

APPROVED: STAFF APPROVAL DATE _____
 APPROVED: ENGINEERING DEPT. APPROVAL DATE _____
 APPROVED: LANDSCAPE ARCHITECT APPROVAL DATE _____

BUILDER: PULTE HOMES OF OHIO, LLC.
 ADDRESS: 387 MEDINA ROAD SUITE 1700, MEDINA, OHIO 44256
 PHONE: 330-239-1587

OWNER: _____
 ADDRESS: _____
 PHONE: _____

****PRIMARY BENCHMARK:****
 TOC/BOC ELEV @ P/L
 IN FRONT OF SUBLLOT 79/80
 ELEV. = 1004.66

****SECONDARY BENCHMARK****
 TOP STEM OF HYDRANT
 IN FRONT OF SUBLLOT 79/80
 ELEV. = 1007.43

****THE CONTRACTOR MUST CHECK THE BENCHMARK WITH THE CURB GRADES PRIOR TO DIGGING THE FOUNDATION.****

NOTE:
 ALL PROPOSED FOOTERS WILL REQUIRE SURVEY CERTIFICATION ONCE SET AND PRIOR TO THE COMPLETION OF HOME CONSTRUCTION

NOTE:*****
 PLEASE TAKE NOTICE. THE FOUNDATION SHOWN ON THIS SITE PLAN IS TAKEN FROM BASE PLANS ONLY. PROPER VERIFICATION WILL BE REQUIRED.

NOTE:
 FINAL LOCATION OF (3) TREES TO BE DETERMINED AND INSTALLED BY PURCHASER IN COMPLIANCE WITH CITY OF HUDSON LAND DEVELOPMENT CODE (1207.04J).

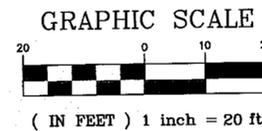
INITIAL SITE BENCHMARK:
 SUMMIT COUNTY GEODETIC MONUMENT HU 118
 STATE PLAN COORDINATE
 N 572,745.649
 E 2,250,912.641
 ELEVATION = 1006.912 NAVD 1988

NOTES:
 DOWNSPOUTS TO BE CONNECTED TO STORM SEWER CONNECTION
 SUMP PUMP REQUIRED FOR FOOTER DRAINS

NOTE:
 PURCHASER TO INSTALL MINIMUM OF 3 TREES PER MUNICIPAL REQUIREMENTS

NOTE:
 PURCHASER TO INSTALL LANDSCAPING PER CITY OF HUDSON LANDSCAPING REQUIREMENTS.

NOTE:
 PER ARB, EGRESS WINDOW WELLS SHOULD BE NO MORE THAN 6" ABOVE FINISHED GRADE

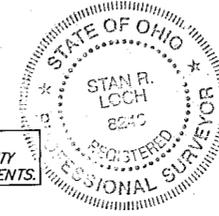
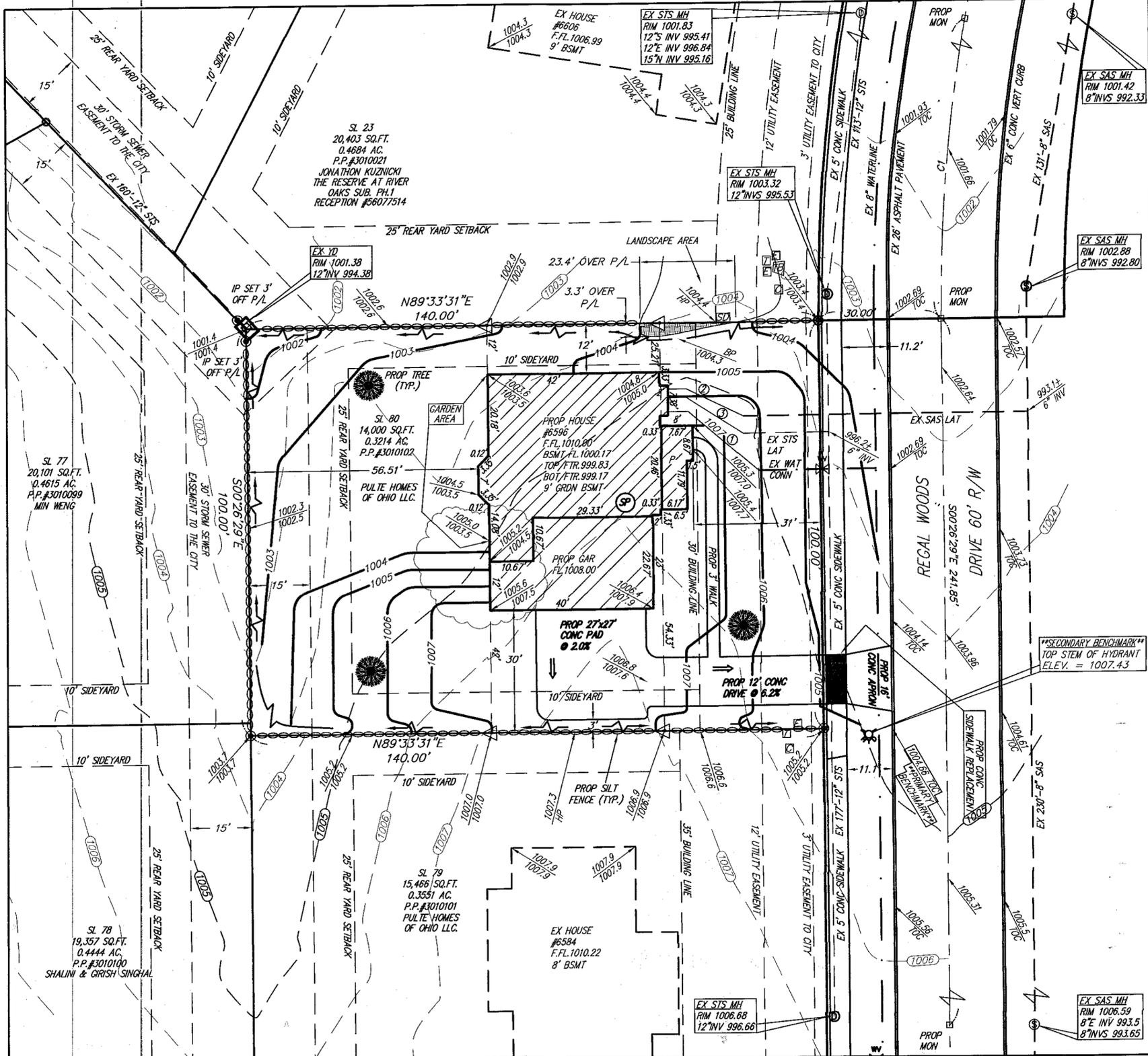


