

Meeting Date:  
July 8, 2019

Location:  
2113 Ravenna Street

Parcel Number  
3004220

Request:  
Site Plan Application

Applicant:  
John Swidrak, AoDK, Inc.

Property Owner:  
Gloria Dei Lutheran Church

Zoning:  
D3-Outer Village Residential  
Neighborhood

Case Manager:  
Kris McMaster

Staff Recommendation  
Approval subject to conditions on  
page **three**.

### **Contents**

- Submittal letter, AoDK, received 6/25/19
- Site Plan, dated 6/3/19
- Development Plans, Polaris Eng., dated 6/3/19
- Elevations, dated 6/3/19
- Landscaping Plan, dated 6/3/19
- Asst. City Engineer review, dated June 30, 2019
- BZBA Decision, dated 5/16/19
- Preliminary Review, City Planner, dated 1/10/19



Existing Conditions, City of Hudson GIS

### **Project Background:**

The Gloria Dei Lutheran Church is proposing to add a 7,602 square foot addition to the existing 7,318 square foot facility resulting in a total building footprint square footage of 14,920. The addition includes expansion of the entry lobby and narthex, men's and women's bathroom, nursery, kitchenette, gymnasium, fellowship hall, chancel and an outdoor patio.

### **Adjacent Development:**

The subject property is surrounded by single family homes to the south, west and east and residential vacant land to the north and east. All adjacents are located in District 3-Outer Village Residential Neighborhood.

Hudson Planning Commission	SITE PLAN REVIEW
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### District Standards (Section 1205)

- ☒ **Property Standards** Application complies with applicable standards.
- ☒ **Pedestrian Amenities** A pedestrian connection from the building to the public right-of-way is required by code. Applicant received a variance to this requirement from the BZBA on May 16, 2019. Applicant to install a sidewalk the side of the lot that abuts the public street.

### Use Standards (Section 1206)

- ☒ **Use** The proposed addition is permitted as a conditional use, (Places of religious worship, including churches) within District 3 with the following standards in addition to the base standards of 1205.03.
  1. The use is consistent with the policies and intent of the corresponding plan district in which it is located, as set forth in the City of Hudson Comprehensive Plan.
  2. The parking area for the use shall be a minimum of fifty (50) feet from adjacent properties used for residential purposes.
  3. Safe areas for pick-up and discharge of person shall be provided.

### Site Plan Standards (Section 1207)

- ☒ **Impervious Surface** Application complies with applicable standards.
- ☐ **Wetlands/Streams** No suspect wetland areas were observed; however, a wetland delineation report is required to verify there are no wetlands present or a letter from a wetland professional stating that they have visited the subject site and there are no wetlands present in lieu of a wetland delineation report. (condition 1)
- ☐ **Landscaping** Bufferyard D (25 feet) is required. Add landscaping along east side of building addition and approximately 150' south of the playground. (condition 2)
- ☐ **Stormwater Management** Stormwater Management calculations are required to be submitted per Engineering Standards. The location of the stormwater basin is south on the property due to the previous location of the septic field directly south of the building. Staff notes landscaping of Bufferyard B (10 feet) should be placed adjacent to the proposed storm basins for screening to the east and west property lines adjacent to the properties. (condition 3)
- ☒ **Parking** Places of Religious Places of Worship are required to provide a minimum of one space for each four seats in the place of assembly. Existing sanctuary has 128 seats requiring 32 spaces. Multi-Purpose Banquet Hall has seating for 272 occupants requiring additional maximum amount of 68 parking spaces. Total parking spaces required is 100. Existing plan has 113 parking spaces provided (8 Handicap spaces existing).
- ☒ **Oil/Gas** The LDC requires a setback of two hundred (200) feet from tank batteries to a structure suitable of occupancy. The proposed addition is fifty (50) feet within the setback. The BZBA approved the requested variance of fifty (50) on April 18, 2019 with the following condition: Owner is to provide city staff with periodic inspection reports of the tank battery. City staff will have the ability to require additional inspections if deemed necessary. (condition 4)

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- ☒ **Architectural Design** The AHBR has reviewed the design informally on June 26, 2019 and the design was received well. Formal review is scheduled for 7/10/19.

#### City Departments:

- ☐ **Engineering** Assistant City Engineer, Nate Wonsick has submitted a review letter dated June 20, 2019. Mr. Wonsick notes the site plan is acceptable and comments on the plan will need to be addressed as noted in review letter. (condition 4)
- ☐ **Fire Department** Fire Marshal, Shawn Kasson has reviewed the preliminary plan and is currently working with the applicant regarding the final plan. (condition 5)

#### Findings:

The staff finds that the application is in substantial compliance with the use, zoning development site plan, and other governmental regulations, and land disturbance and grading review contained in Section 1204.04.

#### Required PC Action

The PC shall consider the development application, the staff report, and then take final action. PC shall approve, approve with conditions, or deny the application based on its compliance with the appropriate review standards. All decisions of the Commission shall be based on findings of fact related to the relevant standards of the Code.

#### Recommendation

Approve the site plan in Case 2019-459 for 2113 Ravenna Street, according to plans received June 10, 2019 subject to the following conditions:

1. Provide a wetland delineation report to verify there are no wetlands present on the property.
2. Incorporate Bufferyard D (twenty-five (25) feet) landscaping along east side of building addition and approximately 150' south of the playground.
3. Incorporate Bufferyard B (10 feet) landscaping adjacent to the proposed storm basin for screening to the east and west adjacent properties.
4. Subject to BZBA conditions per the gas well setback variance of May 16, 2019, case #2019-102.
5. The comments of Assistant City Engineer, Nate Wonsick must be addressed per the June 20, 2019 correspondence.
6. Subject to review and approval by Fire Marshall, Shawn Kason.



## Gloria Dei Lutheran Church

Gathering People to Christ  
Building Believers in Christ  
Serving the World as Christ

### Planning and Zoning

With regards to the January 10, 2019 Preliminary Review for new addition to Gloria Dei Lutheran Church we are pleased to submit the project for Planning and Zoning review and approval. Below are responses to comments from the preliminary review:

#### Site Plan Conformance with LDC Standards:

1. Existing conditional use for a place of worship within District 3 will be maintained.
2. The setbacks will be maintained for front, rear, and side yards.
3. The structure height will stay under the 40' max at approx. 34'.
4. Impervious surface will maintain less than 60% of total gross lot area.
5. No private walkway entrance is required to connect to the public sidewalk per approved variance by zoning appeals.
6. A pedestrian walk is indicated on the architectural site plan, 5' concrete sidewalk, and is a requirement of the zoning code or pay cash in lieu of. If required the church will install the concrete walk. Our preference is that it not be required as sidewalks do not exist along the frontage on either side and sidewalks on Ravenna street are on the south side of the street and end at S. Hayden Parkway. We look forward to discussion at our meeting on if the board would like to see a sidewalk across the frontage that may never connect to anything.
7. Existing parking will remain will adequate parking per zoning code for the existing sanctuary and the proposed multi-purpose room if under maximum occupancy at the same time. Please note, it is not the intent for both spaces to be filled to maximum occupancy. Total occupant load of both assembly spaces is 400 occupants. 1:4 ratio requires 100 parking spaces. Existing 113 spaces provided.

#### Development Standards:

1. Side yard buffer will include + 30' of seeded lawn and existing landscaping along property line. Proposed +/- 20' landscaping bed along southeast corner will be in addition to the seeded lawn and existing landscape along the property line.
2. No new dumpster enclosure proposed. Existing to remain.
3. Existing vegetation (wooded yard +/- 125') around the parking lot to remain to screen parking lot.
4. Civil drawing package is included to meet stormwater management requirements.



5. Fire access provided and indicated on the drawings for max. 150' distance around building. A new gravel fire lane is provided along the south of the building to provide necessary fire access. Gravel drive meets odot design requirements for weight of fire trucks.

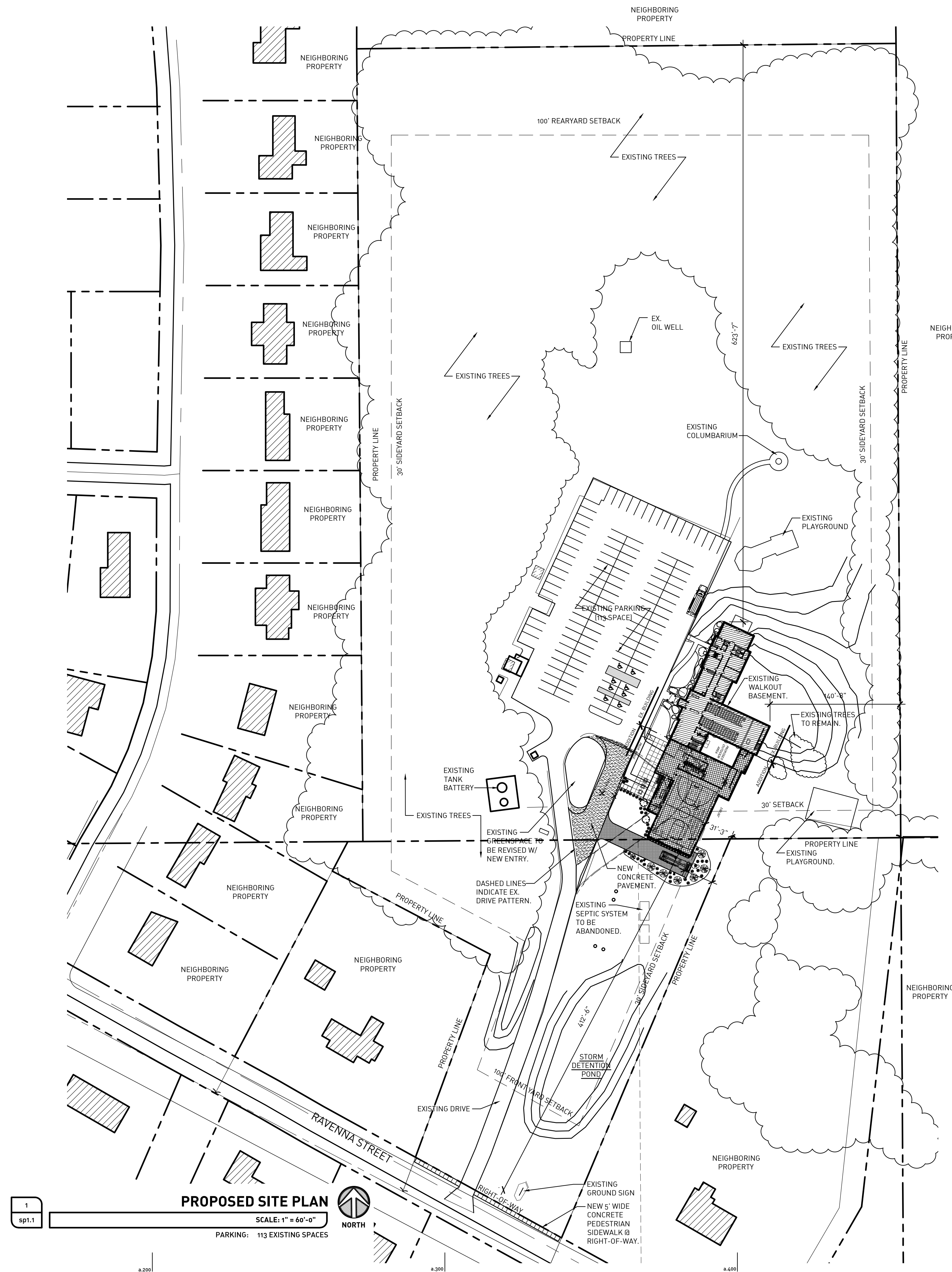
Architectural Design Review:

1. The main entry of the existing building is to remain facing west towards the parking lot. The existing door that faces south is not the main entry and is a required emergency exit. The existing main entry is in close proximity to the existing parking and was designed to be on axis with the sanctuary and within close proximity to the administrative offices which have staff 5 days a week controlling the entry of visitors/guests and typical office/management requirements.

The proposed additional, although large in mass, has 1 basic function of a gym/multi-purpose space. There is one new classroom but the majority of the use is accessory to the worship in the sanctuary. Relocating the entrance to the south (facing the street) would eliminate the congregations immediate visual connection with the sanctuary and cause logistic and safety issues for office staff throughout the week. Putting the entrance further from the existing parking lot would not be beneficial to access from vehicles into the building especially handicap parking.

The goal of the proposed addition was mainly for the gym/multi-purpose space but also included expanding the narthex or lobby space. In doing so the southwest corner of the lobby space is all glass providing a visual connection for those driving up the long entry drive to see the activity and environment inside the building for a unconscious connection into the space before they physically get inside. The intent to preserve the entry with it's axis on the sanctuary is to provide a visual reminder upon entry why they are there.

2. The long span of the roof is very similar to that of Hudson Presbyterian Church and Redeemer Church at the intersection of Boston Mills Road and W. Streetsboro St. Both of those building maintain a strong religious presence and have a roof span that is not broken up with faux dormers. It is our desire to not have the dormers as the additional expense seems unnecessary. With the building orientation with the short end facing the road and the existing setback of over 400' faux dormers will not have a visual impact that the 2 above mentioned churches have with close proximity to the right-of-way. Although architectural detail and aesthetics is important, in this case we feel the dormers unnecessary. We have shown them as alternates if the board requires them to be included and the additional cost can be included in contractor pricing for the church.
3. The use of brick was considered sparingly for the additional cost of material from the foundation up. We feel the use of the brick makes a subtle connection to the existing building and accents the vertical glazing and gable end of the addition. We feel the use of white siding is consistent with the general design and feel of Hudson. This provides a clean, consistent material that historically aligns with other churches in Hudson, in particular Hudson Presbyterian Church.



## ZONING DATA OUTER VILLAGE RESIDENTIAL NBHD::

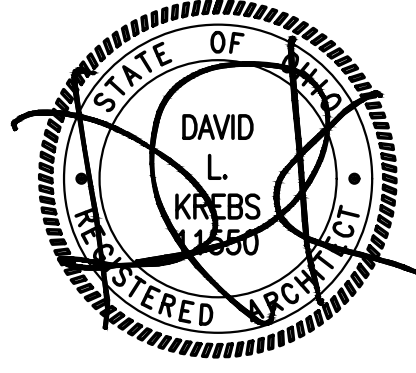
**SITE AREA: 17.9 ACRES**

EXISTING BUILDING SQUARE FOOTAGE: 7,318 S.F.  
PROPOSED ADDITION SQUARE FOOTAGE: 7,602 S.F.

**TOTAL BUILDING FOOTPRINT SQUARE FOOTAGE: 14,920 S.F.**

PARKING SPACES: 113 EX. SPACES PROVIDED (8 HANDICAP SPACES EX.)  
ASSEMBLY: 1 PER (4) PUBLIC SEATS (REQUIRED)  
EXISTING SANCTUARY: 128 SEATS = 32 SPACES REQUIRED

AODK, INC = [(A :: 17308 Madison Avenue, Lakewood, OH 44107) + (P :: 216.771.1920) + (F :: 216.771.1797) + (W :: www.aodkinc.com)]



DAVID KREBS :: LICENSE NO. :: 11550  
EXPIRATION DATE :: 12.31.2019

ARCHITECTURE OFFICE :: DAVID KREBS

**KRILL**  
THE BUILDING PROFESSIONALS

**ADDITION & RENOVATIONS FOR:**

**GLORIA DEI**  
LUTHERAN CHURCH

PROJECT TITLE::

PROJECT::

**ADDITION & RENOVATIONS FOR:  
GLORIA DEI LUTHERAN CHURCH  
2113 RAVENNA STREET  
HUDSON, OH 44236**

**BID / PERMIT** **06.03.2019**

ISSUE/DATE::

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**AUTHORIZATION:**

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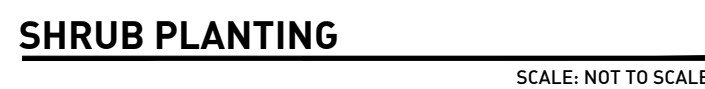
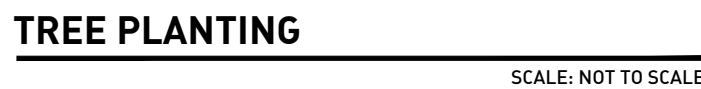
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## PROPOSED SITE PLANS

# sp1.1

SHE

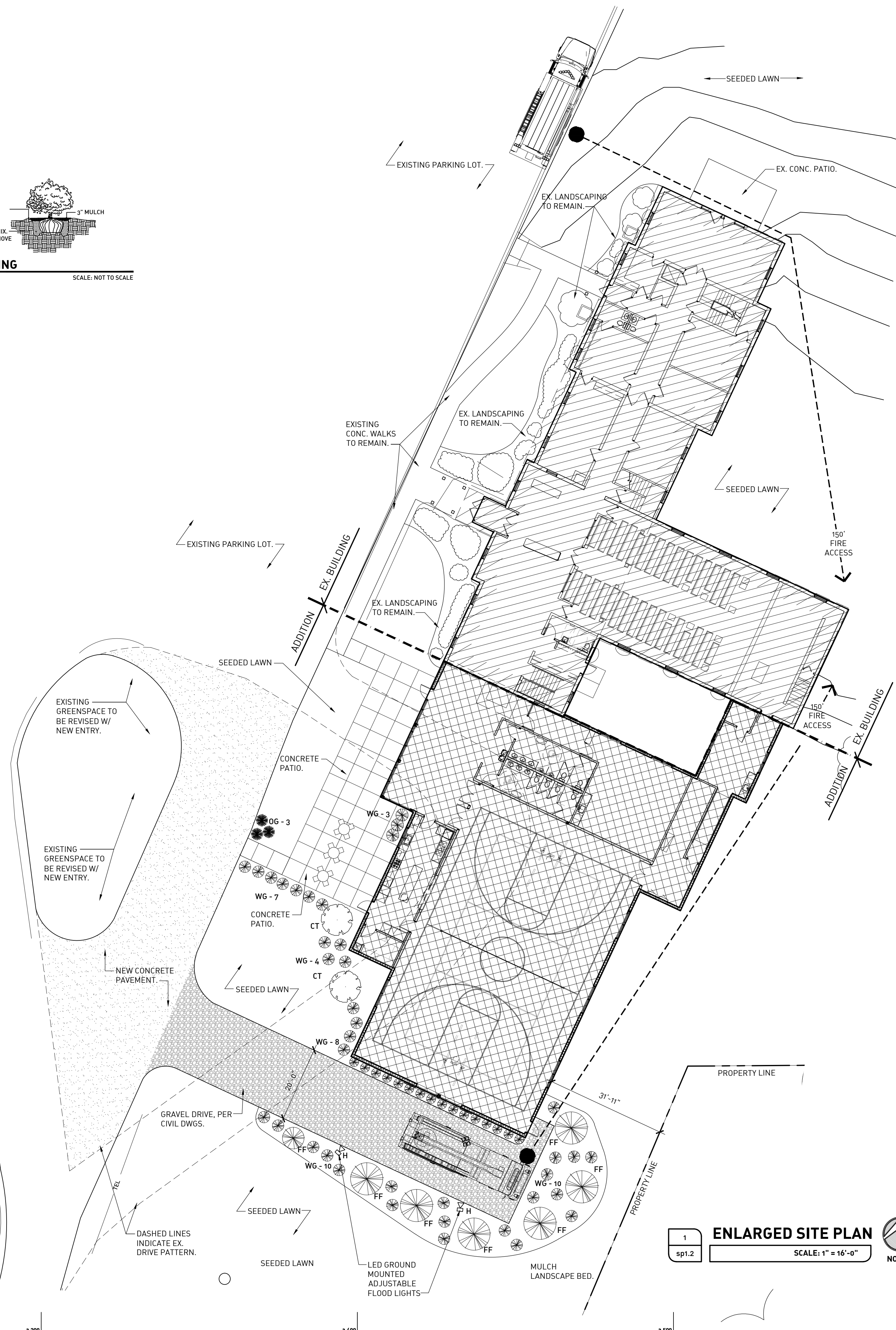
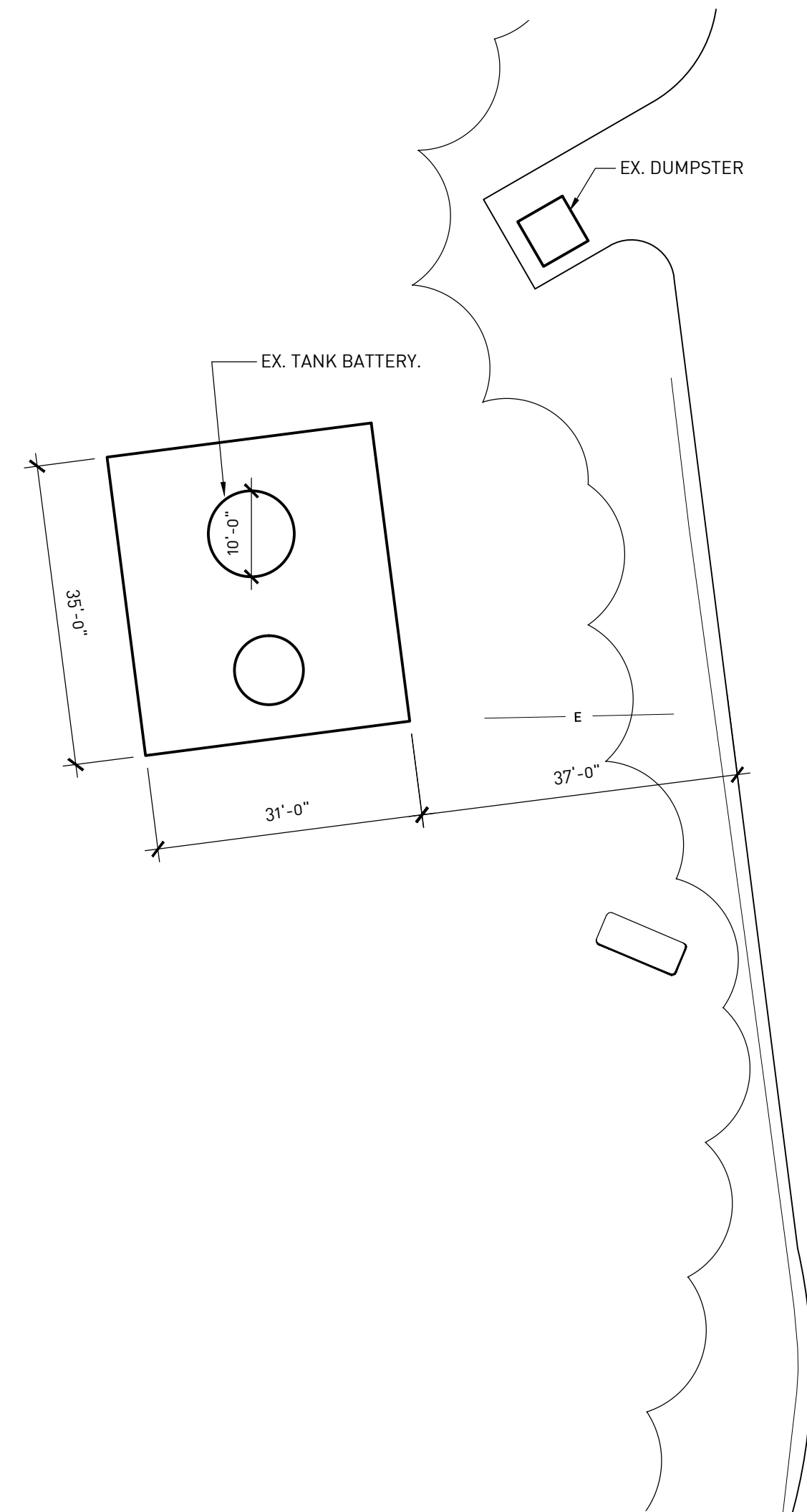




PLANT LIST			
BOTANIC NAME	ABBREV.	COMMON NAME	SIZE/REMARKS
DECIDUOUS & EVERGREEN SHRUBS			
PRUNUS CERASIFERA	CT	CHERRY PLUM TREE	6'-7' HT. B&B
ABIES FRASERI	FF	FRASER FIR	2'-3' HT. B&B
ROSA RADRAZZ	KO	DOUBLE KNOCK OUT ROSES	2' HT. B&B
BUXUS MICROPHYLLA JAPONICA	WG	WINTER GEM BOXWOOD	#2 CONT. - 2' C.C. SPACING
HELICOTRICHON SEMPERVIRENS	OG	BLUE OAT GRASS	#2 CONT.

