

PROJECT INFORMATION

PROJECT A NEW ADDITION OFF THE REAR OF THE HOUSE. THE ADDITION WILL HOUSE A NEW LIVING ROOM, MUD ROOM, AND OWNER'S SUITE ON THE SECOND FLOOR. THE EXTERIOR MATERIALS OF THE ADDITION ARE SPECIFIED TO MATCH THE EXISTING RESIDENCE WITH CEDAR SHAKE SIDING (PAINTED), DOUBLE HUNG WOOD WINDOWS, AND ASPHALT SHINGLE ROOF.

PROJECT TEAM

ARCHITECT:

CONTACT: NATE BAILEY

DRAWING INDEX

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PROJECT GENERAL NOTES

NO SUBSTITUTIONS ARE PERMITTED EXCEPT WHERE THE TERM "APPROVED EQUAL" APPEARS. ALL SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE ARCHITECT. THE CONTRACTOR IS TO SUBMIT SAMPLES OR CATALOG CUTS OF ALL VISIBLE MATERIALS AND EQUIPMENT FOR THE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.



PROJECT TEAM:

ARCHITECT
HARA ARCHITECTS

**STRUCTURAL
DANMARK ENGINEERING**

WENCLEWICZ RESIDENCE

27 COLLEGE STREET, HUDSON, OHIO #Site Postcode

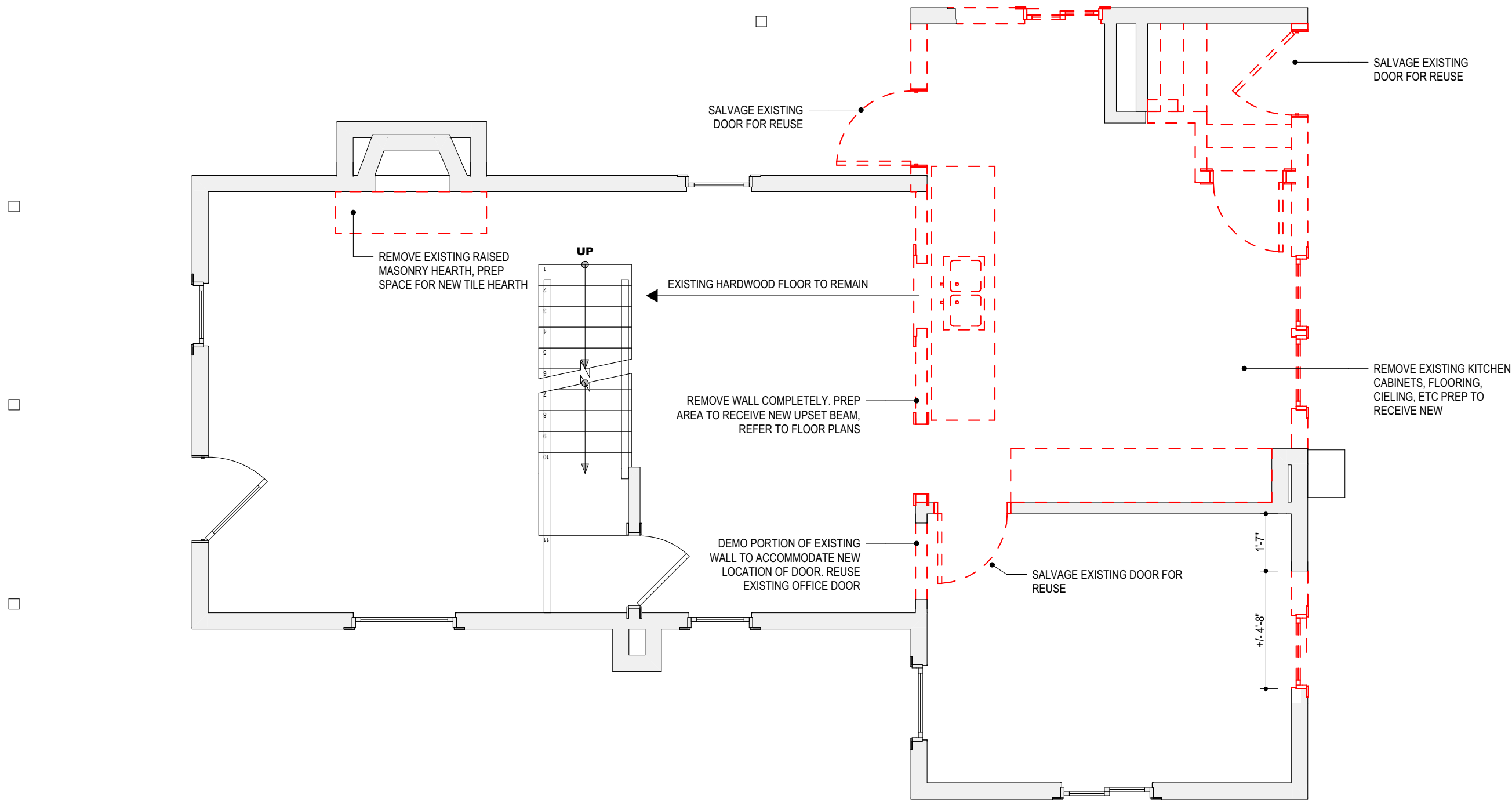
PROJECT #: 2302

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COVER SHEET

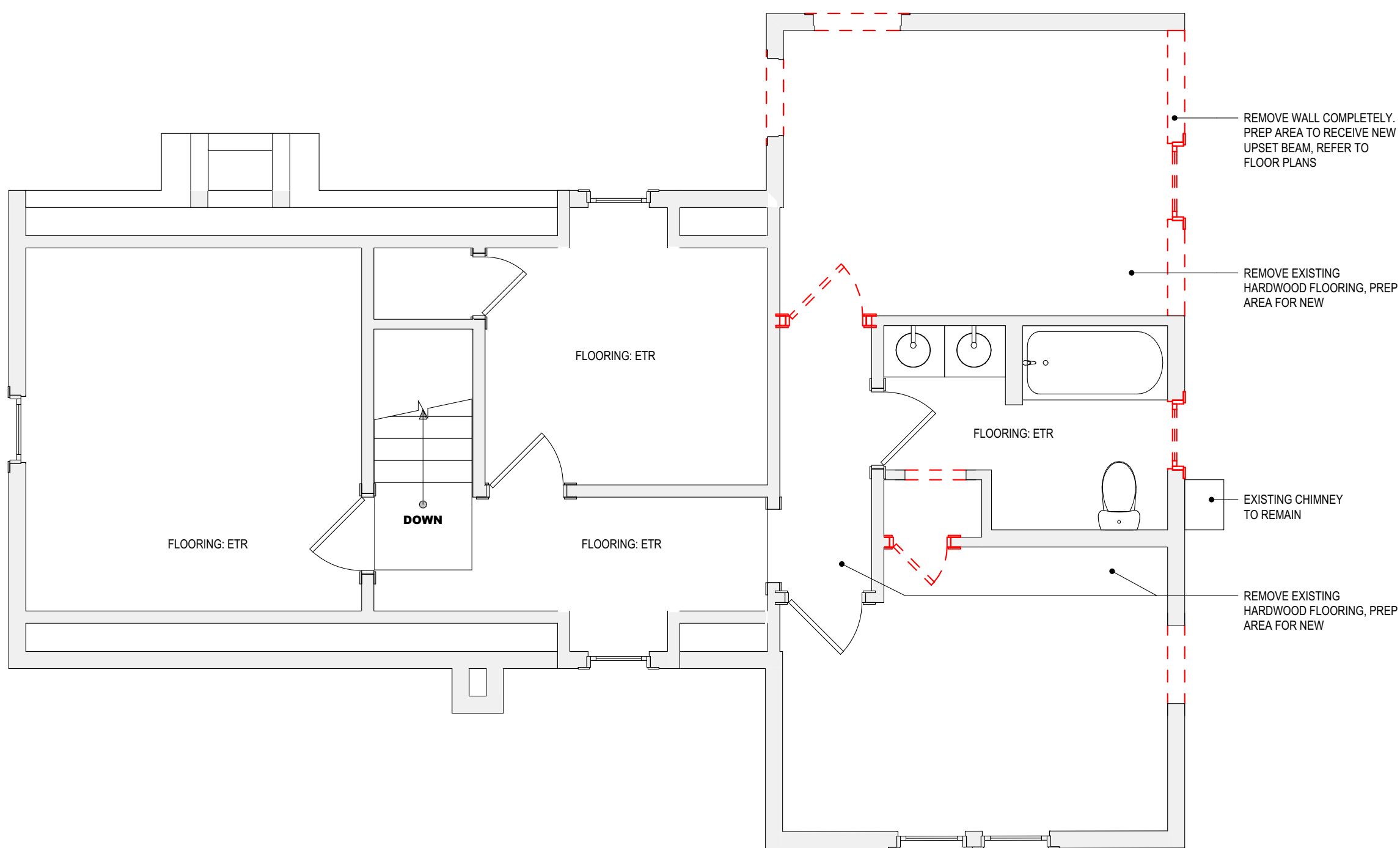
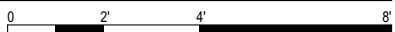
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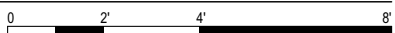
1 FIRST FLOOR DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



