILDING GRADES, LAWNS & LANDSCAPING. REPAIR/REPLACE AS NEEDED.



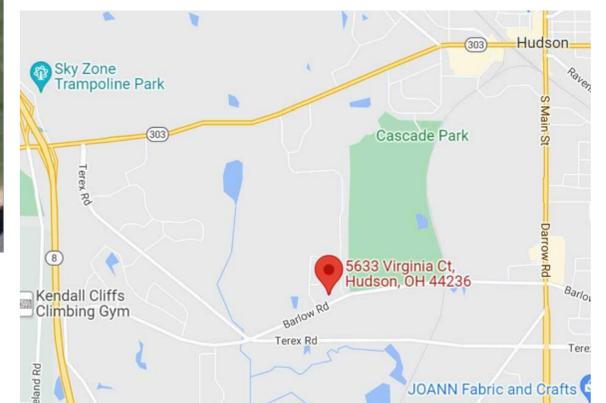
**FIELD INFORMATION NOTE:**  
DIMENSIONS & QUANTITIES SHOWN ARE APPROXIMATE. INDEPENDENT MEASUREMENT & COUNT VERIFICATIONS MUST BE CONDUCTED PRIOR TO ORDERING, MANUFACTURING OR CONSTRUCTION.

## PROJECT DESCRIPTION

- Existing residence addition & renovation.
- remove existing residence garage roofing & framing as needed. Install new 2nd floor addition & roof as shown.
  - renovate existing affected interior & exterior materials.
  - install new mechanical, plumbing & electrical systems.
  - upgrade related site & residence features as needed.
  - protect/repair/replace existing site & residence features.

## BUILDING CODE INFORMATION

Compliance for Existing Residence.  
USE GROUP: District 3 R-1 2-Story Residence (Hudson, OH Zoning Map)  
LIMITS: Height 2-Story 40 feet, Area 7,000 sf  
ACTUAL: Height 2-story 26 feet, Area 2,646 sf  
ADDITION: Height 2-Story 21 feet, Area 1,794 sf  
CONSTRUCTION TYPE: 5B  
RCO Section 302 & TABLE 302.1  
FIRE RESISTANT RATING: Primary Structural Frame 0 hours  
Walls, Exterior: 2- <5 ft, 1 hour, otherwise 0 hours  
RCO Section 302.9 INTERIOR FINISHES:  
Flame Index: Interior Wall & Ceiling Finish <201  
Smoke Index: Interior Wall & Ceiling Finish <451  
RCO Section 302.10 BATT INSULATION per ASTM E-84:  
Flame Index: Interior Wall & Ceiling Finish <26  
Smoke Index: Interior Wall & Ceiling Finish <451  
RCO Section 308 GLAZING  
308.4.1 Glazing in doors.  
308.4.2 Glazing adjacent to doors. Glazing in an individual fixed or operable panel adjacent to a door shall be considered to be a hazardous location where the bottom exposed edge of the glazing is less than 60 inches (1524 mm) above the floor or walking surface and it meets either of the following conditions:  
1. Where the glazing is within 24 inches (610 mm) of either side of the door in the plane of the door in a closed position.  
RCO 310.2, 2.1 & 2.2 EMERGENCY ESCAPE & RESCUE OPENINGS: provided.  
RCO 310.2.5 WINDOWS: New windows provided.  
RCO Section 311 MEANS OF EGRESS:  
At least one egress door shall be provided for each dwelling unit. The minimum width of each egress door opening shall be a clear width of 32"x78". Minimum Swing = 90°. Provided.  
ELECTRICAL: Required. Comply with RCO CHAPTER 34  
MECHANICAL: Required. Comply with RCO CHAPTERS 12 THRU 22.  
PLUMBING: Required. Comply with RCO CHAPTER 25.



**EBA Inc.**  
Architects \* Engineers \* Planners

RESIDENCE ADDITION & REMODELING  
FOR  
MR. BRIAN D. NEILL  
5633 VIRGINIA COURT, HUDSON, OH 44236  
C-1  
SHEET

**ARCHITECTURAL NOTES**

**CODE REQUIREMENTS**

SEE DRAWING C-1 FOR BUILDING CODE NOTES

**SURFACE PREPARATION**

EXISTING RESIDENCE SIDING: REMOVE SIDING & TYVEK AS NEEDED. PREP EXISTING SHEATHING TO RECEIVE NEW MATERIALS.

**INTERIOR REMOVAL NOTES**

REPAIR/REPLACE ALL EXISTING FINISH MATERIALS TO MATCH EXISTING. PREP EXIST SUB-SURFACES RECEIVE NEW FINISH MATERIALS. PATCH/REPAIR EXISTING SURFACES AS NEEDED.

**SURFACE PREPARATIONS**

WOOD: REMOVE ALL ROTTEN MEMBERS & REPLACE (SAME SIZE & STRENGTH) REMOVE/REPLACE ALL BENT OR RUSTED FASTENERS (SAME SIZE & STRENGTH) CHEMICALLY REMOVE ALL EXISTING FINISH MATERIAL COMPLETELY. SAND & SMOOTH THE RESULTING SURFACE. FILL ALL HOLES. SAND SMOOTH.

METAL: SAND TO WHITE METAL REPAIR CRACKS, ETC., FILL ALL VOIDS. REPLACE ALL BROKEN FASTENINGS (SAME SIZE, STRENGTH & APPEARANCE).

MASONRY & DRYWALL: CHEMICALLY REMOVE ALL EXISTING FINISH MATERIAL COMPLETELY. REPAIR ALL SURFACES TO FLUSH CONDITION, FILL AND PATCH ALL HOLES FLUSH. CHEMICALLY SEAL COAT PRIOR TO FINISH.

**ARCHITECTURAL BUILDING REPAIR NOTES**

A. INSTALL NEW ROOF, ROOFING, FRAMING & BLOW-IN OR FIBERGLASS batt INSULATION ABOVE NEW CEILING SUFFICIENT TO PROVIDE R-49 MINIMUM.

B. INSTALL NEW WINDOW BLINDS AND/OR DRAPE TRACKS & SUPPORT HARDWARE.

C. REPAIR ALL EXISTING WALLS AFFECTED BY NEW ADDITION AS NEEDED. COLORS & MATERIALS BY OWNER.

C. REPAIRED/REPLACE DEMOED, OR INSTALL NEW, BASE & DOOR MOLDINGS. MATCH EXISTING. FINISH TO MATCH EXISTING.

D. REMOVE/REPLACE EXISTING DETERIORATED OR BROKEN DRYWALL w/ NEW MATERIALS OF EQUAL GRADE, STRENGTH, COLOR AND FINISH. MATCH EXISTING.

E. MATERIALS, COLORS, FINISHES & SELECTIONS FOR WINDOWS & DOORS BY OWNER.

**INTERIOR FINISHES**

EXISTING ROOM FINISHES: ALL EXISTING MATERIALS REMAIN E.N.O. NEW ROOM FINISHES: ALL MATERIALS FLAME SPREAD (FS < 25). SEE ROOM FINISH SCHEDULE FOR FINISH MATERIALS.

**INTERIOR WORK NOTES**

- GENERAL NEW INSTALLATIONS ONLY
- MAKE ALL INSTALLATIONS IDENTIFIED. VACUUM CLEAN & REMOVE ALL RESULTING DEBRIS FROM THE SITE IMMEDIATELY.
  - REPAIR ALL BREAKS & IMPERFECTIONS IN FLOORS, WALLS & CEILINGS. REPAIR SIMILAR TO SURROUNDING SURFACES.
  - MAKE ALL INSTALLATIONS CAREFULLY TO:
    - ELIMINATE DAMAGE TO OTHER MATERIALS.
    - MINIMIZE AIRBORNE DUST.
  - SEE FLOOR PLAN FOR NEW EQUIPMENT LOCATIONS.
  - COORDINATE ALL WORK WITH OTHER CONTRACTORS.

**CLOSET HARDWARE**

INSTALL CLOSET WIRE SHELVES & HANGING RODS BY MEDAS OR EQUAL. INCLUDE FASTENERS & SUPPORT HARDWARE. COLOR-WHITE. PREPARE EXISTING SURFACES FOR NEW FINISH MATERIALS PER ROOM FINISH SCHEDULE.

**EXTERIOR FINISHES**

EXISTING WALL SIDING & TRIMM REMAIN. NEW MATERIALS: MATCH EXISTING. TOUCH-UP FINISHES AS NEEDED.

PAINT OR STAIN FINISH: FILLER + 2 COATS, SHERWIN WILLIAMS OR EQUAL. STONE: TOUCHPOINT AS NEEDED. MATCH EXISTING MORTAR COLOR.

**WINDOW NOTES**

See glazing code requirements, Dwg C-1.

ALL EXISTING WINDOWS REMAIN. INSPECT/REPAIR AS NEEDED. MATCH EXIST. NEW WINDOWS: PELLA ARCHITECT ALUMINUM, OR MATCH EXISTING. SEE DWG A-3 FOR TYPE. R=30, SHGS=0.30. MATCH EXIST FINISH.

**DOOR NOTES**

- NEW MAN-DOORS & FRAMES, SOLID CORE WOOD STAVE, U<0.59, (M.E.) FINISH & COLOR, SELECTION BY OWNER. ALL NEW DOORS 6'-8" HIGH.
- EXISTING GARAGE DOOR & OPERATOR REMAIN. REPAIR AS NEEDED.
- INSTALL NEW DOOR STOPS WHERE REQUIRED.
- SEE DRAWINGS FOR DOOR SIZES & LOCATIONS.