**GENERAL NOTES:**

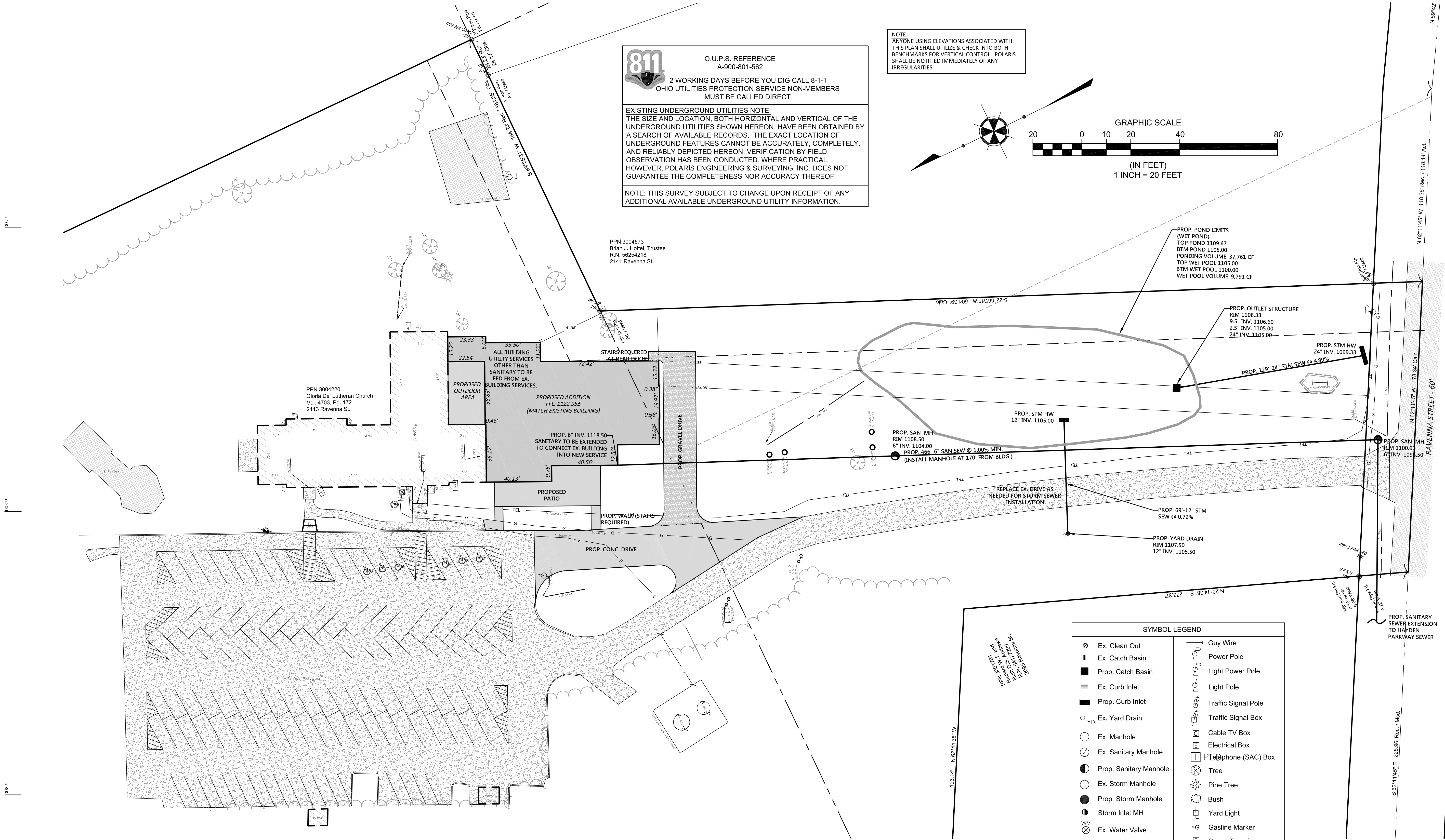
1. ALL PLANT MATERIALS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK PREPARED BY THE AMERICAN ASSOCIATION OF NURSERYMEN LATEST ADDITION.
2. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING WALKS, CURBS, PLANT MATERIAL AND STRUCTURES DURING CONSTRUCTION.
3. ALL MASS PLANTING AREAS SHALL BE PREPARED WITH A 12" LAYER OF TOPSOIL.
4. ALL GROUND COVER, PERENNIAL OR ANNUAL PLANTINGS SHALL BE PREPARED WITH A 6" LAYER OF TOPSOIL.
5. ALL PROPOSED PLANTING BEDS ARE TO INCLUDE PACHYSANDRA DRAIN COVER. TP. TO EDGE OF SEEDED LAWN.
6. ALL SEEDED AREAS SHALL RECEIVE A MINIMUM OF 3 INCHES OF TOPSOIL, FINE GRADED.









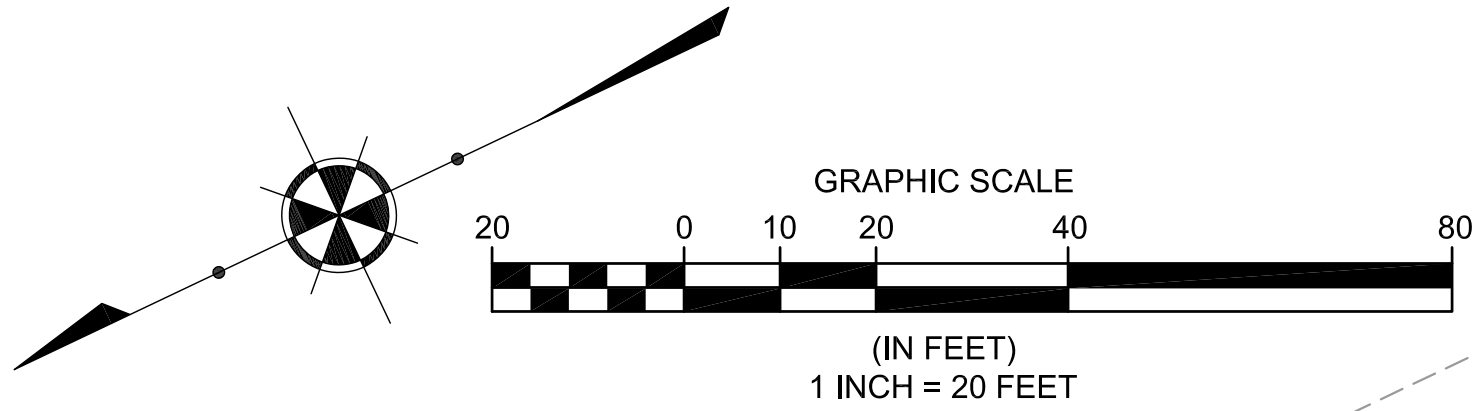


**811**  
O.U.P.S. REFERENCE  
A-900-801-562  
2 WORKING DAYS BEFORE YOU DIG CALL 8-1-1  
OHIO UTILITIES PROTECTION SERVICE NON-MEMBERS  
MUST BE CALLED DIRECT

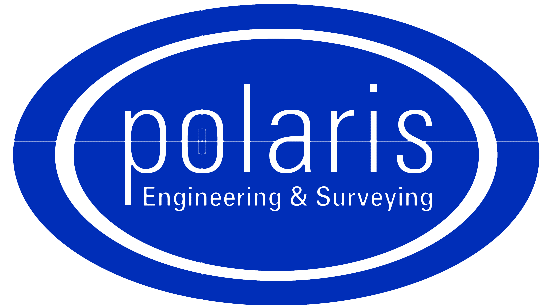
EXISTING UNDERGROUND UTILITIES NOTE:  
THE SIZE AND LOCATION, BOTH HORIZONTAL AND VERTICAL OF THE  
UNDERGROUND UTILITIES SHOWN HEREON, HAVE BEEN OBTAINED BY  
A SEARCH OF AVAILABLE RECORDS. THE EXACT LOCATION OF  
UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY,  
AND RELIABLY DEPICTED HEREON. VERIFICATION BY FIELD  
OBSERVATION HAS BEEN CONDUCTED. WHERE PRACTICAL.  
HOWEVER, POLARIS ENGINEERING & SURVEYING, INC. DOES NOT  
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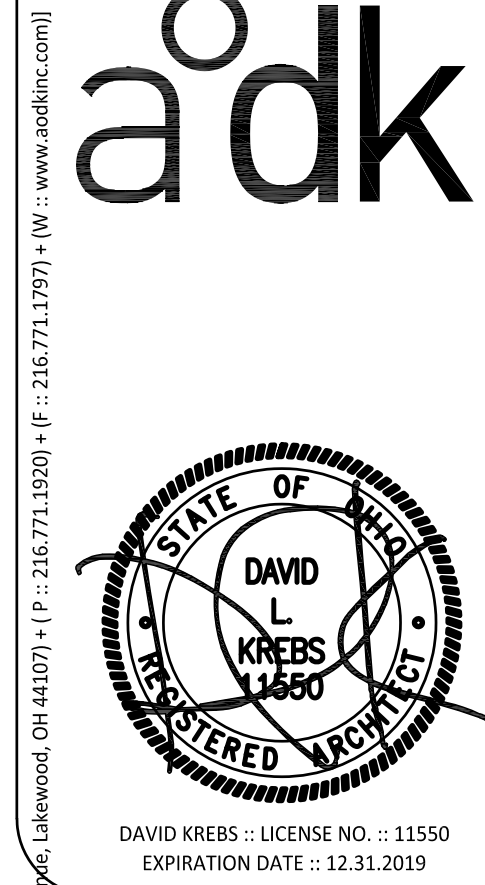
NOTE:  
ANYONE USING ELEVATIONS ASSOCIATED WITH  
THIS PLAN SHALL UTILIZE & CHECK INTO BOTH  
BENCHMARKS FOR VERTICAL CONTROL. POLARIS  
SHALL BE NOTIFIED IMMEDIATELY OF ANY  
IRREGULARITIES.



SYMBOL LEGEND	
Ex. Clean Out	Guy Wire
Ex. Catch Basin	Power Pole
Prop. Catch Basin	Light Power Pole
Ex. Curb Inlet	Light Pole
Prop. Curb Inlet	Traffic Signal Pole
Ex. Yard Drain	Traffic Signal Box
Ex. Manhole	Cable TV Box
Ex. Sanitary Manhole	Electrical Box
Prop. Sanitary Manhole	Telephone (SAC) Box
Ex. Storm Manhole	Tree
Prop. Storm Manhole	Pine Tree
Storm Inlet MH	Bush
Ex. Water Valve	Yard Light
Prop. WL Valve	Gasline Marker
Water Meter	Power Transformer
Ex. Fire Hydrant	SCB Sprinkler Control Box
Prop. Hydrant	Sprinkler Head
Well	Sign
Gas Valve	Test Bore
Gas Meter	Guard Post
	Stump
	Mailbox



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34600 CHARDON ROAD - SUITE D  
WILLOUGHBY HILLS, OHIO 44094  
(440) 944-4433 (440) 944-3722 (Fax)  
www.polaris-es.com



ADDITION & RENOVATIONS FOR:  
**GLORIA DEI**  
LUTHERAN CHURCH

PROJECT TITLE:  
PROJECT:  
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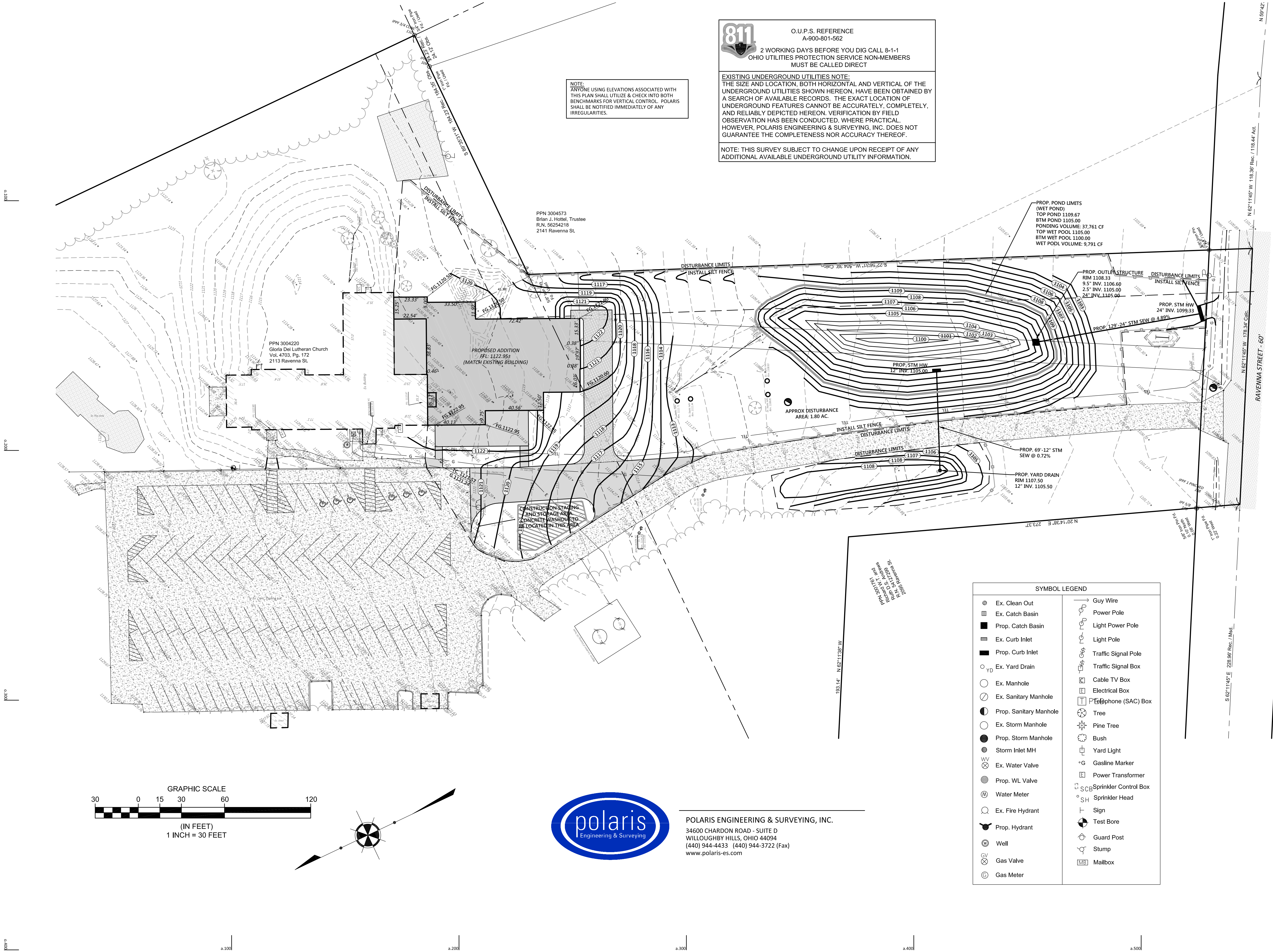
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LAYOUT & UTILITY PLAN

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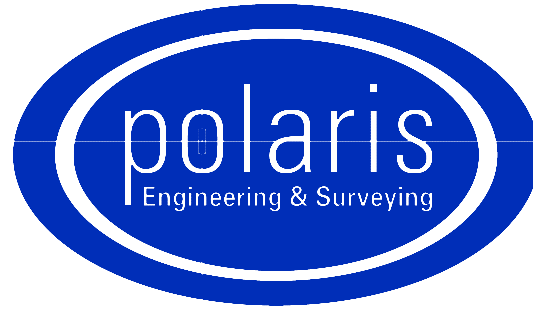
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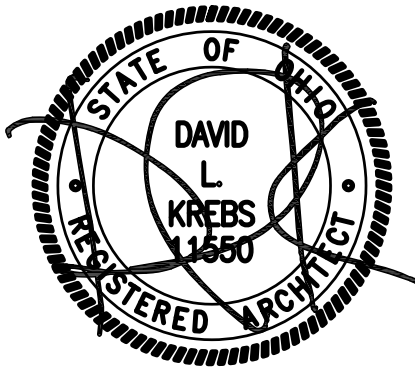
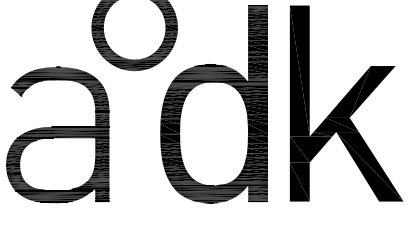
NOTE: THIS SURVEY SUBJECT TO CHANGE UPON RECEIPT OF ANY ADDITIONAL AVAILABLE UNDERGROUND UTILITY INFORMATION.

NOTE:  
ANYONE USING ELEVATIONS ASSOCIATED WITH THIS PLAN SHALL UTILIZE & CHECK INTO BOTH BENCHMARKS FOR VERTICAL CONTROL. POLARIS SHALL BE NOTIFIED IMMEDIATELY OF ANY IRREGULARITIES.

SYMBOL LEGEND	
	Ex. Clean Out
	Ex. Catch Basin
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	Ex. Yard Drain
	Ex. Manhole
	Ex. Sanitary Manhole
	Prop. Sanitary Manhole
	Ex. Storm Manhole
	Prop. Storm Manhole
	Storm Inlet MH
	Ex. Water Valve
	Prop. WL Valve
	Water Meter
	Ex. Fire Hydrant
	Prop. Hydrant
	Well
	Gas Valve
	Gas Meter
	Guy Wire
	Power Pole
	Light Power Pole
	Light Pole
	Traffic Signal Pole
	Traffic Signal Box
	Cable TV Box
	Electrical Box
	Telephone (SAC) Box
	Tree
	Pine Tree
	Bush
	Yard Light
	Gasline Marker
	Power Transformer
	Sprinkler Control Box
	Sprinkler Head
	Sign
	Test Bore
	Guard Post
	Stump
	Mailbox



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DAVID KREBS :: LICENSE NO. :: 11550  
EXPIRATION DATE :: 12.31.2019

ARCHITECTURE OFFICE: DAVID KREBS

PROJECT TITLE:

PROJECT:

BID / PERMIT 06.03.2019

ISSUE/DATE:

AUTHORIZATION:

JOB NO.:

SHEET TITLE:

SHEET NO.:

GRADING & SWP3 PLAN  
**C03**



NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT INFORMATION

NPDES PERMIT (OH0000005) #3GC10527\*AG

PERMITEE (DEVELOPER) TRIBAN INVESTMENTS, LLC.