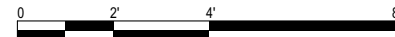
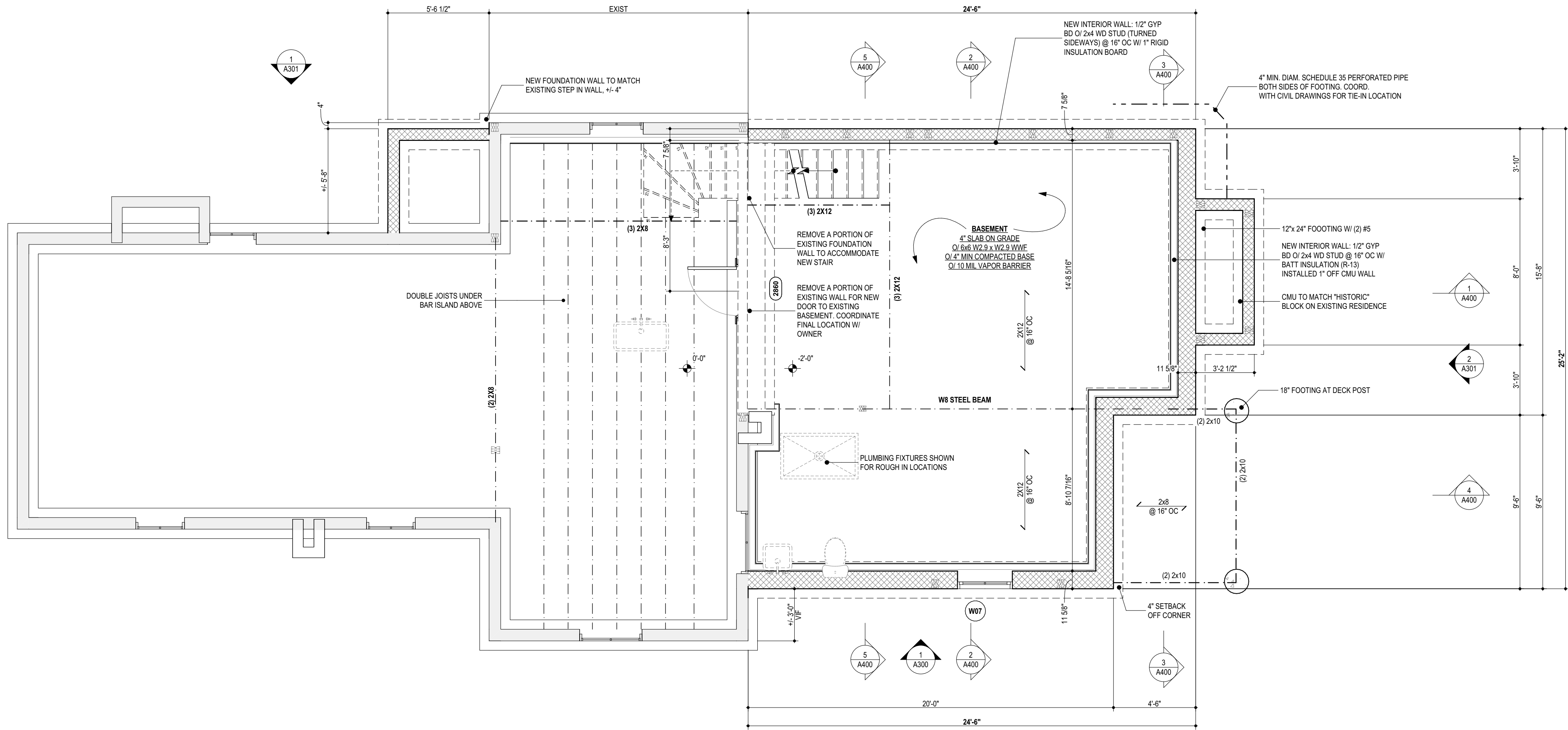
2 SECOND FLOOR DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



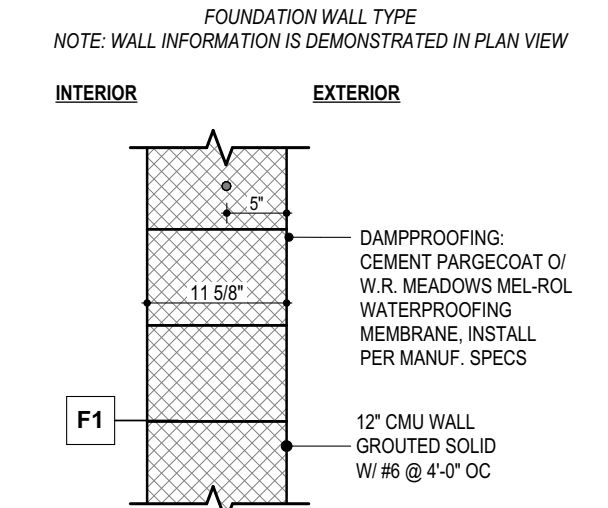
1 FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



ALL NEW EXPOSED CMU FOUNDATION WALLS TO MATCH EXISTING "SPLIT FACE" BLOCK, PAINTED TO MATCH.

FOUNDATION PLAN GENERAL NOTES



COLUMN & FOOTING SCHEDULE
ALL COLUMNS TO HAVE 1/2" CAP BEARING PLATES W/ (4) 5/8" BOLTS IN EACH PLATE

A 3" STANDARD STEEL POST (7.6 PLF)
3'-6" x 3'-6" x 1'-0" W/ (4) #5 EACH WAY BOTTOM

B 5" STANDARD STEEL POST (14.6 PLF)
5'-6" x 3'-6" x 1'-0" W/ (6) #5 EACH WAY BOTTOM

B 3 1/2" STANDARD STEEL POST (9.1 PLF)
4'-0" x 4'-0" x 1'-0" W/ (5) #5 EACH WAY BOTTOM

FLOOR TRUSS CRITERIA
14" FLOOR TRUSSES

TCLL = 40 PSF
TCLL = 10 PSF - STRUCT. 20PSF - TILE
BCDC = 10PSF
ALL = 1000

SUBSTITUTION CHART:

LVL SIZE	WF STEEL SIZE
(2) 12" LVL	W10 x 15
(2) 14" LVL	W12 x 16
(2) 16" LVL	W14 x 22
(2) 18" LVL	W16 x 26
(3) 12" LVL	W10 x 17
(3) 14" LVL	W12 x 16
(3) 16" LVL	W14 x 22
(3) 18" LVL	W16 x 26
(2) 16" LVL W/ 1/2" PL	W16 x 26
(2) 18" LVL W/ 1/2" PL	W16 x 26

GENERAL NOTES

BLOCK WEBS SOLID AT BEARING WALL LOCATIONS ABOVE

CONTRACTOR TO EXTEND ALL POSTS DOWN TO SOUND FOUNDATION. INSTALL FULL DEPTH SOLID BLOCKING AT ALL POINT LOAD LOCATIONS

ALL FOOTINGS TO EXTEND DOWN TO FROST LEVEL MIN.