**DOOR HARDWARE**

- GENERAL: MANUFACTURER-SCHEDULE 30 DURIN OR EQUAL REPAIR/REPLACE EXISTING HARDWARE TO MATCH EXISTING MANUFACTURER, STYLE & FINISH. MATCH EXISTING OR BY DWG OR
- FASTENERS: MATCH EXISTING FINISH-SIZE BY MFG
- HARDWARE FINISH: MATCH EXISTING FINISH-SIZE BY MFG
- HINGES: HEAVY DUTY BALL BEATING TYPE, NICKEL FINISH ONLY WHERE REQUIRED
- LATCH SET: MATCH EXISTING. THUMB LATCH. KEY.
- SILENCERS: VINYL, INSET. 3 PER LATCH JAMB.
- KEYING: MATCH EXISTING. MASTER KEY & FINISH. 1 PER LOCK.
- DOOR STOPS: ROUND, VINYL BUMPER TYPE, WALL MOUNTED-1 PER LEAF MOUNT NEW DOOR STOPS AT ALL DOORS ADJACENT TO WALLS.

**DOOR HARDWARE GROUPS**

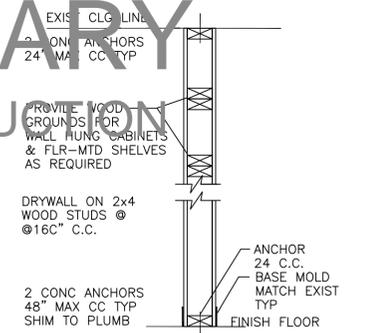
**GROUP 1-INTERIOR HINGED DOORS**

- 1/2 PR HINGES
- 1 LATCH SET w/ PUSHBUTTON

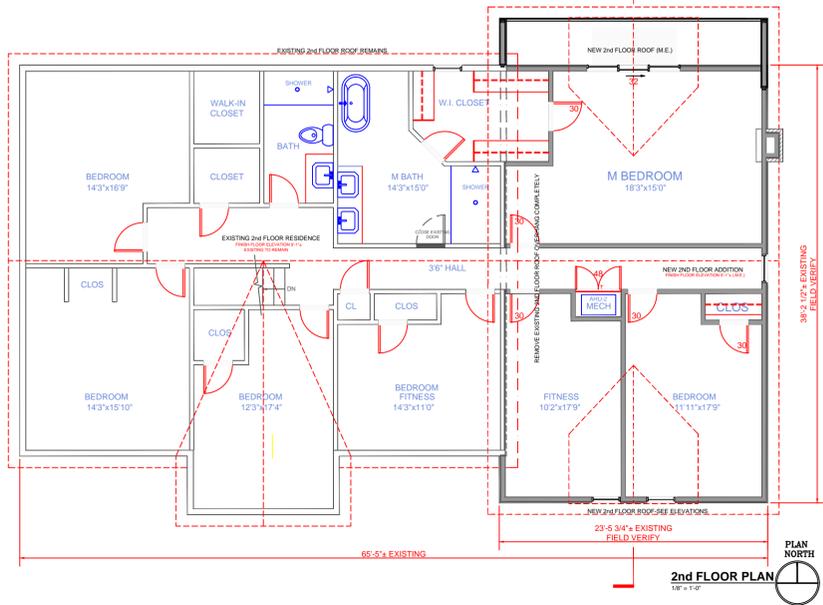
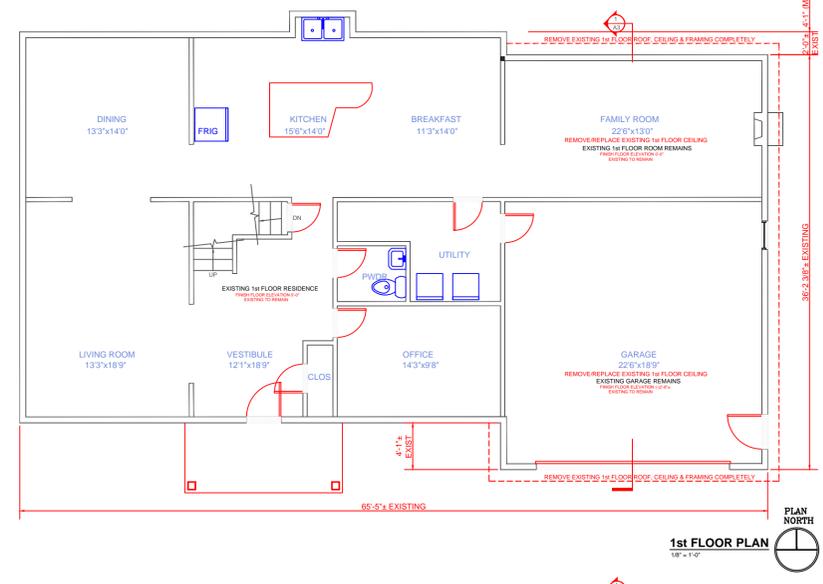
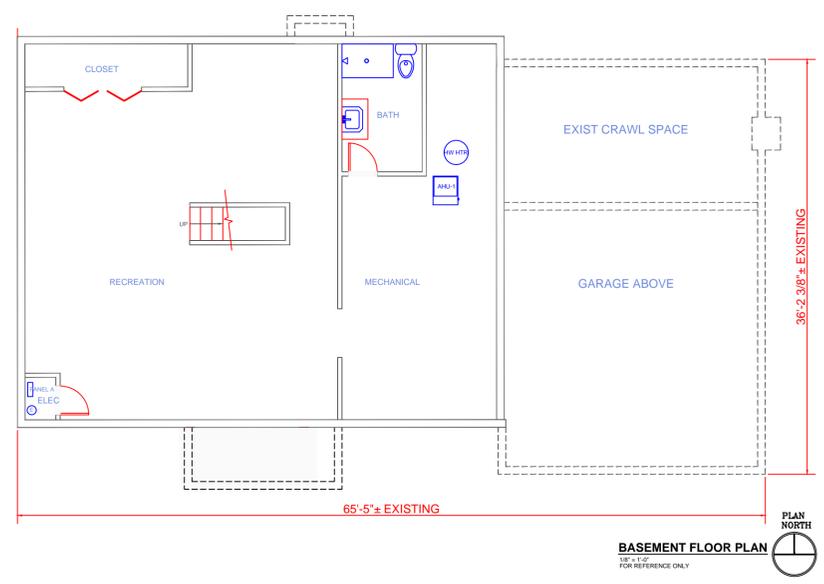
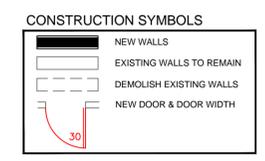
**GROUP 2-INTERIOR DOUBLE DOORS**

- 1 1/2 PR HINGES PRT LEAF
- 1 LATCH SET w/ PUSHBUTTON
- 1 WOOD ASTRAGAL-ACTIVE LEAF

PRELIMINARY  
NOT FOR CONSTRUCTION



**NEW/REPLACEMENT WALL DETAIL**  
COORDINATE OPENING WIDTHS WITH DRAWING A-1



FIELD INFORMATION NOTE:  
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INDEPENDENT MEASUREMENT & COUNT VERIFICATIONS  
MUST BE CONDUCTED PRIOR TO ORDERING,  
MANUFACTURING OR CONSTRUCTION.

**DEMOLITION NOTES**

- REMOVE ALL EXISTING MATERIALS AND FINISHES NOT NECESSARY FOR THE COMPLETION OF THE WORK AS SHOWN ON THE DRAWINGS, INCLUDING BUT NOT LIMITED TO, NECESSARY DISCONNECTS AND ALTERATIONS TO ALL EXISTING SYSTEMS & ITEMS SHOWN ON THE PLANS WITH DASHED LINES. PATCH AS REQUIRED ALL MATERIALS TO REMAIN IN ACCORDANCE WITH THE CONTRACT DRAWINGS. WHERE CONTRACTOR IS DESIGNATED TO MAKE REMOVALS, DISPOSITION OF ALL REMOVED MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR. VERIFY w/ OWNER, THE DISPOSITION AND REMOVAL OF ANY COMPONENTS OF SALVAGEABLE VALUE.
- ALL REMOVALS AND SALVAGE, UNLESS SPECIFICALLY NOTED OR REQUESTED BY THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR.
- REMOVE ONLY NON-LOAD BEARING CONSTRUCTION AND PARTITIONS. CONTRACTOR TO VERIFY, PRIOR TO REMOVAL, THAT NO STRUCTURAL COMPONENTS, I.E. BEARING WALLS, BEAMS, HEADERS, ETC., SUPPORTING FLOOR, ROOF OR CEILING JOISTS ARE DESIGNATED FOR REMOVAL. CONTACT THE ENGINEER PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT. DO NOT PROCEED WITH THAT WORK UNTIL A SATISFACTORY REMEDY IS DETERMINED.
- CONTRACTOR'S NON-CONTACT OF ENGINEER PRIOR TO REMOVAL OF ANY WORK INDICATES THE CONTRACTOR'S COMPLETE UNDERSTANDING THAT NO LOAD-BEARING OR STRUCTURAL WORK IS BEING ALTERED UNDER THIS CONTRACT.
- ALL STRUCTURAL SYSTEMS SHALL BE MAINTAINED AND ADEQUATELY BRACED; AND SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT THE DESIGN AND CONSTRUCTION LOADS; AND SHALL BE ABLE TO RESIST THE DEFORMATION CAUSED BY SUCH LOADS TO WHICH THEY ARE SUBJECTED, I.E., SOIL PRESSURE INCLUDING SURCHARGE, HYDROSTATIC HEAD AND IMPACT LOADS AS APPLICABLE.
- REMOVE ALL EXISTING SERVICES TO BE ABANDONED. PERFORM ALL WORK PER APPLICABLE CODES.
- REUSE EXISTING PIPE, DUCTS, CONDUIT CABLE, FIXTURES & APPURTENANCES WHERE POSSIBLE TO ACCOMMODATE NEW FIXTURES & EQUIPMENT. MAINTAIN ACCESS TO ALL EXISTING PANEL BOARDS TO REMAIN.
- CONTACT ENGINEER IMMEDIATELY TO IDENTIFY HIDDEN OR LIFE-THREATENING DEFECTS ARE IDENTIFIED. DO NOT PROCEED WITH THAT WORK UNTIL A SATISFACTORY REMEDY IS DETERMINED. SALVAGE: WHERE POSSIBLE, REUSE ALL EXISTING UTILITIES & SERVICES.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE ADEQUATE BRACING, SHORING AND OTHER TEMPORARY SUPPORT MEASURES HE DEEMS NECESSARY, TO SAFELY IMPLEMENT THIS DESIGN.
- PATCH ALL EXISTING FINISHES TO MATCH EXISTING, INCLUDING BUT NOT LIMITED TO, PANELS, STONE, CMU MASONRY & FRAMING.
- VERIFY MATCH OF NEW FINISH MATERIALS TO EXISTING IN COLOR, TEXTURE, THICKNESS, CUT, ETC. TO SATISFACTION OF OWNER, PRIOR TO INSTALLATIONS. PROVIDE OTHER MATERIALS TO MATCH EXISTING WHEN REQUIRED, TO BE APPROVED BY OWNER.
- WHERE APPLICABLE, LEVEL ALL EXISTING FLOORS AS REQUIRED TO RECEIVE NEW FLOOR FINISHES. SEE ARCHITECTURAL DRAWINGS FOR REQUIRED TRANSITION PIECES BETWEEN VARIOUS FLOOR FINISHES.
- WHERE POSSIBLE, REUSE ALL EXISTING SYSTEMS TO REMAIN.

