

APPROVED: STAFF APPROVAL DATE
 APPROVED: ENGINEERING DEPT. APPROVAL DATE
 APPROVED: LANDSCAPE ARCHITECT APPROVAL DATE

BUILDER: PULTE HOMES OF OHIO, LLC.
 ADDRESS: 387 MEDINA ROAD SUITE 1700, MEDINA, OHIO 44256
 PHONE: 330-239-1587

CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
CT	261.80'	500.00'	133.97'	258.82'	N14°33'31"E	30°00'00"

DIRT CALCULATION
 cu.yds. CUT/FILL

INITIAL SITE BENCHMARK:
 SUMMIT COUNTY GEODETIC MONUMENT HU 118
 STATE PLAN COORDINATE
 N 572,745.649
 E 2,250,912.641
 ELEVATION = 1006.912 NAVD 1988

NOTES:
 DOWNSPOUTS TO BE CONNECTED TO STORM SEWER CONNECTION
 SUMP PUMP REQUIRED FOR FOOTER DRAINS

PRIMARY BENCHMARK:
 TOC/BOC ELEV @ P/L
 IN FRONT OF SUBLOTS 105/106
 ELEV. = 1002.31

SECONDARY BENCHMARK
 TOP STEM OF HYDRANT
 IN FRONT OF SUBLOTS 105/106
 ELEV. = 1005.08

THE CONTRACTOR MUST CHECK THE BENCHMARK WITH THE CURB GRADES PRIOR TO DIGGING THE FOUNDATION.

OWNER: _____
 ADDRESS: _____
 PHONE: _____

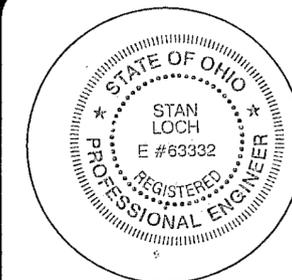
NOTE:
 ALL PROPOSED FOOTERS WILL REQUIRE SURVEY CERTIFICATION ONCE SET AND PRIOR TO THE COMPLETION OF HOME CONSTRUCTION

NOTE:
 FINAL LOCATION OF (3) TREES TO BE DETERMINED AND INSTALLED BY PURCHASER IN COMPLIANCE WITH CITY OF HUDSON LAND DEVELOPMENT CODE (1207.04J).

NOTE:
 PURCHASER TO INSTALL MINIMUM OF 3 TREES PER MUNICIPAL REQUIREMENTS

NOTE:
 PURCHASER TO INSTALL LANDSCAPING PER CITY OF HUDSON LANDSCAPING REQUIREMENTS.

NOTE:
 PER ARB, EGRESS WINDOW WELLS SHOULD BE NO MORE THAN 6" ABOVE FINISHED GRADE



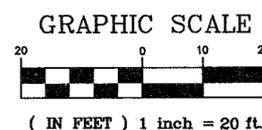
I CERTIFY THAT THIS PLAN WAS PREPARED BY ME AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

STAN R. LOCH P.E. #63332 DATE 6-4-19

4525 WARNER ROAD - SUITE 12
 VALLEY VIEW, OHIO 44125
 440-602-9071



ENGINEERING and SURVEYING
 Civil Engineering - Land Surveying



DATE OF SURVEY:
 MAY 30th, 2019

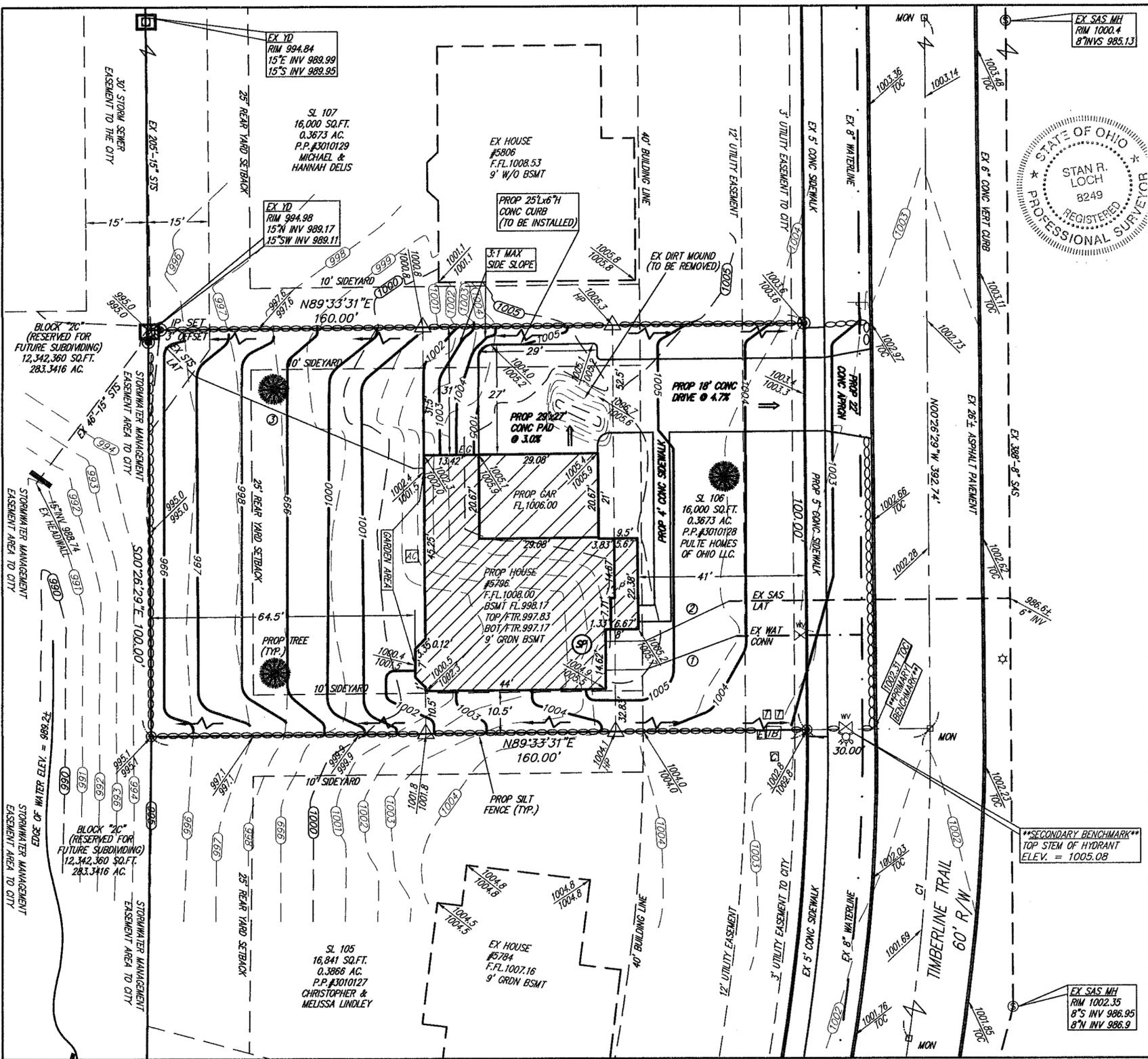
TYPE OF HOUSE:
 PLAN # ELLICOTT
 ELEVATION: NORTHERN CRAFTSMAN
 GAR: 3 CAR SIDE RIGHT W/ 9' GARDEN BSMT,
 GUEST SUITE OPTION, FIREPLACE & DRIVE EXT