CO-PERMITEE (CONTRACTOR)\_\_\_\_\_

START DATE: 11/27/18

GENERAL EROSION AND SEDIMENT CONTROL NOTES

EROSION CONTROL SHALL CONSIST OF TEMPORARY CONTROL MEASURES AS DETAILED ON THE PLANS OR ORDERED BY THE GOVERNING AGENCY DURING THE LIFE OF THE CONTRACT TO CONTROL SOIL EROSION AND SEDIMENTATION THROUGH USE OF EROSION CONTROL PERMANENT BEST MANAGEMENT PRACTICES (BMP'S).

ADDITIONAL EROSION CONTROL BMP'S MAY BE MANDATED BY THE GOVERNING AGENCY AT ANY TIME DURING THIS PROJECT AS UNFORSEEN SITUATIONS MAY ARISE THAT WARRANT FURTHER EROSION AND SEDIMENT CONTROL PRACTICES.

TEMPORARY EROSION AND SEDIMENT CONTROL ITEMS, THE LOCATION AND SIZE OF WHICH ARE DETAILED ON THE PLANS, SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CLEARING OR EARTHWORK OPERATIONS. CONDITIONS THAT REQUIRE ADDITIONAL OR MODIFIED TEMPORARY OR PERMANENT BMP'S SHALL BE APPROVED BY THE DESIGN ENGINEER AND REFLECTED ON THE REVISED STORM WATER POLLUTION PREVENTION PLAN (SWP3).

SEDIMENT BASINS, SEDIMENT TRAPS, AND PERIMETER SEDIMENT CONTROLS, SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING AND WITHIN 7 DAYS FROM THE START OF GRUBBING. THEY SHALL CONTINUE TO FUNCTION UNTIL DISTURBED AREAS ARE RE-ESTABLISHED WITH TEMPORARY VEGETATION. NO SEDIMENT CONTROLS SHALL BE PLACED IN A STREAM.

TRENCH DEWATERING OR GROUND WATER, WHICH CONTAINS SEDIMENT SHALL PASS THROUGH A SEDIMENT SETTLING BASIN OR EQUALLY EFFECTIVE SEDIMENT CONTROL DEVICE. ALTERNATIVES MAY INCLUDE DEWATERING INTO SUMP PIT, FILTER BAG OR EXISTING VEGETATED UPSLOPE AREA. SEDIMENT LADEN WATER SHALL NOT BE DISCHARGED TO STREAMS OR THE STORM SEWER SYSTEM.

THE SWP3, NOTES, DETAILED DRAWINGS AND ANY ADDENDUMS ARE INTENDED TO SERVE AS BASIC GUIDELINES. ALL EROSION CONTROL PRACTICES SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE OHIO DEPARTMENT OF NATURAL RESOURCES (ODNR) RAINWATER AND LAND DEVELOPMENT MANUAL AND THE NPDES STORM WATER DISCHARGE PERMIT.

ALL CAST IRON CATCH BASINS, GRATES AND INLET COVERS SHALL HAVE THE MESSAGE "DUMP NO WASTE, DRAINS TO WATERWAYS".

STORMWATER QUALITY MAINTENANCE NOTES

ALL TEMPORARY AND PERMANENT CONTROL PRACTICES SHALL BE MAINTAINED AND REPAIRED AS NEEDED TO ENSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. ALL SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED IN A FUNCTIONAL CONDITION UNTIL ALL UP-SLOPE AREAS THEY CONTROL ARE PERMANENTLY STABILIZED. THE CONTRACTOR SHALL COMPLY WITH THE INSPECTION AND MAINTENANCE SCHEDULE INCLUDED WITH THE APPROVED PLANS FOR THE PROPOSED EROSION CONTROLS. A WRITTEN DOCUMENT CONTAINING THE SIGNATURES OF ALL CONTRACTORS AND SUB-CONTRACTORS INVOLVED IN THE IMPLEMENTATION OF THE BMP'S MUST BE MAINTAINED AS PROOF ACKNOWLEDGING THAT THEY REVIEWED AND UNDERSTAND THE CONDITIONS AND RESPONSIBILITIES OF THE SWP3.

PROPERTY OWNER SHALL BE RESPONSIBLE FOR OVERSEEING MAINTENANCE OF ALL EROSION CONTROL AND WATER QUALITY PRACTICES. OWNER SHALL MAINTAIN PROPER OPERATION. IF PROPERTY SHOULD TRANSFER OWNER NEW OWNER WILL ASSUME RESPONSIBILITY FOR ALL INSPECTIONS, ANY REQUIRED MAINTENANCE AND/OR REPAIRS.

SEE "OEPA CONSTRUCTION SITE INSPECTION CHECKLIST" FOR INSPECTIONS OCCURRING DURING THE CONSTRUCTION PROCESS. SEE "OPERATION AND MAINTENANCE INSPECTION REPORT FOR STORMWATER MANAGEMENT PONDS" FOR INSPECTIONS OCCURRING AFTER SITE STABILIZATION. INSPECTION REPORTS CAN BE OBTAINED BY CONTACTING THE DESIGN ENGINEER.

INSPECTIONS AND REQUIRED MAINTENANCE OCCURRING DURING THE CONSTRUCTION PROCESS ARE THE RESPONSIBILITY OF THE OWNER OR A QUALIFIED AGENT OF THE OWNER. THE OWNER SHALL BE RESPONSIBLE FOR ANY COSTS ATTRIBUTED TO REPAIRS AFTER SITE STABILIZATION.

SEE "OPERATION AND MAINTENANCE INSPECTION REPORT FOR STORMWATER MANAGEMENT PONDS" FOR TIMING ON INSPECTION FREQUENCY. NOTE THAT ADDITIONAL INSPECTIONS MAY BE REQUIRED IN THE FIRST YEAR TO ENSURE PROPER OPERATION OF STORM WATER MANAGEMENT FACILITIES.

PERPETUAL MAINTENANCE INSPECTION REPORTS ARE TO BE SUBMITTED TO THE COMMUNITY BY MAY 1ST OF EACH AND EVERY YEAR AFTER THE BEST MANAGEMENT PRACTICE (BMP) HAS BEEN COMPLETED.

INSPECTION (DURING CONSTRUCTION)  
ALL STORMWATER CONTROLS ON THE SITE ARE INSPECTED AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN ONE-HALF INCH OF RAIN PER 24 HOUR PERIOD. A WRITTEN RECORD DOCUMENTATING THE RESULTS OF THESE INSPECTIONS MUST BE CREATED AND MAINTAINED WITH THE SWP3. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE SWP3 SHALL BE OBSERVED TO ENSURE THAT THOSE ARE OPERATING CORRECTLY. DISCHARGE LOCATIONS SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION AND SEDIMENT CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO THE RECEIVING WATERS. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFF-SITE VEHICLE TRACKING. INSPECTIONS SHALL BE PERFORMED BY A CERTIFIED STORM WATER INSPECTING AGENT.

I. WHEN PRACTICES REQUIRE REPAIR OR MAINTENANCE  
IF THE INSPECTION REVEALS THAT A CONTROL PRACTICE IS IN NEED OF REPAIR OR MAINTENANCE, WITH EXCEPTION OF A SEDIMENT SETTLING POND, IT MUST BE REPAIRED OR MAINTAINED WITHIN THREE DAYS OF INSPECTION. SEDIMENT SETTLING PONDS MUST BE REPAIRED OR MAINTAINED WITHIN 10 DAYS OF THE OF INSPECTION. SEDIMENT SETTLING PONDS MUST BE REPAIRED OR MAINTAINED WITHIN 10 DAYS OF THE OF INSPECTION.

II. WHEN PRACTICES FAIL TO PROVIDE THEIR INTENDED FUNCTION  
IF THE INSPECTION REVEALS THAT A CONTROL PRACTICE FAILS TO PERFORM ITS INTENDED FUNCTION AND THAT ANOTHER, MORE APPROPRIATE CONTROL PRACTICE IS REQUIRED, THE SWP3, MUST BE AMENDED AND THE NEW CONTROL PRACTICE MUST BE INSTALLED WITHIN 10 DAYS OF INSPECTION.

III. WHEN PRACTICES DEPICTED ON THE SWP3 ARE NOT INSTALLED  
IF THE INSPECTION REVEALS THAT A CONTROL PRACTICE HAS NOT BEEN IMPLEMENTED IN ACCORDANCE WITH THE SWP3, THE SWP3 MUST BE AMENDED AND THE NEW CONTROL PRACTICE MUST BE INSTALLED WITHIN 10 DAYS OF THE INSPECTION. IF THE INSPECTION REVEALS THAT THE PLANNED CONTROL PRACTICE IS NOT NEEDED, THE RECORD MUST CONTAIN A STATEMENT OF EXPLANATION AS TO WHY THE CONTROL PRACTICE IS NOT NEEDED.

NON SEDIMENT SITE POLLUTION CONTROLS

NO SOLID OR LIQUID WASTE, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED IN STORMWATER RUNOFF. ALL NECESSARY BMP'S MUST BE IMPLEMENTED TO PREVENT THE DISCHARGE OF NON-SEDIMENT POLLUTANTS TO THE DRAINAGE SYSTEM OF THE SITE OR SURFACE WATERS OF THE STATE. NO EXPOSURE OF STORMWATER TO WASTE MATERIALS IS RECOMMENDED.

HANDLING OF TOXIC AND HAZARDOUS WASTES  
DO: PREVENTS SPILLS, USE PRODUCTS UP - FOLLOW LABEL DIRECTIONS FOR DISPOSAL - REMOVE LIDS FROM EMPTY BOTTLES AND CANS WHEN DISPOSING IN TRASH - RECYCLE WASTES WHENEVER POSSIBLE.  
DON'T: POUR INTO WATERWAYS, STORM DRAINS, ONTO GROUND - POUR INTO SINKS, FLOOR DRAIN OR SEPTIC TANKS - BURY CHEMICALS OR CONTAINERS - BURN CHEMICALS OR CONTAINERS - MIX CHEMICALS TOGETHER.

WASTE DISPOSAL  
CONTAINERS (E.G., DUMPSTERS, DRUMS) SHALL BE AVAILABLE FOR DISPOSAL OF DEBRIS, TRASH, HAZARDOUS OR PETROLEUM WASTES. ALL CONTAINERS MUST BE COVERED AND LEAK-PROOF. ALL WASTE MATERIAL SHALL BE DISPOSED OF AT FACILITIES APPROVED FOR THE PERTINENT MATERIAL.

CLEAN HARD FILL  
BRICKS, HARDENING CONCRETE, AND SOIL WASTE SHALL BE FREE FROM CONTAMINATION WHICH MAY LEACH CONSTITUENTS TO WATERS OF THE STATE.

CLEAN CONSTRUCTION WASTES THAT WILL BE DISPOSED INTO THE PROPERTY, SHALL BE SUBJECT TO ANY LOCAL PROHIBITIONS FROM THIS TYPE OF DISPOSAL.

CONSTRUCTION & DEMOLITION DEBRIS

ALL CONSTRUCTION & DEMOLITION DEBRIS (C&DD) WASTE SHALL BE DISPOSED OF IN AN OHIO EPA APPROVED C&DD LANDFILL AS REQUIRED BY OHIO REVISED CODE (ORC) 3714. CONSTRUCTION DEBRIS MAY BE DISPOSED OF ON-SITE, BUT DEMOLITION DEBRIS MUST BE DISPOSED IN A OHIO EPA APPROVED LANDFILL. ALSO, MATERIALS WHICH CONTAIN ASBESTOS MUST COMPLY WITH AIR POLLUTION REGULATIONS (SEE OHIO ADMINISTRATIVE CODE (OAC) 3745-20).

CONSTRUCTION CHEMICAL COMPOUNDS

AREA SHALL BE DESIGNATED FOR MIXING OR STORAGE OF COMPOUNDS SUCH AS FERTILIZERS, LIME ASPHALT, OR CONCRETE. THESE DESIGNATED AREAS SHALL BE LOCATED AWAY FROM WATERCOURSES, DRAINAGE DITCHES, FIELD DRAINS, OR OTHER STORMWATER DRAINAGE AREA.

EQUIPMENT FUELING & MAINTENANCE

EQUIPMENT FUELING & MAINTENANCE SHALL BE IN DESIGNATED AREAS ONLY.

CONCRETE WASH WATER

ALL DESIGNATED CONCRETE WASHOUT AREAS SHALL BE LOCATED AWAY FROM WATERCOURSES, DRAINAGE DITCHES, FIELD DRAINS, OR OTHER STORMWATER DRAINAGE AREAS.

CONTAMINATED SOILS

ALL CONTAMINATED SOIL MUST BE TREATED AND/OR DISPOSED IN OHIO EPA APPROVED SOLID WASTE MANAGEMENT FACILITIES OR HAZARDOUS WASTE TREATMENT, STORAGE OR DISPOSAL FACILITIES (TSDFS).

SPILL PREVENTION CONTROL & COUNTERMEASURES

A SPILL PREVENTION CONTROL AND COUNTERMEASURES (SPCC) PLAN MUST BE DEVELOPED FOR SITES WITH ONE ABOVE-GROUND STORAGE TANK OF 660 GALLONS OR MORE, TOTAL ABOVE-GROUND STORAGE OF 1,330 GALLONS, OR BELOW-GROUND STORAGE OF 42,000 GALLONS OF FUEL.

SPILL REPORTING REQUIREMENTS

THE CONTRACTOR SHALL CONTACT THE OHIO EPA AT 800-262-9378, THE LOCAL FIRE DEPARTMENT, AND THE LOCAL EMERGENCY PLANNING COMMITTEE IN THE EVENT OF A PETROLEUM SPILL (>25 GALLONS) OR THE PRESENCE OF SHEEN, ON PROJECTS NORTH OF ROUTE 2 THE COAST GUARD MUST BE NOTIFIED AT (216) 937-0111. A SPILL KIT SHALL BE READILY AVAILABE ONSITE FOR ALL SMALL SPILLS < 25 GALLONS.

OPEN BURNING

OPEN BURNING IS NOT PERMITTED.

DUST CONTROLS/SUPPRESSANTS

USED OIL MAY NOT BE USED AS A DUST SUPPRESSANT. NO DUST SUPPRESSANT SHALL BE APPLIED NEAR CATCH BASINS, STORM SEWERS OR OTHER DRAINAGE WAYS.

AIR PERMITTING REQUIREMENTS

CERTAIN ACTIVITIES ASSOCIATED WITH CONSTRUCTION WILL REQUIRE AIR PERMITS. ACTIVITIES INCLUDING BUT NOT LIMITED TO MOBILE CONCRETE BATCH PLANTS, MOBILE ASPHALT PLANTS, CONCRETE CRUSHERS, LARGE GENERATORS, ETC, WILL REQUIRE SPECIFIC OHIO EPA AIR PERMITS FOR INSTALLATION AND OPERATION.

PROCESS WASTE WATER/LEACHATE MANAGEMENT

DISCHARGES INCLUDING BUT NOT LIMITED TO VEHICLE/AND OR EQUIPMENT WASHING, LEACHATE ASSOCIATED WITH ON-SITE WASTE DISPOSAL, CONCRETE WASHOUTS, ETC. ARE A PROCESS WASTEWATER AND ARE NOT AUTHORIZED FOR DISCHARGE UNDER OH000004 ALL PROCESS WASTE WATER MUST BE COLLECTED AND PROPERLY DISPOSED OF AT AN APPROVED DISPOSAL FACILITY.

SOIL STABILIZATION CONTROLS

CLEARING & GRUBBING

LIMITS OF CLEARING AND GRADING SHALL BE CLEARLY MARKED ON THE SITE WITH SIGNAGE, FLAGGING AND/OR CONSTRUCTION FENCING.

THE CONTRACTOR SHALL LIMIT THE SURFACE AREA OF ERODABLE EARTH MATERIAL EXPOSED BY EXCAVATION, BORROW, AND FILL OPERATIONS AND PROVIDE IMMEDIATE PERMANENT OR TEMPORARY CONTROL MEASURES TO PREVENT CONTAMINATION OF ADJACENT STREAMS OR OTHER WATER COURSES, LAKES, PONDS, WETLANDS OR OTHER AREAS OF WATER IMPOUNDMENT.

CONSTRUCTION ENTRANCE

A STONED CONSTRUCTION ENTRANCE SHALL BE INSTALLED FOR ALL INGRESS & EGRESS TO THE SITE. THE MINIMUM DIMENSIONS OF THE DRIVE SHALL BE 20 FT. WIDE AND 50 FT. LONG. THE STONE SHALL BE 12 INCHES DEEP WITH AN UNDERLAIN GEOTEXTILE FABRIC. THE DRIVE SHALL BE INSTALLED PRIOR TO ANY CLEARING AND GRUBBING. SEDIMENTS SHALL BE REMOVED FROM ROADWAYS DAILY.

STABILIZATION

PERMANENT AND TEMPORARY STABILIZATION ARE DEFINED IN PART VII OF THE OEPA AUTHORIZATION FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM OHIO EPA PERMIT NO. OH000005 EFFECTIVE DATE 4/23/18 - EXPIRATION DATE 4/22/23 DISTURBED AREAS MUST BE STABILIZED AS SPECIFIED IN THE FOLLOWING TABLES BELOW:

TEMPORARY SEEDING

SEEDING AREAS SHALL BE INSPECTED AND WHERE THE SEED HAS NOT PRODUCED 80% COVER SHALL BE RESEEDD AS NECESSARY BY THE CONTRACTOR. AREAS SHALL BE STABILIZED WITH MULCH WHEN CONDITIONS PROHIBIT SEEDING.

STRAW MULCHING SHALL BE APPLIED AT A RATE 2-3 STANDARD 45 LB. BALES PER 1000 SQ.FT. OF DISTURBED AREA OR 2 TONS PER ACRE. ALL HYDROSEEDING MUST BE STRAW MULCHED ACCORDING TO THE ABOVE SPECIFICATIONS UNLESS IT IS WATERED WEEKLY.

ALL DETENTION PONDS, RETENTION PONDS, WATER QUALITY STRUCTURES, SEDIMENT PONDS, SEDIMENT TRAPS, EARTHEN DIVERSIONS OR EMBANKMENTS SHALL BE SEEDED AND MULCHED WITHIN 7 DAYS OF COMPLETED CONSTRUCTION.

TEMPORARY STABILIZATION			
AREA REQUIRING TEMPORARY STABILIZATION	TIME FRAME TO APPLY EROSION CONTROL		
ANY DISTURBED AREAS WITHIN 50 FT. OF A STREAM AND NOT AT FINAL GRADE	WITHIN TWO DAYS OF THE MOST RECENT DISTURBANCE IF THE AREA WILL REMAIN IDLE FOR MORE THAN 14 DAYS		
FOR ALL CONSTRUCTION ACTIVITIES, ANY DISTURBED AREAS THAT WILL BE DORMANT FOR MORE THAN 14 DAYS BUT LESS THAN ONE YEAR, AND NOT WITHIN 50 FT. OF STREAM	WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE WITHIN THE AREA FOR RESIDENTIAL SUBDIVISIONS. DISTURBED AREAS MUST BE STABILIZED AT LEAST SEVEN DAYS PRIOR TO TRANSFER OF PERMIT COVERAGE FOR THE INDIVIDUAL LOT(S)		
DISTURBED AREAS THAT WILL BE IDLE OVER WINTER	PRIOR TO ONSET OF WINTER WEATHER (NOV.1) STRAW MULCH 2 TO 3 BALES PER 1000 SQ.FT. AND OR 2 TONS PER ACRE.		

TEMPORARY SEEDING SPECIFICATIONS			
SEEDING DATES	SPECIES	LB. / 1000SQFT	PER ACRE
MARCH 1 TO AUGUST 15	OATS	3	4 BUSHEL
	TALL FESCUE	1	40 LB.
	ANNUAL RYEGRASS	1	40 LB.
	PERENNIAL RYEGRASS	1	40 LB.
	TALL FESCUE	1	40 LB.
AUGUST 16 TO NOVEMBER 1	RYE	1	2 BUSHEL
	TALL FESCUE	1	40 LB.
	ANNUAL RYEGRASS	1	40 LB.
	WHEAT	1	40 LB.
	TALL FESCUE	1	40 LB.
NOVEMBER 1 TO SPRING SEEDING	PERENNIAL RYEGRASS	1	40 LB.
	TALL FESCUE	1	40 LB.
	ANNUAL RYEGRASS	1	40 LB.
	USE MULCH ONLY, SODDING PRACTICES OR DORMANT SEEDING		
	NOTE: OTHER APPROVED SEED SPECIES MAY BE SUBSTITUTED.		