**SITE DEMOLITION DRAWING NOTES**

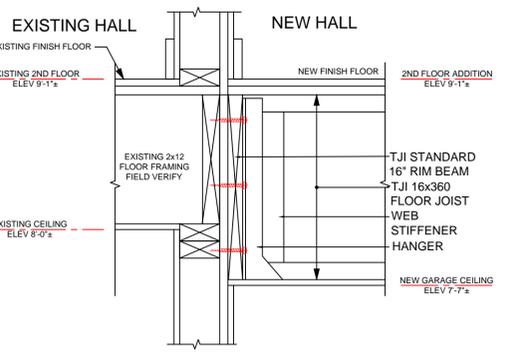
- GENERAL
- REMOVE ALL EXISTING DEMOLISHED OR DETERIORATED BUILDING MATERIALS IMMEDIATELY FROM THE SITE.
  - PROTECT ALL EXISTING SITE ITEMS TO REMAIN FOR REUSE. REPAIR/REPLACE AS NEEDED. SEE NOTES.

**REMOVAL/REHABILITATION NOTES**

- PROTECT ALL EXISTING CONCRETE & ASPHALT PAVING DURING CONSTRUCTION. REMOVE/REPLACE ALL EXISTING DAMAGED CONCRETE, ASPHALT PAVINGS AS NEEDED. MATCH EXISTING.
- REMOVE/REPLACE ALL EXISTING DAMAGED TREES & PLANTINGS. FERTILIZE & MULCH AS NEEDED. MATCH EXISTING. WATER AS NEEDED FOR 90 DAYS.
- PRESSURE WASH REPAIR/REFINISH EXISTING CONCRETE WALKS & DRIVEWAYS. NOTE B.
- PROTECT ALL EXISTING EQUIPMENT & APPURTENANCES TO REMAIN DURING CONSTRUCTION. REPAIR/REFINISH/REPLACE SITE LIGHTS, GRILLS, & OTHER APPURTENANCES. NOTE B.

**BUILDING DEMOLITION DRAWING NOTES**

- REMOVE ALL EXISTING EXTERIOR WALL MATERIALS THAT CONFLICT w/THE NEW WORK.
- CLEAN & REPAIR/REPLACE ALL EXISTING BUILDING SERVICES TO REMAIN FOR REUSE. REPLACE ONLY AS NEEDED.



**NEW ADDITION 2ND FLOOR  
DETAIL LOOKING SOUTH**  
SCALE: 1/2" = 1'-0"



**EXISTING FRONT ELEVATION**  
NO SCALE FOR REFERENCE ONLY

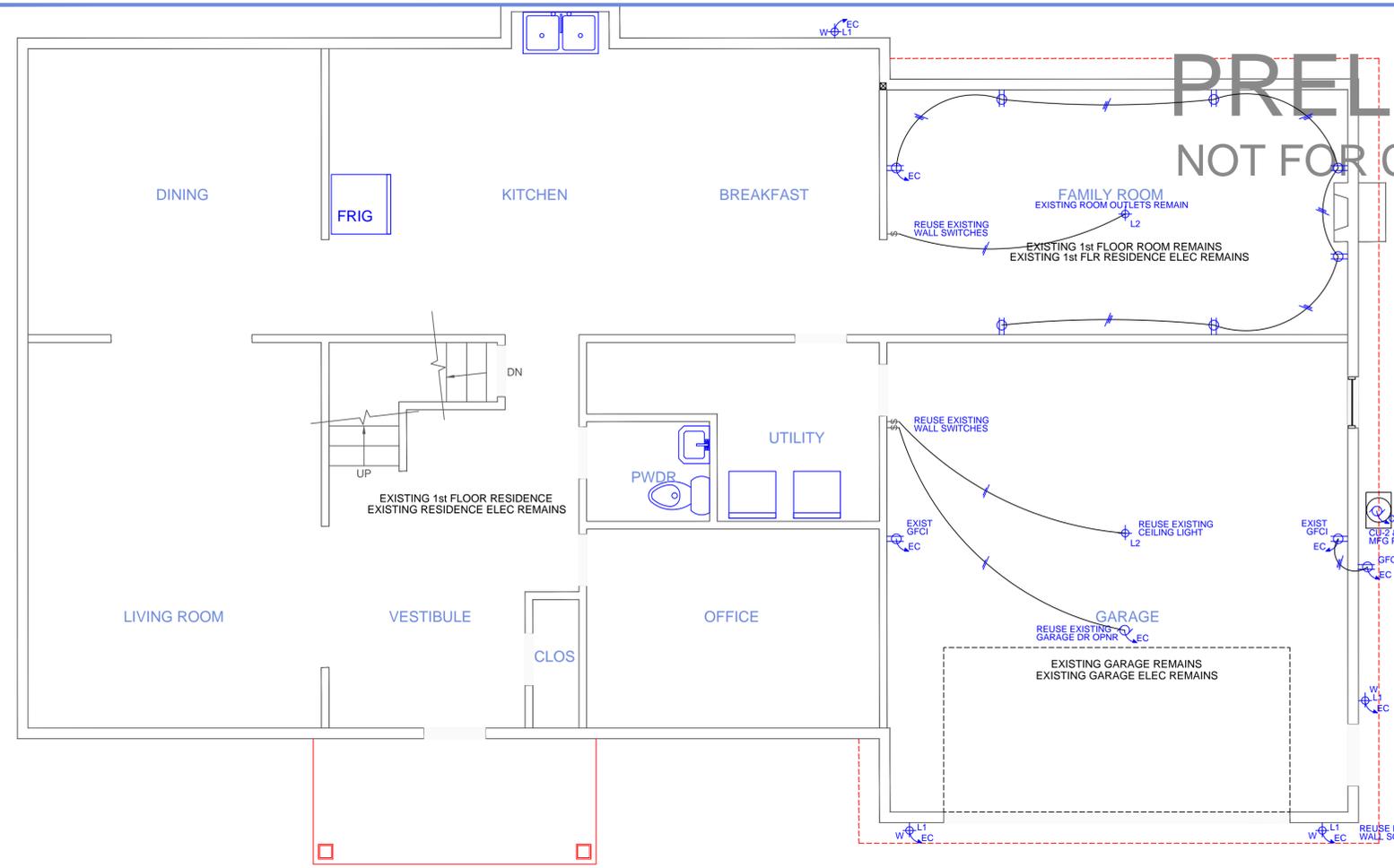
**EBA Inc.**  
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RESIDENCE ADDITION & REMODELING  
FOR  
MR. BRIAN D. NEILL  
5633 VIRGINIA COURT, HUDSON, OH 44236

# PRELIMINARY NOT FOR CONSTRUCTION

- DRAWING NOTES**
1. INSTALL NEW ELECTRICAL FIXTURES. ROUTE NEW CIRCUITS IDENTIFIED TO ELECTRIC PANEL A IN BASEMENT U.N.O..
  2. RELOCATE EXISTING ELECTRICAL EQUIPMENT & EXTEND EXISTING CONDUCTORS & CONDUITS AS NEEDED TO COMPLETE CIRCUIT.

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**ELECTRICAL SYMBOLS**

**FIXTURE SCHEDULE \*\***

⊕	DUPLEX RECEPTACLE-AFCI
⊕	EC=REUSE EXISTING CIRCUIT
⊕	QUADRUPLEX RECEPTACLE-AFCI
⊕	1-POLE SWITCH
⊕	3-POLE SWITCH
⊕	MOTOR CIRCUIT
⊕	HOME RUN (SEE NEW CIRCUITS LIST)
⊕	EXISTING ELECTRIC PANEL A
⊕	EXISTING ELECTRIC METER (NOT SHOWN)

NOTE: FINAL SELECTIONS BY OWNER

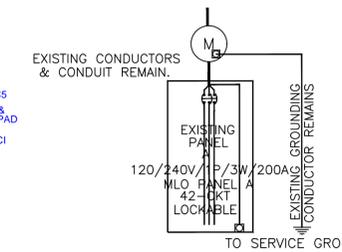
\*\* ALL FIXTURES ARE NEW E.N.O.  
PHONE, SOUND, CABLE & SECURITY WIRING N.I.C.