PERCENTAGE OF LOT COVERAGE = 29.0%

HOUSE COVERAGE = 2,723 SQ.FT.
 DRIVEWAY COVERAGE = 1,722 SQ.FT.
 WALKWAY COVERAGE = 202 SQ.FT.
 TOTAL COVERAGE = 4,647 SQ.FT.

- ① = PROP 1" WAT CONN
- ② = PROP 6" PVC SAS CONN @ 1.0% MIN 10% MAX
- ③ = PROP 6" PVC STS CONN @ 1.0% MIN 10% MAX

- LEGEND:
- = PROPOSED TREE
 - = PROP MONUMENT
 - = EX CURB INLET
 - ⊙ = EX SANITARY MANHOLE
 - ⊙ = IRON PIN SET 5/8"x30" REBAR CAPPED "AZTECH #8249"
 - = EXISTING GRADE
 - - - = PROPOSED GRADE
 - = SILT FENCE
 - ⊕ = EX HYDRANT
 - ⊕ = EX WATER VALVE
 - ⊕ = SUMP PUMP
 - ⊕ = EX STORM MANHOLE
 - = SWALE
 - = FLOW ARROW
 - ⊕ = ELECTRIC STUB
 - ⊕ = CABLE PEDESTAL
 - ⊕ = TELEPHONE PEDESTAL
 - ⊕ = TRANSFORMER BOX
 - ⊕ = AIR CONDITIONER
 - ⊕ = ELECTRIC CONNECTION
 - ⊕ = GAS CONNECTION
 - ⊕ = OFFSET HUB
 - ⊕ = LIGHT POST
 - ⊕ = INLET PROTECTION