DATE OF SURVEY:
 FEBRUARY 23rd, 2021

TYPE OF HOUSE:
 PLAN# ATWATER
 ELEVATION: 9
 GAR: 3 CAR SIDE LEFT W/9' GRDN BSMT, SUNROOM & STORAGE & FIREPLACE

- ① = PROP 1" WAT CONN
- ② = PROP 6" PVC SAS CONN @ 1.0% MIN 10% MAX
- ③ = PROP 6" PVC STS CONN @ 1.0% MIN 10% MAX

- LEGEND:**
- = PROPOSED TREE
 - = PROP MONUMENT
 - ⊕ = EX CURB INLET
 - ⊙ = EX SANITARY MANHOLE
 - = EX YARD DRAIN
 - ⊙ = IRON PIN SET 5/8"x30" REBAR CAPPED "AZTECH #8249"
 - = EXISTING GRADE
 - - - = PROPOSED GRADE
 - ∞ = PROP SILT FENCE
 - = INLET PROTECTION
 - ⊕ = EX HYDRANT
 - ⊕ = EX WATER VALVE
 - ⊕ = SUMP PUMP
 - ⊙ = EX STORM MANHOLE
 - = SWALE
 - = FLOW ARROW
 - ⊕ = ELECTRIC STUB
 - ⊕ = CABLE PEDESTAL
 - ⊕ = TELEPHONE PEDESTAL
 - ⊕ = TRANSFORMER BOX
 - ⊕ = AIR CONDITIONER
 - E = ELECTRIC CONNECTION
 - G = GAS CONNECTION
 - ▽ = OFFSET HUB
 - ⊕ = GAS VALVE
 - ☆ = LIGHT POST
 - ⊕ = SATELLITE DISH



I CERTIFY THAT THIS PLAN WAS PREPARED BY ME AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

3.23.2021
 STAN R. LOCH P.E. #63332 DATE

5425 WARNER ROAD - SUITE 12
 VALLEY VIEW, OHIO 44125
 440-602-9071



Civil Engineering · Land Surveying

SHEET CONTENT

SITE PLAN FOR
PULTE HOMES
SUBLLOT 80
 6596 REGAL WOODS DRIVE
 IN THE
 RESERVE AT RIVER
 OAKS SUBDIVISION PH.2
 SITUATED IN THE
 CITY OF HUDSON
 COUNTY OF SUMMIT
 STATE OF OHIO

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	3/23/21	REV GRDN BSMT GRADING	KEG

HORIZ. SCALE	VERT. SCALE
1" = 20'	
DRAWN BY KEG	DATE 3-2-2021
CHECKED BY SRL	DRAWING NO River Oaks 2
JOB NO 20142977-2	SHEET 1 OF 1