**LIGHTING SCHEDULE \*\***

DESCRIPTION	WATTS
H1 LED WALL MTD SPOT (NOT USED)	150, 120V
L1 LED WALL MTD SCONCE (NOT USED)	30, 120V
L2 LED CLG SURFACE MTD	30, 120V
L3 LED CLG MTD CAN (NOT USED)	14, 120V
L4 LED CLG MTD SHOWER CAN (NOT USED)	120V
PADDLE FAN w/LED LIGHTS	100, 120V

FIXTURE LAMPS: AS REQ'D BY OWNER  
NEW ELECTRICAL CIRCUITS ARE REQUIRED.  
NO NEW POWER SERVICE PANEL IS REQUIRED.  
REUSE EXISTING WIRING WHERE POSSIBLE. OTHERWISE INSTALL NEW.  
W = WATERPROOF FIXTURE  
PC = PULL CORD SWITCH  
NOTE: FINAL LIGHT SELECTIONS BY OWNER

\*\* ALL FIXTURES ARE NEW E.N.O. ETR = REUSE EXISTING.



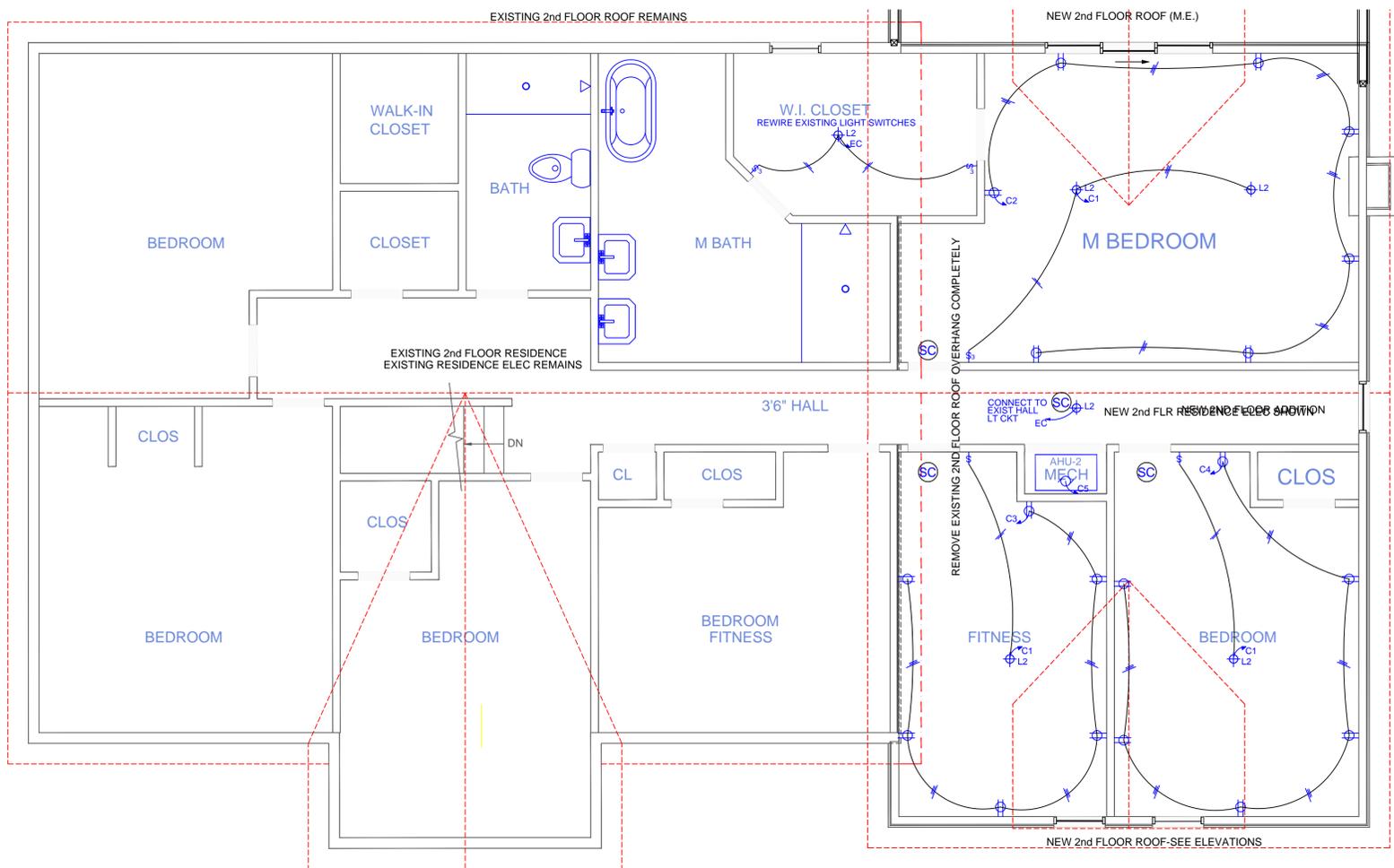
- FIRE EQUIPMENT NOTES**
- SC 1. HARD WIRED FIRST ALERT AC10-500 COMBINATION SMOKE & CO2 ALARM OR EQUAL w/ BATTERY BACK-UP 2-C3P2. ROUTE TO EXISTING CIRCUIT (EC).

- ELECTRICAL NOTES**
- A. INSTALL PER NEC, NFPA AND CITY CODES.  
B. CIRCUIT NOTES-ALL NEW CIRCUITING REQUIRED:  
1. USE EMT CONDUIT ON ALL EXPOSED WIRING.  
2. CONDUIT: EMT (U.N.O.). SIZE PER DWGS OR NEC TABLE C.8  
3. PROVIDE GREEN EQUIPMENT GROUND IN ALL CONDUIT.  
4. SUPPORT ALL CONDUIT PER NEC.  
5. CONDUCTOR: NEW 0-2000V, 60°C, TYPE THHW OR THWN STRANDED COPPER, #12 AWG MIN W/ COMPRESSION TERMINATIONS & SPLICES PER NEC Table 310.15(B)(16).
- | BRANCH SIZE | CIRCUIT WIRE | BRANCH SIZE | CIRCUIT WIRE |
|-------------|--------------|-------------|--------------|
| 25 AMP      | #12          | 175 AMP     | #2/0         |
| 35 AMP      | #10          | 200 AMP     | #3/0         |
| 50 AMP      | #8           | 230 AMP     | #4/0         |
| 55 AMP      | #6           | 255 AMP     | #250MCM      |
| 70 AMP      | #4           | 285 AMP     | #300MCM      |
| 100 AMP     | #3           | 310 AMP     | #350MCM      |
| 150 AMP     | #1/0         | 335 AMP     | #400MCM      |
- C. BREAKERS: NEW  
1. SNAP-IN TYPE, 1, 2 OR 3 POLE, QUICK MAKE/BREAK W/TRIP FREE HANDLES & THERMAL MAG TRIPS.  
2 & 3-POLE BREAKERS W/ COMMON HANDLE.  
2. GFI: GFCI TYPE, SIMILAR TO BREAKERS W/5ma SENSITIVITY. SEE PLANS A FOR LOCS. INSTALL ON ALL GFCI CIRCUIT FIXTURES.  
D. SERVICE GROUND: EXISTING TO REMAIN.  
E. CONTROL WIRING:  
1. INSTALL ALL CONTROL WIRING TO PROVIDE COMPLETE & FUNCTIONAL SYSTEM. #14 AWG FOR ALL CONTROL WIRING.  
F. RECEPTACLES:  
INSTALL NEW DUPLEX 120V COMBINATION TYPE TAMPER RESISTANT AFCI TAMPER RESISTANT RECEPTACLES PER NEC 210.12 & 210.52. RATING: 20 AMPS. OWNER TO SELECT FINAL LOCATION & TYPES.  
G. SEE DWG MP-1 FOR EQUIPMENT.

- NEW CIRCUITS REQUIRED LIST**
- ROUTE TO NEW OR REUSE EXISTING BREAKERS OR AS IDENTIFIED.  
ALL NEW CIRCUIT FIXTURES RATING: 20A w/3-WIRE#12 COPPER CONDUCTORS.
- C1 NEW 200w LIGHTS & FANS: ROUTE TO EXIST HALL LIGHT CIRCUIT FOR POWER.  
C2 NEW 1250w DUPLEX RECEPTACLES: ROUTE TO EXIST PANEL A. NEW 20A BREAKER.  
C3 NEW 1080w DUPLEX RECEPTACLES: ROUTE TO EXIST PANEL A. NEW 20A BREAKER.  
C4 NEW 1080w DUPLEX RECEPTACLES: ROUTE TO EXIST PANEL A. NEW 20A BREAKER.  
C5 NEW 9.1a AHU-1 CIRCUIT: ROUTE TO EXIST PANEL A. NEW 15A BREAKER.