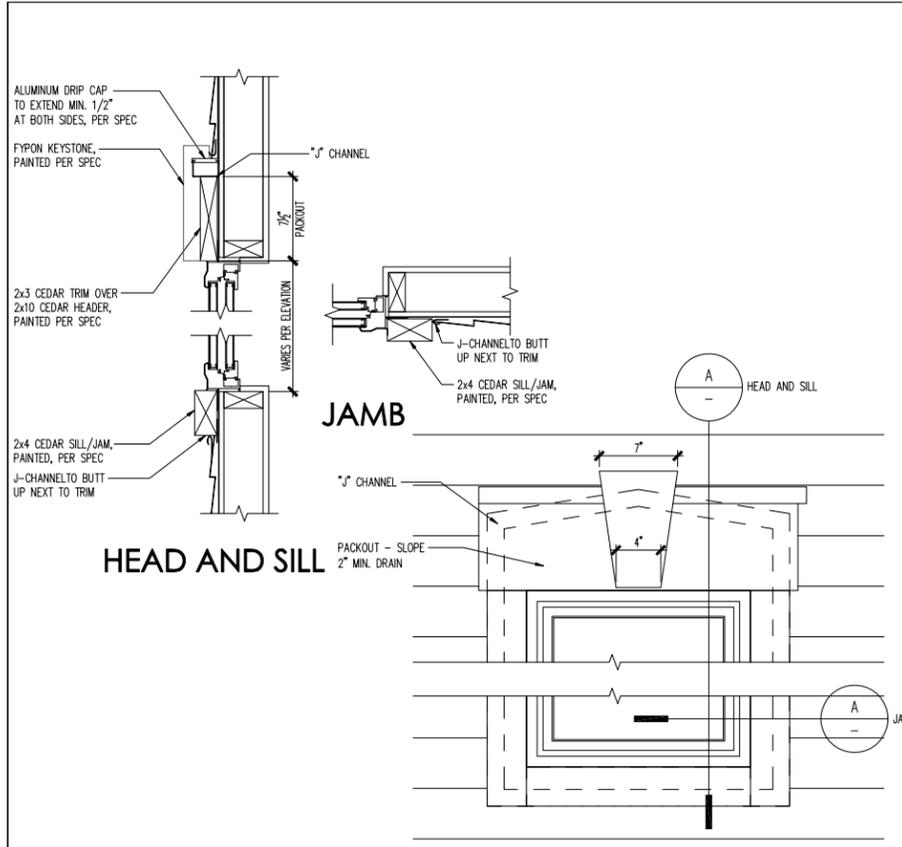


SHEET CONTENT

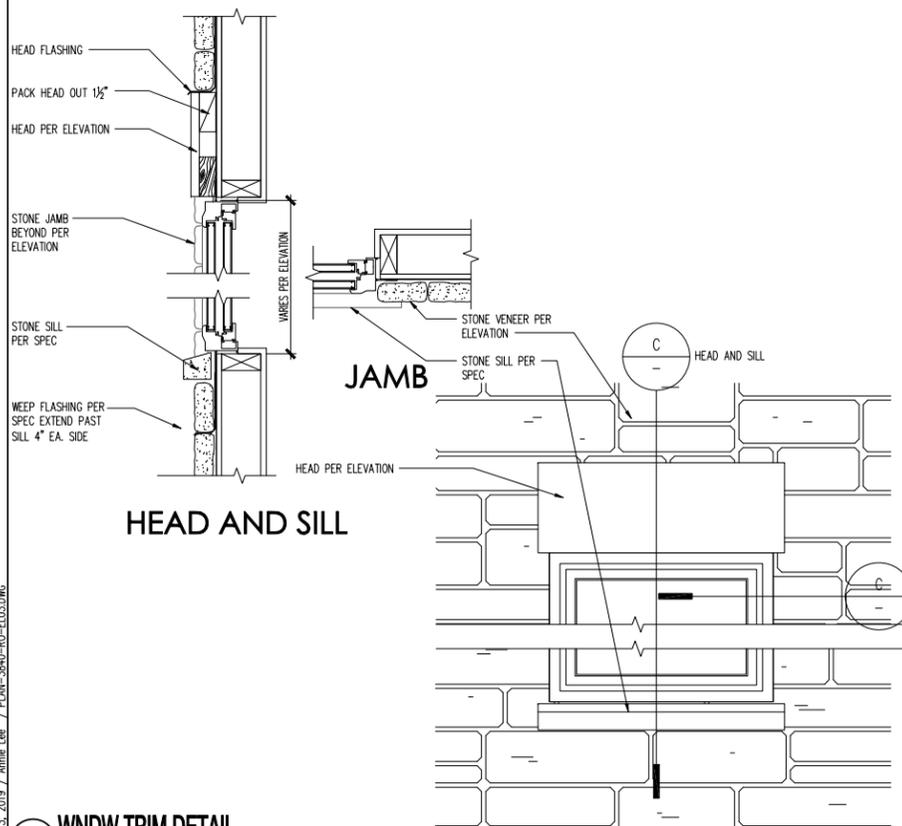
SITE PLAN FOR PULTE HOMES SUBLT 106
 5796 TIMBERLINE TRAIL IN THE RESERVE AT RIVER OAKS SUBDIVISION PH.2 SITUATED IN THE CITY OF HUDSON COUNTY OF SUMMIT STATE OF OHIO

REVISIONS		
NO.	DATE	DESCRIPTION

HORIZ. SCALE	VERT. SCALE
1" = 20'	
DRAWN BY	DATE
KEG	6-4-2019
CHECKED BY	DRAWING NO.
SRL	River Oaks 2
JOB NO.	SHEET
20142977-2	1 OF 1



A WNDW TRIM DETAIL
SCALE: 1/2" = 1'-0"



B WNDW TRIM DETAIL
SCALE: 1/2" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

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Cleveland Division
387 Medina Rd. Suite 1700
Medina, OH 44256



Front Elevation - 9 - Northern Craftsman
Front and Rear Elevations

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

PRODUCTION MANAGER	
Jamey Heinzman	
CURRENT RELEASE DATE: 05/31/2019	
REV #	DATE / DESCRIPTION

PROJECT TYPE	SINGLE FAMILY
COMMUNITY NAME	RIVER OAKS LOT 106
LAWSON COMMUNITY ID	
GARAGE HANDING	GARAGE RIGHT
SPECIFICATION LEVEL	TBD
PLAN NAME	ELLICOTT
NPC PLAN NUMBER	1643
LAWSON PLAN ID	
LEGACY PLAN NUMBER / NAME	PLAN 3840
SHEET	7.09a2