PERMANENT STABILIZATION	
AREA REQUIRING PERMANENT STABILIZATION	TIME FRAME TO APPLY EROSION CONTROL
ANY AREA THAT WILL LIE DORMANT FOR ONE YEAR OR MORE	WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE
ANY AREA WITHIN 50 FT. OF A STREAM AND AT FINAL GRADE	WITHIN TWO DAYS OF REACHING FINAL GRADE
ANY OTHER AREAS AT FINAL GRADE	WITHIN SEVEN DAYS OF REACHING FINAL GRADE WITHIN THAT AREA

PERMANENT SEEDING SPECIFICATIONS			
Seed Mix	lb./ac.	lb. / 1000sqft	Notes:
General Use			
Creeping Red Fescue	20-40	1/2-1	
Domestic Ryegrass	10-20	1/4-1/2	
Kentucky Bluegrass	10-20	1/4-1/2	
Tall Fescue	40	1	
Dwarf Fescue	40	1	
Steep Banks or Cut Slopes			
Tall Fescue	40	1	
Crown Vetch	10	1/4	Do not seed later than August.
Tall Fescue	20	1/2	
Friar Pea	20	1/2	Do not seed later than August.
Tall Fescue	20	1/2	
Road Ditches and Swales			
Tall Fescue	40	1	
Dwarf Fescue	90	2 1/4	
Kentucky Bluegrass	5		
Lawns			
Kentucky Bluegrass	60	1 1/2	
Perennial Ryegrass	60	1 1/2	
Kentucky Bluegrass	60	1 1/2	For Shaded areas.
Creeping Red Fescue	60	1 1/2	
Note: other approved seed species may be substituted.			

PERMANENT STABILIZATION OF CONVEYANCE CHANNELS  
OPERATORS SHALL UNDERTAKE SPECIAL MEASURES TO STABILIZE CHANNELS AND OUTFALLS AND PREVENT EROSION FLOWS. MEASURES MAY INCLUDE SEEDING, DORMANT SEEDING (AS DEFINED IN THE LATEST EDITION OF ODNR RAINWATER AND LAND DEVELOPMENT MANUAL), MULCHING, EROSION CONTROL MATTING, SODDING, RIPRAP NATURAL CHANNEL DESIGN WITH BIO ENGINEERING TECHNIQUES OR ROCK CHECK DAMS.

TEMPORARY SEDIMENT CONTROLS

SILT FENCE  
SHEET FLOW RUNOFF FROM DENUDED AREAS SHALL BE INTERCEPTED BY SILT FENCE OR DIVERSIONS TO PROTECT ADJACENT PROPERTIES AND WATER RESOURCES FROM SEDIMENT TRANSPORTED VIA SHEET FLOW. WHERE INTENDED TO PROVIDE SEDIMENT CONTROL, SILT FENCES SHALL BE PLACED ON A LEVEL CONTOUR. THE EPA PERMIT NO. OH0000002 DOES NOT REQUIRE THE USE OF OTHER SEDIMENT BARRIERS DESIGNED TO CONTROL SHEET FLOW RUNOFF. SILT FENCE IS NOT PERMITTED TO BE USED FOR CONTROLLING CONCENTRATED SURFACEWATER FLOW (ONLY SHEET FLOW).

THE SIZE OF THE DRAINAGE AREA THAT CAN BE TREATED BY SILT FENCE VARIES WITH TOPOGRAPHY. THE FOLLOWING TABLE IS TO BE USED TO DETERMINE THE MAXIMUM UPSTREAM DISTANCE THAT IS ALLOWABLE TO BE TREATED BY THE SILT FENCE IN ORDER TO FUNCTION PROPERLY:

SLOPE	SLOPE LENGTH (FT)
0-2%	FLATTER THAN 50:1
2-10%	250
10%-20%	50:1-5:1
20%-33%	10:1-5:1
33%-50%	5:1-3:1
>50%	3:1-2:1
	>2:1

INLET PROTECTION

OTHER EROSION AND SEDIMENT CONTROL PRACTICES SHALL MINIMIZE SEDIMENT LADEN WATER ENTERING ACTIVE STORM DRAIN SYSTEMS, UNLESS THE STORM DRAIN SYSTEM DRAINS TO A SEDIMENT POND. INLET PROTECTION IS MANDATORY WHERE SEDIMENT SETTLING PONDS WILL NOT BE IMPLEMENTED.

TEMPORARY RUN-OFF CONTROLS

DIVERSION SWALES

STORMWATER DIVERSION PRACTICES SHALL BE USED TO KEEP RUNOFF AWAY FROM DISTURBED AREAS AND STEEP SLOPES WHERE PRACTICAL. DIVERSIONS SHOULD BE USED IN LOCATIONS WHERE THE DRAINAGE AREA EXCEEDS THE CAPACITY OF THE SILT FENCE. IN SUCH CASES, THE RUNOFF SHOULD BE DIVERTED INTO A SEDIMENT BASIN OR SEDIMENT TRAP. DIVERSION SWALES, DIKES OR BERMS, MAY RECEIVE FROM AREAS UP TO 10 ACRES.

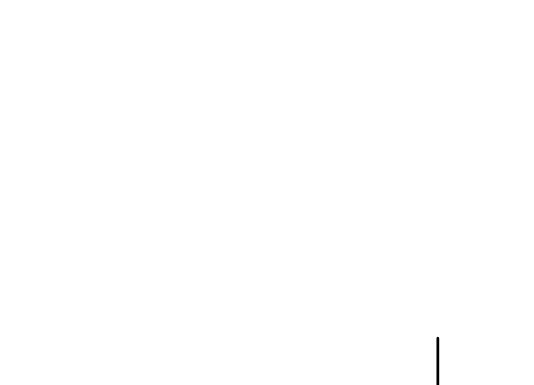
CONSTRUCTION SEQUENCE NARRATIVE

0. PROVIDE SAFE AND SECURE PEDESTRIAN AND VEHICULAR TRAFFIC CIRCULATION THROUGHOUT THE ENTIRETY OF THE CONSTRUCTION SEQUENCE WITH WELL DEFINED CONSTRUCTION BOUNDARIES TO BE ACCESSED BY CONSTRUCTION PERSONNEL ONLY. ALL EROSION CONTROLS ARE TO BE THOROUGHLY INSPECTED BY THE CONTRACTOR UPON THE COMPLETION OF EACH WORK DAY AND MAINTAINED THROUGHOUT THE REQUIRED LIFE OF THE CONTROL AS SPECIFIED BY THE APPROVED SWP3 PLANS AND NARRATIVE. CONTRACTOR MUST REVIEW THE SWP3 AND NARRATIVE.

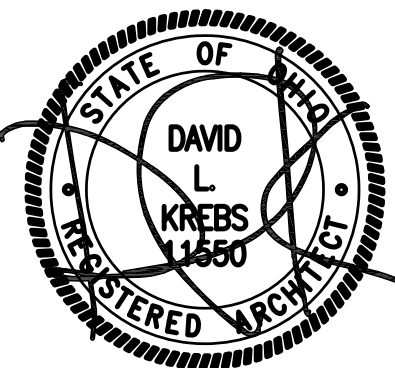
- CONTRACTOR SHALL COMPLETE AND SUBMIT THE OEPA CO-PERMITEE NOTICE OF INTENT (N.O.I.) APPLICATION. ALL OPERATORS AT THE CONSTRUCTION SITE ARE REQUIRED TO BECOME CO-PERMITEES. INSTRUCTIONS AND FROMS CAN BE OBTAINED AT THE OEPA WEBSITE: <http://www.epa.state.oh.us/gsw/storm/stormform.html>
- INSTALL STONE CONSTRUCTION ENTRANCE FOR ACCESS TO CONSTRUCTION AREAS OF SITE.
- DELIVER CONSTRUCTION TRAILER TO SITE AND ESTABLISH TEMPORARY POWER AND TELEPHONE SERVICE.
- ALL TEMPORARY UTILITY SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- STAKEOUT LIMITS OF DISTURBANCE.
- INSTALL TEMPORARY INLET PROTECTION ON ALL EXISTING CATCH BASINS. INLET PROTECTION SHALL BE INSTALLED AS PER PLAN DESIGNATION.
- INSTALL ALL FILTER FABRIC FENCE WHERE SHOWN ON PLANS. FILTER FABRIC FENCE SHALL BE INSTALLED AS PER PLAN DESIGNATION.
- BEGIN CLEARING AND GRUBBING IN THE SEDIMENT TRAP LIMITS ONLY.
- REMOVE TOPSOIL FROM AREAS AS NECESSARY. REMOVE FROM SITE PER OHIO ENVIRONMENTAL PROTECTION AGENCY (OHIO EPA) STANDARDS OR TEMPORARILY STOCKPILE MATERIAL IN DESIGNATED AREAS.
- BEGIN EARTHWORK OPERATIONS WITHIN THE TRAP LIMITS. THE TEMPORARY SEDIMENT TRAP ROCK OUTLET OVERFLOW SPILLWAY INCLUDING ALL OUTLET PROTECTION SHALL BE INSTALLED ONCE GRADES ARE ESTABLISHED. TEMPORARY TRAP SHALL BE INSTALLED WITHIN SEVEN DAYS FROM THE START OF GRUBBING AND PRIOR TO SITE GRADING.
- THE TRAP SHALL BE TEMPORARILY SEEDED AND MULCHED UPON COMPLETION AS PER THE TEMPORARY SEEDING SPECIFICATIONS.
- AT A MINIMUM ALL CONTROLS ARE INSPECTED AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN 0.5 INCH PER 24 HOUR PERIOD. IF THE INSPECTION REVEALS THAT A CONTROL PRACTICE IS IN NEED OF REPAIR OR MAINTENANCE, WITH THE EXCEPTION OF A SEDIMENT SETTLING POND, IT MUST BE REPAIRED OR MAINTAINED WITHIN 3 DAYS OF THE INSPECTION. SEDIMENT SETTLING PONDS MUST BE REPAIRED WITHIN 10 DAYS OF THE INSPECTION.
- TEMPORARILY STORE MATERIAL EXCAVATED FOR CONSTRUCTION AT DESIGNATED AREAS. MATERIAL TO BE MAINTAINED FOR DUST CONTROL BY USE OF A COVER OR OTHER METHODS APPROVED BY OHIO EPA.

CONSTRUCTION SEQUENCE NARRATIVE-CONTINUED

- IN THE EVENT OF RAIN, ALLOW STANDING WATER TO SETTLE PRIOR TO PUMPING. UTILIZE THE PUMPING SYSTEMS TO PUMP POLLUTED WATER PER REQUIREMENTS. ALLOW ONLY CLEAN WATER TO BE DISCHARGED TO THE EXISTING DRAINAGE SWALE. REMOVE SILT FROM BASIN AS NECESSARY PRIOR TO CONTINUING EARTHWORK. MATERIAL SHOULD BE MECHANICALLY SPREAD AND DRIED PRIOR TO INCORPORATION INTO THE EARTHWORK PROCEDURES. ADEQUACY OF THE DRIED MATERIAL IS TO BE DETERMINED BY THE ONSITE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE AND ENSURE THAT PROPER MECHANISMS ARE IN PLACE TO CONTROL WASTE MATERIALS. CONSTRUCTION WASTES INCLUDE BUT ARE NOT LIMITED TO, EXCESS SOIL MATERIALS, BUILDING MATERIALS, CONCRETE, WASH WATER, SANITARY WASTES, ETC. THAT COULD ADVERSELY IMPACT WATER QUALITY. MEASURES SHALL BE PLANNED AND IMPLEMENTED FOR WASTE MATERIALS MANAGEMENT AND LITTER CONTROL. WHEREVER POSSIBLE, RECYCLING OF EXCESS MATERIALS IS PREFERRED, RATHER THAN DISPOSAL. IF WASTE MATERIAL IS REMOVED FROM THE PROJECT SITE, THE CONTRACTOR MUST PROVIDE AN EROSION AND SEDIMENTATION CONTROL PLAN TO THE REGULATORY COUNTY CONSERVATION DISTRICT MAINTAINING JURISDICTION OF THE PROJECT SITE AS WELL AS THE COUNTY CONSERVATION DISTRICT MAINTAINING JURISDICTION OF THE DISPOSAL AREA.
- BEGIN CLEARING AND GRUBBING WITHIN THE REMAINDER OF THE DISTURBANCE LIMITS.
- BEGIN EARTHMOVING AND SITE GRADING OPERATIONS. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE COUNTY CONSERVATION DISTRICT OF LOCATION AND EROSION SEDIMENTATION CONTROL MEASURES IMPLEMENTED AT BORROW OR SPOIL SITE OF IMPORT/EXPORT MATERIAL.
- TEMPORARY STABILIZATION PROVIDES EROSION CONTROL ON AREAS IN BETWEEN CONSTRUCTION OPERATIONS. GRASSES WHICH ARE QUICK GROWING ARE SEEDED AND USUALLY STAW MULCHED. TO PROVIDE PROMPT SITE STABILIZATION, TEMPORARY STABILIZATION IS REQUIRED BY OHIO EPA'S GENERAL CONSTRUCTION PERMIT TO BE APPLIED ON DISTURBED SOIL AREAS WITHIN 7 DAYS IF THE AREA IS INTENDED TO BE DORMANT FOR GREATER THAN 14 DAYS, OR WITHIN 2 DAYS IF THE AREA IS WITHIN 50 FEET OF JURISDICTIONAL WATER (STREAM OR WETLAND).
- BEGIN STORM SEWER AND OTHER UTILITY INSTALLATION. STABILIZE ALL UTILITY TRENCHES AT THE END OF EACH WORKDAY. INLET PROTECTION SHALL BE INSTALLED ON EACH STORM STRUCTURE UPON INDIVIDUAL COMPLETION.
- REPAIR/STABILIZE ALL AREAS DESIGNATED FOR TEMPORARY SEEDING AND MULCHING. INCLUDING AREAS WHERE SLOPE IS 3:1 OR GREATER, WHICH REQUIRE A MULCH NETTING. ANY AREAS AT FINAL GRADE OR THAT WILL LIE DORMANT FOR ONE YEAR OR MORE REQUIRE PERMANENT SEEDING WITHIN 7 DAYS OF THE MOST RECENT DISTURBANCE (REFER TO OHIO'S "RAINWATER AND LAND DEVELOPMENT" MANUAL). IN ADDITION, ANY AREAS WITHIN 50 FEET OF A STREAM AND AT FINAL GRADE REQUIRE EROSION CONTROLS WITHIN 2 DAYS OF REACHING FINAL GRADE. NOTE THAT A 70% VEGETATIVE DENSITY IS REQUIRED ON ALL DISTURBED SOIL AREAS FOR STABILIZATION.
- MAINTAIN TEMPORARY CONTROLS UNTIL REMOVAL IS WARRANTED DUE TO PROGRESSION OF WORK. SEDIMENT TRAPSD SHOULD BE CLEANED OUT WHEN SILT OCCUPIES 40 PERCENT OF THE POND DEPTH.
- INSTALL CONCRETE CURBS(WHERE APPLICABLE) AND PAVEMENT SUBBASE. BEGIN BITUMINOUS OR CONCRETE PAVING, REMOVING STONE CONSTRUCTION ENTRANCE ONLY WHEN NECESSARY.
- STABILIZE ALL DISTURBED AREAS WITH PERMANENT SEED AND MULCHING OR CROWNVEATCH SEEDING IMMEDIATELY UPON REACHING FINAL GRADE.
- ALL REMAINING TEMPORARY SEDIMENT CONTROL PRACTICES (INLET PROTECT, SILT FENCE, ETC.) SHALL BE REMOVED UPON SITE STABILIZATION. NOTE 70% VEGETATIVE DENSITY IS REQUIRED ON ALL DISTURBED SOIL AREAS FOR STABILIZATION. ORANGE CONSTRUCTION FENCE SHALL REMAIN ALONG THE RIPARIAN SETBACK LIMITS UNTIL THE CONSTRUCTION AND SITE LANDSCAPING ACTIVITIES ARE COMPLETE. THE ORANGE FENCE SHALL BE REMOVED FROM THE SITE WITHOUT USING ANY EARTH DISTURBING PRACTICES.
- UPON SITE STABILIZATION (70%), PUMP ALL STANDING WATER FROM WITHIN THE TEMPORARY TRAP TO A FILTERING SYSTEM IN A WELL-VEGETATED AREA OR WITHIN THE CHANNEL OF THE EMERGENCY SPILLWAY. REMOVE AND DISPOSE OF ALL INSUITABLE SEDIMENT MATERIALS ACCUMULATED WITHIN THE BASIN AT AN EPA APPROVED DISPOSAL FACILITY. REGRADE THE BASIN TO THE FINAL GRADES SHOWN ON THE FINAL GRADING PLAN.
- REMOVE FARNCLOTH SKIMMER AND INSTALL THE PERMANENT OUTLET STRUCTURE AND RELATING OUTLET PIPING OR KNOCK OUTS, AND THE EMERGENCY OVERFLOW SPILLWAY AT THIS TIME.
- PERMANANT SEEDING AND LANDSCAPING SHOULD BE APPLIED WITHIN THE STORM WATER MANAGEMENT BASIN UPON COMPLETION.
- COMPLETE SITEWORK, PAVEMENT MARKINGS, FINAL LANDSCAPING, SIGN INSTALLATION(S), AND CLEAN-UP.
- RESEED AND REDRESS ANY AREAS THAT MAY REQUIRE ATTENTION IMMEDIATELY. NOTE THAT LAWN AREAS WILL NOT BE DEEMED STABLE UNTIL A UNIFORM 70% VEGETATIVE DENSITY IS ACHIEVED.
- IF, FOR ANY REASON, THE PROJECT IS SUSPENDED, THE CONTRACTOR SHALL INSURE THAT ALL INSTALLED EROSION MEASURES ARE FUNCTIONING AND PROPERLY MAINTAINED DURING THIS PERIOD, AND THAT ALL BARED SOILS ARE SEEDED AND MULCHED WITH TEMPORARY SEED MIXTURE.
- ONCE FINAL STABILIZATION HAS BEEN ACHIEVED THE CONTRACTOR SHALL COMPLETE AND SUBMIT THE OEPA NOTICE OF TERMINATION (N.O.T) APPLICATION. INSTRUCTIONS AND APPLICATIONS ARE ALSO LOCATED ON THE EPA WEBSITE (SEE STEP #1). CONTRACTOR SHOULD VERIFY WITH THE OWNER THAT THE TERMS OF THE CONTRACT HAVE BEEN FINALIZED PRIOR TO SUBMITTING THE N.O.T.
- ALL QUESTIONS REGARDING EROSION CONTROL ARE TO BE DIRECTED TO POLARIS ENGINEERING AND SURVEYING AT (440) 944-4433 OR TO THE APPROPRIATE COUNTY CONSERVATION DISTRICT FOR REVIEW PRIOR TO THE COMMENCEMENT OF SUCH CHANGES AT THE CONSTRUCTION SITE.



POLARIS ENGINEERING & SURVEYING, INC.  
34600 CHARDON ROAD - SUITE D  
WILLOUGHBY HILLS, OHIO 44094  
(440) 944-4433 (440) 944-3722 (Fax)  
[www.polaris-es.com](http://www.polaris-es.com)



DAVID KREBS :: LICENSE NO.: 11550  
EXPIRATION DATE :: 12.31.2019

ARCHITECTURE OFFICE - DAVID KREBS

ADDITION & RENOVATIONS FOR:

GLORIA DE LU  
LUTHERAN CHURCH

PROJECT:

ADDITION & RENOVATIONS FOR:  
GLORIA DE LUTHERAN CHURCH  
2113 RAVENNA STREET  
HUDSON, OH 44236

BID / PERMIT 06.03.2019

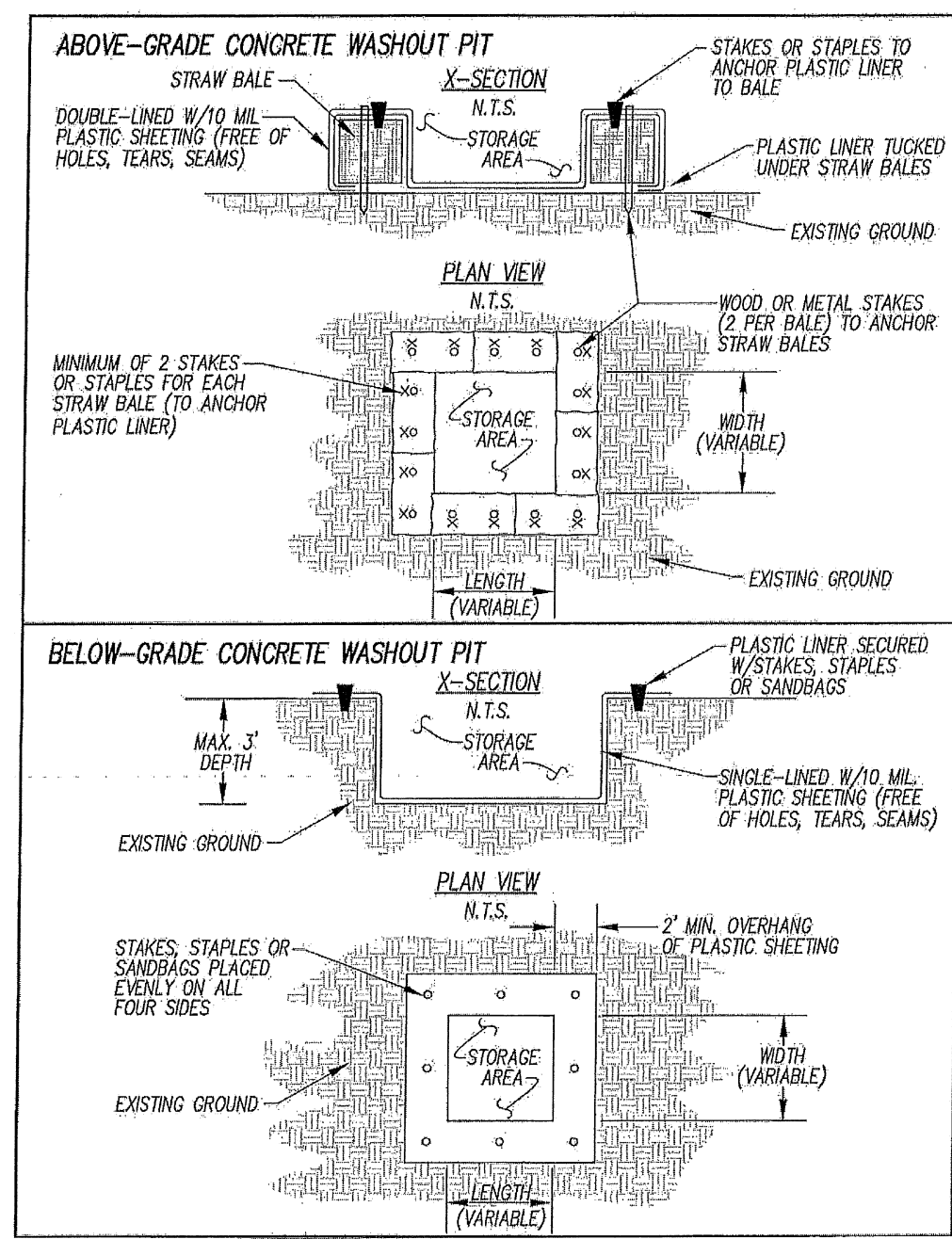
ISSUE/DATE:

AUTHORIZATION:

JOB NO:

16.73



**Concrete Washout Areas****Installation:**

- Concrete wash water shall not be allowed to flow to streams, ditches, storm drains, or any other water conveyance and washout pits shall be situated a minimum of fifty (50) feet from them.
- Field tile or other subsurface drainage structures within 10 ft. of the sump shall be cut and plugged.
- Ensure a stable path is provided for concrete trucks to reach the washout area.
- A highly visible sign that reads "Concrete Washout Area" shall be erected adjacent to the washout pit.
- Surface runoff generated from upslope areas shall be diverted away from below-grade washout pits so as not to flow into them.
- A single centralized washout area may be utilized for multiple sublots.