**1st FLOOR PLAN**  
1/4" = 1'-0"

**2nd FLOOR PLAN**  
1/4" = 1'-0"



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RESIDENCE ADDITION & REMODELING  
FOR  
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5633 VIRGINIA COURT, HUDSON, OH 44236

# PRELIMINARY NOT FOR CONSTRUCTION

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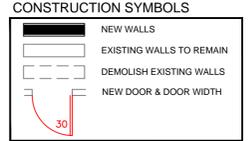
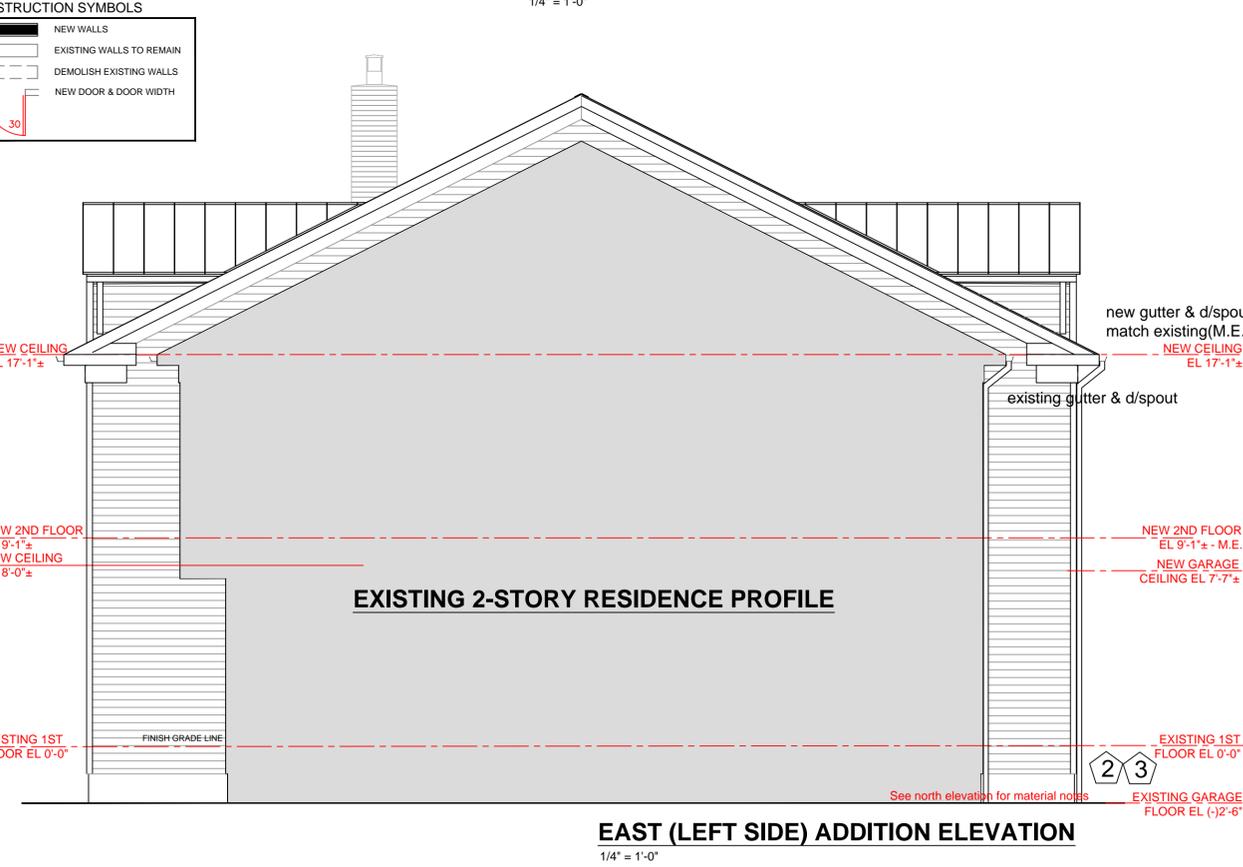
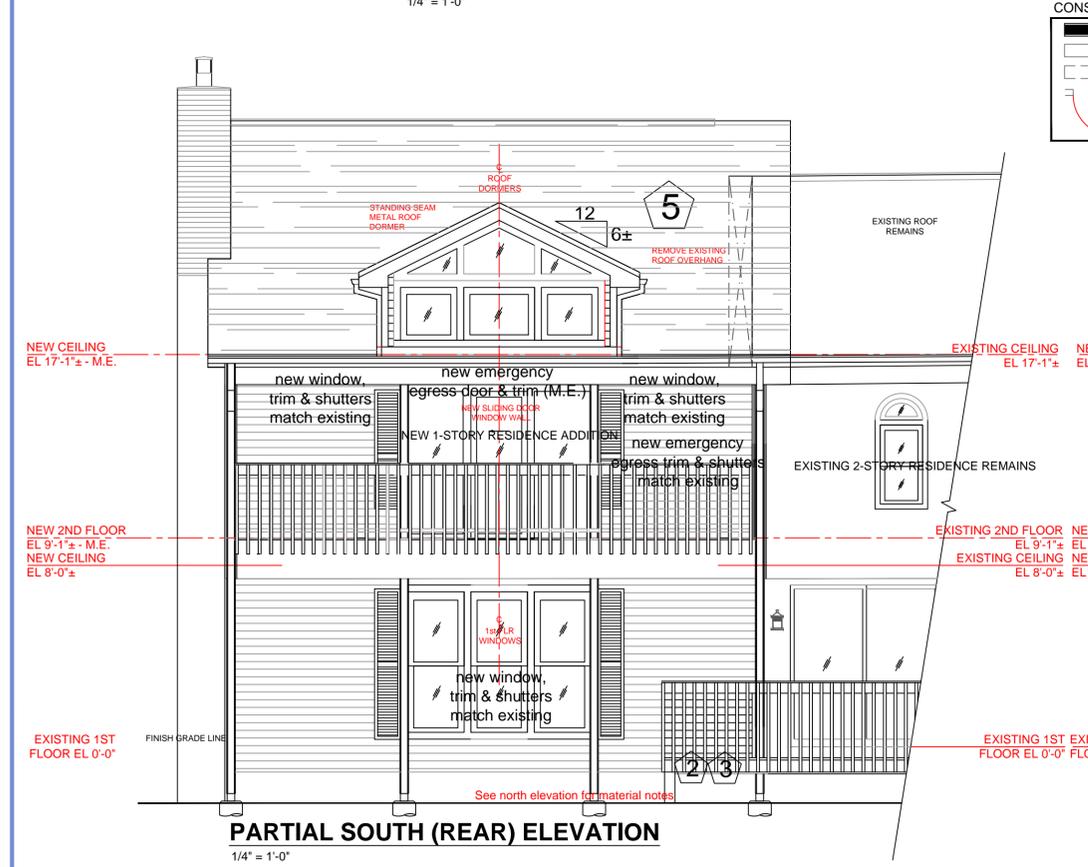
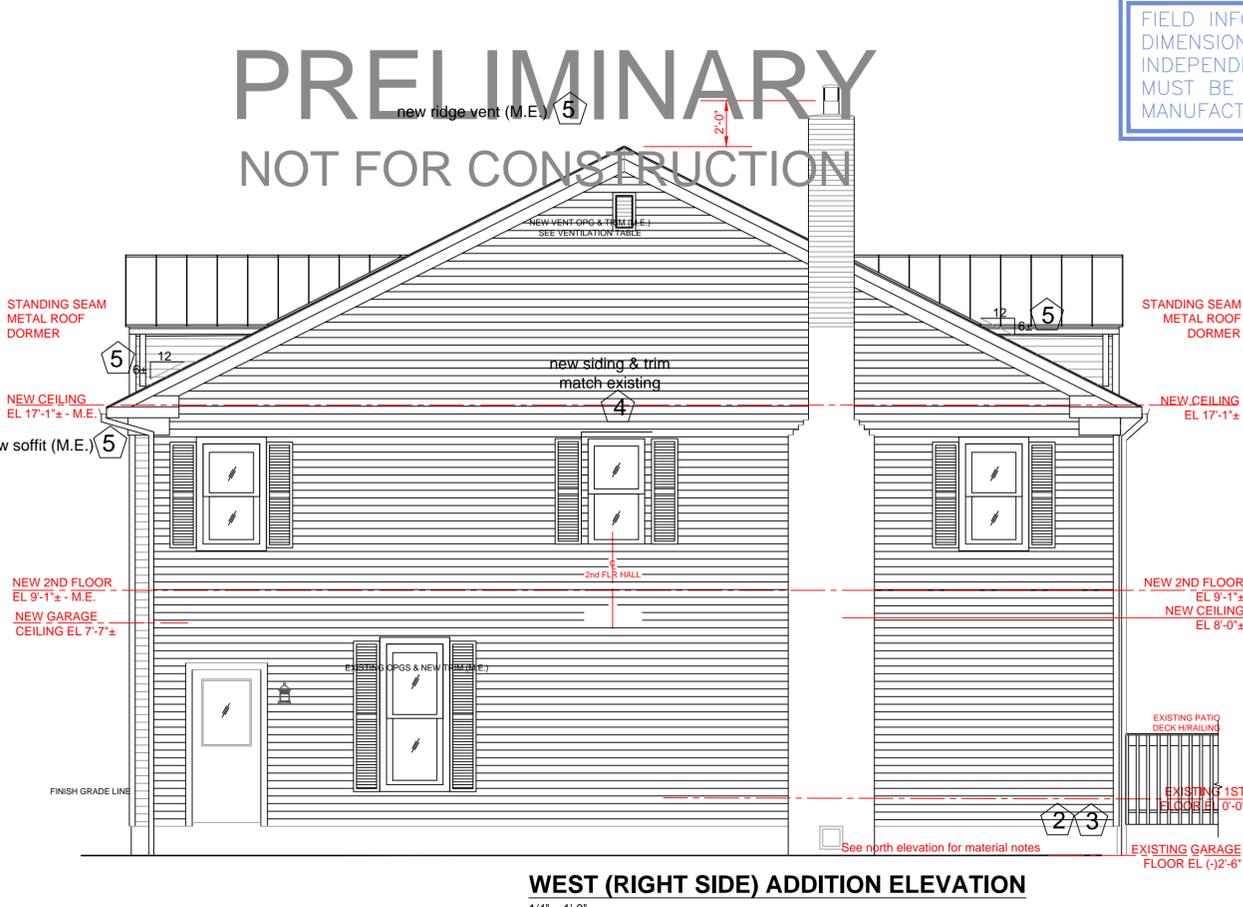
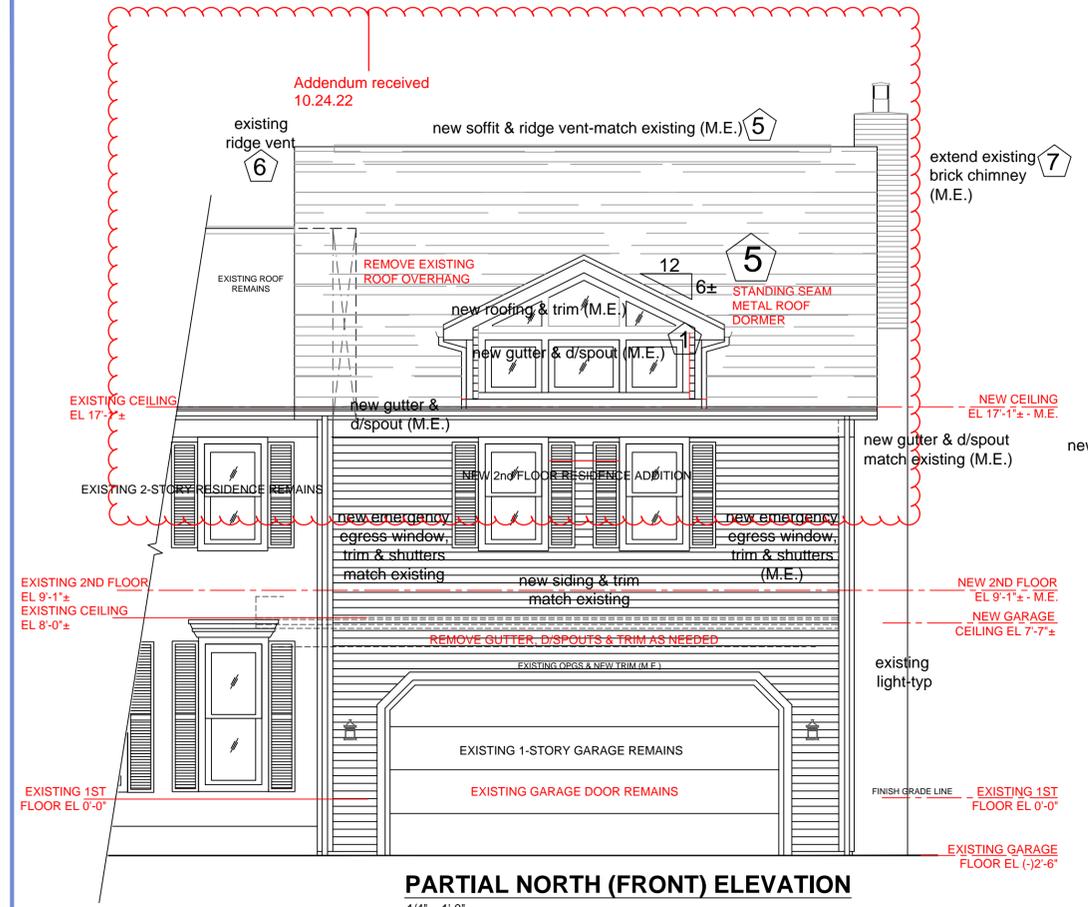
## DRAWING NOTES 1