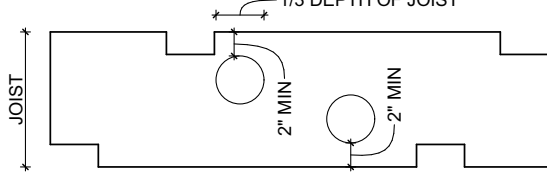
INDICATES LOCATION OF POINT LOAD ABOVE

INDICATES LOCATION OF BEARING WALL ABOVE

COORDINATE EXACT LOCATIONS OF FLOOR DRAIN WITH MECH/CONTRACTOR

IN ORDER TO REMAIN EXPOSED, WEBS OF TJS MUST BE PROTECTED WITH APPLIED FIRE PROTECTION (I.E. GYPSUM BOARD, FIBER BLANKET, INTUMESCENT COATING)

FORM INSULATION (BOARD OR SPRAY) MUST BE CLASS ONE FIRE RATED OR COVERED BY A THERMAL BARRIER (I.E. GYPSUM BOARD, INTUMESCENT COATING)



SECTION 602.8
NOTCHES IN THE TOP OR BOTTOM OF JOISTS SHALL NOT EXCEED ONE-SIXTH THE DEPTH OF THE JOIST AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. WHERE JOISTS ARE NOTCHED ON THE ENDS FOR A LEDGER, THE NOTCH SHALL NOT EXCEED ONE-FOURTH THE JOISTS DEPTH. CANTILEVERED JOISTS SHALL NOT BE NOTCHED UNLESS THE REDUCED SECTION PROPERTIES AND LUMBER DEFECTS ARE CONSIDERED IN THE DESIGN. HOLES DRILLED OR BORED IN JOISTS SHALL NOT BE WITHIN 2 INCHES OF THE TOP OR BOTTOM OR THE JOISTS AND THEIR DIAMETER SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE JOIST.

SECTION 602.8
ANY STUD IN AN EXTERIOR BEARING PARTITION MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25% OF ITS WIDTH. STUDS IN NON-BEARING PARTITIONS MAY BE NOTCHED TO A DEPTH NOT TO EXCEED 40% OF A SINGLE STUD WIDTH. ANY STUD MAY BE BORED OR DRILLED, PROVIDED THAT THE DIAMETER OF THE RESULTING HOLES IS NO GREATER THAN 40% OF THE STUD WIDTH. THE EDGE OF THE HOLE IS NO CLOSER THAN 5/8 INCH TO THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH.

STEEL LINTEL SCHEDULE

PROVIDE STEEL LINTELS AS PER THE FOLLOWING SCHEDULE IN MASONRY WALL OPENINGS WHEN NOT SHOWN ON DRAWINGS, OR IN OPENINGS REQUIRED BY THE ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS.

L3 1/2 x 3 1/2 x 1/4 FOR OPENINGS UP TO 4'-0"

L5 x 3 1/2 x 5/16 FOR OPENINGS FROM 4'-1" TO 6'-0"

L6 x 3 1/2 x 5/16 FOR OPENINGS FROM 6'-1" TO 7'-0"

W8 x 18 WITH 5/16 PLATE FOR OPENINGS FROM 7'-1" TO 10'-0"

FOR OPENINGS GREATER THAN 10'-0" AND NOT SHOWN ON PLANS, ALLOW FOR MINIMUM BEAM WEIGHT OF 38 PLF PLUS A 5/16" x 11" BOTTOM PLATE

ALL LINTELS SHALL BEAR ON 8" OF SOLID MASONRY, UNO.

USE ONE ANGLE FOR EACH 4' WHYTHE OF MASONRY. PLATES ARE TO BE 1" LESS THAN NOMINAL WALL THICKNESS.

MINIMUM THICKNESS OF LINTELS IN EXTERIOR WALLS TO BE 5/16".

ANGLES OR PLATES IN EXTERIOR WIDTHS OF MASONRY WALLS TO BE HOT DIPPED GALVANIZED.

FOR MULTI WHYTHE WALLS WITH AIR SPACES, CONTRACTORS IS TO INCLUDE (6) ADDITIONAL ANGLES, PLATES, AND CHANNELS TO CLOSE OFF AIRSPACE AT LINTEL LOCATIONS. SEE DETAILS ON DRAWINGS. IF NO DETAILS ARE SHOWN, CONTACT ENGINEER FOR FURTHER INFORMATION AND DETAILS.