**Maintenance:**

- The washout pit must be inspected frequently to ensure the liner is intact.
- Once 75% of the original volume of the washout pit is filled or if the liner is torn, the material must be removed and properly disposed of once it is completely hardened. Once the hardened concrete is removed, the liner must be replaced (if torn). A new pit must be constructed if the original structure is no longer suitable.

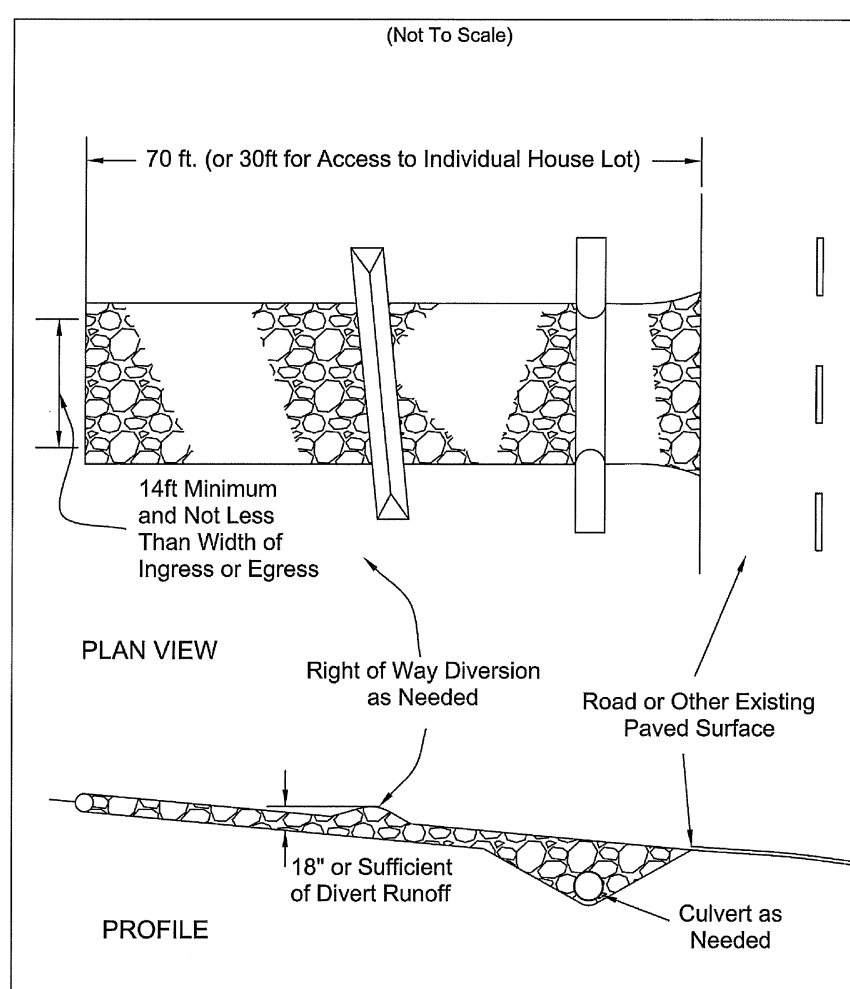
**Removal:**

- Once the washout pit is no longer needed, ensure all washout material has completely hardened, then remove and properly dispose of all materials. If straw bales were used, they can be spread as mulch.
- Prefabricated containers specifically designed for concrete washout collection may be used subject to prior approval by the Community Engineer. Follow the manufacturer's suggestions for installation, maintenance and removal procedures.

**Sizing of Concrete Washout Pits**

Below-grade (3-ft depth)			Above-grade (2-ft depth)		
# of concrete trucks expected to be washed out on site*	Width (ft)	Length (ft)	# of concrete trucks expected to be washed out on site*	Width (ft)	Length (ft)
2-3	3	3	2	3	3
4-5	4	4	3-4	4	4
6-7	5	5	5-6	5	5
8-10	6	6	7-8	6	6
11-14	7	7	9-11	7	7
			12-15	8	8

\*For small projects using a maximum of only one truckload of concrete or utilizing on-site mixing, rinsing of equipment may take place on the lot without a pit, provided it can be done a minimum of fifty (50) feet away from any water conveyances.

**Specifications for Construction Entrance**

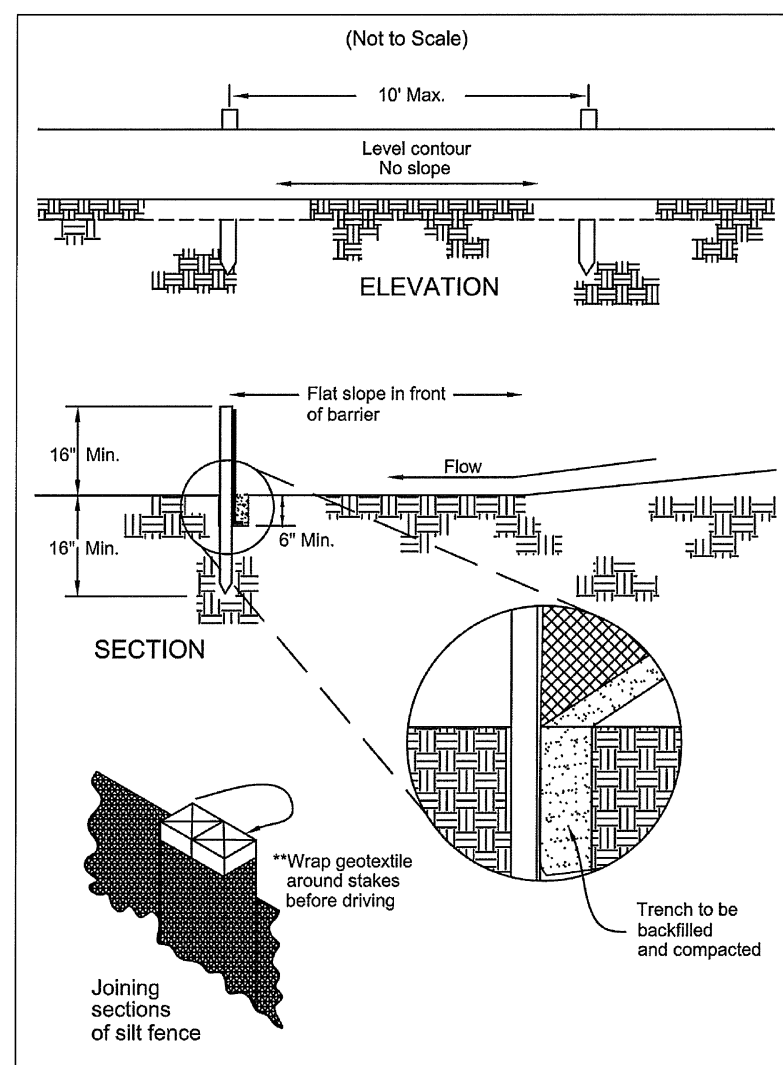
CHAPTER 7 Soil Stabilization 19

**Specifications for Construction Entrance**

- Stone Size—ODOT # 2 (1/2-2 1/2 inch) stone shall be used, or recycled concrete equivalent.
- Length—The Construction Entrance shall be as long as required to stabilize high traffic areas but not less than 70 ft. (exception: apply 30 ft. minimum to single residence lots).
- Thickness—The stone layer shall be at least 6 inches thick for light duty entrances or at least 10 inches for heavy duty use.
- Width—The entrance shall be at least 14 feet wide, but not less than the full width at points where ingress or egress occurs.
- Geotextile—A geotextile shall be laid over the entire area prior to placing stone. It shall be composed of strong non-rot polymer fibers and meet the following specifications:

Geotextile Specification for Construction Entrance	
Minimum Tensile Strength	200 lbs.
Minimum Puncture Strength	80 psi.
Minimum Tear Strength	50 lbs.
Minimum Burst Strength	320 psi.
Minimum Elongation	20%
Equivalent Opening Size	E55 < 0.6 mm.
Permeability	1x10-3 cm/sec.
- Timing—The construction entrance shall be installed as soon as is practicable before major grading activities.
- Culvert—A pipe or culvert shall be constructed under the entrance if needed to prevent surface water from flowing across the entrance or to prevent runoff from being directed out onto paved surfaces.
- Water Bar—A water bar shall be constructed as part of the construction entrance if needed to prevent surface runoff from flowing the length of the construction entrance and out onto paved surfaces.
- Maintenance—Top dressing of additional stone shall be applied as conditions demand. Mud spilled, dropped, washed or tracked onto public roads, or any surface where runoff is not checked by sediment controls, shall be removed immediately. Removal shall be accomplished by scraping or sweeping.
- Construction entrances shall not be relied upon to remove mud from vehicles and prevent off-site tracking. Vehicles that enter and leave the construction-site shall be restricted from muddy areas.
- Removal—the entrance shall remain in place until the disturbed area is stabilized or replaced with a permanent roadway or entrance.

20 CHAPTER 7 Soil Stabilization

**Specifications for Silt Fence**

CHAPTER 6 Sediment Controls 33

**Specifications for Silt Fence**

- Silt fence shall be constructed before upslope land disturbance begins.
- All silt fence shall be placed as close to the contour as possible so that water will not concentrate at low points in the fence and so that small swales or depressions that may carry small concentrated flows to the silt fence are dissipated along its length.
- Ends of the silt fences shall be brought upslope slightly so that water ponded by the silt fence will be prevented from flowing around the ends.
- Silt fence shall be placed on the flattest area available.
- Where possible, vegetation shall be preserved for 5 feet (or as much as possible) upslope from the silt fence. If vegetation is removed, it shall be reestablished within 7 days from the installation of the silt fence.
- The height of the silt fence shall be a minimum of 16 inches above the original ground surface.
- The silt fence shall be placed in an excavated or sliced trench cut a minimum of 6 inches deep. The trench shall be made with a trencher, cable laying machine, slicing machine, or other suitable device that will ensure an adequately uniform trench depth.
- The silt fence shall be placed with the stakes on the downslope side of the geotextile. A minimum of 8 inches of geotextile must be below the ground surface. Excess material shall lay on the bottom of the 6-inch deep trench. The trench shall be backfilled and compacted on both sides of the fabric.
- Seams between sections of silt fence shall be spliced together only at a support post with a minimum 6-in. overlap prior to driving into the ground. (See details).
- Maintenance—Silt fence shall allow runoff to pass only as diffuse flow through the geotextile. If runoff over-tops the silt fence, flows under the fabric or around the fence ends, or in any other way allows a concentrated flow discharge, one of the following shall be performed, as appropriate: 1) the layout of the silt fence shall be changed; 2) accumulated sediment shall be removed; or 3) other practices shall be installed.

Sediment deposits shall be routinely removed when the deposit reaches approximately one-half of the height of the silt fence.

Silt fences shall be inspected after each rainfall and at least daily during a prolonged rainfall. The location of existing silt fence shall be reviewed daily to ensure its proper location and effectiveness. If damaged, the silt fence shall be repaired immediately.

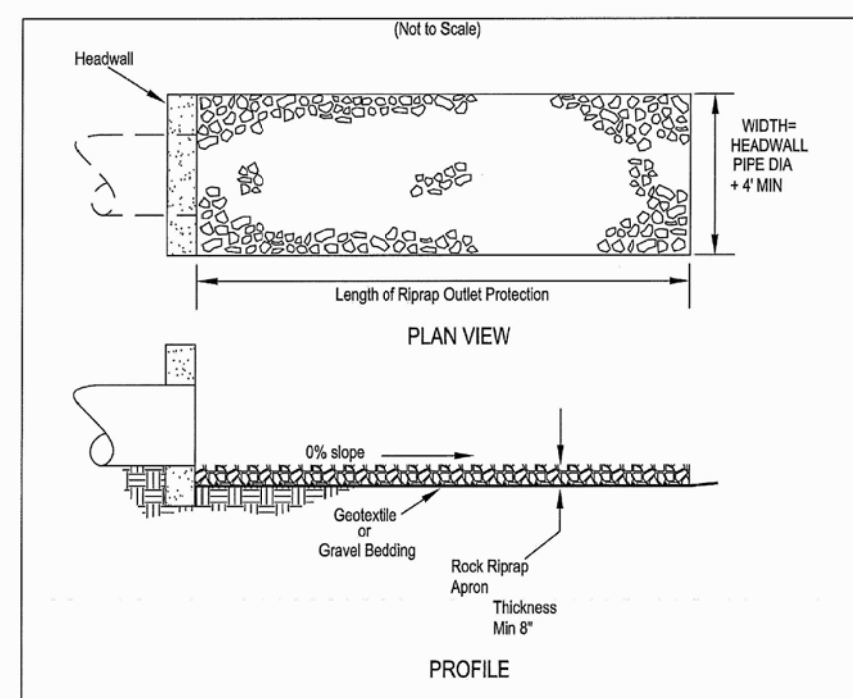
**Criteria for silt fence materials**

- Fence post—The length shall be a minimum of 32 inches. Wood posts will be 2-by-2-in. nominal dimensioned hardwood of sound quality. They shall be free of knots, splits and other visible imperfections, that will weaken the posts. The maximum spacing between posts shall be 10 ft. Posts shall be driven a minimum 16 inches into the ground, where possible. If not possible, the posts shall be adequately secured to prevent overturning of the fence due to sediment/water loading.
- Silt fence fabric—See chart below.

Table 6.3.2 Minimum criteria for Silt Fence Fabric (ODOT 2002)

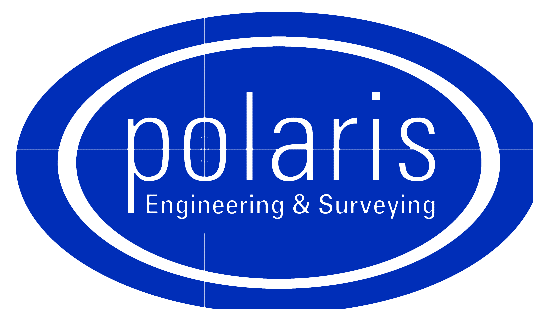
FABRIC PROPERTIES	VALUES	TEST METHOD
Minimum Tensile Strength	120 lbs. (535 N)	ASTM D 4832
Maximum Elongation at 60 lbs	50%	ASTM D 4832
Minimum Puncture Strength	50 lbs (220 N)	ASTM D 4833
Minimum Tear Strength	40 lbs (180 N)	ASTM D 4533
Apparent Opening Size	≤ 0.84 mm	ASTM D 4751
Minimum Permeability	1X10-2 sec.-1	ASTM D 4491
UV Exposure Strength Retention	70%	ASTM G 4355

34 CHAPTER 6 Sediment Controls

**Specifications for Rock Outlet Protection**

- Subgrade for the filter or bedding and riprap shall be prepared to the required lines and grades as shown on the plan. The subgrade shall be cleared of all trees, stumps, roots, sod, loose rock, or other material.
- Riprap shall conform to the grading limits as shown on the plan.
- Geotextile shall be securely anchored according to manufacturers' recommendations.
- Geotextile shall be laid with the long dimension parallel to the direction of flow and shall be laid loosely but without wrinkles and creases. Where joints are necessary, strips shall be placed to provide a 12-in. minimum overlap, with the upstream strip overlapping the downstream strip.
- Gravel bedding shall be ODOT No. 67's or 57's unless shown differently on the drawings.
- Riprap may be placed by equipment but shall be placed in a manner to prevent slippage or damage to the geotextile.
- Riprap shall be placed by a method that does not cause segregation of sizes. Extensive pushing with a dozer causes segregation and shall be avoided by delivering riprap near its final location within the channel.
- Construction shall be sequenced so that outlet protection is placed and functional when the storm drain, culvert, or open channel above it becomes operational.
- All disturbed areas will be vegetated as soon as practical.