1. REMOVE/REPLACE EXISTING GUTTER & D/SPOUT (M.E.) AT NEW ADDITION. RE-CONNECT EXISTING CROCK & TRANSITION.
2. ALL NEW INTERIOR BASE, DOOR & WINDOW TRIM TO MATCH EXISTING. PAINT-2 CTS. COLOR, FINISH & PROFILE-OWNER SELECTED.
3. LOUVER BEDROOM CLOSET, MECHANICAL & STORAGE DOORS.
4. REMOVE ALL EXISTING SIDING, TRIM & TYVEK WRAP ON EXISTING PLAN NORTH, EAST & SOUTH ELEVATIONS. PREP EXISTING WALL SHEATHING FOR NEW MATERIALS.
5. FIELD VERIFY EXISTING & NEW ROOF DIMENSIONS & PITCHS PRIOR TO FABRICATION & CONSTRUCTION.
6. REWORK EXISTING RIDGE VENT & ROOFING TO ACCOMMODATE NEW ADDITION ROOF.
7. CAP NEW EXTENDED CHIMNEY. CLEAN, REUSE EXISTING SPARK ARRESTER (M.E.)

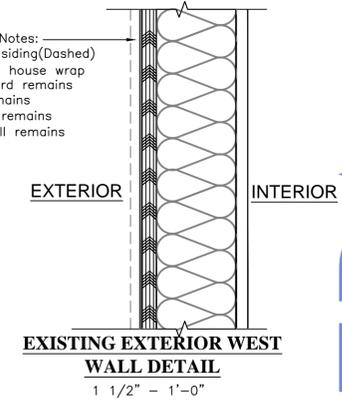
ROOF FREE AIR VENTILATION TABLE \*

DESCRIPTION	AREA, A	A/300	F=sf x144	P	m=F/P	R	n=F/R	
ADDITION ROOF	896 sf	2.41 sf	430 si	50 lf	8.6 si/lf	21 lf	20.5 si	
1/2 EXISTING ROOF	726 sf	1.95 sf	348 si	42 ft	8.3 si/lf	22 lf	15.8 si	
							TOTAL WEST WALL VENT AREA =	36.3 si

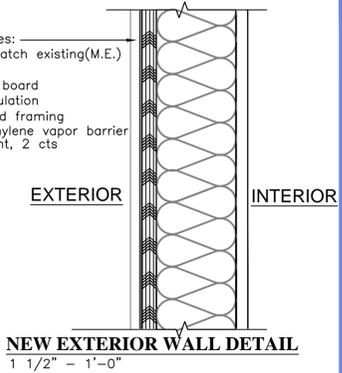
\* ROOF VENTILATION NOTES  
F = Free Opening Area Required  
P = soffit area length, feet  
m = free area, si/lf  
R = Continuous Ridge Vent Length  
n = Each Vent Area



Existing Exterior Wall Notes:  
Remove existing vinyl siding (Dashed)  
Remove Existing Tyvek house wrap  
Existing sheathing board remains  
Existing insulation remains  
Existing stud framing remains  
Existing painted drywall remains



New Exterior Wall Notes:  
Vinyl siding & trim-match existing (M.E.)  
Tyvek house wrap  
7/16" OSB sheathing board  
R-20 spray foam insulation  
2x4@16" c.c. wood stud framing  
Interior 10 mil polyethylene vapor barrier  
New 1/2" drywall-paint, 2 cts



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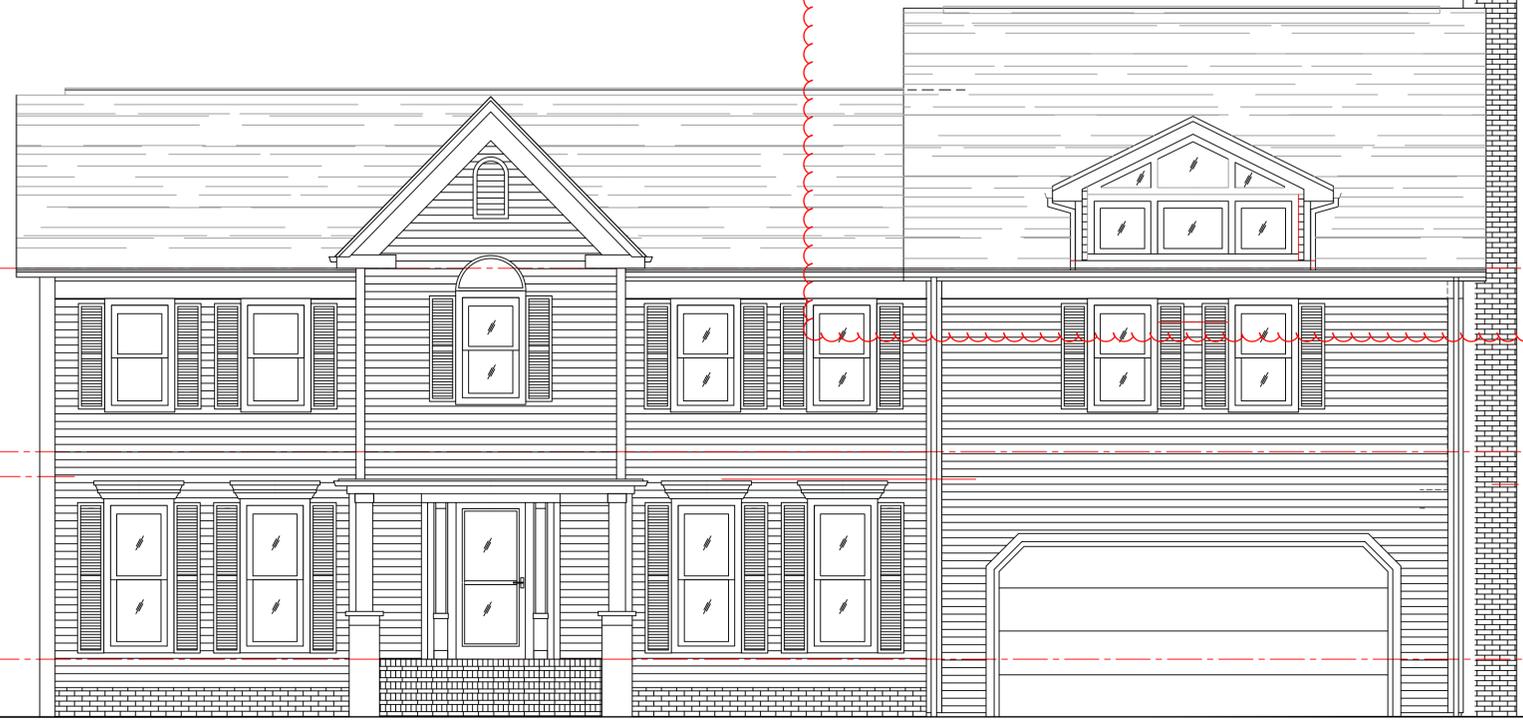
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# PRELIMINARY