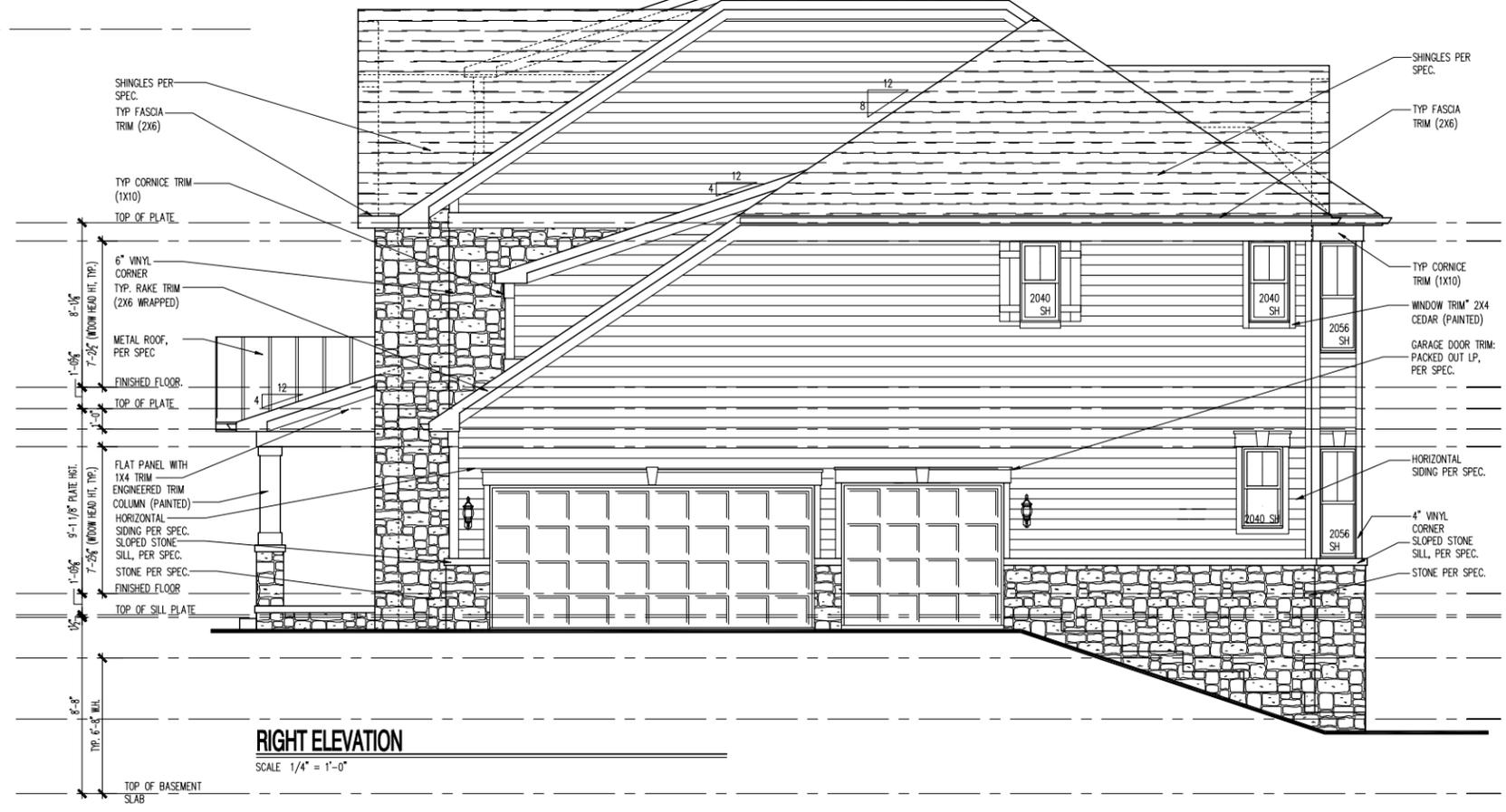
PLOTTED: June 3, 2019 / Anna Lee / PLAN-3840-RO-ELC03.DWG

ENGINEER OF RECORD: MULHORN & KULP, ENGINEERING ARCHITECTS OF RECORD: GODOUCO DESIGN - ARCHITECTS

PLOTTED: June 3, 2019 / Anna Lee / PLAN-3840-FO-EL03.DWG

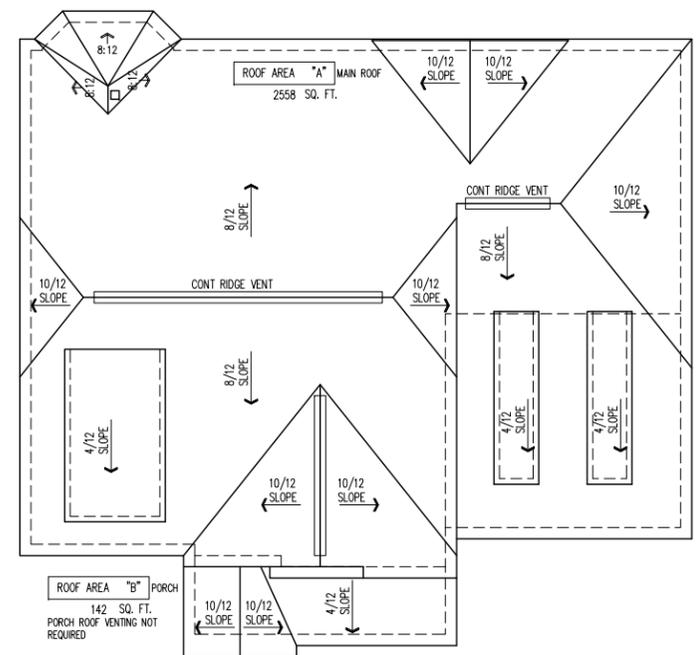


LEFT ELEVATION
SCALE 1/4" = 1'-0"



RIGHT ELEVATION
SCALE 1/4" = 1'-0"

ATTIC VENTILATION SCHEDULE													
9 ELEVATION	LOC	1ST FLOOR ROOF			2ND FLOOR ROOF			GARAGE ROOF			AREA	REQ'D	SUPP
		AREA	REQ'D	SUPP	AREA	REQ'D	SUPP	AREA	REQ'D	SUPP			
	RIDGE												
	EAVE				2558	4.26	4.38	N/A	N/A	N/A			
	TOTAL					8.53	8.68						