CHAPTER 4 Permanent Runoff Control 25

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www.polaris-es.com

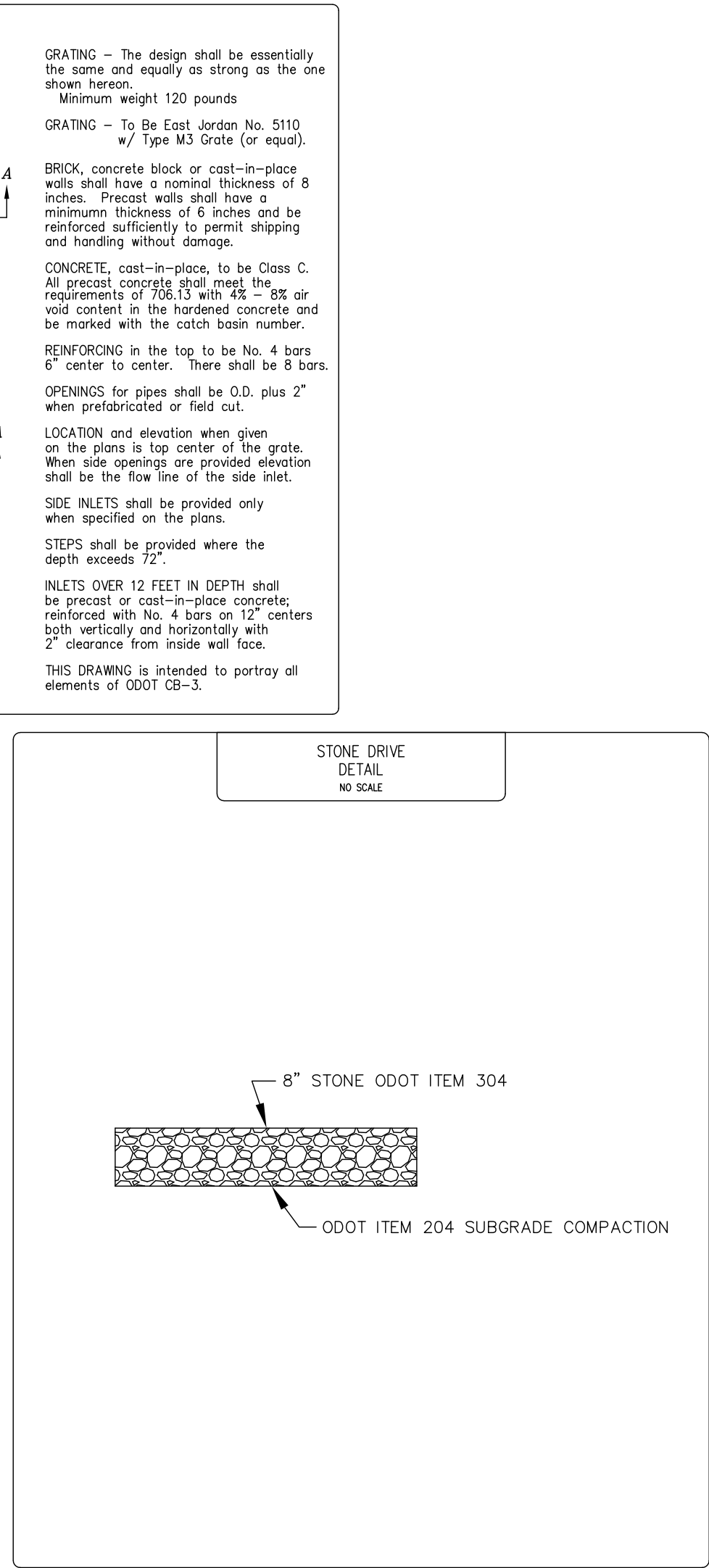
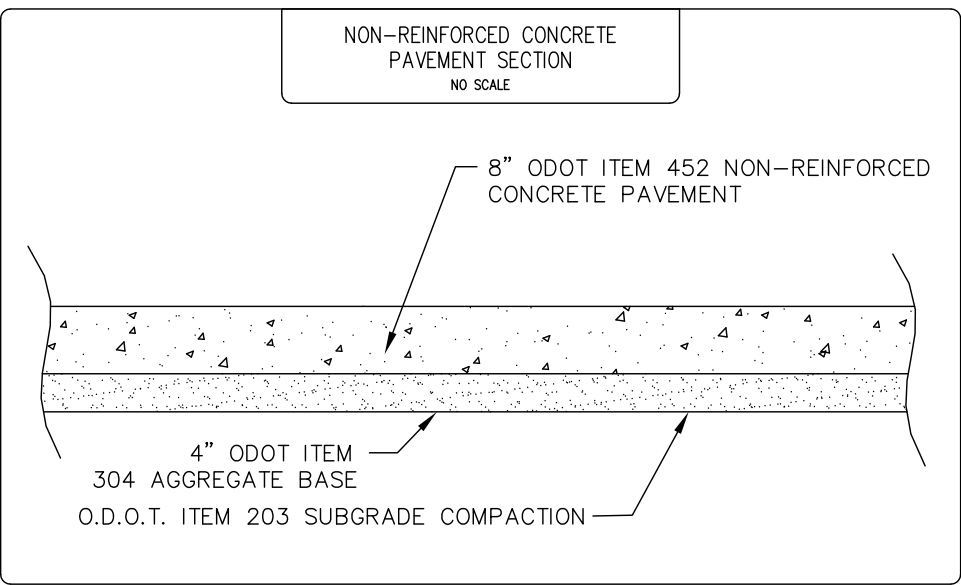
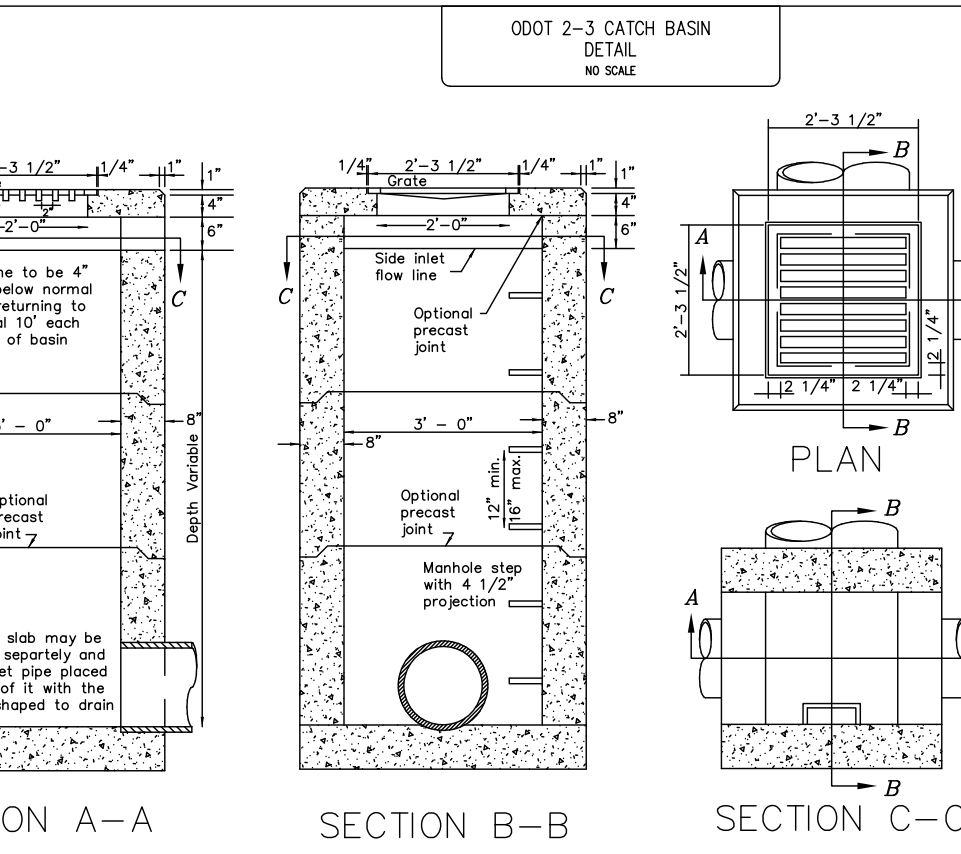
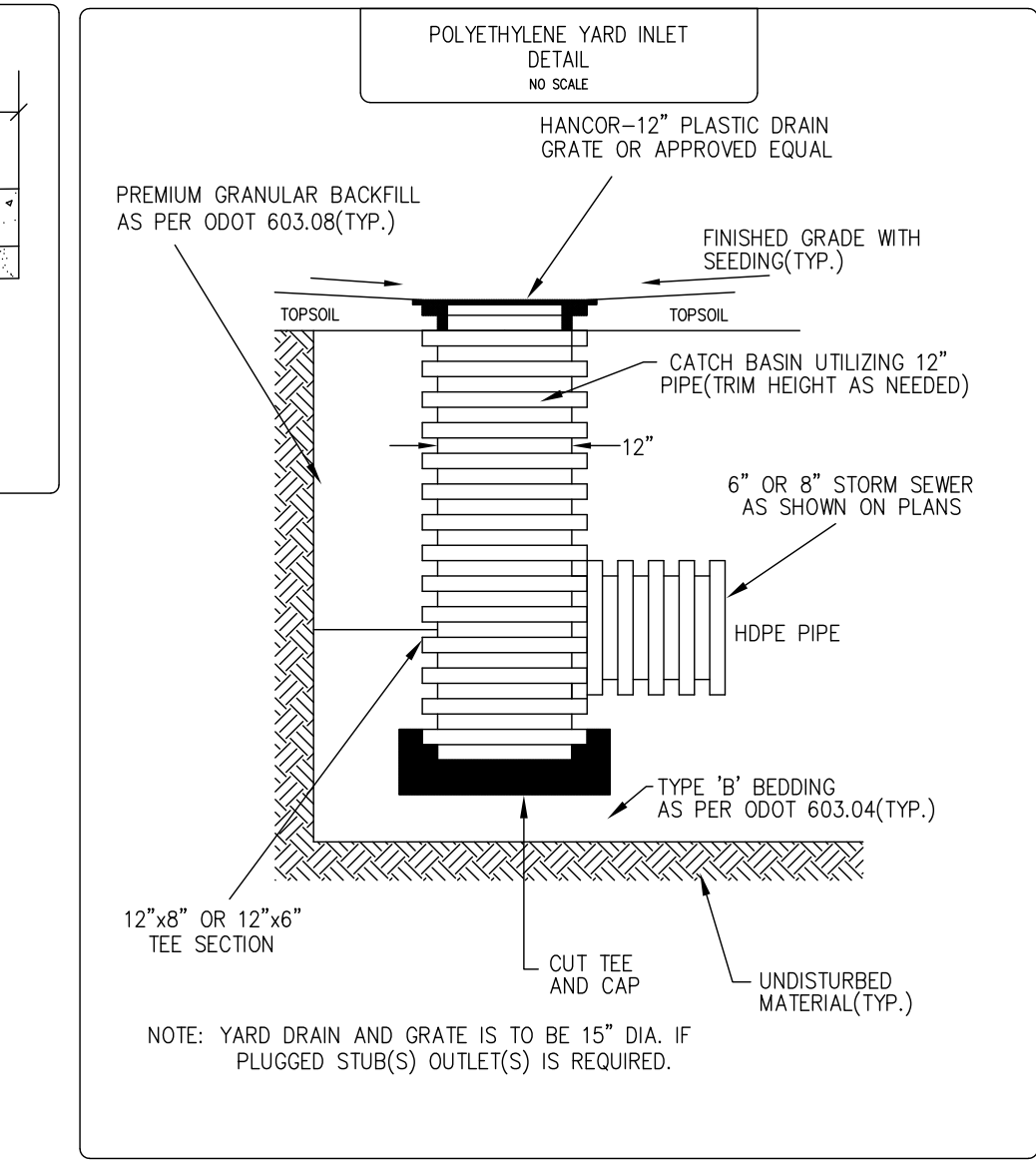
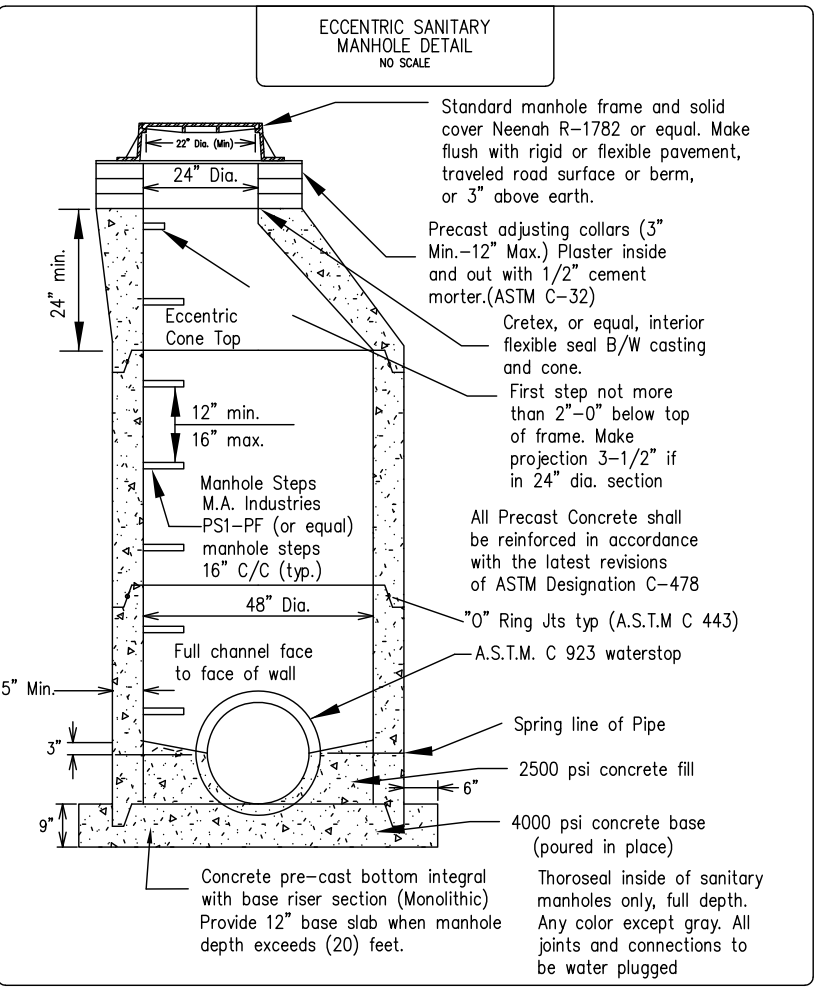
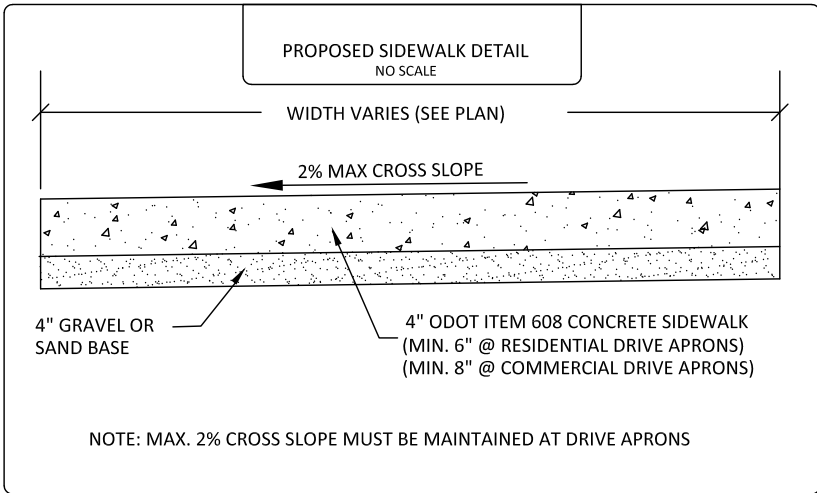
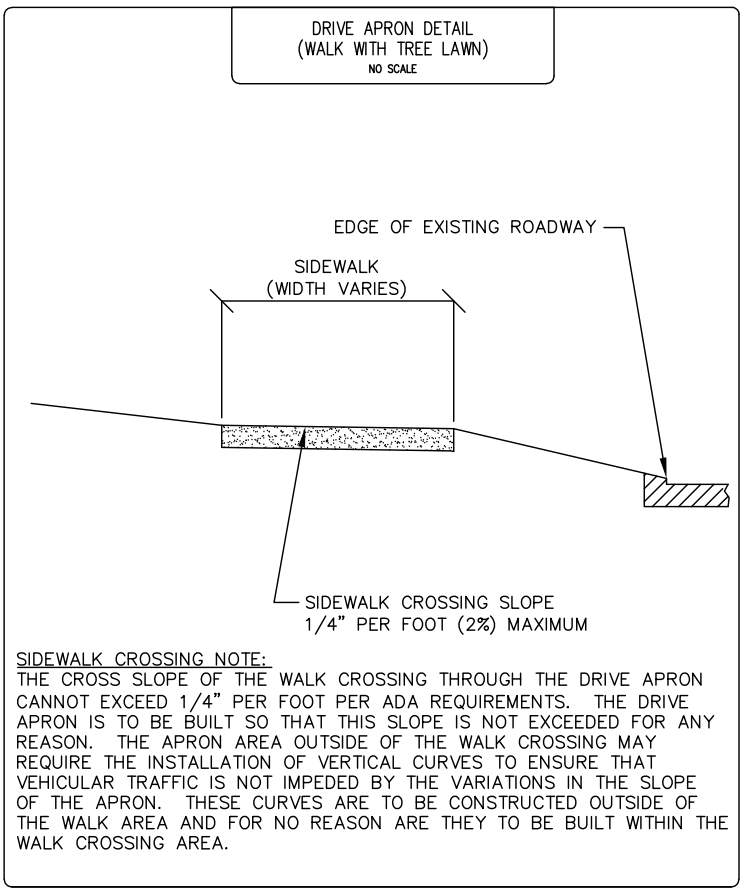
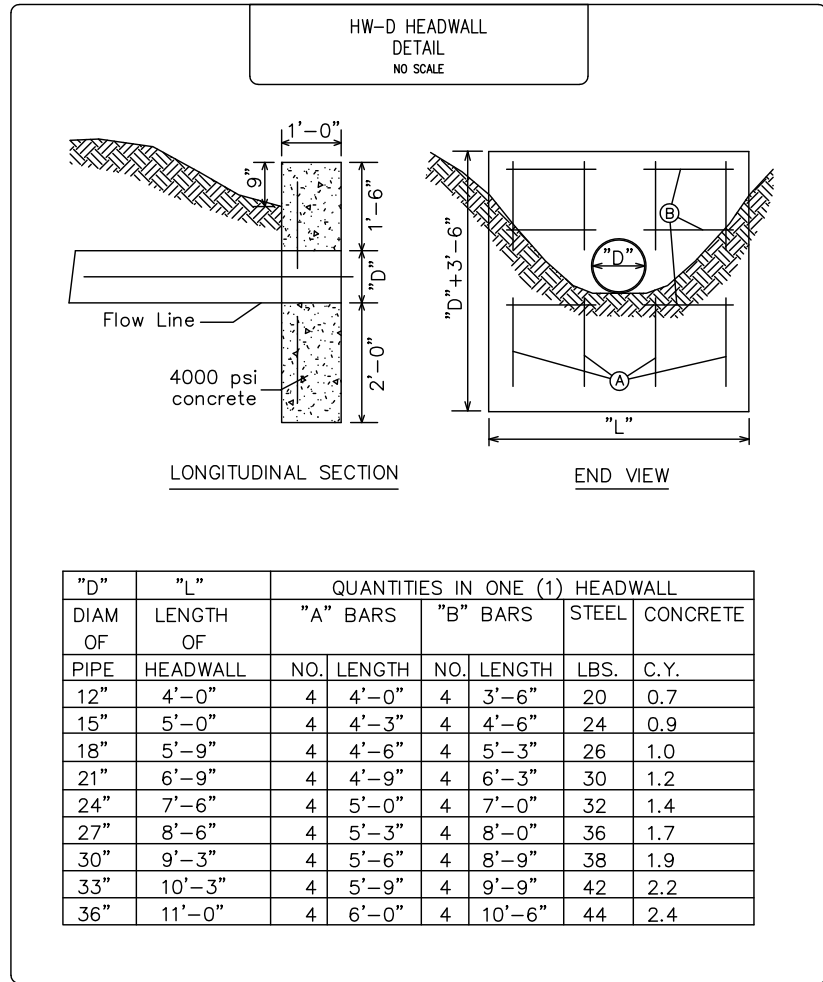
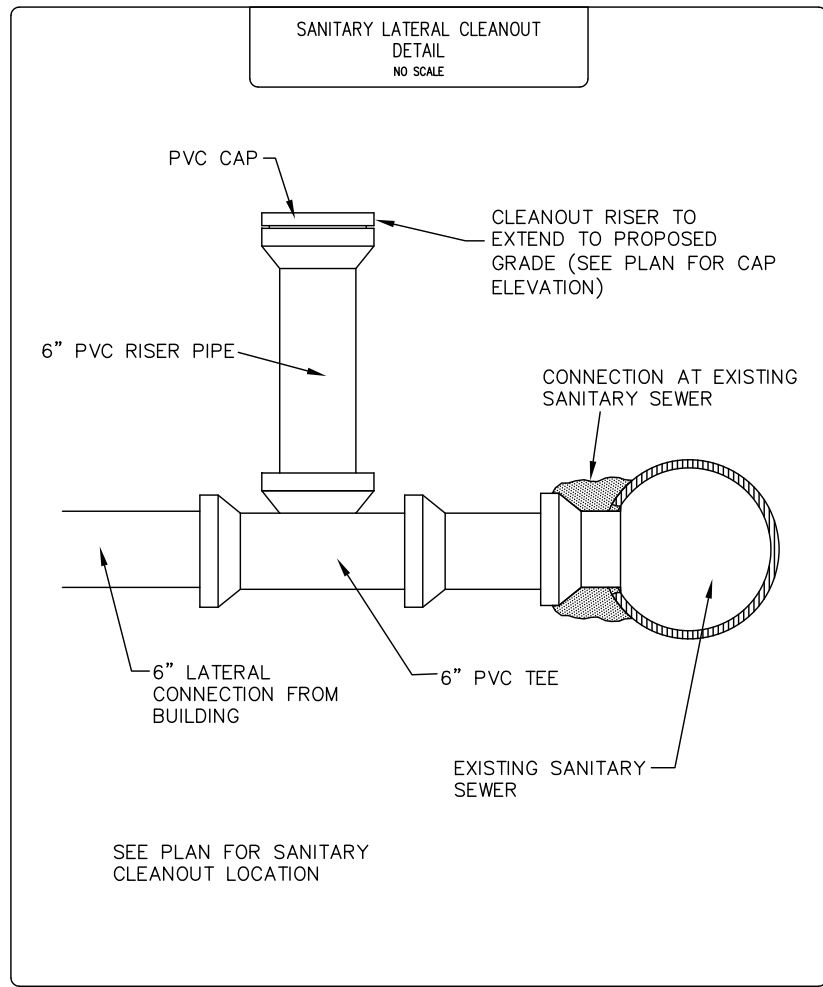


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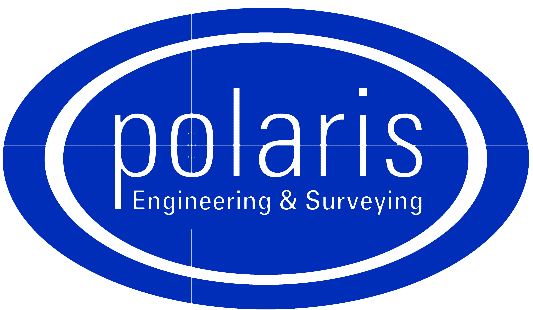
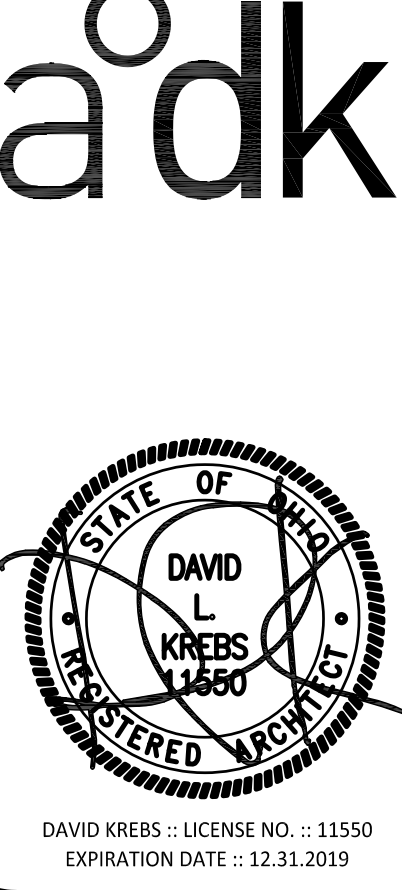
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GRATING - The design shall be essentially the same and equally as strong as the one shown hereon.  
Minimum weight 120 pounds  
GRATING - Is Be East Jordan No. 5110 w/ Type M3 Grate (or equal).  
BRICK, concrete block or cast-in-place walls shall have a nominal thickness of 8 inches. Precast walls shall have a minimum thickness of 6 inches and be reinforced sufficiently to permit shipping and handling without damage.  
CONCRETE, cast-in-place, to be Class C. All precast concrete shall meet the requirements of 705.13 with 4% - 5% air void content in the hardened concrete and be marked with the catch basin number.  
REINFORCING in the top to be No. 4 bars 6" center to center. There shall be 8 bars.  
OPENINGS for pipes shall be O.D. plus 2" when prefabricated or field cut.  
LOCATION and elevation when given on the plans is top center of the grate. When side openings are provided elevation shall be the flow line of the side inlet.  
SIDE INLETS shall be provided only when specified on the plans.  
STEPS shall be provided where the depth exceeds 12".  
INLETS OVER 12 FEET IN DEPTH shall be precast or cast-in-place concrete, reinforced with No. 4 bars on 12" centers both vertically and horizontally with 2" clearance from inside wall face.  
THIS DRAWING is intended to portray all elements of ODOT CB-3.