haraarchitects.com

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ARCHITECT
HARA ARCHITECTS

STRUCTURAL
DANMARK ENGINEERING

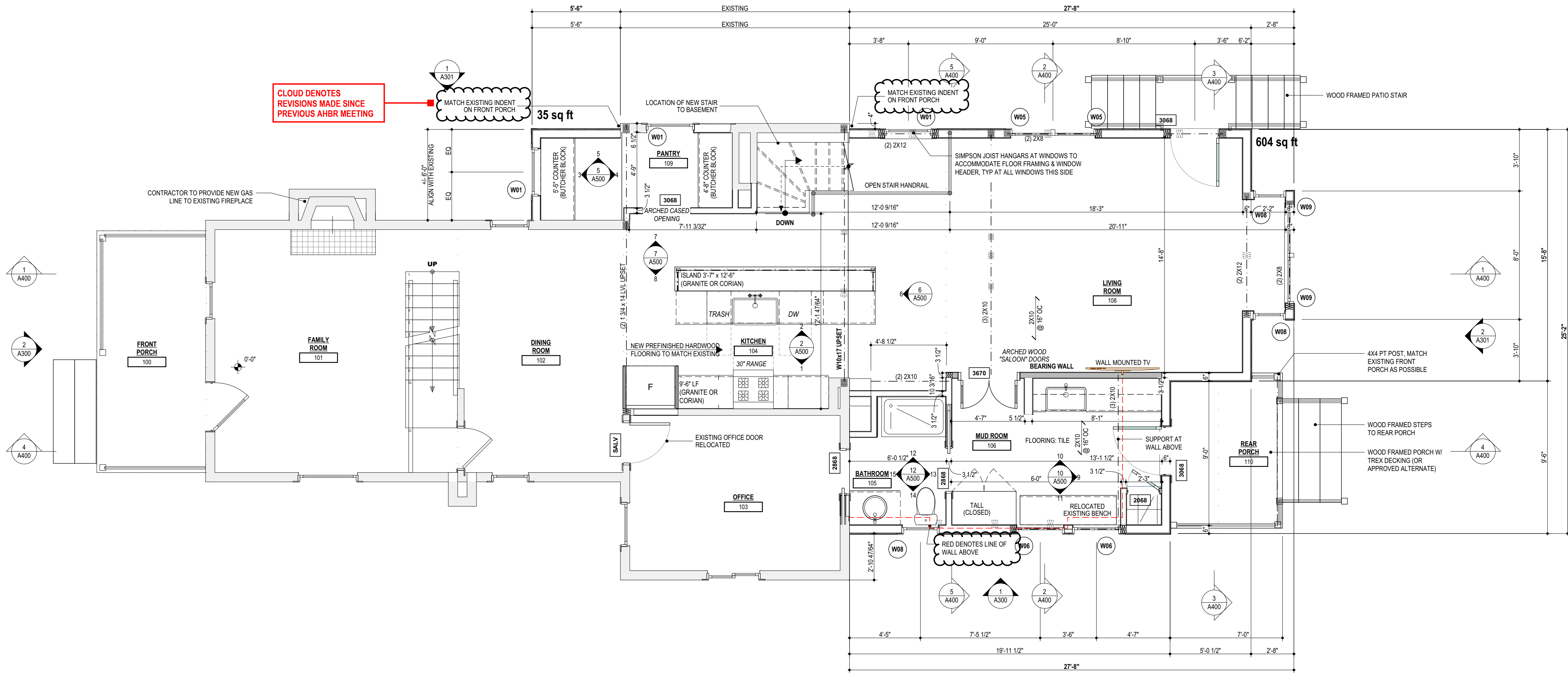
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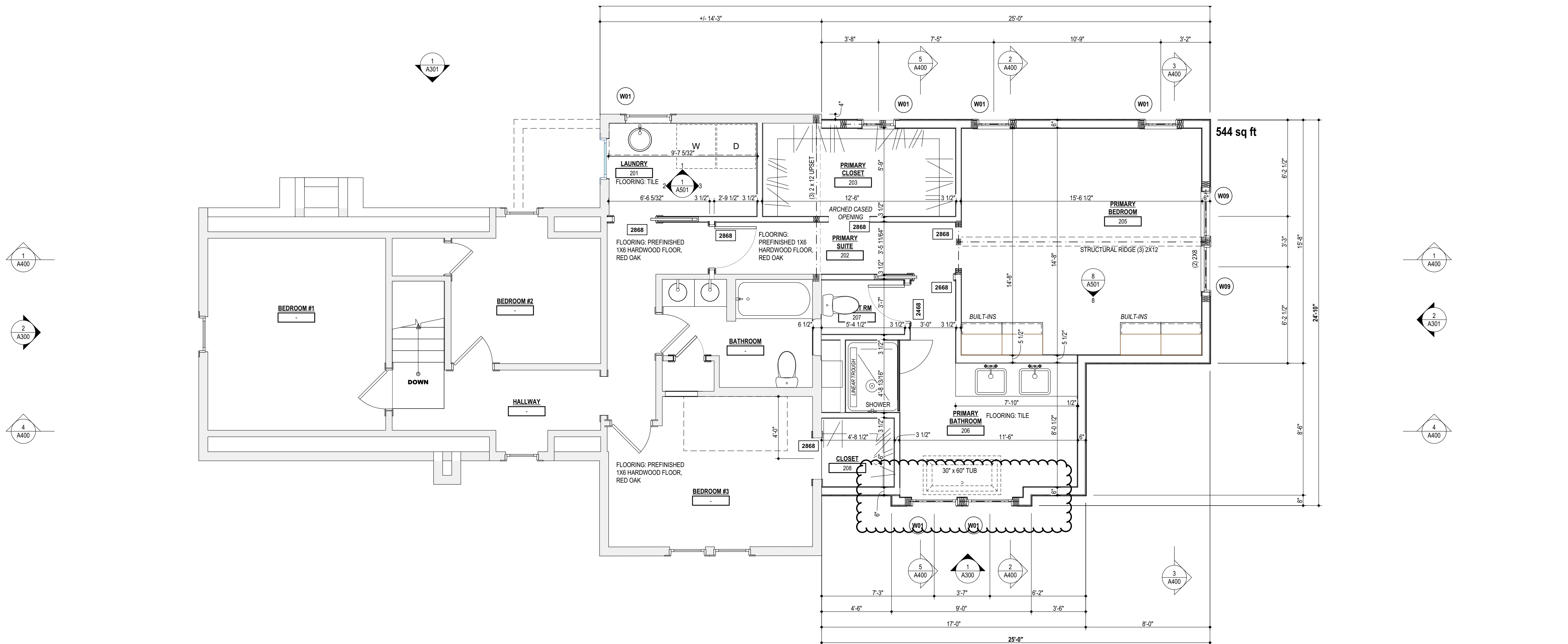
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FOUNDATION PLAN

A100



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN GENERAL NOTES

VERIFY DIMENSIONS AND CONDITIONS IN FIELD. WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON DRAWINGS CONFLICT WITH ACTUAL, CONTACT ARCHITECT FOR CLARIFICATION

PROVIDE SOUND DEADENING INSULATION AROUND BEDROOMS, BATHROOMS, MECHANICAL ROOMS, AND PLUMBING STACKS

BLOCK WEBS SOLID AT BEARING WALL LOCATIONS ABOVE

CONTRACTOR TO EXTEND ALL POSTS DOWN TO SOUND FOUNDATION. INSTALL FULL DEPTH SOLID BLOCKING AT ALL POINT LOAD LOCATIONS.