OHIO DIVISION - LOT 80

River Oaks



Atwater

1 - GENERAL BUILDING & DESIGN REQUIREMENTS

- 1) THE ATTACHED PLANS & SPECIFICATIONS ARE THE SOLE PROPERTY OF PULTE HOMES INC. ANY UNAUTHORIZED USE OF THESE PLANS WITHOUT WRITTEN CONSENT OF PULTE HOMES INC. IS STRICTLY PROHIBITED.
- 2) PULTE HOMES INC. DESIGNS & BUILDS HOUSING AS SET FORTH BY THE FORWARD PROVISIONS OF THE RESIDENTIAL CODE OF OHIO (RCO) AND THE NATIONAL ELECTRIC CODE (NEC). ANY NON-CONFORMING DOCUMENTS DISCOVERED BY THE CONTRACTOR OR HIS AGENTS SHALL BE CALLED TO THE IMMEDIATE ATTENTION OF PULTE HOMES INC. BY CALLING (800) 452-5200.
- 3) THESE PLANS ARE SUBJECT TO MODIFICATIONS TO MEET CODE REQUIREMENTS AND/OR TO FACILITATE MECHANICAL, ELECTRICAL, PLUMBING INSTALLATION AND/OR TO IMPLEMENT DESIGN IMPROVEMENTS. ANY INTENTION TO MODIFY THESE PLANS MUST BE APPROVED IN WRITING BY PULTE HOMES INC.
- 4) CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AFFECTING CONTRACTOR'S PRODUCTS, INSTALLATIONS, OR FABRICATIONS IN THE FIELD PRIOR TO EXPEDIENT CONSTRUCTION OF SUCH WORK. FIELD VERIFY ALL DIMENSIONS - DO NOT SCALE DRAWINGS! CONTRACTOR IS RESPONSIBLE FOR SURVEYING THE PROJECT AND BECOMING FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK INCLUDING BUT NOT LIMITED TO SITE AND SOIL BEARING CONDITIONS.
- 5) ERRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ERRORS, OMISSIONS, OR OMISSIONS FOR WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION AND/OR FABRICATION OF THE WORK.

2 - SITE CONSTRUCTION

- 1) SOIL BEARING CALCULATIONS BASED ON 2000 PSF MIN
- 2) BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.
- 3) BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS BACKFILL TO NOT DAMAGE THE FOUNDATION WALLS OR ANY WATERPROOFING/DAMP-PROOFING MATERIALS.

3 - CONCRETE

- 1) ALL CONCRETE EXPOSED TO EXTERIOR ELEMENTS SHOULD BE AIR ENTRAINED 4-6%.
- 2) SLOPE ON DRIVE SHALL BE NO LESS THAN 2% OR 1/4" PER FOOT- PREFERABLY 4% OR 1/2" PER FOOT. THE FRONT STOP SHALL HAVE SLOPE EQUAL TO 7% PER FOOT. THE "WEDGE" WALL IN GARAGE SHALL HAVE A 1/2" PER FOOT SLOPE AND DRIVE SLAB SHALL BE SLOPED MIN. 1/4" PER FOOT.
- 3) SOME COLUMN DIMENSIONS ARE FROM CENTER OF COLUMN TO EXTERIOR FACE OF BASEMENT WALL.
- 4) BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.
- 5) BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS TO NOT DAMAGE THE FOUNDATION WALLS OR WATERPROOFING / DAMPROOFING MATERIALS.
- 6) WALL SILLS SHALL BE TREATED MEMBERS AND SECURED BY ANCHOR BOLTS AND/OR STRAPS AS SPECIFIED IN THE DRAWINGS, DETAILS, AND SPECIFICATIONS.
- 7) CALCULATIONS FOR COLUMN PADS BASED ON 2000 PSF SOIL BEARING.
- 8) FOUNDATION WALLS & FOOTER DEPTH TO BE VERIFIED IN FIELD.

4 - MASONRY

- 1) ALL EXTERIOR BRICK MUST MEET ASTM C-216 FOR "SM" CONDITIONS
- 2) MASONRY VENEER SHALL BE ATTACHED TO SUPPORTING WALLS W/ 22GA x 7/8" CORRUGATED METAL TIES AT 24" O.C.
- 3) FLASHING BEHIND MASONRY SHALL BE 1/4" BUILDING PAPER OR FELT OR APPROVED EQUAL ATTACHED TO THE SHEATING TO PREVENT MOISTURE PENETRATION.
- 4) WEEDSHIELD SHALL BE PROVIDED ALONG THE OUTSIDE WYTHE OF EXTERIOR MASONRY WALLS AT 3/8" O.C. MAX. SHALL BE A MIN. OF 5/8" IN DIAMETER, AND LOCATED IMMEDIATELY ABOVE THE FLASHING.

5 - METALS

6 - WOOD AND PLASTICS

7 - THERMAL & MOISTURE PROTECTION

- 1) INSTALL FIRE STOPPING AND/OR DRAFT STOPPING AS REQUIRED.
- 2) ATTIC VENTILATION SHALL BE PROVIDED AT 1/700th OF THE AREA OF THE SPACE VENTILATED. GROSS VENTILATION WITH HALF OF THE VENTILATED AREA SHALL BE PROVIDED BY RIDGE OR GABLE VENTS AND THE OTHER HALF BY EAVE OR CORNICE VENTS. VENTS SHALL BE PLACED SO AS TO NOT ALLOW INFILTRATION OF RAIN OR SNOW.
- 3) PROVIDE APPROVED THE BUCKER BOARD FOR ALL CHIMNEY AND BATH SPACE.
- 4) PROVIDE ICE-SHIELD PER CODE.
- 5) ROOF VENTING TO BE PROVIDED AS SHOWN. SORTIE, RIDGE, AND OTHER ROOF VENTS TO BE INSTALLED AS NOTED ON THE DRAWINGS & AS PER MANUFACTURER'S RECOMMENDATIONS.
- 6) HOUSE WRAP & FLASHING TO BE INSTALLED PER PULTE BEST PRACTICES.