ROOF PLAN
SCALE 1/8" = 1'-0"

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Cleveland Division
387 Medina Rd. Suite 1700
Medina, OH 44256



Front Elevation - 9 - Northern Craftsman
Side Elevations and Roof Plan

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

PRODUCTION MANAGER	
James Heinzman	
CURRENT RELEASE DATE: 05/31/2019	
REV #	DATE / DESCRIPTION

PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS LOT 106

LAWSON COMMUNITY ID

GARAGE HANDING
GARAGE RIGHT

SPECIFICATION LEVEL
TBD

PLAN NAME
ELLICOTT

NPC PLAN NUMBER
1643

LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME
PLAN 3840

SHEET
7.09a3

ENGINEER OF RECORD: MULHERN & KULP, ENGINEERING
ARCHITECT OF RECORD: GODDUCO DESIGN - ARCHITECTS

REV #	DATE / DESCRIPTION
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△	
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△	
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PRODUCTION MANAGER
 Jamey Heinzman
 CURRENT RELEASE DATE: 05/31/2019

PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS LOT 106
 LAWSON COMMUNITY ID

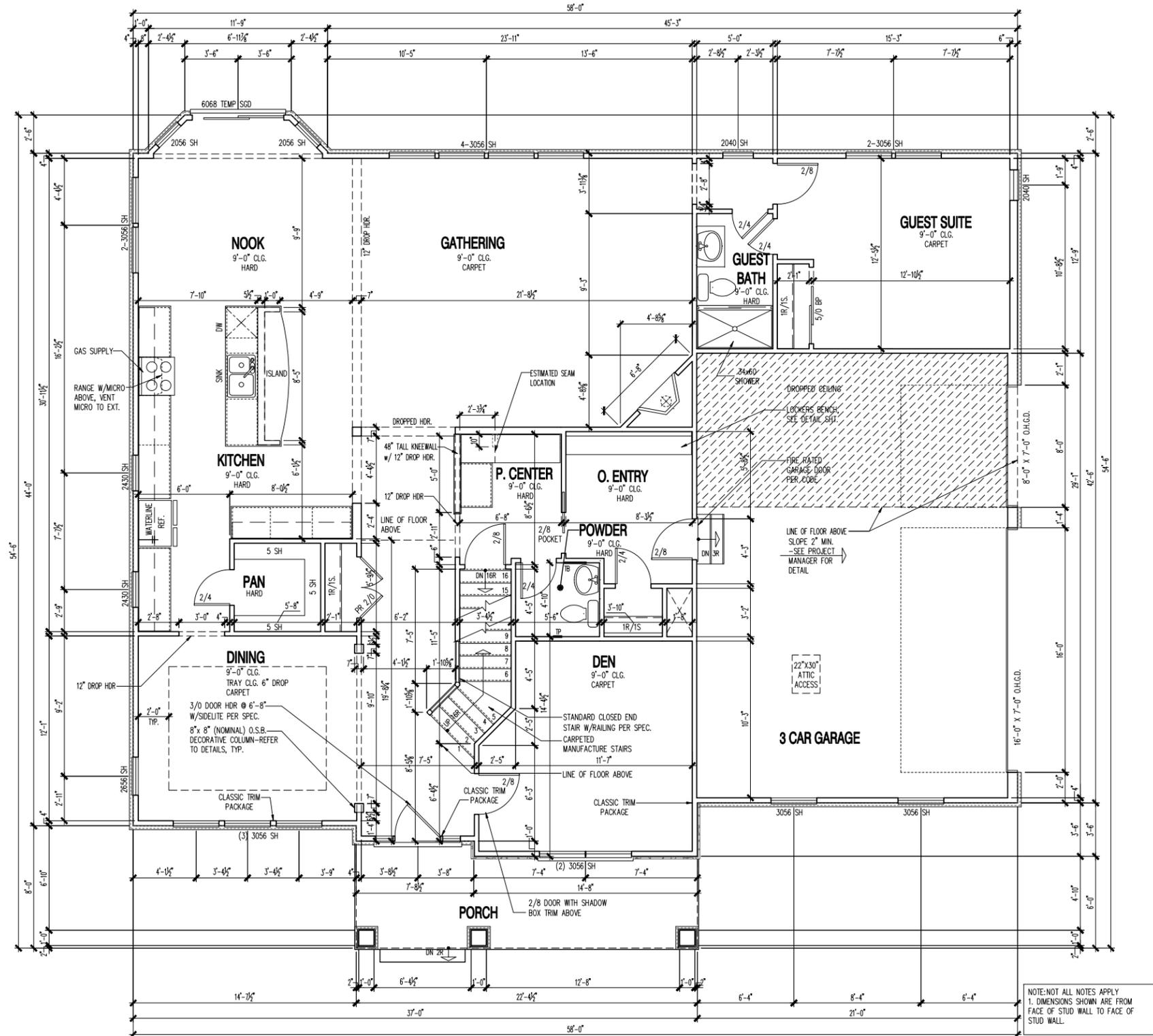
GARAGE HANDING
GARAGE RIGHT

SPECIFICATION LEVEL
TBD

PLAN NAME
ELLICOTT
 NPC PLAN NUMBER
1643
 LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME
PLAN 3840

SHEET
2.10a

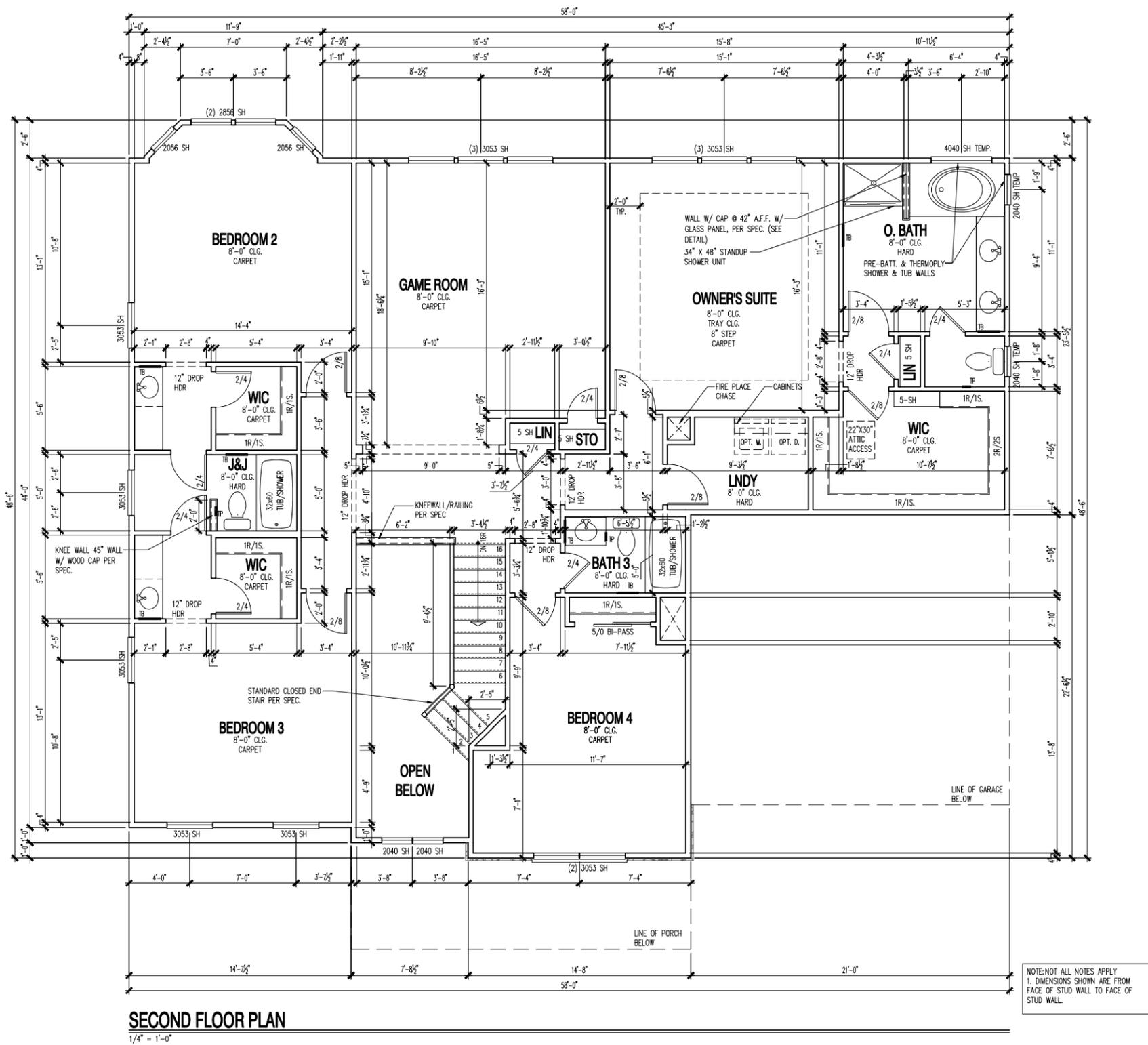


FIRST FLOOR PLAN
 1/4" = 1'-0"

NOTE: NOT ALL NOTES APPLY
 1. DIMENSIONS SHOWN ARE FROM
 FACE OF STUD WALL TO FACE OF
 STUD WALL.

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

ENGINEER OF RECORD: MULHORN & KULP, ENGINEERING
 ARCHITECT OF RECORD: GODOUCO DESIGN - ARCHITECTS



PRODUCTION MANAGER
Jamey Heinzman
CURRENT RELEASE DATE: 05/31/2019

REV #	DATE / DESCRIPTION
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△	
△	
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△	

PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS LOT 106
LAWSON COMMUNITY ID

