

WENCLEWICZ RESIDENCE

PROJECT INFORMATION

SUMMIT COUNTY COUNTY

PARCEL NO 3200958

DISTRICT 4 | HISTORIC RESIDENTIAL NEIGHBORHOOD

2,556 SF

A NEW ADDITION OFF THE REAR OF THE HOUSE. THE ADDITION WILL HOUSE A NEW LIVING ROOM, MUD ROOM, AND OWNER'S SUITE ON THE SECOND

MATCH THE EXISTING RESIDENCE WITH CEDAR SHAKE SIDING (PAINTED),

DOUBLE HUNG WOOD WINDOWS, AND ASPHALT SHINGLE ROOF.

RESIDENCE 1,408 SF ADDITION

TOTAL

PROJECT TEAM

ARCHITECT:

HARA ARCHITECTS HUDSON, OHIO

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DRAWING INDEX

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PROJECT GENERAL NOTES

THE CONTRACTOR WILL FURNISH ALL LABOR, MATERIAL, EQUIPMENT, PERMITS, TAXES, AND INSURANCE NECESSARY TO COMPLETE THE WORK INDICATED AND/ OR IMPLIED IN THE CONSTRUCTION DOCUMENTS UNLESS NOTED OTHERWISE AND WILL COORDINATE THE WORK RESPONSIBILITIES OF ALL SUBCONTRACTORS. ALL LABOR AND MATERIALS TO CARRY OUT FULLY THE INTENTIONS OF THE PLANS AND SPECIFICATIONS ARE PART OF THE CONTRACT, WHETHER OR NOT SPECIFICALLY DOCUMENTED.

ALL WORK WILL CONFORM TO THE CURRENT OHIO BUILDING, MECHANICAL & PLUMBING CODES, AS WELL AS THE CURRENT NATIONAL BOARD OF FIRE UNDERWRITERS AND ALL OTHER APPLICABLE CITY CODES, LOCAL LAWS, AND AUTHORITIES HAVING JURISDICTION. CODE STANDARDS AND PUBLICATIONS OF PRIVATE AND PUBLIC BODIES MENTIONED WITHIN THE SPECIFICATIONS OR ON THE DRAWINGS, WILL BE CONSIDERED TO BE THOSE IN FORCE AT THE TIME OF THE CONTRACT

THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONTROLLED INSPECTIONS AND ANY TECHNICAL TESTING REQUIRED FOR CONTROLLED INSPECTIONS AS STIPULATED BY ALL APPLICABLE CODES.

ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT WILL BE NEW AND FREE OF DEFECTS AND WILL BE SUPPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED, AND CONDITIONED AS DIRECTED BY THE RESPECTIVE MANUFACTURERS, UNLESS SPECIFIED OTHERWISE.

THE CONTRACTOR WILL NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS, CONFLICTS, OR AMBIGUITIES IN AND BETWEEN THE DRAWINGS AND THE SPECIFICATIONS PRIOR TO PROCEEDING WITH THE WORK. IF SUCH NOTICE IS NOT FURNISHED TO THE ARCHITECT, THE CONTRACTOR WILL BE DEEMED TO HAVE INSPECTED THE DRAWINGS AND SPECIFICATIONS AND TO HAVE FOUND THEM IN PROPER FORM FOR EXECUTION.

THE CONTRACTOR REPRESENTS THAT HE HAS HAD ADEQUATE ACCESS TO THE JOB SITE AND BUILDING AREA IN WHICH THE WORK IS TO BE PERFORMED, THAT HE HAS SATISFIED HIMSELF AT TO THE NATURE AND LOCATION OF WORK, INCLUDING ANY OBSTRUCTIONS, SCOPE OF WORK, ACTUAL LEVELS, THE EQUIPMENT AND FACILITIES NEEDED PRELIMINARY TO AND DURING THE EXECUTION OF THE WORK AND ALL OTHER MATTERS, WHICH CAN IN ANY WAY AFFECT THE WORK OR THE COST THEREOF UNDER THIS CONTRACT, AND THAT HE HAS STUDIED THE CONTRACT DOCUMENTS AND ALL OTHER DOCUMENTS PERTAINING TO THE INSTALLATION OF OTHER TRADES WHICH MAY INFLUENCE HIS WORK.

THE CONTRACTOR WILL ASSUME FULL RESPONSIBILITY, INCLUDING RESPONSIBILITY FOR ALL RELATED COSTS FOR ANY AND ALL WORK DONE WITHOUT THE APPROVAL OF THE ARCHITECT IF SUCH WORK IS IN CONFLICT WITH THE CONTRACT,

THE OWNER WILL ESTABLISH THE LIMITS OF THE CONSTRUCTION SITE IN ADDITION TO ANY CONTRACT LIMIT LINES SHOWN IN THE DRAWINGS. THE CONTRACTOR WILL CONTINUE HIS OPERATIONS WITHIN THESE LIMITS, UNLESS UPON WRITTEN REQUEST AND REPLY, A VARIANCE IS AGREED TO BY THE OWNER. THE CONTRACTOR WILL BE RESPONSIBLE FOR TRESPASS ON AND/ OR DAMAGE TO OTHER PROPERTY BY ANY OF HIS EMPLOYEES OR HIS SUBCONTRACTOR'S

THE CONTRACTOR WILL BE RESPONSIBLE FOR THE SAFE WORKING CONDITIONS AT THE SITE. THE ARCHITECT AND OWNER WILL NOT BE DEEMED TO HAVE ANY RESPONSIBILITY OR LIABILITY IN CONNECTION HEREWITH.

CONSTRUCTION OPERATIONS WILL NOT INVOLVE INTERRUPTION OF HEATING, WATER, ELECTRICAL, OR OTHER SERVICES TO ANY PORTION OF THE BUILDING OUTSIDE THE LIMITS OF THE CONSTRUCTION SITE DESCRIBED IN NOTE 9.

THE CONTRACTOR WILL BE RESPONSIBLE FOR CORRECTING ANY DEFICIENCIES CUASED BY DEFECTIVE OR ILL TIMED WORK AT NO ADDITIONAL COST TO THE OWNER.