ALL FOOTINGS TO EXTEND DOWN TO FROST LEVEL MINIMUM.

COORDINATE EXACT LOCATIONS OF FLOOR DRAINS WITH MECHANICAL CONTRACTOR.

PROVIDE 5/8" GYP BOARD TYPE "X" ON GARAGE CEILINGS.

ALL INTERIOR DOORS TO BE 1 7/8" SOLID CORE WOOD DOORS. COORDINATE WITH FINISH PLANS FOR FINAL FINISH SELECTIONS

ALL INTERIOR TRIM TO BE POPLAR OR APPROVED EQUAL. COORDINATE WITH INTERIOR ELEVATIONS AND MILLWORK DRAWINGS FOR SELECT TYPES AND PROFILES.

ALL MILLWORK TO BE CUSTOM PER DRAWINGS.

REFER TO CONSULTANT DRAWINGS IF APPLICABLE FOR COORDINATION OF WORK BETWEEN TRADES

FLOOR TRUSS CRITERIA

TCL= 30 PSF
TCDL= 10 PSF
BCDL= 10 PSF
NET UPLIFT= 15 PSF
1932" APA RATED EXPOSURE 1 OSB

ROOF TRUSS CRITERIA

TOLL= 25 PSF
TCDL= 10 PSF
BCDL= 10 PSF
NET UPLIFT= 10 PSF
ATTIC LL= 40 PSF
ΔTTL < L300
USE (2) SIMPSON SWDC15600 SCREWS AT TRUSS BRG

WOOD HEADERS (U.N.O.)

OPENING	HEADERS	NON BEARING	BEARING
UP TO 4'-0"	(2) 2 X 8	1 JACK, 1 KING	1 JACK, 1 KING
4'-0" - 6'-0"	(2) 2 X 10	1 JACK, 1 KING	2 JACK, 1 KING
6'-1" - 8'-0"	(2) 2 X 12	1 JACK, 1 KING	2 JACK, 1 KING
8'-1" - 10'-0"	(2) 11 1/4 LVL	2 JACK, 1 KING	3 JACK, 1 KING

INDICATES WEB STIFFENING BELOW BEARING WALL ABOVE

INDICATES AREA OF ADDITIONAL FRAMING REQUIRED

INDICATES POINT LOAD FROM ABOVE

INDICATES LOCATION OF BEARING WALL ABOVE

INDICATES BEARING WALL

PROJECT AREA

FIRST FLOOR:
EXISTING 826 SF
ADDITION 631 SF
1,457 SF

SECOND FLOOR:
EXISTING 688 SF
ADDITION 598 SF
1,286 SF

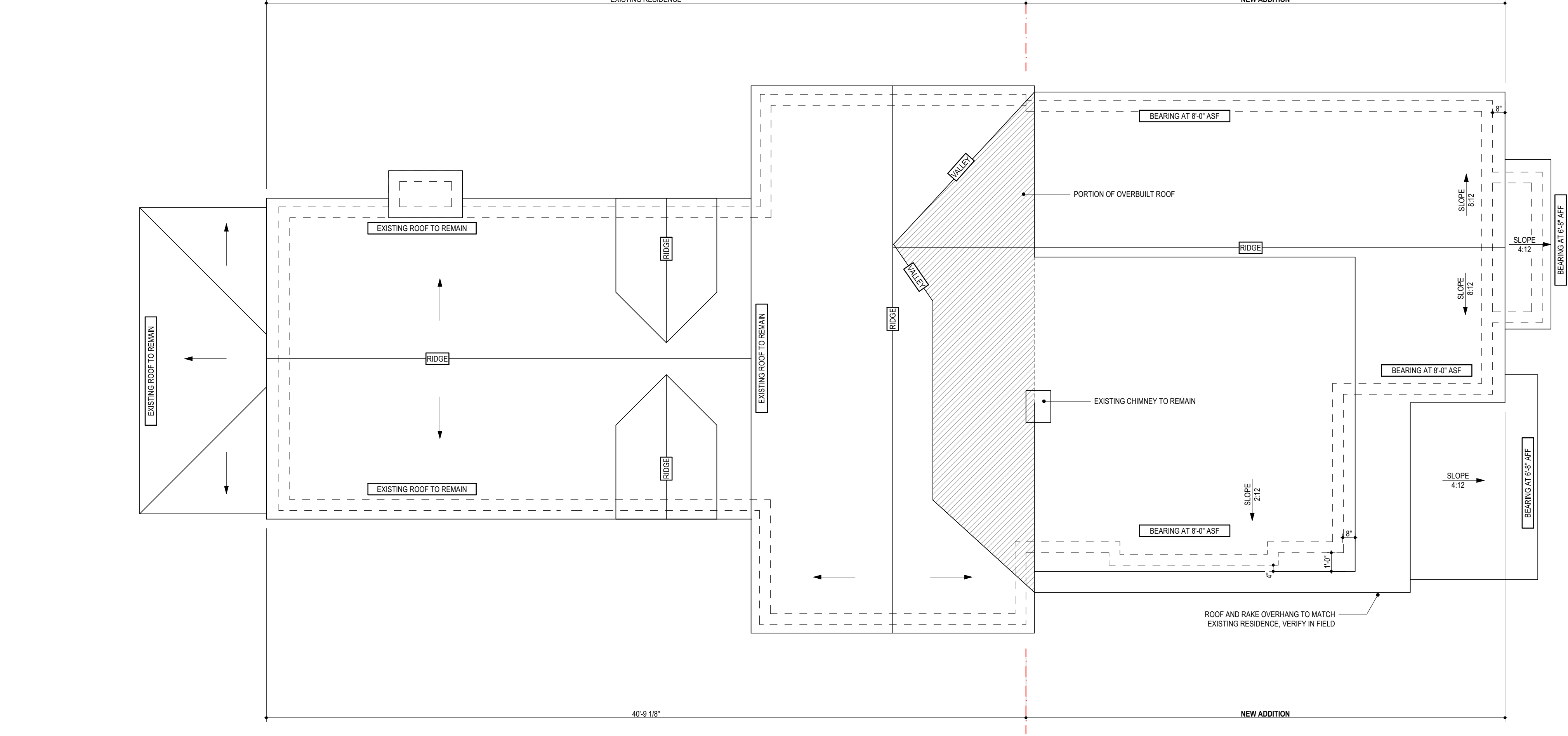
PREVIOUS HOUSE 1,514 SF
TOTAL ADDITION 1,229 SF