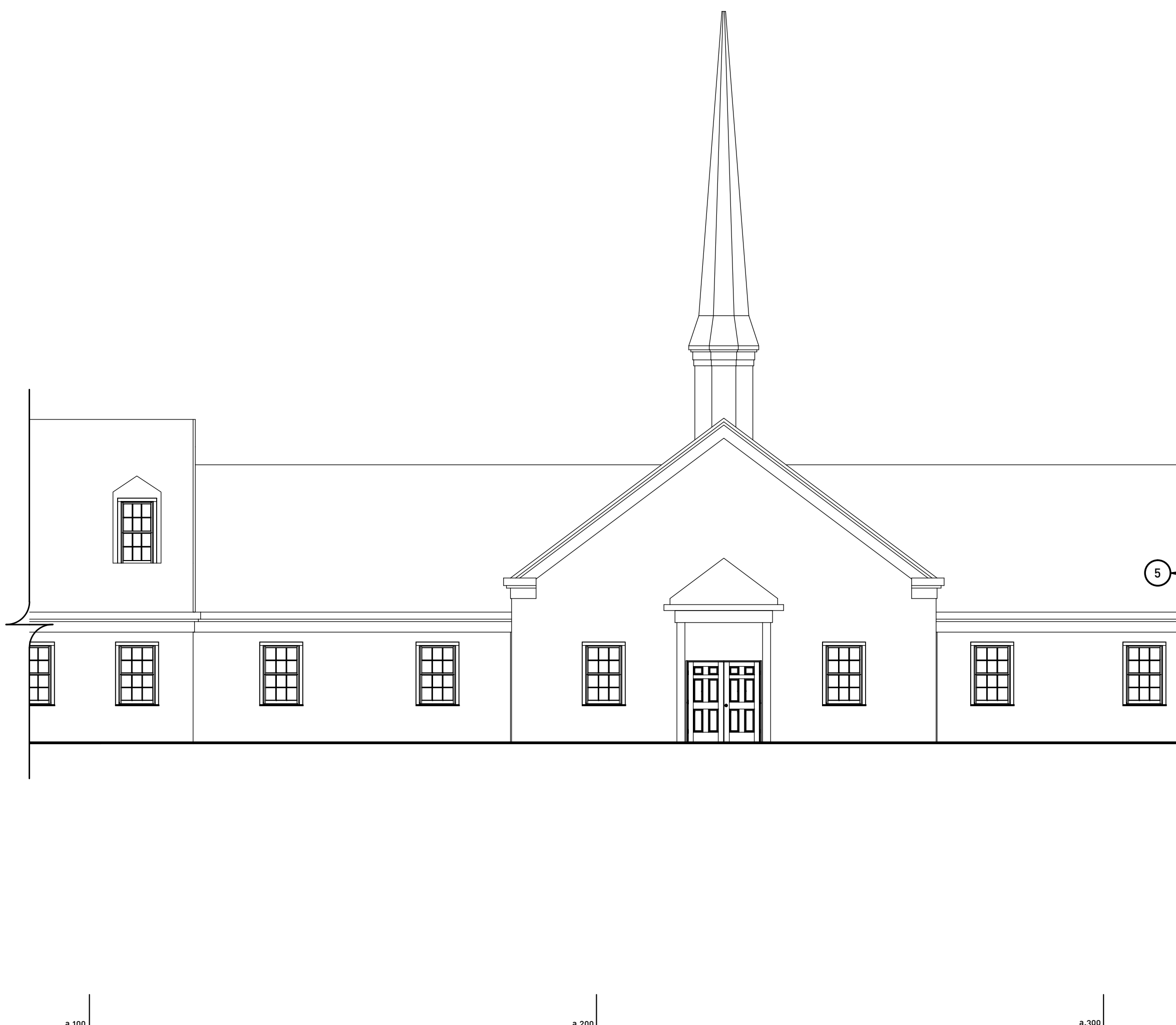
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PROJECT: GLORIA DEI LUTHERAN CHURCH 2113 RAVENNA STREET HUDSON, OH 44236  
ISSUE/DATE: BID / PERMIT 06.03.2019  
AUTHORIZATION: POLARIS ENGINEERING & SURVEYING, INC.  
JOB NO.: 16.73  
SHEET TITLE: DETAILS  
SHEET NO.: C06



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1. BRICK VENEER  
4" BRICK VENEER TO MATCH EXISTING (STYLE, COLOR & SIZE).  
BASIS OF DESIGN: BELDEN BRICK - GOLDENROD IRONSPOT  
STYLE: MODULAR  
MORTAR COLOR: TO MATCH EXISTING  
NOTE : G.G. TO PROVIDE 2'-0" x 2'-0" FIELD MOCK-UP PANEL(S)  
FOR ARCHITECTS / OWNERS FINAL APPROVAL
2. 6" VINYL LAP SIDING  
MANUFACTURER: MASTIC HOME EXTERIORS  
COLOR: WHITE
3. ALUMINUM ENTRY / WINDOW SYSTEM  
ALUMINUM WINDOWS w/ THERMAL BREAK  
INSULATED GLASS BY CRYSTAL WINDOW &  
DOOR SYSTEM SERIES 2100  
COLOR: WHITE  
GLAZING: 1" INSULATED, LOW-E GLASS  
1/4" CLEAR GLASS @ INTERIOR PANE &  
1/4" GRAY TINTED FLOAT GLASS @ EXTERIOR PANE
4. AZEK PANEL / TRIM BOARDS - PAINTED  
COLOR: WHITE.
5. PRE-FINISHED ALUMINUM GUTTERS  
AND DOWNSPOUTS. COLOR: WHITE.
6. DIMENSIONAL ASPHALT SHINGLES  
TO MATCH EXISTING. BASIS OF DESIGN: CERTAINTED LANDMARK  
ARCHITECTURAL SHINGLES. COLOR: GEORGETOWN GRAY.  
CONTRACTOR TO PROVIDE SAMPLES TO MATCH FOR APPROVAL.
7. 3'-0" x 7'-0" EMBOSSED INSULATED H. MTL. DOOR  
w/ 26" x 32" LITE IN H. MTL. FRAME PAINTED  
COLOR: WHITE.
8. WINDOW  
ALUMINUM WINDOWS w/ THERMAL BREAK  
INSULATED GLASS BY CRYSTAL WINDOW SYSTEM  
SERIES 2000A. COLOR: WHITE  
GLAZING: 1" INSULATED, LOW-E GLASS  
1/4" CLEAR GLASS @ INTERIOR PANE &  
1/4" GRAY TINTED FLOAT GLASS @ EXTERIOR PANE  
AZEK WINDOW TRIM BOARDS - 4" WIDE @ JAMBS  
& SILLS, 6" WIDE @ HEADS TYPICAL ALL NEW  
WINDOWS
9. CONCRETE PATIO
10. BRAKE METAL PANEL/TRIM  
.060 ALUMINUM SHEET PANEL/WRAP W/ HIDDEN FASTENERS.  
PROVIDE HEMMED EDGE(S) AT ALL HORIZONTAL OVERLAP  
JOINTS. MECHANICAL FASTENERS AND ADHESIVES REQUIRED  
FOR INSTALLATION. COLOR: WHITE
11. AZEK WINDOW / DOOR TRIM BOARDS -  
4" WIDE @ JAMBS & SILLS, 6" WIDE @  
HEADS TYPICAL ALL NEW WINDOWS



ADDITION & RENOVATIONS FOR:  
**GLORIA DEI**  
LUTHERAN CHURCH

ADDITION & RENOVATIONS FOR:  
GLORIA DEI LUTHERAN CHURCH  
2113 RAVENNA STREET  
HUDSON, OH 44236

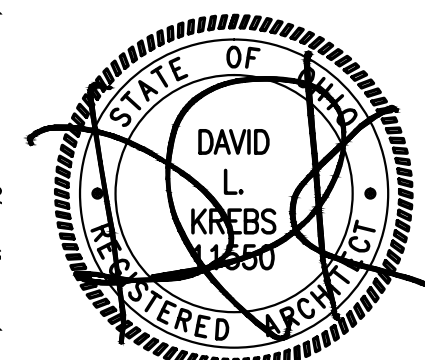
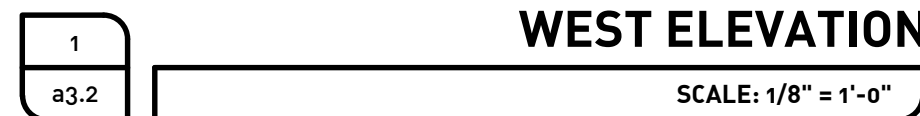
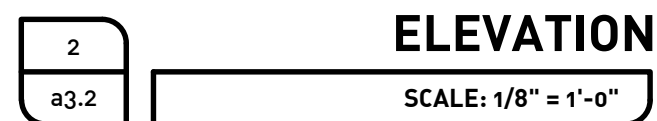
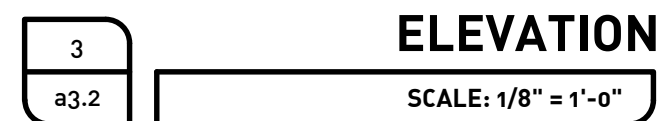
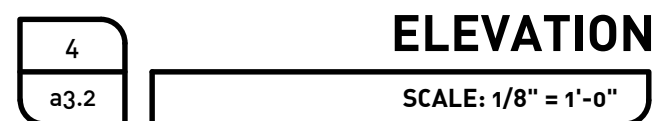
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### a3.1



1 **BRICK VENEER**  
4" BRICK VENEER TO MATCH EXISTING (STYLE, COLOR & SIZE).  
BASIS OF DESIGN: BELDEN BRICK - GOLDENROD IRONSPOT  
STYLE: MODULAR  
MORTAR COLOR: TO MATCH EXISTING  
NOTE : G.C. TO PROVIDE 2'-0" x 2'-0" FIELD MOCK-UP PANEL(S)  
FOR ARCHITECTS / OWNERS FINAL APPROVAL

2. 6" VINYL LAP SIDING  
MANUFACTURER: MASTIC HOME EXTERIORS  
COLOR: WHITE
3. ALUMINUM ENTRY / WINDOW SYSTEM  
ALUMINUM WINDOWS w/ THERMAL BREAK  
INSULATED GLASS BY CRYSTAL WINDOW &  
DOOR SYSTEM SERIES 2100  
COLOR: WHITE  
GLAZING: 1" INSULATED, LOW-E GLASS  
1/4" CLEAR GLASS @ INTERIOR PANE &  
1/4" GRAY TINTED FLOAT GLASS @ EXTERIOR PANE
4. AZEK PANEL / TRIM BOARDS - PAINTED  
COLOR: WHITE.
5. PRE-FINISHED ALUMINUM GUTTERS  
AND DOWNSPOUTS. COLOR: WHITE.
6. DIMENSIONAL ASPHALT SHINGLES  
TO MATCH EXISTING. BASIS OF DESIGN: CERTAINTED LANDMARK  
ARCHITECTURAL SHINGLES. COLOR: GEORGETOWN GRAY.  
CONTRACTOR TO PROVIDE SAMPLES TO MATCH FOR APPROVAL.
7. 3'-0" x 7'-0" EMBOSSED INSULATED H. MTL. DOOR  
w/ 26" x 32" LITE IN H. MTL. FRAME PAINTED  
COLOR: WHITE.
8. WINDOW  
ALUMINUM WINDOWS w/ THERMAL BREAK  
INSULATED GLASS BY CRYSTAL WINDOW SYSTEM  
SERIES 2000A. COLOR: WHITE  
GLAZING: 1" INSULATED, LOW-E GLASS  
1/4" CLEAR GLASS @ INTERIOR PANE &  
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& SILLS, 6" WIDE @ HEADS TYPICAL ALL NEW  
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.060 ALUMINUM SHEET PANEL/WRAP W/ HIDDEN FASTENERS.  
PROVIDE HEMMED EDGES(1" ALL HORIZONTAL OVERLAP  
JOINTS. MECHANICAL FASTENERS AND ADHESIVES REQUIRED  
FOR INSTALLATION. COLOR: WHITE
11. AZEK WINDOW / DOOR TRIM BOARDS -  
4" WIDE @ JAMBS & SILLS, 6" WIDE @  
HEADS TYPICAL ALL NEW WINDOWS



DAVID KREBS :: LICENSE NO. :: 11550  
EXPIRATION DATE :: 12.31.2019

ARCHITECTURE OFFICE :: DAVID KREBS



**KRILL**  
THE BUILDING PROFESSIONALS

PROJECT TITLE::

**ADDITION & RENOVATIONS FOR:**

**GLORIA DEI**  
**LUTHERAN CHURCH**

PROJECT TITLE::

**PROJECT::** ADDITION & RENOVATIONS FOR  
GLORIA DEI LUTHERAN CHURCH  
2113 RAVENNA STREET  
HUDSON, OH 44236

BID / PERMIT 06.03.2019

ISSUE/DATE::

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**AUTHORIZATION:**

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16.73

SHEET TITLE

**SHEET NO.:**

## a3.2

## 0.100

0.31

0.8

100

■■■■

2.280

• 100

2.505

- 600

WALL LEGEND

EXISTING EXTERIOR WALL NO. 0:  
EXISTING EXTERIOR WALL TO REMAIN PATCH AND REPAIR EXTERIOR & INTERIOR AREAS AS REQUIRED IN AREAS ADJACENT TO NEW ADDITION RECEIVING NEW FINISHES PER FINISH PLAN SHEET a5.1.

EXISTING INTERIOR WALL NO. 1:  
EXISTING EXTERIOR WALL TO REMAIN PATCH AND REPAIR EXTERIOR & INTERIOR AREAS AS REQUIRED IN AREAS ADJACENT TO NEW ADDITION RECEIVING NEW FINISHES PER FINISH PLAN SHEET a5.1.

EXTERIOR WALL  
BRICK VENEER TO MATCH EXISTING W/ HORIZONTAL BRACING W/ 1" AIR GAP ON 15# MOISTURE BARRIER ON 7/16" O.S.B. SHEATHING ON 2X6 WD. STUDS @ 16" O.C. W/ R-21 BATT INSULATION AND 5/8" DRYWALL AT INTERIOR.

EXTERIOR WALL  
BRICK VENEER TO MATCH EXISTING W/ HORIZONTAL BRACING W/ 1" AIR GAP ON 15# MOISTURE BARRIER ON 7/16" O.S.B. SHEATHING ON 2X8 WD. STUDS @ 16" O.C. W/ R-21 BATT INSULATION AND 5/8" DRYWALL AT INTERIOR.

EXTERIOR WALL  
BRICK VENEER TO MATCH EXISTING W/ HORIZONTAL BRACING W/ 1" AIR GAP ON 15# MOISTURE BARRIER ON (2) LAYERS OF 5/8" DENSGLASS FIREGUARD SHEATHING ON 2X6 WD. STUDS @ 16" O.C. W/ R-21 BATT INSULATION AND (2) LAYERS OF 5/8" DRYWALL AT INTERIOR. ASSEMBLY MEETS 2 HR REQUIREMENTS SIM. TO UL DESIGN NO. U301

EXTERIOR WALL  
PRE - PRIMED HORIZONTAL SEAM SIDING TO MATCH EXISTING ON 15# MOISTURE BARRIER ON 7/16" O.S.B. SHEATHING ON 2X6 WD. STUDS @ 16" O.C. W/ R-21 BATT INSULATION AND 5/8" DRYWALL AT INTERIOR.

EXTERIOR WALL  
PRE - PRIMED HORIZONTAL SEAM SIDING TO MATCH EXISTING ON 15# MOISTURE BARRIER ON (2) LAYERS OF 5/8" DENSGLASS FIREGUARD SHEATHING ON 2X6 WD. STUDS @ 16" O.C. W/ R-21 BATT INSULATION AND (2) LAYERS OF 5/8" DRYWALL AT INTERIOR. ASSEMBLY MEETS 2 HR. REQUIREMENTS SIM. TO UL DESIGN NO. 301

INTERIOR PARTITION WALL:  
2 x 6 STUDS @ 16" O.C. W/ 5/8" DRYWALL @ EACH SIDE. PROVIDE SOUND BATT INSULATION IN STUD SPACES, TYP.

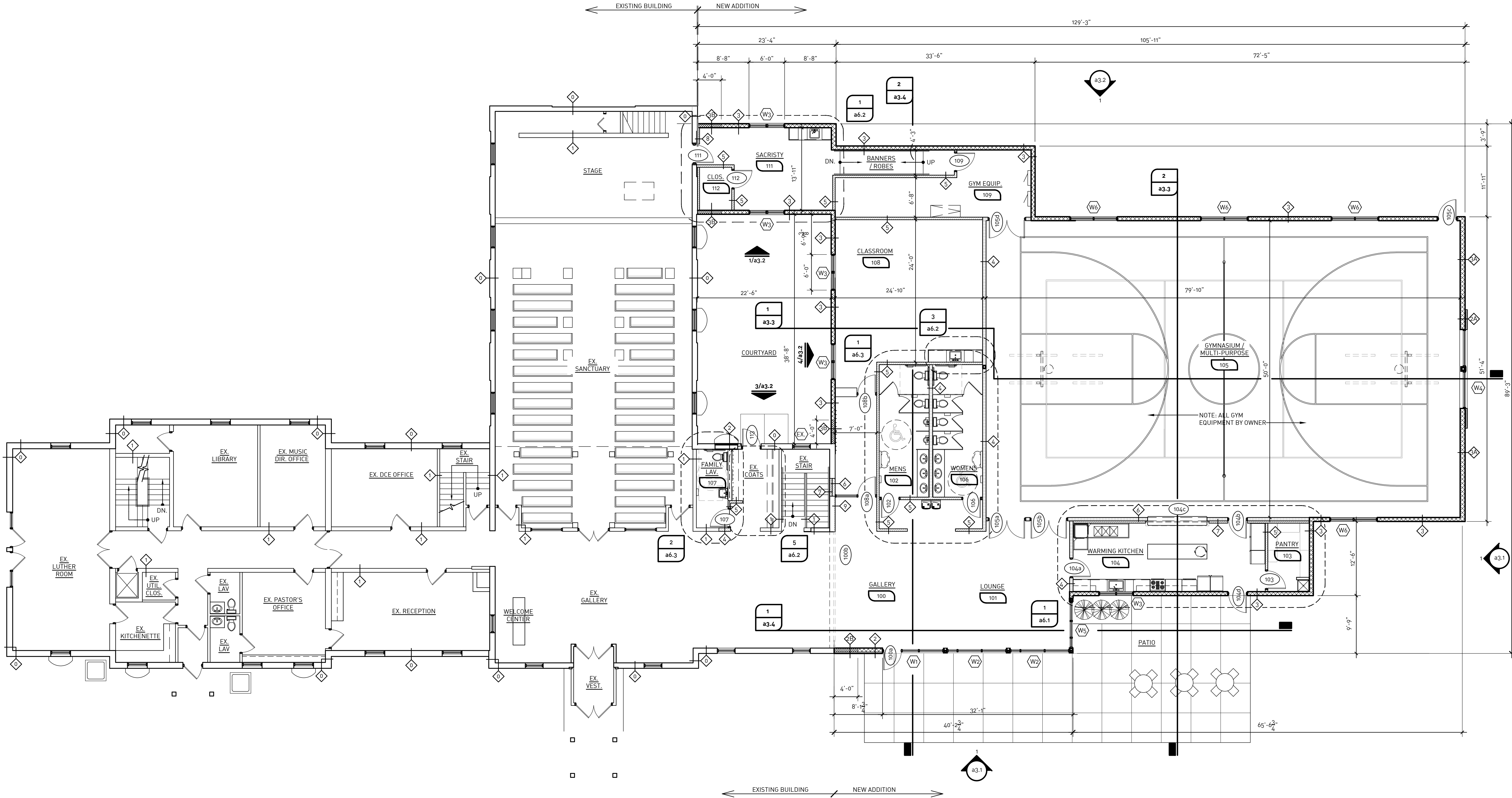
INTERIOR PARTITION WALL:  
2 x 4 STUDS @ 16" O.C. W/ 5/8" DRYWALL @ EACH SIDE. PROVIDE SOUND BATT INSULATION IN STUD SPACES, TYP.