NO SUBSTITUTIONS ARE PERMITTED EXCEPT WHERE THE TERM "APPROVED EQUAL" APPEARS. ALL SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE ARCHITECT. THE CONTRACTOR IS TO SUBMIT SAMPLES OR CATALOG CUTS OF ALL VISIBLE MATERIALS AND EQUIPMENT FOR THE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.



PROJECT TEAM:

ARCHITECT HARA ARCHITECTS STRUCTURAL

PROJECT #: 2302

A 10/14/2024

COVER SHEET

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ABBREVIATIONS

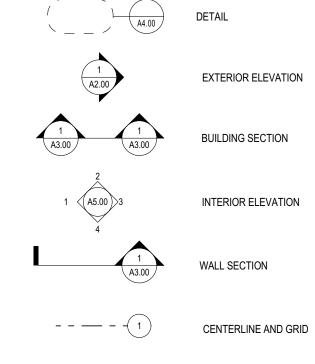
HOLLOW CORE HDWR. HARDWARE AIR CONDITIONING HOLLOW METAL ABOVE FINISHED FLOOR HVAC HEATING, VENTILATION, AND AIR ALTERNATE COND. AUTHORITY HAVING JURISDICTION HEIGHT ALUMINUM APPROXIMATELY INSULATION ARCHITECTURAL ASPHALT JOIST LAMINATED BUILDING LINEAR FOOT BOTTOM OF BEARING MASONRY BOTTOM MATERIAL BETWEEN MAXIMUM MECH MECHANICAL CUBIC FEET MFG. MANUFACTURER CAST IN PLACE MINIMUM CONTROL JOINT MISC MISCELLANEOUS MASONRY OPENING MOUNTED CONCRETE MASONRY UNIT METAL CONCRETE CLEAN OUT CONTINUOUS NTS NOT TO SCALE ON CENTER OPENING

PREFAB

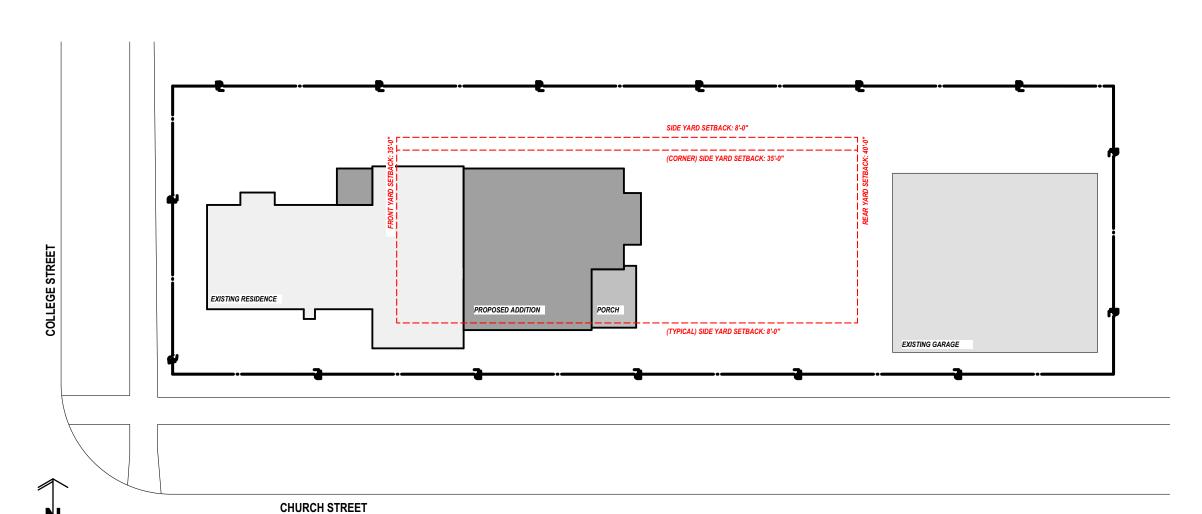
PLYWD

P. LAM

DRAWING SYMBOLS



SITE PLAN



DOOR TAG

WINDOW TAG

WELDED WIRE FABRIC

GENERAL CONTRACTOR GYPSUM BOARD GYPSUM

DEPARTMENT DIAMETER DIMENSION DOWN DOOR

DOWNSPOUT

ELECTRICAL

EXHAUST

EXISTING

EXPOSED

EXTERIOR

FLOOR DRAIN

FOUNDATION

FINISHED FLOOR

FOOT

FOOTING

FURRING

GALVANIZED GAUGE

DETAIL DRAWING

EACH

ALUM

APPROX.

ARCH

ASPH

BLDG

BOTT

BTW

CMU

CONC

CONT

FUR

GYP. BD.

POUNDS PER SQUARE INCH REFERENCE **ROUGH OPENING** REQUIRED SOLID CORE SECT SECTION

SIMII AR STRUCTURAL TYPICAL

PREFABRICATED

PLASTIC LAMINATE

PLYWOOD

UNLESS NOTED OTHERWISE

STRUC

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STRUCTURAL DANMARK ENGINEERING