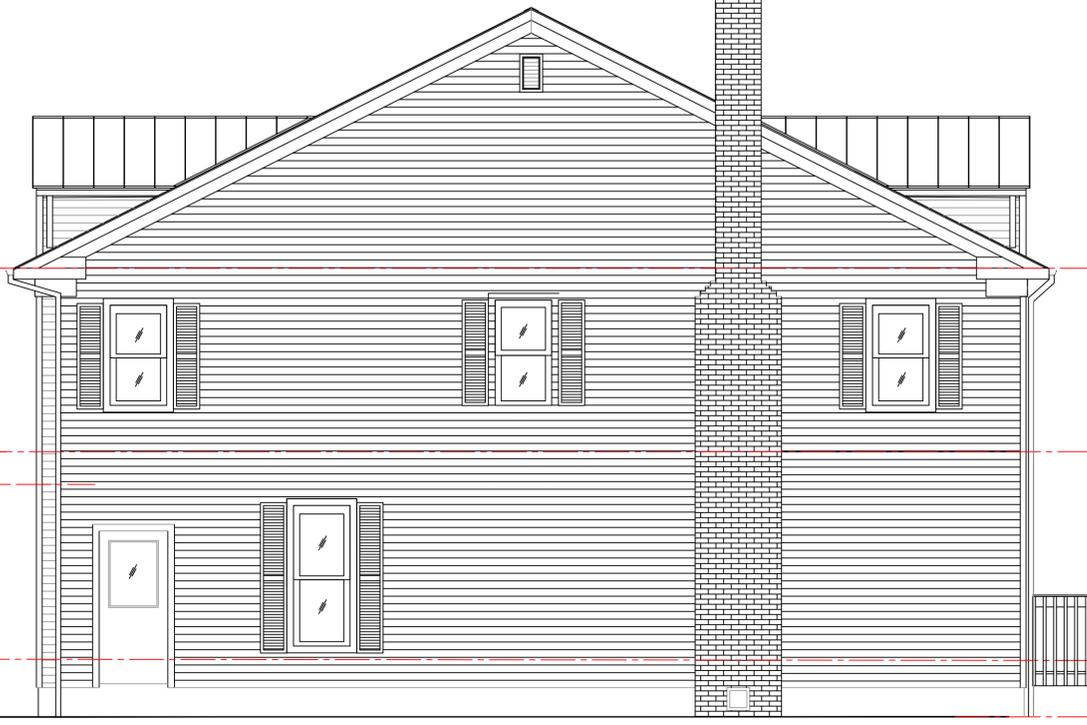
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Addendum received  
 10.24.22



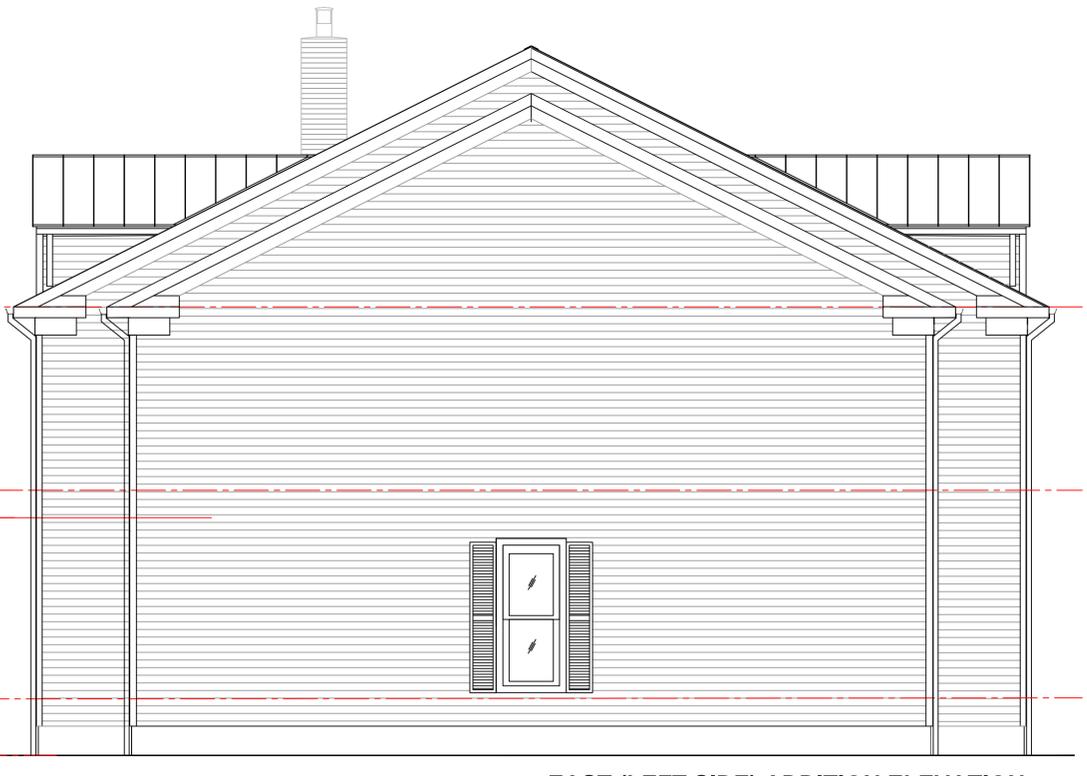
**PARTIAL NORTH (FRONT) ELEVATION**  
 1/4" = 1'-0"



**WEST (RIGHT SIDE) ADDITION ELEVATION**  
 1/4" = 1'-0"



**PARTIAL SOUTH (REAR) ELEVATION**  
 1/4" = 1'-0"



**EAST (LEFT SIDE) ADDITION ELEVATION**  
 1/4" = 1'-0"

NEW CEILING  
 EL 17'-1 1/2" - M.E.

NEW 2ND FLOOR  
 EL 9'-1 1/2" - M.E.

NEW GARAGE  
 CEILING EL 7'-7 1/2"

EXISTING 1ST  
 FLOOR EL 0'-0"

EXISTING GARAGE  
 FLOOR EL (-)2'-6"

EXISTING CEILING  
 EL 17'-1 1/2"

EXISTING 2ND FLOOR  
 EL 9'-1 1/2"  
 EXISTING CEILING  
 EL 8'-0"

EXISTING 1ST  
 FLOOR EL 0'-0"

EXISTING FINISH  
 GRADE

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**Dormer Roof Notes**  
 New 1"x16"x24 ga Kaynar standing seam metal roof over rosin paper on Ice & Water Shield, over 30# felt & R-5 polyiso board insulation on 5/8" OSB sheathing board anchored to 2x6@16" wood rafters w/R-38 closed cell spray foam insulation & interior 5 mil polyethylene membrane above 1/2" drywall ceiling-paint 2 coats

**Roof Notes**  
 New Shingles (match existing) on Ice & Water Shield, over 30# felt on 5/8" OSB sheathing board anchored to mfg wood roof trusses @24"c.c. w/R-49 fiberglass batt insulation w/interior 5 mil polyethylene membrane above 1/2" drywall ceiling-paint 2 coats

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**FIRE BLOCKING & DRAFT STOPPING**  
 FIRE-STOP SYSTEMS: MANUFACTURER: 3M FIRE PROTECTION PRODUCTS OR EQUAL (800-328-1687); MAINTAIN OR RESTORE THE INTEGRITY OF THE FIRE RATED CONSTRUCTION TO ITS ORIGINAL FIRE RATING FOR THE INTENDED APPLICATION, PER THE MANUFACTURER'S RECOMMENDATION AND IN ACCORDANCE WITH ASTM E 814 OR UL 1479.

FIRE BLOCKING: FIRE BLOCKING MATERIALS: 2X OR TWO THICKNESSES OF 1X LUMBER W/BROKEN LAP JOINTS, NON-RIGID BATTS, OR BLANKETS OF MINERAL WOOL OR GLASS FIBER MAY BE USED WITH THE 10' HORIZONTAL FIRE BLOCKING IN WALLS CONSTRUCTED USING PARALLEL ROWS OF STUDS OR STAGGERED STUDS. OBC 717.2.1

FIRE BLOCKING FOR FURRED CONSTRUCTION AT FIRE RATED WALLS, DROPPED CEILINGS AND SET-OUT/FURRED WALLS SHALL BE FIRE BLOCKED A MAXIMUM OF 8' IN ANY DIRECTION. OBC 803.4.1, 803.4.2

FIRE BLOCKING IS REQUIRED IN CONCEALED AND FURRED WALL SPACES VERTICALLY AT THE CEILING AND FLOOR LEVELS AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10'.