8 - DOORS AND WINDOWS

- 1) WINDOW CALL OUT PER WINDOW SPECIFICS VERIFY WINDOW MANUFACTURER WITH PROJECT MANAGER
- 2) REVIEW ALL WINDOW HUR HEIGHTS PER FLUTE HT. AND VERT Y/ ELEVATIONS AND CORNICE DETAILS
- 3) TEMPERED GLASS SHALL BE USED IN ALL HAZARDOUS AREAS
- 4) FRONT DOOR WITH AS REQUIRED BY CODE
- 5) GARAGE DOOR AS REQUIRED BY CODE
- 6) EMERGENCY - SLEEPING ROOMS SHALL HAVE AT LEAST ONE EGRESS OPENING OF NOT LESS THAN 5.7 SF AND CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.

15 - MECHANICALS

- 1) FACTORY BUILT CHIMNEYS AND PREPLACES SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS, AND ARE SUBJECT TO MECHANICAL NOTIFICATION.
- 2) PROVIDE EXTERIOR AIR INTAKE FOR COMBUSTION AIR.

16 - ELECTRICAL

- 1) ALL ELECTRICAL INSTALLATION SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE (NEC). ALL MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OF APPROVAL OF THE UNDERWRITERS LABORATORIES, INC.
- 2) ELECTRICAL CONTRACTOR SHALL VERIFY SPACE REQUIRED FOR METER INSTALLATION BEFORE CONSTRUCTION AND SHALL NOTIFY GENERAL CONTRACTOR OF ANY DISCREPANCIES.
- 3) VERIFY LOCATION OF ALL RECEPTACLES FOR APPLIANCES WITH MANUFACTURER SPECIFICATIONS.
- 4) GROUND FAULT INTERRUPTS SHALL BE LOCATED PER NEC.
- 5) ALL SWITCHES SHALL BE INSTALLED AT 5'-2" ABOVE FINISHED FLOOR TO CENTERLINE OF SWITCH UNLESS NOTED OTHERWISE.
- 6) ALL CONVENIENCE OUTLETS SHALL BE INSTALLED W/ CENTERLINE OF OUTLET LOCATED 1'-3" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.
- 7) ALL CONVENIENCE OUTLETS WITH SWITCHES TO BE SWITCH AT TOP ONLY.
- 8) ALL EXTERIOR WALL BRACKET FIXTURES SHALL BE INSTALLED AT 6'-4" ABOVE ADJACENT DOOR SILL HEIGHT TO CENTERLINE OF FIXTURE.
- 9) APPROVED SMOKE DETECTORS SHALL BE LOCATED ON EVERY STORY OF THE DWELLING UNIT AS PER CODE (SEE SHEET FLOOR FOR LOCATIONS), WHERE MORE THAN ONE DETECTOR IS REQUIRED THEY SHALL BE INTERCONNECTED. POWER SOURCE SHALL BE BATTERY POWER / BATTERY BACKUP.

GENERAL FRAMING SPECS AND CONSTRUCTION NOTES STAIRS:

- 1) THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES (210 MM) AND THE MINIMUM TREAD DEPTH SHALL BE 10 INCHES (254 MM).
- 2) HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34 INCHES AND 38 INCHES SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS.
- 3) HANDRAIL AND BALUSTRADE (WHERE PRESENT) SHALL BE CONSTRUCTED PER CODE.
- 4) ALL REQUIRED HAND RAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS W/ 2 OR MORE RISERS FROM A POINT ABOVE THE TOP RISER OF A FLIGHT TO A POINT ABOVE THE LOWEST RISER OF THE FLIGHT. ENDS SHALL BE RETURNED OR SHALL TERMINATE AT NEEL POSTS OR SAFETY TERMINALS HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1.5" BETWEEN THE WALL AND HAND RAIL.

WALLS:

- 1) ALL STUDS TO BE 2x4 SPP OR EQUAL UNLESS NOTED OTHERWISE.
- 2) USE 1/2" TOP PLATE 1" O.C. ON BOTH FIRST AND SECOND FLOOR AT ALL EXTERIOR AND LOAD BEARING CONDITIONS. ALL OTHER PARTITION WALL USE SINGLE TOP PLATE 2x4OC.