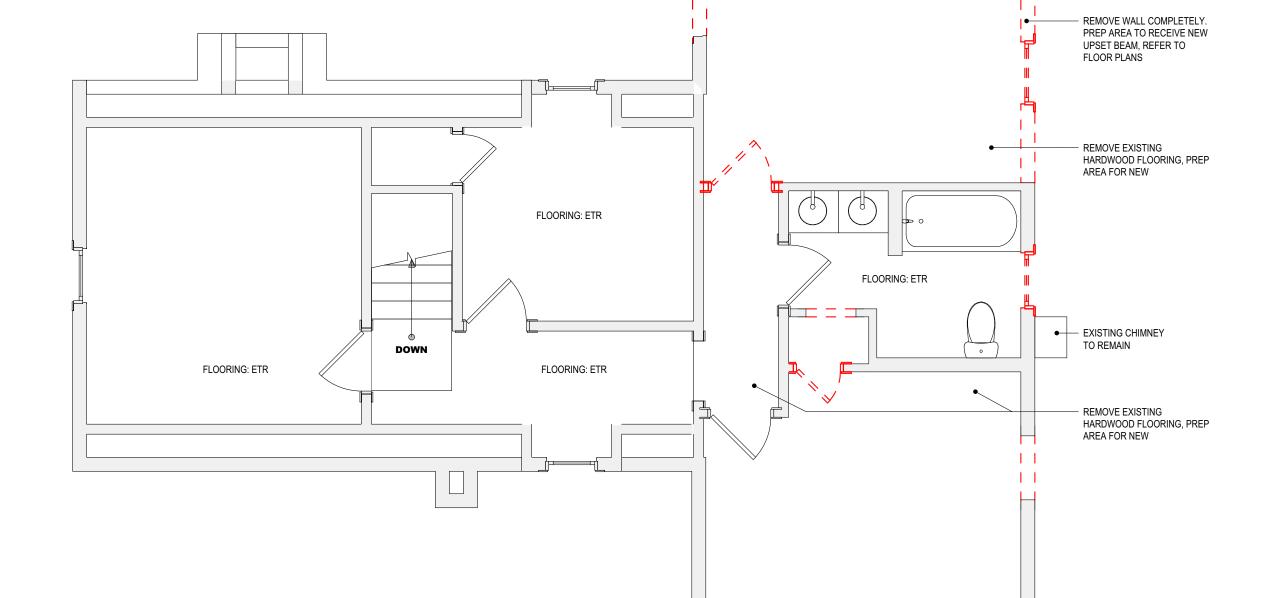
• SALVAGE EXISTING DOOR FOR REUSE

REMOVE EXISTING KITCHEN
 CABINETS, FLOORING,
 CIELING, ETC PREP TO
 RECEIVE NEW









SALVAGE EXISTING — DOOR FOR REUSE

EXISTING HARDWOOD FLOOR TO REMAIN

REMOVE WALL COMPLETELY. PREP — AREA TO RECEIVE NEW UPSET BEAM, REFER TO FLOOR PLANS

DEMO PORTION OF EXISTING

WALL TO ACCOMMODATE NEW

LOCATION OF DOOR. REUSE

EXISTING OFFICE DOOR

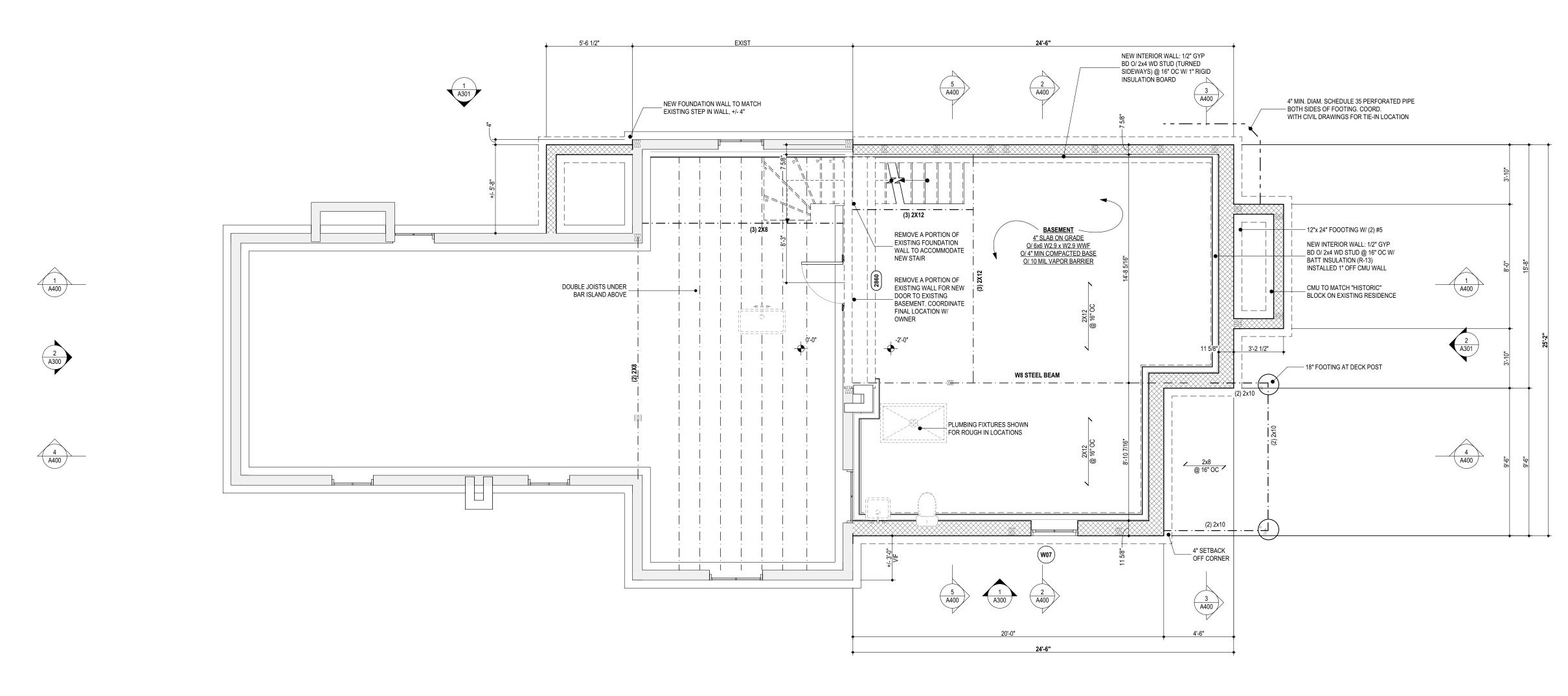
SALVAGE EXISTING DOOR FOR REUSE

REMOVE EXISTING RAISED
MASONRY HEARTH, PREP
SPACE FOR NEW TILE HEARTH

FIRST FLOOR DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

DEMOLITION PLANS







ALL NEW EXPOSED CMU FOUNDATION WALLS TO MATCH EXISTING "SPLIT FACE" BLOCK, PAINTED TO MATCH.