GARAGE HANDING
GARAGE RIGHT

SPECIFICATION LEVEL
TBD

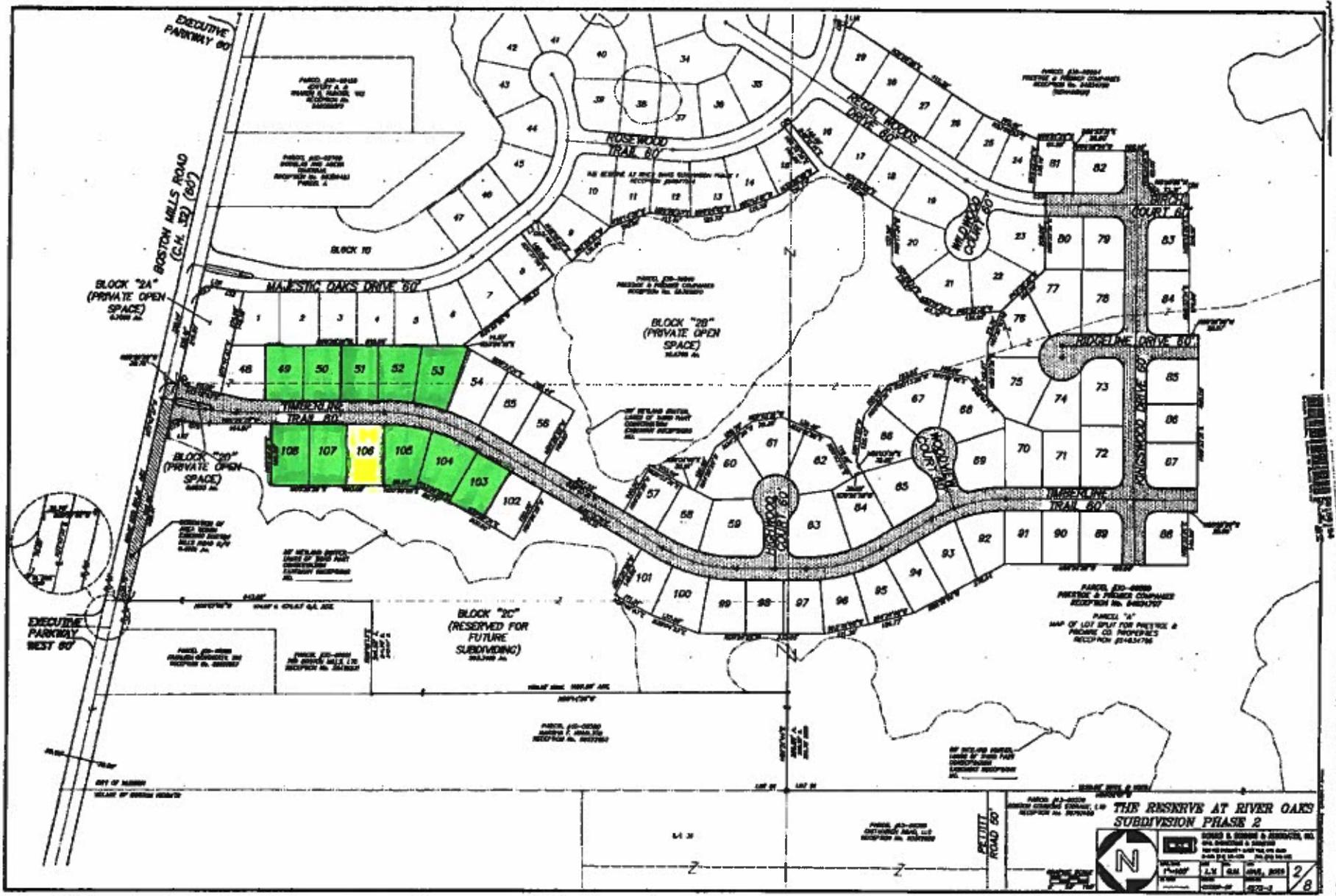
PLAN NAME
ELLICOTT
NPC PLAN NUMBER
1643
LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME
PLAN 3840