FLOORS:

- 1) STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED, OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED PER CODE.
- 2) THE ENDS OF EACH JOIST, BEAM, OR GIRDER SHALL HAVE NOT LESS THAN 1.5 INCHES (38MM) OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES (76MM) ON MASONRY OR CONCRETE OR AS OTHERWISE SPECIFIED PER CODE.
- 3) ANY CONVENTIONAL FLOOR JOISTS SHOWN DOUBLED ON PLANS TO BE GLUED AT INSTALLATION AND MAILED W/ 3/4" X 164" NAILS @ 16" O.C., MULTIPLE PILES OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM.
- 4) SHOP DRAWINGS FOR ANY AND ALL ENGINEERED FLOOR SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS. WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

FRAMING:

- 1) ALL FRAMING DIMENSIONS TO FACE OF MEMBER/ SHEATHING.
- 2) ALL BEARING HEADERS TO BE 2x8 SPP #2 OR EQUAL UNLESS NOTED OTHERWISE.
- 3) ALL 2x10 & 2x12 HEADERS TO BE SPP #2 UNLESS NOTED OTHERWISE.
- 4) ALL 2x6 HEADERS TO BE SPP #2 UNLESS NOTED OTHERWISE.
- 5) PROVIDE 1x4 BLOOMING UNDER ALL EXTERIOR SLIDING DOORS.
- 6) ALL BEAMS & HEADERS SHALL HAVE A MINIMUM OF (1) 2x JACK STUD & (1) 2x KING STUD. THE NUMBER OF STUDS LABELED ON PLANS INDICATES THE NUMBER OF JACK STUDS ONLY (UNLESS NOTED OTHERWISE).
- 7) TWO-PLY CONVENTIONAL BEAMS TO BE FACE-MAILED W/2 ROWS 166 COMMON NAILS STAGGERED 8" O.C. UNLESS NOTED OTHERWISE. THREE-PLY CONVENTIONAL BEAMS TO BE NAILED AS ABOVE FROM EACH SIDE. MULTIPLE PILES OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM.
- 8) JOIST HANGERS, WHERE REQUIRED, SHALL BE USED WITHOUT ANGLE.
- 9) INSTALL FIRE STOPPING AND/OR DRAFT STOPPING AS REQUIRED.

ROOF:

- 1) HP AND VALLEY RAFTERS SHALL BE SUPPORTED AT RIDGE DOWN TO BEARING PARTITION. CUT ENDS OF RAFTERS SHALL BE FULLY SUPPORTED WALL AND RIDGE.
- 2) SHOP DRAWINGS FOR ANY AND ALL ENGINEERED ROOF TRUSS SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS. WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

LIGHT & VENT CALCULATIONS:

ROOM	SO. FT.	LIGHT REQ'D	SUPPLY	REQ'D/VENT SUPP	NOTES
FIRST FLOOR					
PLANNING CENTER	115	9.2	24.80	4.60	10.60
GATHERING ROOM	367	29.36	49.60	14.68	21.20
KITCHEN/NOOK	331	26.48	46.94	13.24	22.72
DINING ROOM	161	12.88	24.80	6.44	10.60
DEK	173	14.08	37.20	7.04	15.90
POUNDER ROOM	35	N/A	N/A	1.12	50.00
SECOND FLOOR					
GAME ROOM	299	23.92	46.80	11.96	19.60
OWNER'S SUITE	262	21.64	40.80	11.32	17.20
BEDROOM 2	131	10.48	26.80	5.24	11.90
BEDROOM 3	159	12.76	23.40	6.08	9.80
BEDROOM 4	152	12.16	35.17	6.08	14.70
OWNER'S BATH	111	N/A	24.80	118.8	120.00
TOILET ENCLOSURE	16	N/A	N/A	20.9	50.00
BATH 3	48	N/A	N/A	59.40	60.00
BATH 4	37	2.86	5.20	1.40	50.00
SINDBOOM	110	8.80	62.00	4.40	26.50
BATH 1	35	N/A	N/A	37.40	50.00

APPLICABLE CODES:

- Building Code: 2019 RCO
- Plumbing Code: 2017 Plumbing Code
- Mechanical Code: 2017 Mechanical Code
- Energy Code: 2019 Energy Code Ohio
- Electrical Code: 2017 NEC
- Fire Code: 2018 International Fire Code

PLAN SHEET INDEX

SHT.	DESCRIPTION
0.00	COVER SHEET
1.00c	FULL BASEMENT FOUNDATION PLAN
2.00a	FIRST FLOOR PLAN
2.10a	PLAN DETAILS
2.10b	PLAN DETAILS
2.10c	PLAN DETAILS
2.20a	SECOND FLOOR PLAN
3.00a	TYPICAL BUILDING SECTIONS
3.30a	TYPICAL WALL SECTIONS
3.30b	TYPICAL WALL SECTIONS
6.10	FIRST FLOOR ELECTRICAL PLANS
6.11	SECOND FLOOR ELECTRICAL PLAN
7.09a	ELEVATION "A" - FRONT AND REAR ELEVATIONS
7.09b	ELEVATION "B" - SIDE ELEVATIONS AND ROOF PLAN
S-1.0	1ST FLOOR FRAMING PLAN
S-1.1	1ST FLOOR FRAMING PLAN
S-1.2	1ST FLOOR FRAMING PLAN
S-1.3	1ST FLOOR FRAMING PLAN
S-1.4	1ST FLOOR FRAMING PLAN
S-1.5	1ST FLOOR FRAMING PLAN
S-1.6	1ST FLOOR FRAMING PLAN
S-2.0	2ND FLOOR FRAMING PLAN
S-2.1	2ND FLOOR FRAMING PLAN
S-2.2	2ND FLOOR FRAMING PLAN
S-2.3	2ND FLOOR FRAMING PLAN
S-3.0	ROOF FRAMING PLAN
S-3.1	ROOF FRAMING PLAN
S-3.2	ROOF FRAMING PLAN
S-3.3	ROOF FRAMING PLAN
S-3.4	ROOF FRAMING PLAN
S-3.5	WALL BRACING DETAILS
SD.01	TYPICAL FOUNDATION DETAILS
SD.02	TYPICAL FOUNDATION DETAILS
SD.03	TYPICAL FOUNDATION DETAILS