TOTAL HOUSE: 2,743 SF

WINDOW SCHEDULE			
ID	QTY	W x H	REMARKS
W01	2	3'-0"x4'-8"	
W01	3	2'-2"x4'-0"	
W01	7	3'-0"x3'-0"	
W05	4	2'-8"x5'-0"	
W06	1	3'-5"x1'-0"	
W06	4	3'-0"x5'-0"	
W07	1	3'-0"x1'-6"	
W08	1	2'-4"x3'-10"	
W08	1	2'-8"x3'-0"	
W08	4	2'-0"x5'-6"	
W09	6	3'-0"x5'-6"	

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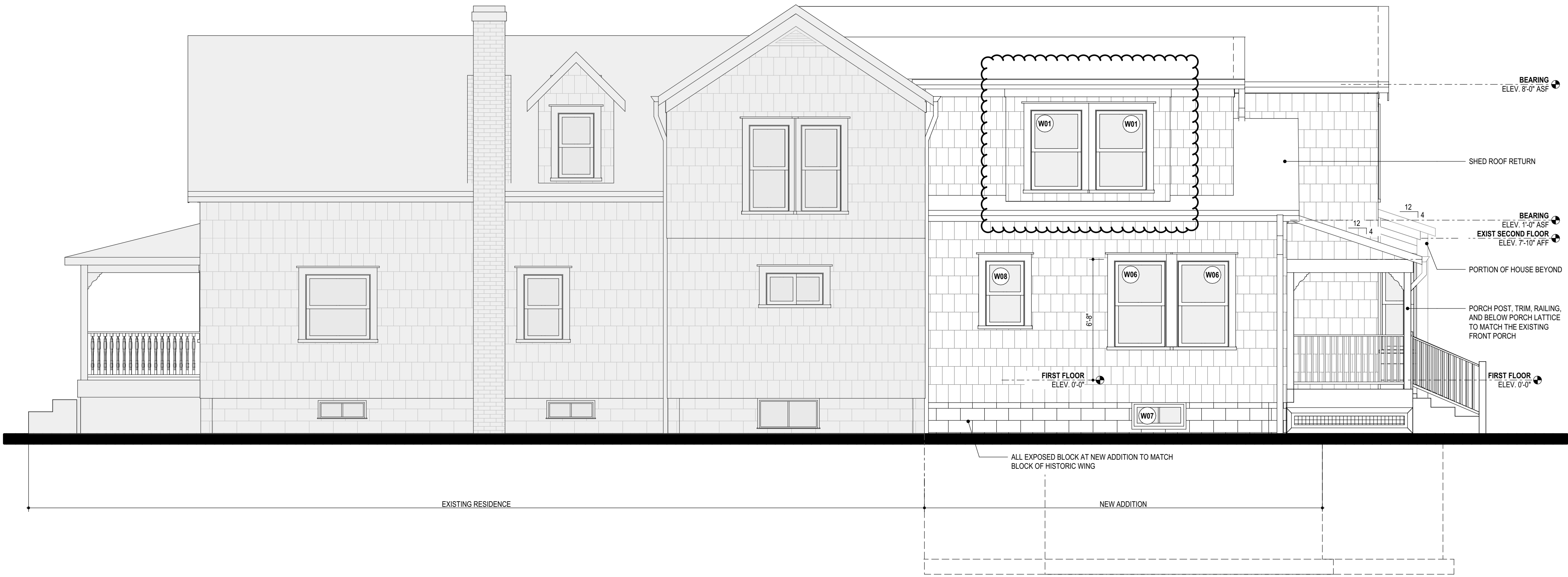
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2 ROOF PLAN

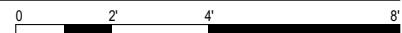
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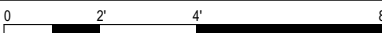
1 SOUTH ELEVATION (SIDE OF HOUSE)

SCALE: 1/4" = 1'-0"



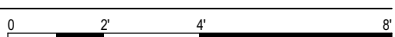
2 WEST ELEVATION (FRONT OF HOUSE)

SCALE: 1/4" = 1'-0"



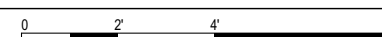
6 EXISTING ELEVATION

SCALE: 1/4" = 1'-0"