FOUNDATION PLAN GENERAL NOTES

FOUNDATION WALL TYPE NOTE: WALL INFORMATION IS DEMONSTRATED IN PLAN VIEW

EXTERIOR DAMPPROOFING: CEMENT PARGECOAT O/ W.R. MEADOWS MEL-ROL WATERPROOFING MEMBRANE, INSTALL PER MANUF. SPECS 12" CMU WALL - GROUTED SOLID W/ #6 @ 4'-0" OC

COLUMN & FOOTING SCHEDULE ALL COLUMNS TO HAVE 1/2" CAP BEARING PLATES W/ (4) 5/8" BOLTS IN EACH PLATE A 3" STANDARD STEEL POST (7.6 PLF)

- 3'-6" x 3'-6" x 1'-0" W/ (4) #5 EACH WAY BOTTOM
- **B** 5" STANDARD STEEL POST (14.6 PLF) 5'-6" x 5'-6" x 1'-6" W/ (6) #5 EACH WAY BOTTOM
- B 3 1/2" STANDARD STEEL POST (9.1 PLF) 4'-0" x 4'-0" x 1'-0" W/ (5) #5 EACH WAY BOTTOM

FLOOR TRUSS CRITERIA

14" FLOOR TRUSSES

TCLL= 40 PSF TCDL= 10 PSF - STRUCT. 20PSF - TILE BCDC = 10PSF

$\Delta LL = L/600$ SUBSTITUTION CHART:

LVL SIZE	WF STEEL S
(2) 12" LVL	W10 x 15
(2) 14" LVL	W12 x 16
(2) 16" LVL	W14 x 22
(2) 18" LVL	W16 x 26
(3) 12" LVL	W10 x 17
(3) 14" LVL	W12 x 16
(3) 16" LVL	W14 x 22
(3) 18" LVL	W16 x 26
(2) 16" LVL W/ 1/2" PL	W16 x 26
(2) 16" LVL W/ (2) 1/2" PL	W16 x 40
GENERAL NOTES	

BLOCK WEBS SOLID AT BEARING WALL LOCATIONS ABOVE

CONTRACTOR TO EXTEND ALL POSTS DOWN TO SOUND FOUNDATION, INSTALL FULL DEPTH SOLID BLOCKING AT ALL POINT LOAD LOCATIONS

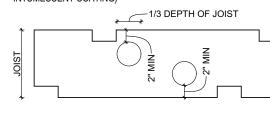
ALL FOOTINGS TO EXTEND DOWN TO FROST LEVEL MIN. INDICATES LOCATION OF POINT LOAD ABOVE

L____ INDICATES LOCATION OF BEARING WALL ABOVE COORDINATE EXACT LOCATIONS OF FLOOR DRAIN WITH

MECH.CONTRACTOR IN ORDER TO REMAIN EXPOSED, WEBS OF TJI'S MUST BE PROTECTED

WITH APPLIED FIRE PROTECTION (I.E. GYPSUM BOARD, FIBER BLANKET, INTUMESCENT COATING) FOAM INSULATION (BOARD OR SPRAY) MUST BE CLASS ONE FIRE

RATED OR COVERED BY A THERMAL BARRIER (I.E. GYPSUM BOARD, INTUMESCENT COATING)



SECTION 502.8

NOTCHES IN THE TOP OR BOTTOM OF JOISTS SHALL NOT EXCEED ONE-SIXTH THE DEPTH OF THE JOIST AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. WHERE JOISTS ARE NOTCHED ON THE ENDS FOR A LEDGER, THE NOTCH SHALL NOT EXCEED ONE-FOURTH THE JOISTS DEPTH. CANTILEVERED JOISTS SHALL NOT BE NOTCHED UNLESS THE REDUCED SECTION PROPERTIES AND LUMBER DEFECTS ARE CONSIDERED IN THE DESIGN. HOLES DRILLED OR BORED IN JOISTS SHALL NOT BE WITHIN 2 INCHES OF THE TOP OR BOTTOM OR THE JOISTS AND THEIR

DIAMETER SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE JOIST.

SECTION 602.6

ANY STUD IN AN EXTERIOR BEARING PARTITION MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25% OF ITS WIDTH. STUDS IN NON-BEARING PARTITIONS MAY BE NOTCHED TO A DEPTH NOT TO EXCEED 40% OF A SINGLE STUD WIDTH. ANY STUD MAY BE BORED OR DRILLED, PROVIDED THAT THE DIAMETER OF THE RESULTING HOLES IS NO GREATER THAN 40% OF THE STUD WIDTH, THE EDGE OF THE HOLE IS NO CLOSER THAN 5/8 INCH TO THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH.

STEEL LINTEL SCHEDULE

PROVIDE STEEL LINTELS AS PER THE FOLLOWING SCHEDULE IN MASONRY WALL OPENINGS WHEN NOT SHOWN ON DRAWINGS, OR IN OPENINGS REQUIRED BY THE ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS.

L3 1/2 x 3 1/2 x 1/4 FOR OPENINGS UP TO 4'-0". L5 x 3 1/2 x 5/16 FOR OPENINGS FROM 4'-1" TO 6'-0" L6 x 3 1/2 x 5/16 FOR OPENINGS FROM 6'-1" TO 7'-0" W8 x 18 with 5/16 PLATE FOR OPENINGS FROM 7'-1" TO 10'-0"

FOR OPENINGS GREATER THAN 10'-0" AND NOT SHOWN ON PLANS, ALLOW FOR MINIMUM BEAM WEIGHT OF 36 PLF PLUS A 5/16" x 11" BOTTOM PLATE

ALL LINTELS SHALL BEAR ON 8" OF SOLID MASONRY, UNO. USE ONE ANGLE FOR EACH 4" WHYTHE OF MASONRY. PLATES ARE TO BE 1" LESS THAN NOMINAL WALL THICKNESS.

MINIMUM THICKNESS OF LINTELS IN EXTERIOR WALLS TO BE

ANGLES OR PLATES IN EXTERIOR WIDTHS OF MASONRY WALLS TO BE HOT DIPPED GALVANIZED.