DATE: MAR 6, 2024 / 1:58 PM / 10:00 AM / 10:00 AM / 10:00 AM / 10:00 AM

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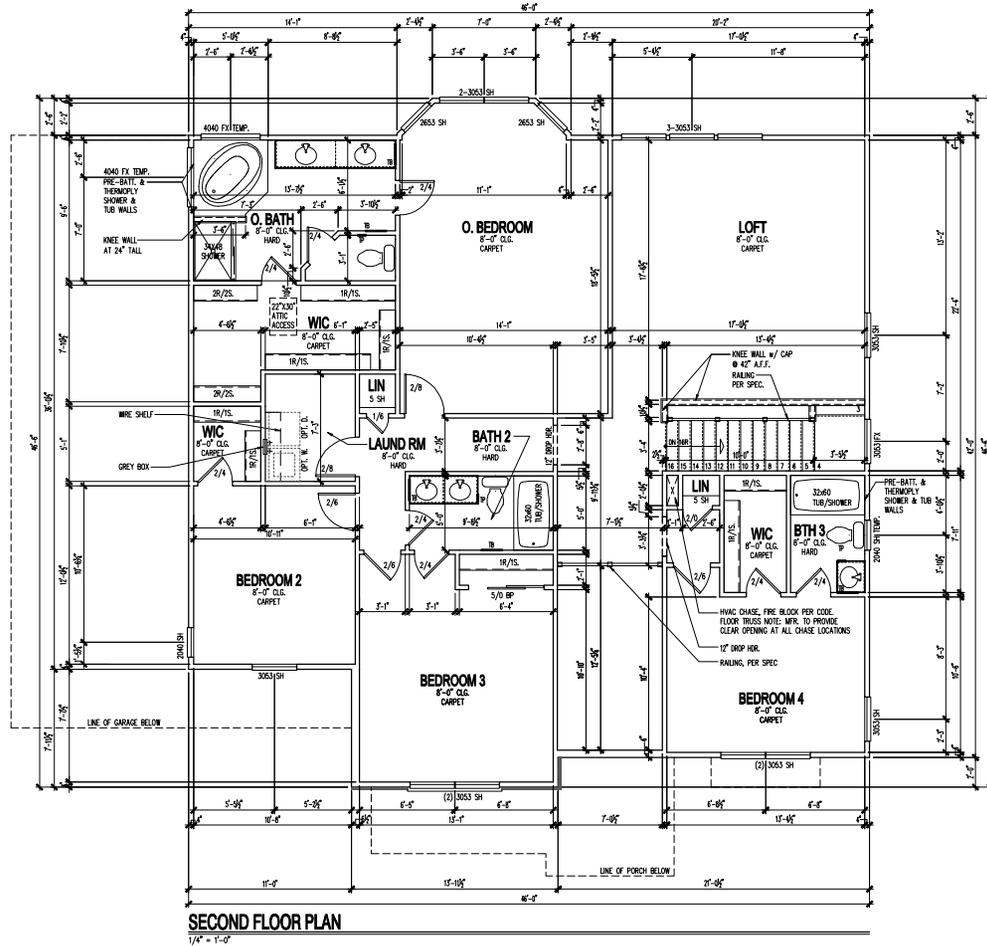
Cleveland Division
387 Medina Rd. Suite 1700
Medina, OH 44126



Cover Sheet
Specifications & General Notes

PROJECT TYPE: SINGLE FAMILY
COMMUNITY NAME: RIVER OAKS
LOT 80
LAWSON COMMUNITY D
GARAGE HAVING: GARAGE LEFT
SPECIFICATION LEVEL: TBD
PLAN NUMBER: 1642
LAWSON PLAN ID: PLAN 3295
SHEET: 0.00

ENGINEER OF RECORD: MULHLEN & WILPE ENGINEERS
ARCHITECT OF RECORD: GOODCO DESIGN, ARCHITECTS



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387 Medina Rd. Suite 1700
Medina, OH 44256