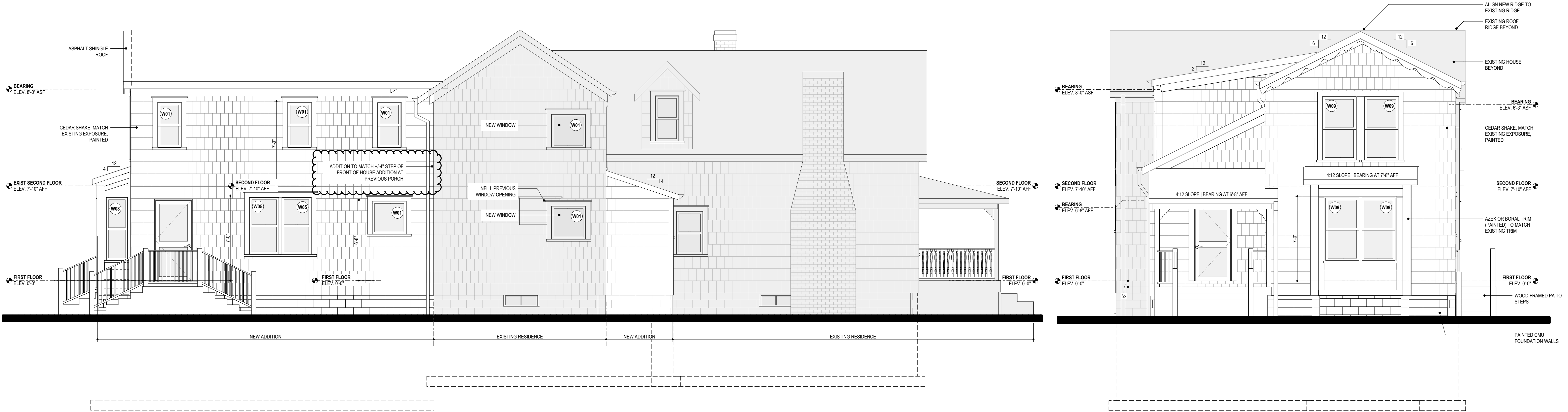


5 EXISTING ELEVATIONS

SCALE: 1/4" = 1'-0"

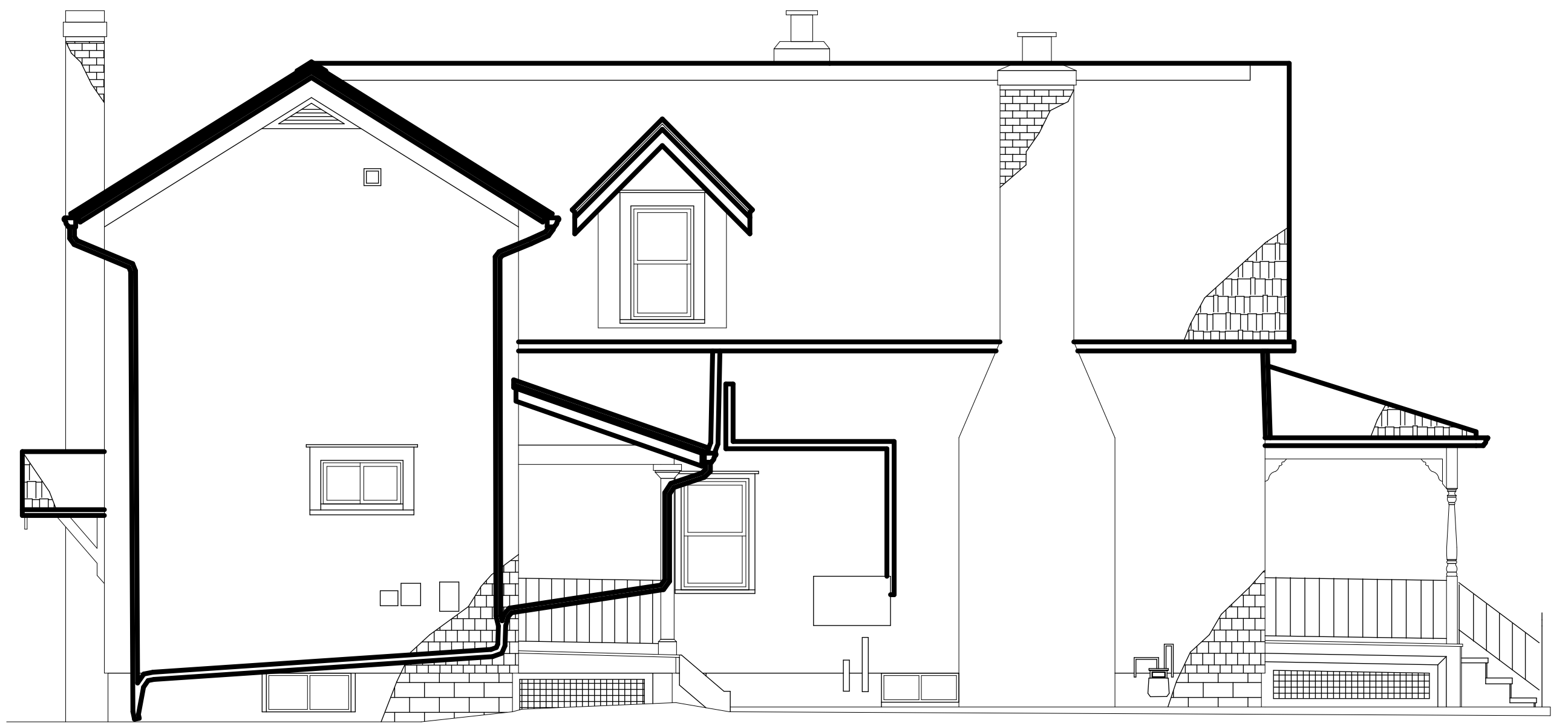


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1 NORTH ELEVATION (SIDE OF HOUSE)
SCALE: 1/4" = 1'-0"

2 EAST ELEVATION (REAR OF HOUSE)
SCALE: 1/4" = 1'-0"



3 EXISTING ELEVATION
SCALE: 1/4" = 1'-0"