FOR MULTI WYTHE WALLS WITH AIR SPACES, CONTRACTORS IS TO INCLUDE (6) ADDITIONAL ANGLES, PLATES, AND CHANNELS TO CLOSE OFF AIRSPACE AT LINTEL LOCATIONS. SEE DETAILS ON DRAWINGS. IF NO DETAILS ARE SHOWN, CONTACT ENGINEER FOR FURTHER INFORMATION AND DETAILS.

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PROJECT TEAM:

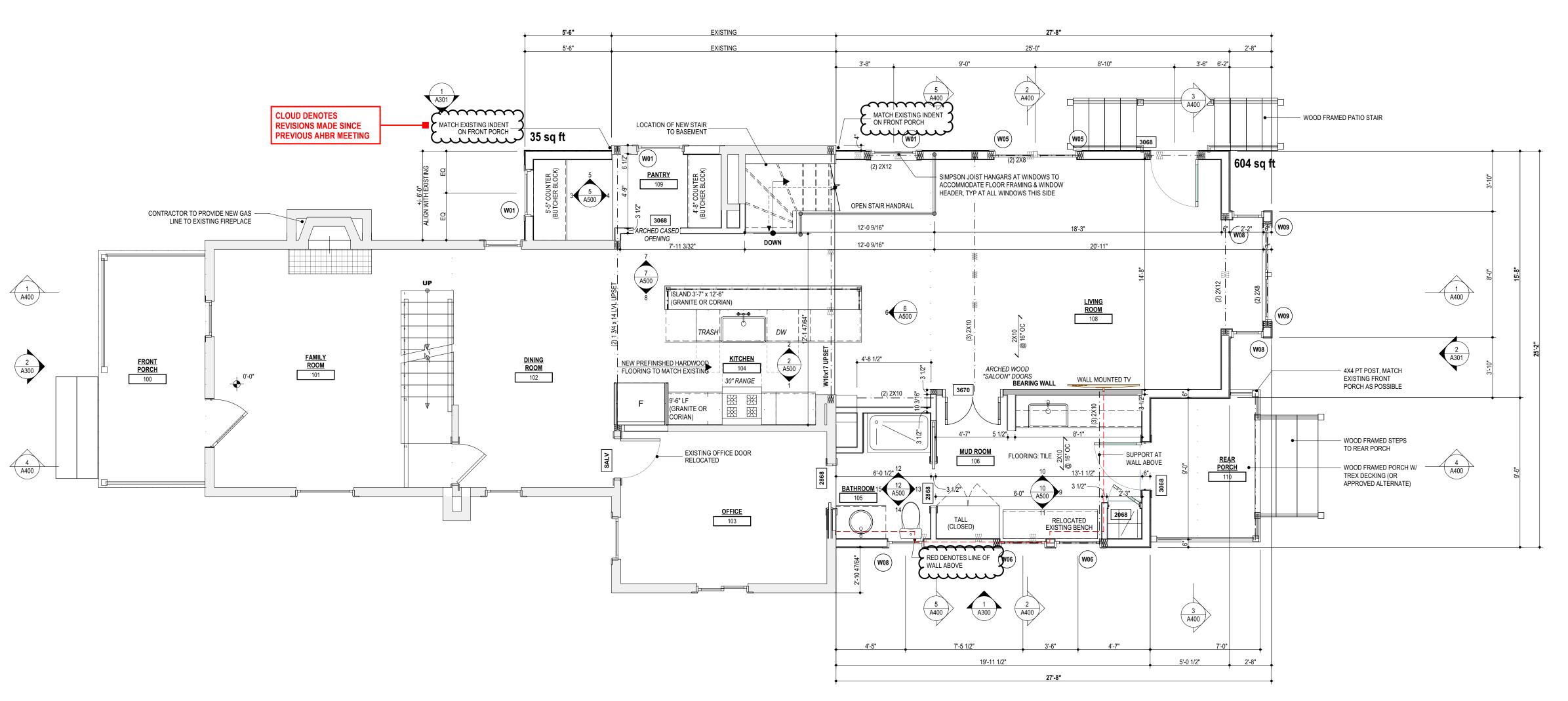
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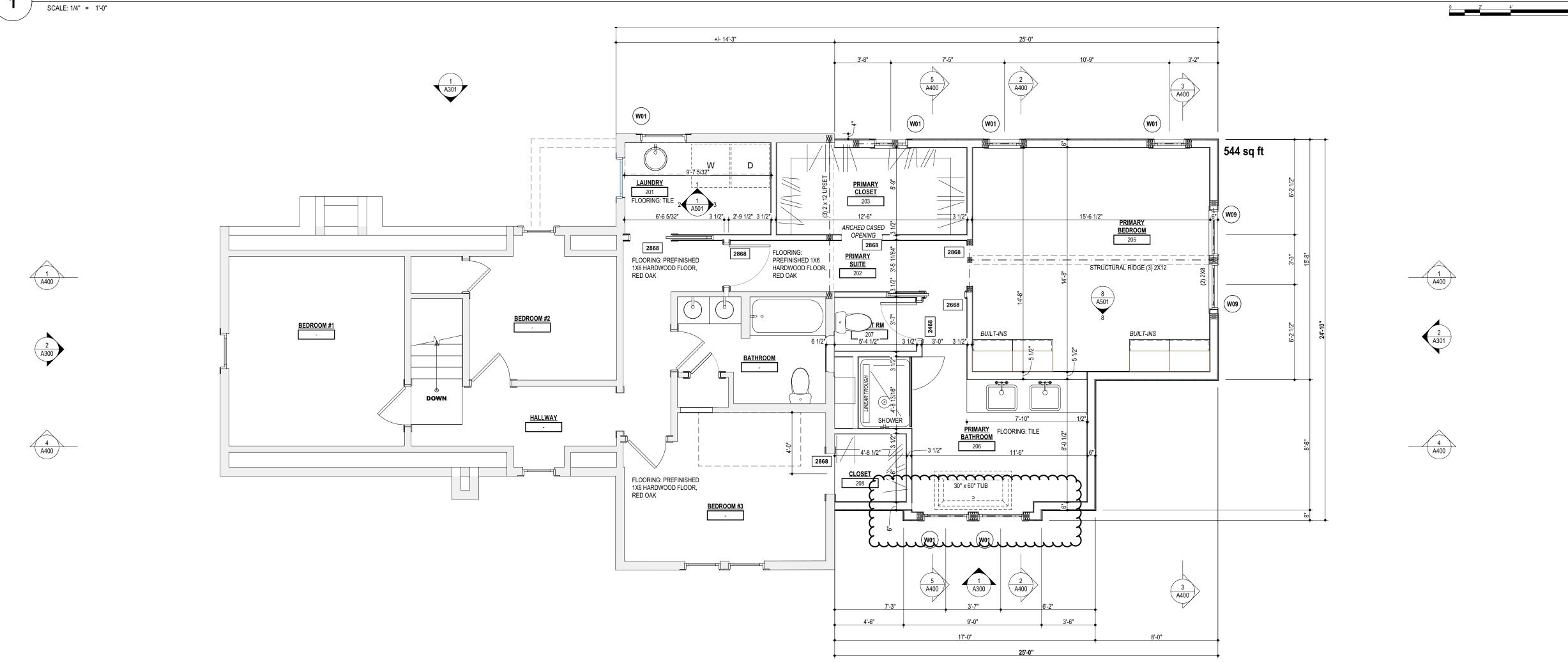
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FOUNDATION PLAN