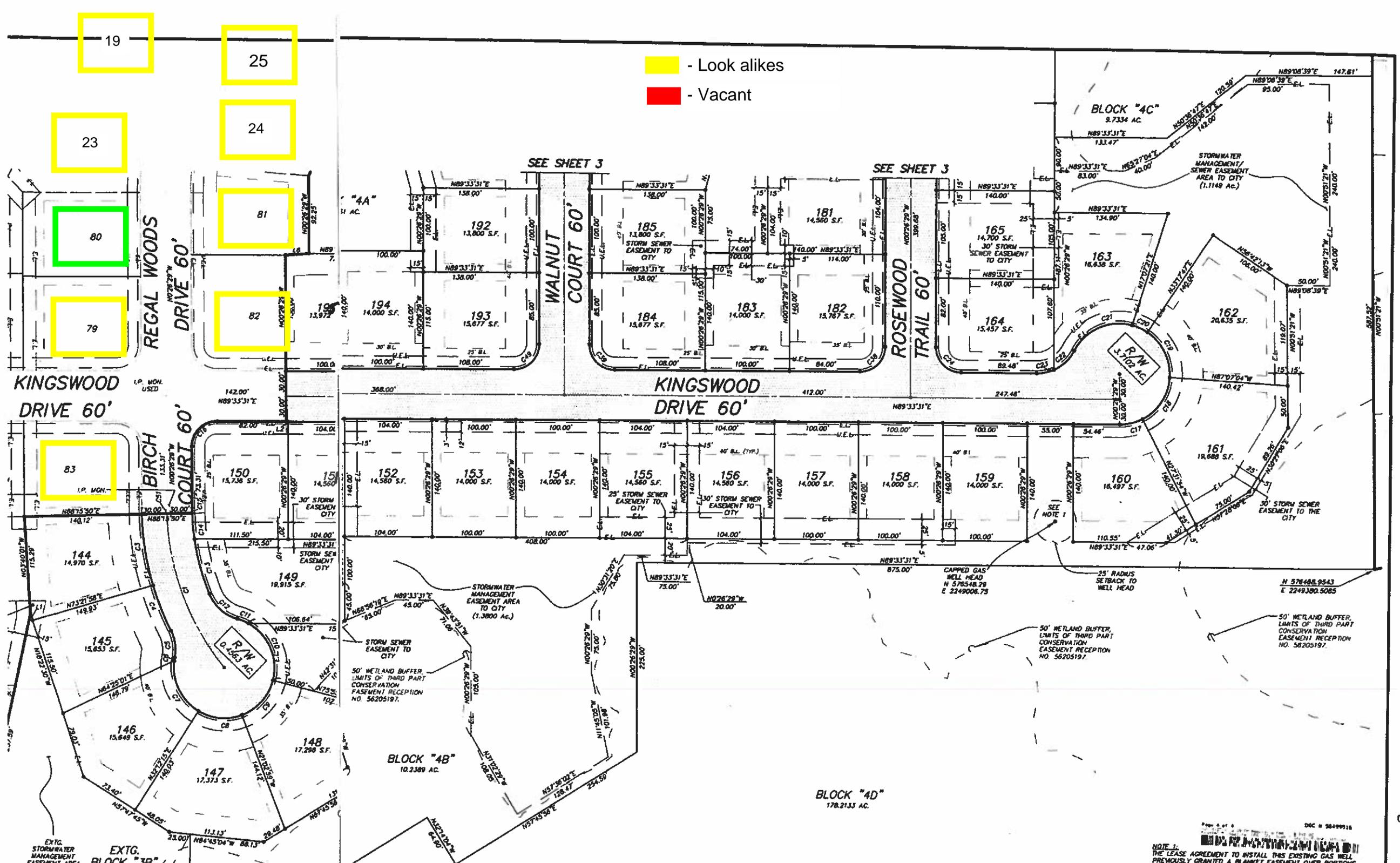


Second Floor Plan

PRODUCTION MANAGER
Cody Kinsky
ISSUE DATE: 03/09/2023
REV # / DATE / DESCRIPTION

PROJECT TYPE	SINGLE FAMILY
COMMUNITY NAME	RIVER OAKS
LOT #	LOT 80
LAWSON COMMUNITY ID	
GARAGE HARDING	GARAGE LEFT
SPECIFICATION LEVEL	TBD
PLAN NAME	ATWATER
WIC PLAN NUMBER	1642
LAWSON PLAN ID	PLAN 3295
SHEET	2.20a

Look alike
Vacant



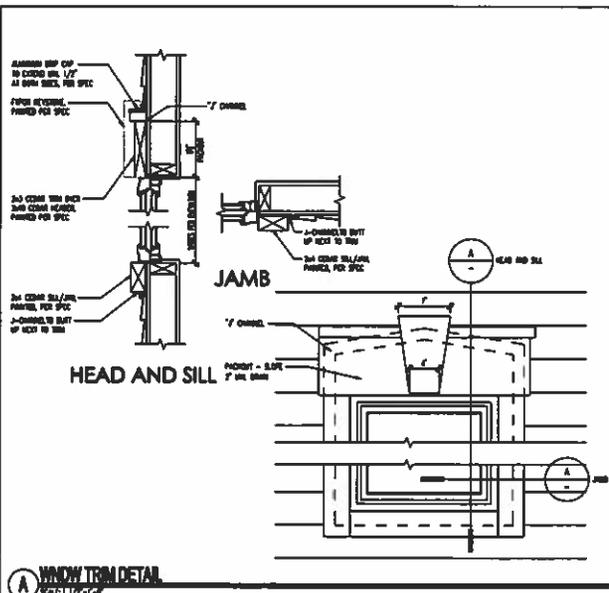
NOTE 1:
THE LEASE AGREEMENT TO INSTALL THIS EXISTING GAS WELL
PREVIOUSLY GRANTED A BLANKET EASEMENT OVER THE