FIRE BLOCKING AT CEILING AND FLOOR PENETRATIONS, AND TOP AND BOTTOM OF WALLS: PENETRATION MATERIALS: APPROVED FOAM AND CAULKING SHALL BE CERTIFIED MATERIALS THAT RESIST THE FREE PASSAGE OF FLAME AND THE PRODUCTS OF COMBUSTION (SUCH AS TOUCH 'N SEAL GUN FOAM II OR WITH APPROVED MATERIALS. OBC 717.2.5, 712.4.2.2 OR LISTED FIRE BLOCKING CAULK). OBC 717.2.5, 712.4.2.2

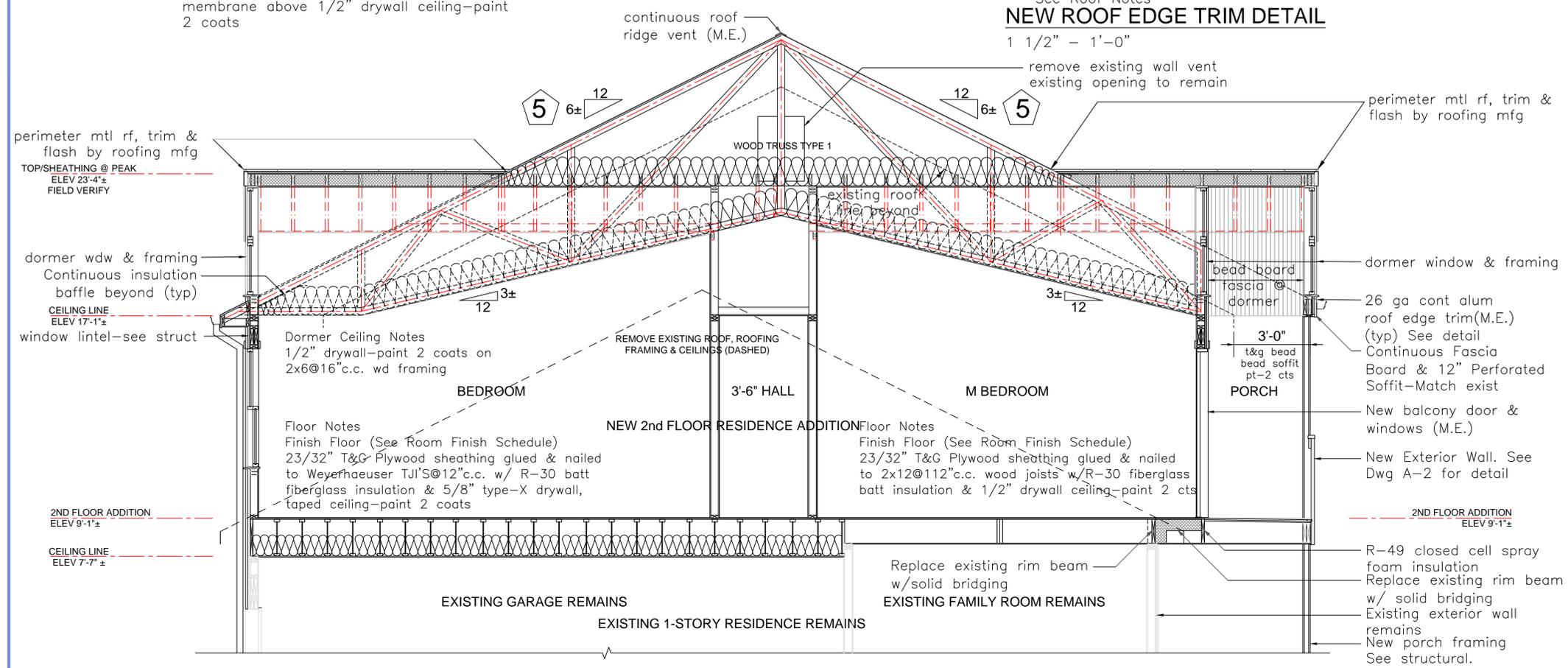
DRAFTSTOPPING: REPAIR EXISTING DRAFTSTOPPING PER OBC AT EXISTING EXTERIOR WALLS IN JOIST CAVITIES.  
 717.4.2 GROUPS R-1 & R-2: DRAFTSTOPPING SHALL BE PROVIDED IN ATTICS, MANSARDS, OVERHANGS OR OTHER CONCEALED ROOF SPACES OF GROUP R-1 & GROUP R-2 BUILDINGS. DRAFTSTOPPING SHALL BE INSTALLED ABOVE, AND IN LINE WITH, SLEEPING UNIT & DWELLING UNIT SEPARATION WALLS THAT DO NOT EXTEND TO THE UNDERSIDE OF THE ROOF SHEATHING ABOVE.

EXCEPTIONS: WHERE CORRIDOR WALLS PROVIDE A SLEEPING UNIT OR DWELLING UNIT SEPARATION, DRAFTSTOPPING SHALL ONLY BE REQUIRED ABOVE ONE OF THE CORRIDOR WALLS.

**OWNER FURNISHED WORK**  
 CONTRACTOR TO VERIFY WITH OWNER TO IDENTIFY MATERIALS, EQUIPMENT & INSTALLATIONS TO BE FURNISHED BY OWNER. CONTRACTOR TO COORDINATE THE SCHEDULING OF HIS WORK WITH OWNER'S WORK.

**MATERIAL SUBSTITUTIONS**  
 ALL MATERIALS ARE NEW OR REPLACEMENTS. SUBSTITUTIONS FOR SPECIFIED MATERIALS ARE ALLOWED WHEN OF EQUAL QUALITY & WITH PRIOR APPROVED BY THE ENGINEER OR THE OWNER.

**SEALANTS**  
 MANUFACTURER-TREMCO, INC. OR EQUAL. TYPE S, COLOR TO MATCH ADJACENT SURFACES. INSTALL PER MANUFACTURER'S WRITTEN CATALOG DATA & APPLICATION INSTRUCTIONS FOR EACH SEALANT SYSTEM. ALL MATERIALS MUST BE FREE OF ASBESTOS & LEAD PAINT, BE COMPATIBLE FOR THE INTENDED USES, & COMPLY W/ SCAQMD RULE 1168, ADHESIVE & SEALANT APPLICATIONS. MANUFACTURER'S PERFORMANCE WARRANTY-5 YEARS FROM DATE OF SUBSTANTIAL COMPLETION. ELASTOMERIC JOINT SEALANTS: TYPE S; GRADE NS; CLASS 25 FOR ALL INTERIOR SURFACES EXCEPT AS NOTED & ALL UNPROTECTED EXTERIOR APPLICATIONS. ELASTOMERIC SILICONE SEALANT, COMPLYING WITH ASTM C920. ONLY ELASTOMERIC JOINT FILLERS MAY BE USED ON EXTERIOR APPLICATIONS.  
 \*LATEX JOINT SEALANTS: TYPE S; GRADE NS; CLASS 12 1/2; USES PER ASTM C834, FOR INTERIOR AND PROTECTED EXTERIOR APPLICATIONS ONLY. 1-PART, NONSAG, MILDEW-RESISTANT, PAINTABLE LATEX.  
 \* ACRYLIC-EMULSION SEALANT: FOR JOINT MOVEMENT OF NOT MORE THAN 10%, COMPLYING WITH ASTM C834.  
 \* SILICONE EMULSION SEALANT: FOR JOINT MOVEMENT OF NOT MORE THAN 50%, COMPLYING WITH ASTM C834 WITH ASTM C920. EXCEPT FOR WEIGHT LOSS MEASURED PER ASTM C792. MUST BE MOLD RESISTANT & NON-STAINING.  
 \*PLASTIC FOAM JOINT FILLERS: COMPRESSIBLE, RESILIENT, NON-STAINING, NON-WAXING, NON-EXTRUDING STRIPS OF OPEN CELL FLEXIBLE PLASTIC FOAM. SIZE TO FIT JOINT. SET IN RECOMMENDED SEALANT.  
 \*OTHER MATERIALS: PRIMER, CLEANERS FOR NONPOROUS SURFACES, MASKING TAPE - ALL SEALANT MANUFACTURER'S RECOMMENDATION:



**1 SECTION LOOKING EAST**  
 SCALE: 3/8" = 1'-0" SEE DWG A-2 FOR UNCODED NOTES

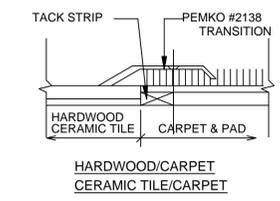
**ROOM FINISH SCHEDULE NOTES**

- SEE DWG A3 FOR FLOOR MATERIAL TRANSITION "T" LOCATIONS, SEE PLAN FOR LOCATIONS.
- FINISH ALL NEW DOORS & BASE TRIM TO MATCH EXIST DOORS & TRIM FINISH.
- ALL NEW DRYWALL, PAINT-2 COATS.
- MATERIAL SELECTIONS & COLOR SELECTIONS BY OWNER.
- 12" DROP CEILING.

**ROOM FINISH SCHEDULE ABBREVIATIONS**

CPT	CARPET	M.E.	MATCH EXISTING
DWL	DRYWALL	PT	PAINT
FLT	FLAT	STN	SATIN

ROOM NAME	FLOOR		BASE		NORTH WALL		SOUTH WALL		EAST WALL		WEST WALL		CEILING		REMARKS	
	MAT'L	FINISH	MAT'L	FINISH	MAT'L	FINISH	MAT'L	FINISH	MAT'L	FINISH	MAT'L	FINISH	MAT'L	FINISH		HEIGHT
2nd FLOOR																
M BEDROOM	CPT-1	---	WOOD	PT1-STN	DWL	PT2-FLT	DWL	PT2-FLT	DWL	PT2-FLT	DWL	PT2-FLT	DWL	PT1-FLT	8'-0"	
BEDROOM	CPT-2	---	WOOD	PT1-STN	DWL	PT3-FLT	DWL	PT3-FLT	DWL	PT3-FLT	DWL	PT3-FLT	DWL	PT1-FLT	8'-0"	
FITNESS	CPT-3	---	WOOD	PT1-STN	DWL	PT4-FLT	DWL	PT4-FLT	DWL	PT4-FLT	DWL	PT4-FLT	DWL	PT1-FLT	8'-0"	
HALL						MATCH EXISTING RESIDENCE HALL									8'-0"	
CLOS/MECH					SAME AS INCLUDED ROOM.		SEE CLOSET NOTES								7'-0"	NOTE 5



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