FIRST FLOOR PLAN



FLOOR PLAN GENERAL NOTES

VERIFY DIMENSIONS AND CONDITIONS IN FIELD. WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON DRAWINGS CONFLICT WITH ACTUAL, CONTACT ARCHITECT FOR CLARIFICATION

PROVIDE SOUND DEADENING INSULATION AROUND BEDROOMS,

BATHROOMS, MECHANICAL ROOMS, AND PLUMBING STACKS

BLOCK WEBS SOLID AT BEARING WALL LOCATIONS ABOVE

CONTRACTOR TO EXTEND ALL POSTS DOWN TO SOUND FOUNDATION, INSTALL FULL DEPTH SOLID BLOCKING AT ALL POINT

ALL FOOTINGS TO EXTEND DOWN TO FROST LEVEL MINIMUM.

COORDINATE EXACT LOCATIONS OF FLOOR DRAINS WITH MECHANICAL CONTRACTOR.

PROVIDE 5/8" GYP. BOARD TYPE "X" ON GARAGE CEILINGS.

ALL INTERIOR DOORS TO BE 1 7/8" SOLID CORE WOOD DOORS. COORDINATE WITH FINISH PLANS FOR FINAL FINISH SELECTIONS

ALL INTERIOR TRIM TO BE POPLAR OR APPROVED EQUAL. COORDINATE WITH INTERIOR ELEVATIONS AND MILLWORK DRAWINGS FOR SELECT TYPES AND PROFILES.

ALL MILLWORK TO BE CUSTOM PER DRAWINGS.

REFER TO CONSULTANT DRAWINGS IF APPLICABLE FOR COORDINATION OF WORK BETWEEN TRADES

FLOOR TRUSS CRITERIA TCL= 30 PSF TCDL= 10 PSF BCDL= 10 PSF NET UPLIFT= 15 PSF 19/32" APA RATED EXPOSURE 1 OSB

ROOF TRUSS CRITERIA

TCLL= 25 PSF TCDL= 10 PSF BCDL= 10 PSF NET UPLIFT= 10 PSF ATTIC LL= 40 PSF Δ TTL < L/360

USE (2) SIMPSON SWDC15600 SCREWS AT TRUSS BRG

WOOD HEADERS (U.N.O.) OPENING HEADERS NON BEARING 1 JACK, 1 KING 1 JACK, 1 KING 1 JACK, 1 KING 2 JACK, 1 KING UP TO 4'-0" (2) 2 X 8 4'-0" - 6'-0" (2) 2 X 10 6'-1" - 8'-0" (2) 2 X 12 1 JACK, 1 KING 2 JACK, 1 KING 8'-1" - 10'-0" (2) 11 1/4 LVL 2 JACK, 1 KING 3 JACK, 1 KING

INDICATES WEB STIFFENING BELOW BEARING WALL ABOVE

M INDICATES AREA OF ADDITIONAL FRAMING REQUIRED

INDICATES POINT LOAD FROM ABOVE

INDICATES LOCATION OF BEARING WALL ABOVE

INDICATES BEARING WALL

PRO.	JECT	ARE

FIRST F	LOOR: EXISTING ADDITION	826 SF 631 SF
		1,457 SF
		,,,,,,,
SECONI	D FLOOR:	
	EXISTING	688 SF
	ADDITION	598 SF
	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	1,286 SF
PREVIO	US HOUSE	1,514 SF
TOTAL A	ADDITION	1,229 SF
TOTAL	HOUSE:	2,743 SF

	WINDOW SCHEDULE				
ID	QTY	WxH	REMARKS		
W01	2	3'-0"×4'-8"			
W01	3	2'-2"×4'-0"			
W01	7	3'-0"×3'-0"			
W05	4	2'-8"×5'-0"			
W06	1	3'-5"×1'-0"			
W06	4	3'-0"×5'-0"			
W07	1	3'-0"×1'-6"			
W08	1	2'-4"×3'-10"			
W08	1	2'-6"×3'-0"			
W08	4	2'-0"×5'-6"			
W09	6	3'-0"×5'-6"			



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PROJECT TEAM:

ARCHITECT

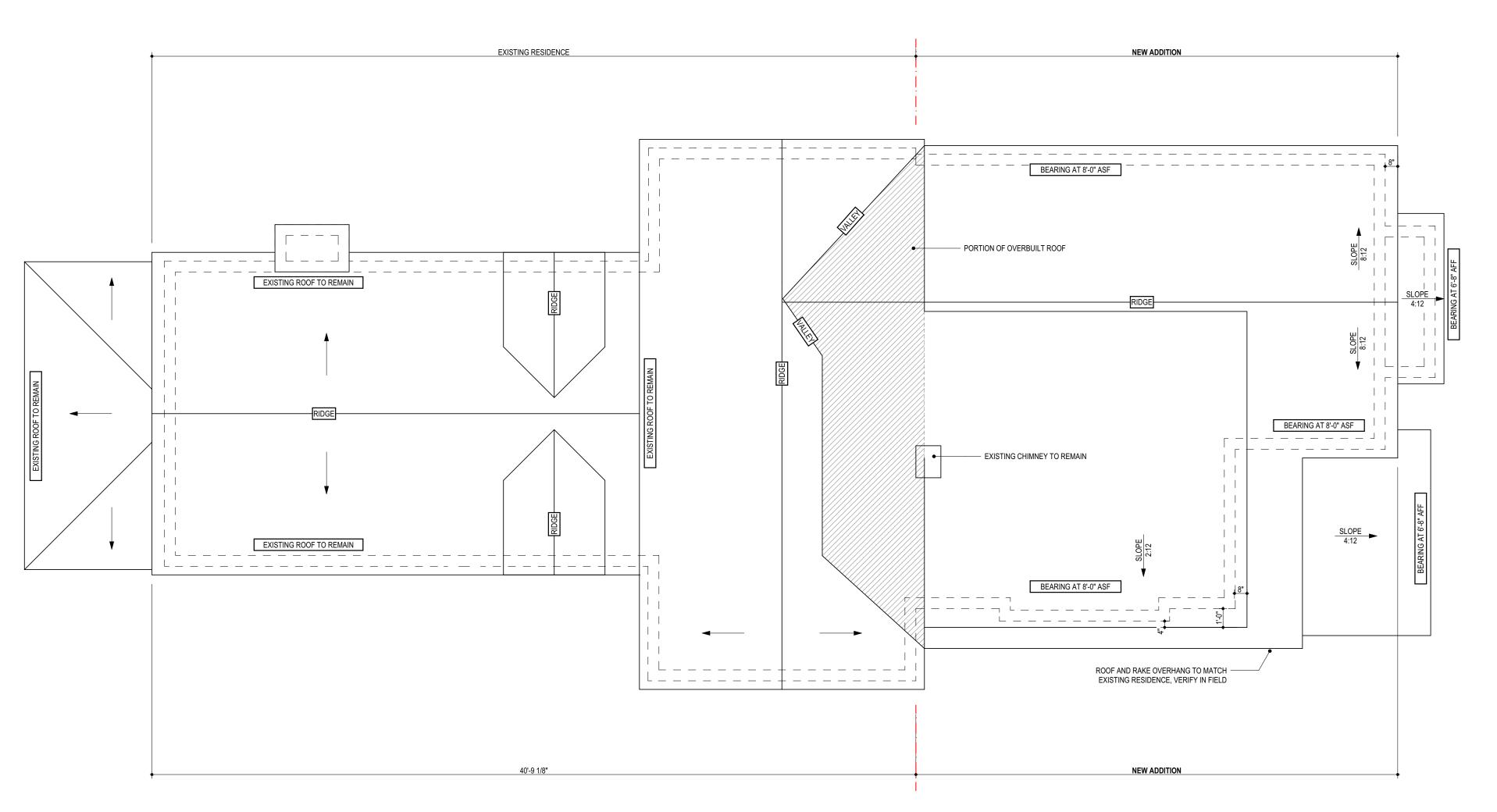
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FLOOR PLANS

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SECOND FLOOR PLAN



2 ROOF PLAN

SCALE: 1/4" = 1'-0"



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PROJECT TEAM:

ARCHITECT
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STRUCTURAL
DANMARK ENGINEERING

WENCLEWICZ KESIDENCE
27 COLLEGE STREET, HUDSON, OHIO #Site Postcode

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ROOF PLAN

A102

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- - SECOND FLOOR ELEV. 7'-10" AFF

__FIRST_FLOOR ELEV. 0'-0" ◆

EXTERIOR ELEVATIONS

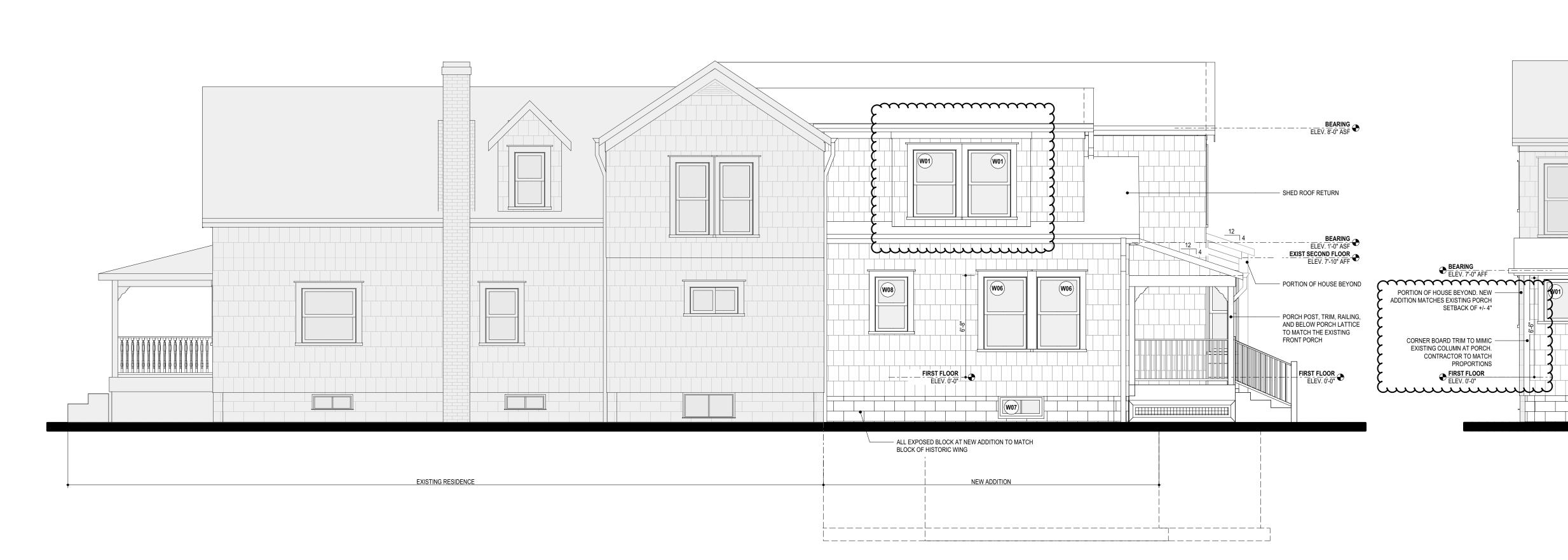
EXISTING ELEVATIONS

SCALE: 1/4" = 1'-0"