EXTG. STORMWATER
MANAGEMENT
EASEMENT

EXTG. BLOCK "3R"

DOC # 5849916

Lot 23



Cleveland Division
367 Medina Rd. Suite 1700
Medina, OH 44256

Dulte

Front Elevation - 1
Front and Rear Elevations

REVISIONS

NO.	DATE	DESCRIPTION
1	08/14/2019	ISSUED FOR PERMITS
2		
3		
4		
5		
6		
7		
8		
9		
10		

OWNER: SINGLE FAMILY

PROJECT: RIVER OAKS Lot 23

DATE: 08/14/2019

OWNER: GARAGE NIGHT

CONTRACT NO: TBD

DESIGNER: BULLCOTT

DATE: 08/14/2019

PROJECT: PLANS 340

NO: 7.01a2

10/10/2019 10:28 AM / 10/10/2019 10:28 AM / 10/10/2019 10:28 AM



REAR ELEVATION
SCALE 1/4" = 1'-0"



FRONT ELEVATION
SCALE 1/4" = 1'-0"

Cleveland Division
387 Medina Rd. Suite 1700
Medina, OH 44256



Project: River Oaks - 1
Front and Rear Elevations

REVISIONS

NO.	DATE	DESCRIPTION
1	02/20/2024	ISSUED FOR PERMITS
2	02/20/2024	REVISED PER COMMENTS
3	02/20/2024	REVISED PER COMMENTS
4	02/20/2024	REVISED PER COMMENTS
5	02/20/2024	REVISED PER COMMENTS
6	02/20/2024	REVISED PER COMMENTS
7	02/20/2024	REVISED PER COMMENTS
8	02/20/2024	REVISED PER COMMENTS

ENGINEER OF RECORD: MAUREN A. DUFF, ARCHITECTURE
ARCHITECT OF RECORD: DANIELA JENSEN - ARCHITECTS

BASED ON SINGLE FAMILY

RIVER OAKS LOT 79

OWNER: TUD

DESIGNER: TUD

NO. OF SHEETS: 10

NO. OF SHEETS USED: 10

PLAN 3/40

NO. 7.01a1

Lot 82

Cleveland Division
 387 Medina Rd., Suite 1700
 Medina, OH 44256



Front Elevation - 1
 Front and Rear Elevations

REVISIONS: REVISIONS TO BE MADE TO THIS DRAWING SHALL BE MADE BY THE ARCHITECT. SEE REVISIONS SHEET FOR REVISIONS.

OWNER: SINGLE FAMILY

PROJECT: RIVER OAKS LOT 82

DATE: 08/20/2011

CONTRACTOR: GARAGE WORKS

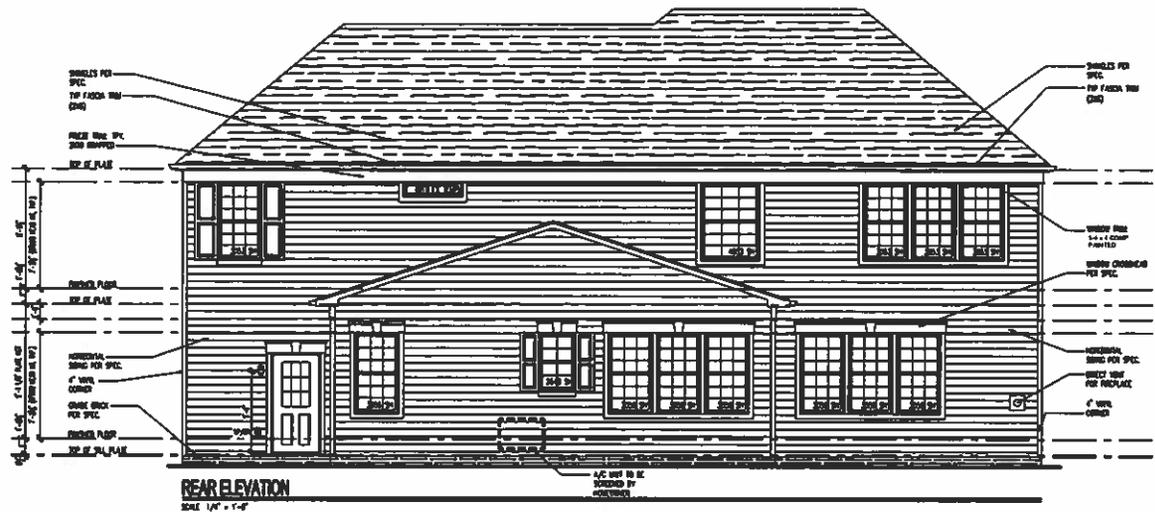
CONTRACT NO: TBD

PROJECT NO: 101

DATE: 08/20/2011

PLAN 3145

7.01a1



08/20/11, 08/20/11, 08/20/11 / 08/20/11, 08/20/11, 08/20/11 / 08/20/11, 08/20/11, 08/20/11