SHEET
2.20a

ENGINEER OF RECORD: MULHORN & KULP, ENGINEERING
ARCHITECT OF RECORD: GODOUCO DESIGN - ARCHITECTS

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS



Vacant
SL: 49



Vacant
Sl: 50



Vacant
Sl: 51



Vacant
Sl: 52



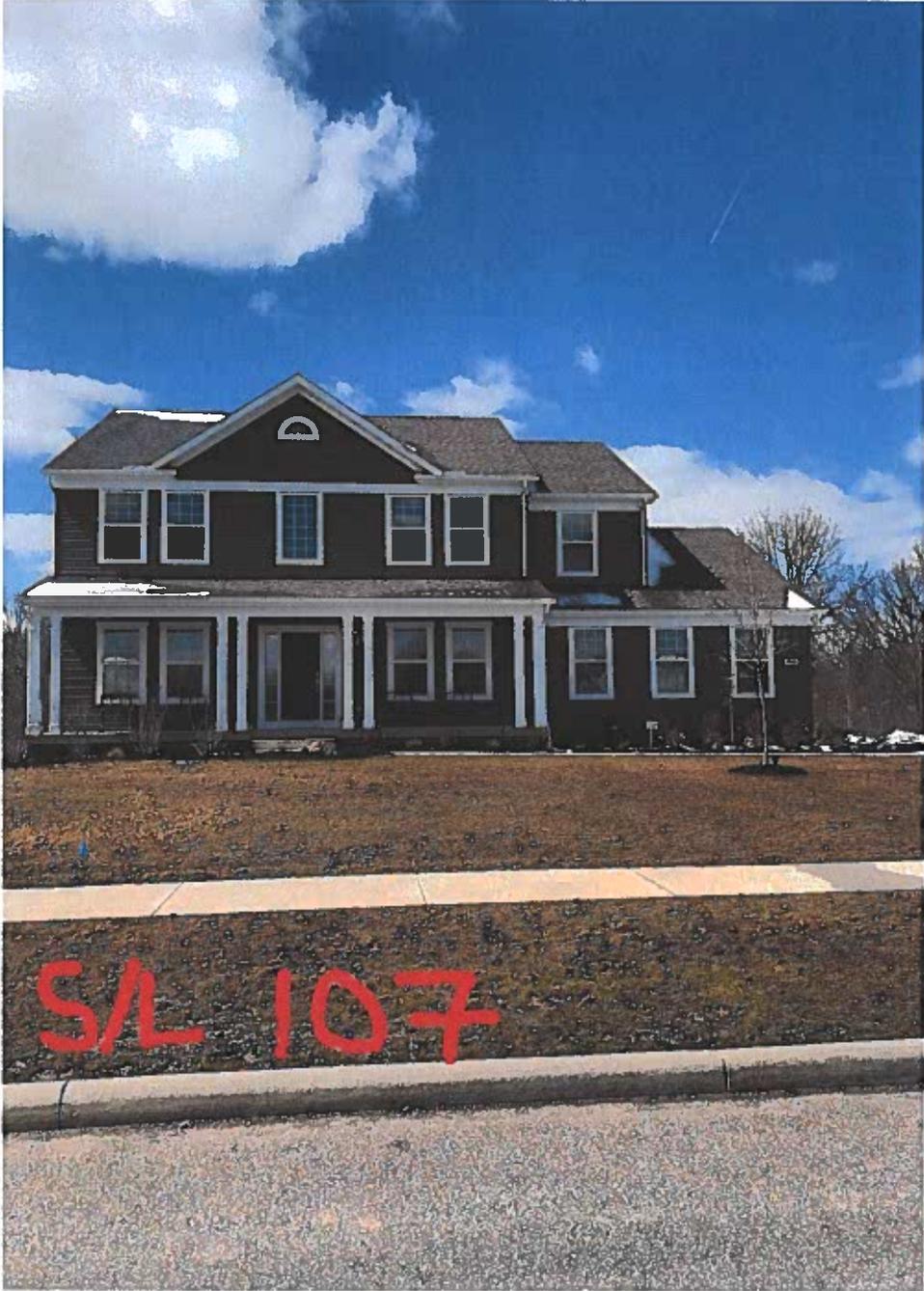
SL153



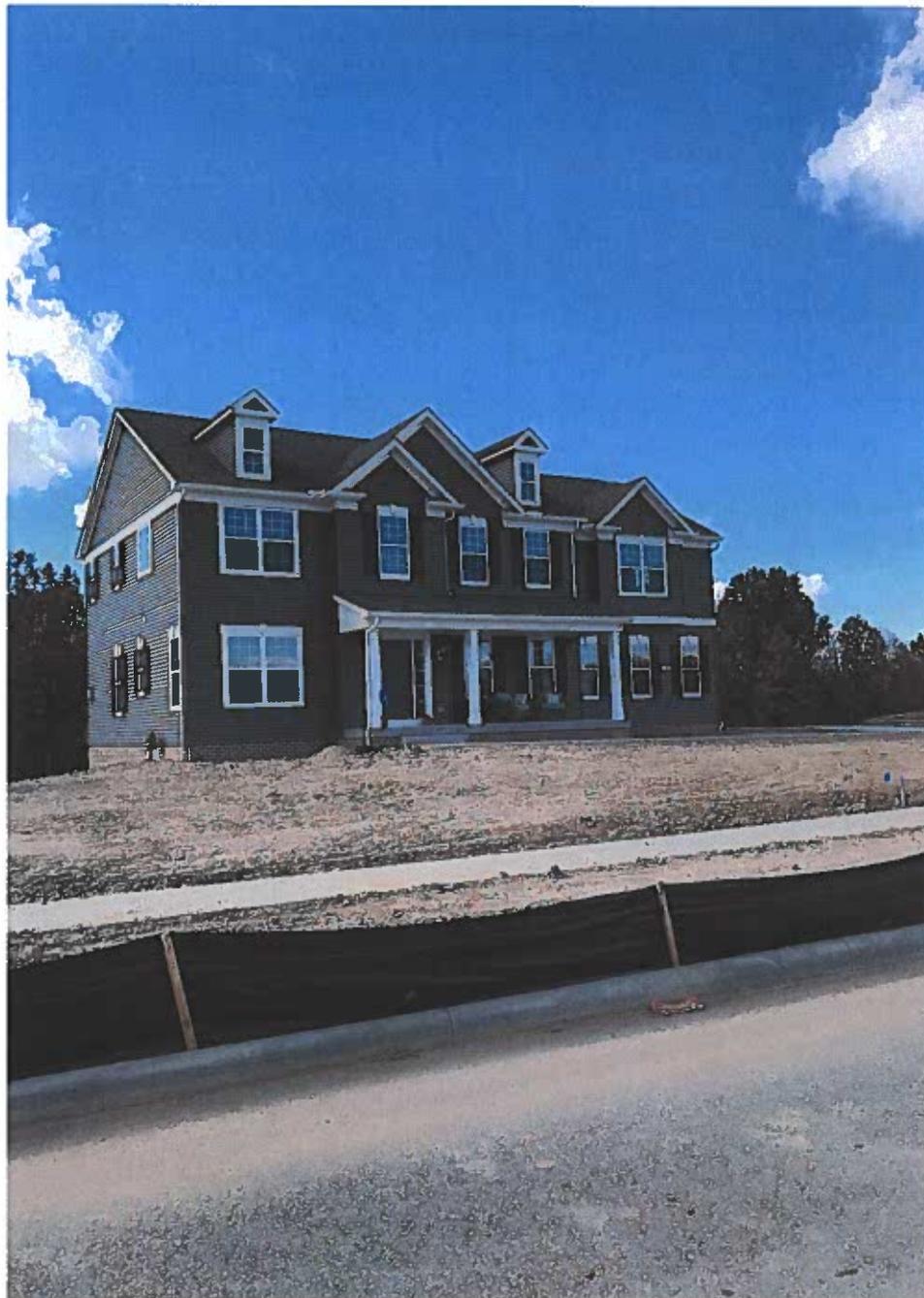
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SL1107



SL: 105



SL: 104