FIRST FLOOR ELEV. 0'-0"

WEST ELEVATION (FRONT OF HOUSE)

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION (SIDE OF HOUSE)

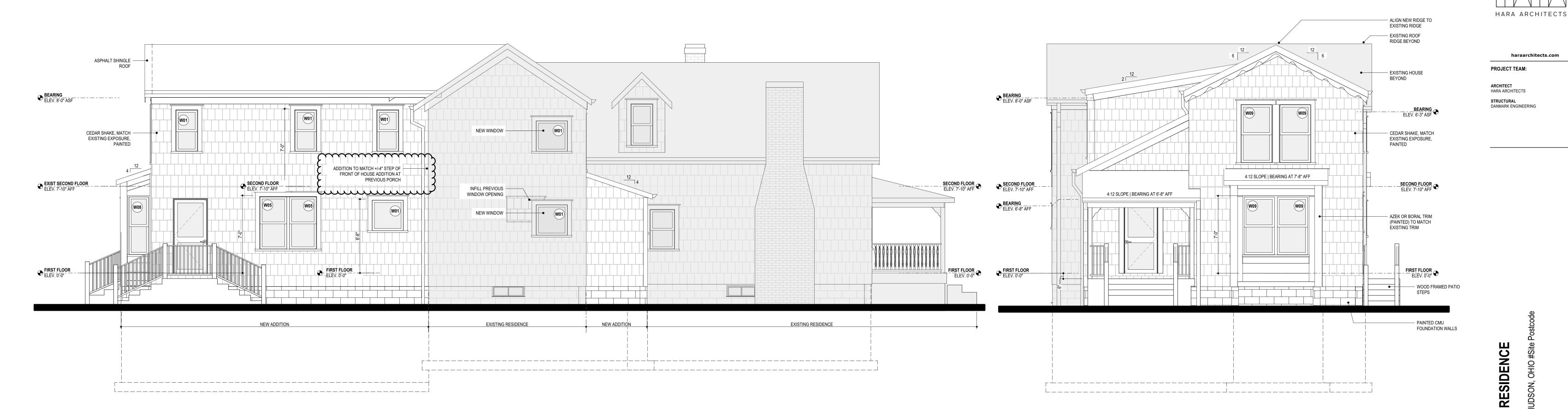
SCALE: 1/4" = 1'-0"



EXISTING ELEVATION

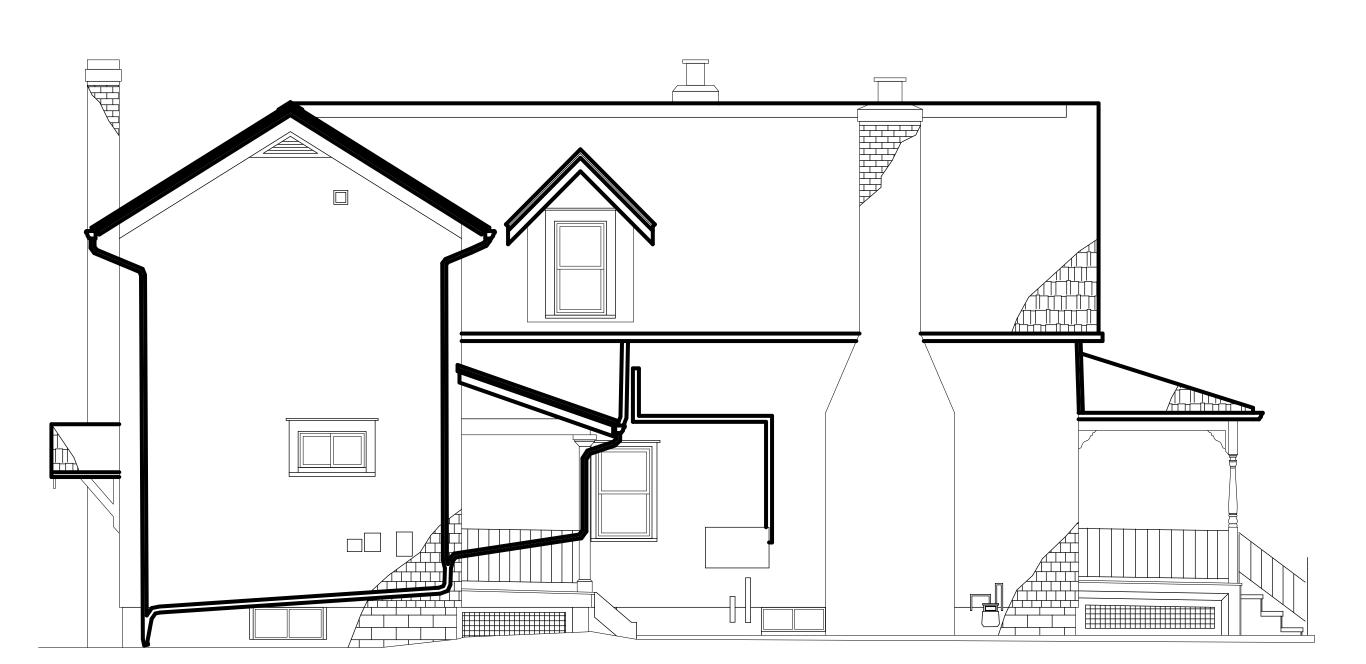
SCALE: 1/4" = 1'-0"

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2 EAST ELEVATION (REAR OF HOUSE)

SCALE: 1/4" = 1'-0"



EXTERIOR ELEVATIONS

A301

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SCALE: 1/4" = 1'-0"

NORTH ELEVATION (SIDE OF HOUSE)

SCALE: 1/4" = 1'-0"