INTERIOR PARTITION WALL:  
2 x 6 STUDS @ 16" O.C. W/ 5/8" DRYWALL @ ONE SIDE. PROVIDE SOUND BATT INSULATION IN STUD SPACES, TYP.

INTERIOR PARTITION WALL:  
2 x 4 STUDS @ 16" O.C. W/ (2) LAYERS OF 5/8" DRYWALL ON BOTH SIDES FROM FIN. FLR. TIGHT TO STRUCTURE ABOVE. PROVIDE SOUND BATT INSULATION IN STUD SPACES, TYP. WALL ASSEMBLY MEETS 2 HR REQUIREMENTS SIM. TO UL DESIGN NO. U301

INTERIOR PARTITION WALL:  
WOOD FRAMING @ 16" O.C. W/ 5/8" DRYWALL @ ONE SIDE FROM FIN. FLR. TO STRUCTURE ABOVE. ALIGN FINISH WALL SURFACE WITH THAT OF ADJACENT EXISTING CONSTRUCTION AS REQ'D. PROVIDE SOUND BATT INSULATION IN STUD SPACES, TYP.

NOTE: ALL SILL PLATES ARE TO BE TREATED (SLAB ON GRADE)



1  
a2.1  
GROUND FLOOR PLAN  
SCALE: 1/8" = 1'-0"  
AREA OF ADDITION: 7,635 S.F.

DAVID KREBS  
REGISTERED ARCHITECT  
OH 44236

DAVID KREBS :: LICENSE NO. :: 11550  
EXPIRATION DATE :: 12.31.2019

ARCHITECTURE OFFICE :: DAVID KREBS

KRILL

THE BUILDING PROFESSIONALS

ADDITION & RENOVATIONS FOR:  
**GLORIA DEI**  
LUTHERAN CHURCH

PROJECT TITLE:  
ADDITION & RENOVATIONS FOR:  
GLORIA DEI LUTHERAN CHURCH  
2113 RAVENNA STREET  
HUDSON, OH 44236

BID / PERMIT  
06.03.2019

ISSUE/DATE:

AUTHORIZATION:  
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SHEET NO.:  
JOB NO.:  
16.73

GROUND FLOOR PLAN

a2.1

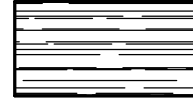
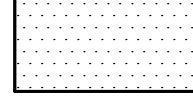
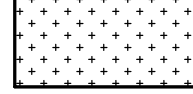
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002' 0"

003' 0"

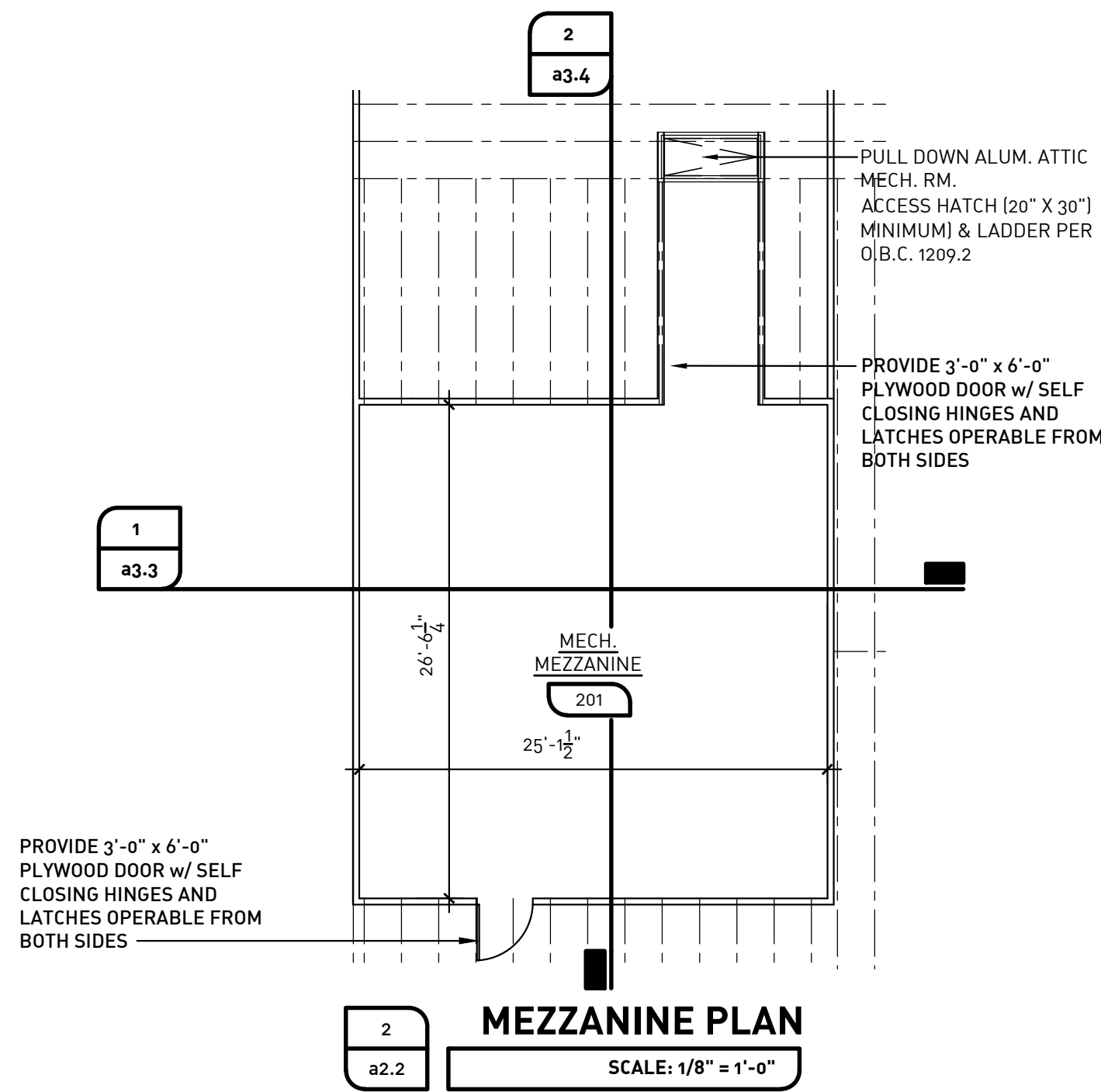
004' 0"

ROOF MATERIAL LEGEND:

-  ARCHITECTURAL ASPHALT SHINGLES  
TO MATCH EXISTING. BASIS OF  
DESIGN: CERTANTEED LANDMARK  
COLOR: GEORGETOWN GRAY
-  FULLY ADHERED 60 MIL. SURE-SEAL FIBER  
REINFORCED EPDM ROOFING MEMBRANE BY CARLISLE  
SYNTEC (CLASS 'C' ASSEMBLY PER O.B.C. 706.6  
EXCEPTION 2.)
-  ICE AND WATER SHIELD  
ROOFING UNDERLAYMENT

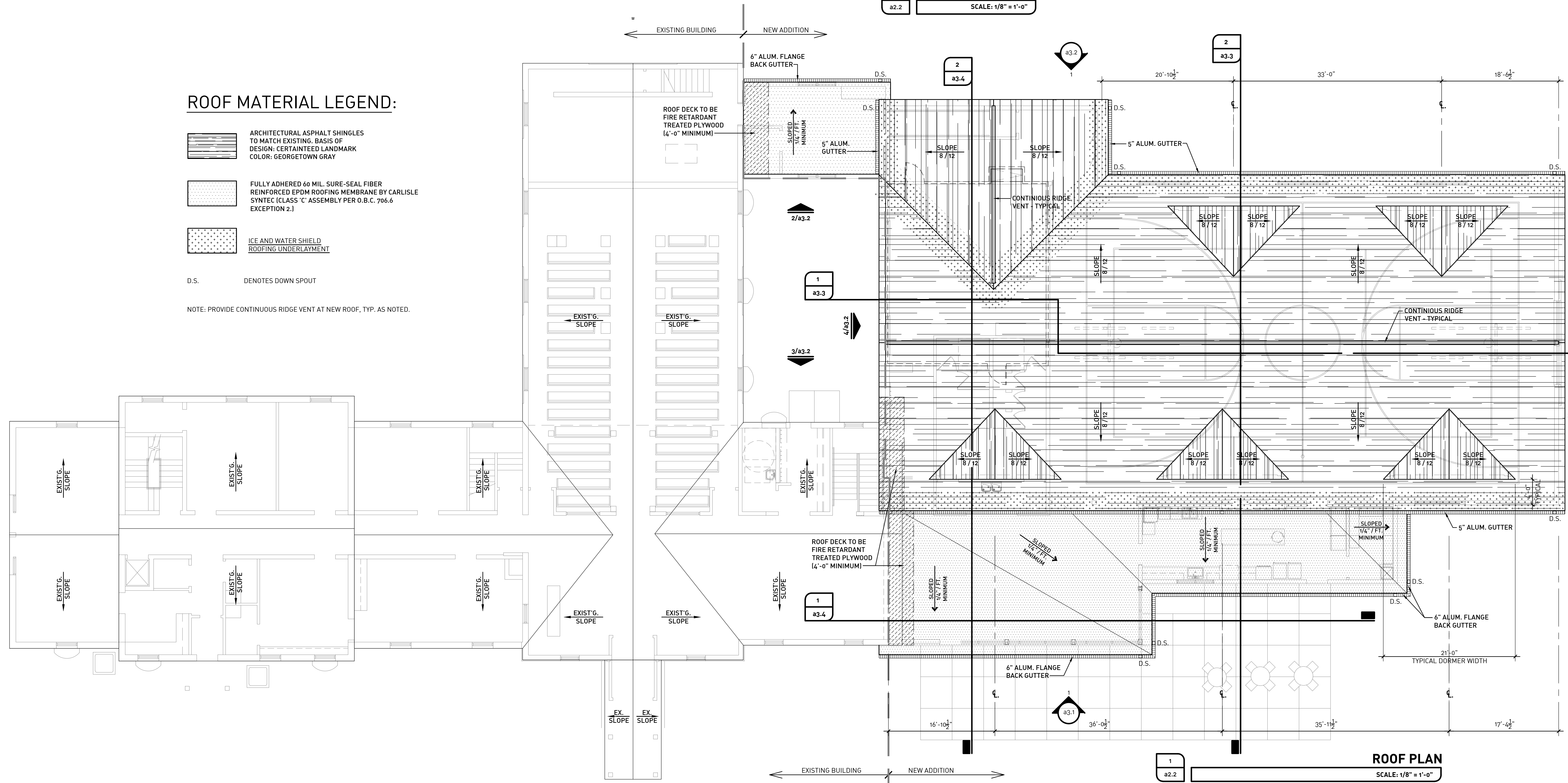
D.S. DENOTES DOWN SPOUT

NOTE: PROVIDE CONTINUOUS RIDGE VENT AT NEW ROOF, TYP. AS NOTED.



MEZZANINE PLAN

SCALE: 1/8" = 1'-0"



ROOF PLAN

SCALE: 1/8" = 1'-0"

ADDK, INC. = [A: 17326 Madison Avenue, Lakewood, OH 44097] + [P: 216.771.1920] + [F: 216.771.1797] - [W: www.addkinc.com]

ARCHITECTURE OFFICE - DAVID KREBS

PROJECT TITLE: ADDITION & RENOVATIONS FOR:

PROJECT: GLORIA DEI LUTHERAN CHURCH

BID / PERMIT

06.03.2019

ISSUE/DATE:

AUTHORIZATION:

JOB NO.:

16.73

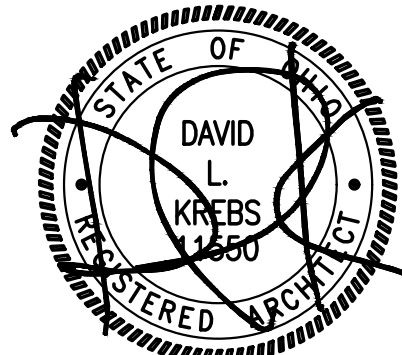
SHEET TITLE:

ROOF PLAN

SHEET NO.:

a2.2

a°dk



DAVID KREBS :: LICENSE NO. :: 11550  
EXPIRATION DATE :: 12.31.2019

KRILL  
THE BUILDING PROFESSIONALS

ADDITION & RENOVATIONS FOR:  
**GLORIA DEI**  
LUTHERAN CHURCH

ADDITION & RENOVATIONS FOR:  
GLORIA DEI LUTHERAN CHURCH  
2113 RAVENNA STREET  
HUDSON, OH 44236

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ENGINEERING • 115 Executive Parkway, Suite 400 • Hudson, Ohio 44236 • (330) 342-1770

**Date:** June 20, 2019

**To:** Kris McMaster, City Planner, Community Development

**From:** Nate Wonsick, P.E., Assistant City Engineer

**Re:** **Gloria Dei Church - Addition – 2113 Ravenna Street**  
**Preliminary Engineering Review**

---

The City of Hudson Engineering Department has reviewed the preliminary plan for the above referenced site. Note: The City of Hudson Engineering Standards (Engineering Standards) and Land Development Code (LDC) are available online at the City of Hudson Website [www.hudson.oh.us](http://www.hudson.oh.us) under the Engineering Dept. and Community Development Department respectively. The standards are also available in print for a fee. Please contact our office (330-342-1770) if you would like a cost for the printed version.

**Other agency approvals that will be needed prior to the City of Hudson Engineering acceptance include:**

1. Summit Soil and Water and the Ohio EPA Notice of Intent.
2. Summit County Building Standards shall review the building structures and fire lines
3. Summit County DSSS shall review and approve the sanitary sewer for this site.
4. Ohio EPA may need to review the sanitary and water systems, if applicable.
5. US Army Corp. of Engineers for any wetland disturbed areas, if applicable.

**Overall Comments:**

6. Provide the pre and post impervious surface area on the title sheet per Hudson Engineering Standards Section 1.7.
7. The City of Hudson Engineering Standards will be reviewed as part of the improvement plan submittal of the project design. Note: Section 5 of the Engineering Standards - The storm water runoff and management shall be designed for the 25-year post-developed storm to be detained to the 1-year pre-developed storm for this site. Submit a complete storm water management report with the next submittal.
8. Submit a wetland delineation of the site in accordance with the LDC section 1207.03 with the next submittal.
9. A professional engineer with a current Ohio registration shall stamp, sign and date the plans for all applicable engineering work including the storm water management calculations.
10. Add the City of Hudson Engineering Standards General Notes to the plans.
11. Bonds and fees will be identified when more detailed plan is submitted.



12. The City will perform a complete and thorough review when the complete set of improvement plans and reports are submitted to the City at a future date and the City reserves the right to add to these comments as needed.

If you have any questions, please contact me.

Sincerely,



Nate Wonsick, P.E.  
Assistant City Engineer

C: File.



COMMUNITY DEVELOPMENT • 115 Executive Parkway, Suite 400 • Hudson, Ohio 44236 • (330) 342-1790

## **BOARD OF ZONING AND BUILDING APPEALS**

### **APPEALS DOCKET NO 2019-102 2113 RAVENNA STREET VARIANCE**

### **VIA CERTIFIED U.S. MAIL DECISION**

Based on the evidence presented to the Board by the applicant, John Swidrak for AoDK, Inc, 17306 Madison Ave, Lakewood, OH 44107 and the property owner is Gloria Dei Lutheran Church, 2113 Ravenna Street, Hudson, OH 44236 for the property at 2113 Ravenna Street, Hudson, OH 44236 in District 3 [Outer Village Residential Neighborhood]. A public hearing was held in the 2<sup>nd</sup> Floor Meeting Room at Town Hall, 27 East Main Street, Hudson, Ohio, 44236 at 7:30 p.m., on Thursday, May 16, 2019, the Board of Zoning and Building Appeals hereby grants:

#### **Variance #1**

A variance of fifty (50) feet from the required oil and gas tank battery setback of two hundred (200) feet resulting in a one hundred fifty (150) foot setback from a tank battery to permit construction of a multi-purpose gymnasium addition to a church pursuant to Section 1207.19(c)(10) "Special development standards – Oil/Gas Exploration and Drilling Uses" of the City of Hudson Land Development Code.

After reviewing the application, the hearing of evidence under oath, reviewing all documentary submissions of interested parties and by taking into consideration the personal knowledge of the property in question, the Board of Zoning and Building Appeals grants the variance requested with the following condition:

1. Owner is to provide city staff with periodic inspection reports of the tank battery. City staff will have the ability to require additional inspections if deemed necessary.

The Board finds and concludes:

1. The property in question will yield a reasonable return and there can be a beneficial use of the property without the requested variances, however, construction of the proposed addition would not be feasible in another location due to the topography and drainage issues on the north and east sides of the building.
2. The variance is substantial as it is twenty-five (25%) percent of the requirement.
3. The essential character of the neighborhood would not be substantially altered.

4. The variances would not adversely affect the delivery of governmental services, (e.g. water, sewer, garbage).
5. The applicant purchased the property circa 1970 without knowledge of the zoning restrictions.
6. The applicant's predicament feasibly cannot be resolved through some method other than the requested variances due to the site challenges discussed including steep grades and required building setbacks.
7. The spirit and intent behind the zoning requirement would be observed and substantial justice would be done by granting the variances.

### **Variance #2**

A variance from the requirement that development shall provide a pedestrian connection to the building in order to permit construction of a multi-purpose gymnasium addition to a church pursuant to Section 1207.12(d)(4) "Off-street parking and loading requirements – General Design Standards" of the City of Hudson Land Development Code.

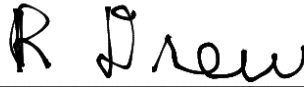
After reviewing the application, the hearing of evidence under oath, reviewing all documentary submissions of interested parties and by taking into consideration the personal knowledge of the property in question, the Board of Zoning and Building Appeals grants the variance requested

The Board finds and concludes:

1. The property in question will yield a reasonable return and there can be a beneficial use of the property without the requested variances, however, requiring a pedestrian connection will have little practical use in this instance. The building has an uncharacteristically large setback and is located in an area of the city without a public sidewalk.
2. The variance is insubstantial due to the impractical nature for this particular development. Pedestrians will have the option of using the existing driveway for access to the building, as it is seldom utilized.
3. The essential character of the neighborhood would not be substantially altered as the required pedestrian connection would only impact the property in question.
4. The variances would not adversely affect the delivery of governmental services, (e.g. water, sewer, garbage).
5. The applicant purchased the property circa 1970 without knowledge of the zoning restrictions.
6. The applicant's predicament feasibly cannot be resolved through some method other than the requested variance.
7. The spirit and intent behind the zoning requirement would be observed and substantial justice would be done by granting the variance. The requirement is not practical in this particular instance.

Dated: May 16, 2019

CITY OF HUDSON  
BOARD OF ZONING AND BUILDING APPEALS



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Robert Drew, Chairman



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Joe Campbell – Executive Assistant

*I certify that this is a true and accurate copy of the Decision reached by the Board of Zoning and Building Appeals at the May 16, 2019 meeting.*

Failure of an applicant to commence substantial construction or action with regard to the variance approval within one (1) year of receiving approval of the variance and to complete such construction within two (2) years of receiving approval of the variance shall automatically render the decision of the BZBA null and void, pursuant to Section 1203.08 (3), “Variances – Lapse”.



---

DATE: January 10, 2019

TO: Gloria Dei Lutheran Church, John Swidrak

FROM: Kris McMaster, City Planner, Community Development

CC: Greg Hannan, Community Development Director

SUBJECT: Proposed 7,574 addition to Gloria Dei Lutheran Church– Preliminary review for new addition

---

Based on review of the plans received December 17, 2018 staff offers the following preliminary comments related to compliance with the Land Development Code (LDC).

**Assumptions and Observations:**

The property 2113 Ravenna Street is 14.8 acres. The Gloria Dei Lutheran Church is proposing to add a 7,574 square foot addition to the existing 7,335 square foot facility resulting in a total building footprint square footage of 14,909. The addition includes expansion of the entry lobby and narthex, men's and women's bathroom, nursery, kitchenette, gymnasium, fellowship hall, chancel and an outdoor patio.

Site Plan Conformance with LDC Standards:

1. Section 1205.06 – District Regulations
  - a. Use: The proposed addition is permitted as a conditional use (Places of religious worship, including churches) within District 3.
  - b. Minimum Setbacks for non-residential: Front yard seventy-five (75) feet; Rear yard fifty (50) feet and Side yard front yard thirty (30) feet.
  - c. Maximum Structure Height: 40 feet. Proposed height 30.5 feet.
  - d. Impervious surface: The impervious surface coverage may be no more than 60% of the total gross lot area. Proposed design is acceptable.
  - e. Building Siting and Orientation: Main entrance shall face the street.
  - f. Private walkway entrances: The front entrance of the principal structure shall be connected to the public sidewalk with a walkway.
  - g. Pedestrian Amenities:
    - i Sidewalks at least five (5) feet wide shall be provided on all sides of a lot that abut a public street, way, or open space. Since the expansion is greater than 50%, this requirement is required. A sidewalk width of 5 feet will be required along Ravenna Street.



- ii Sidewalks at least five (5) feet wide shall be provided along the full length of a building facade that features a customer entrance and along any building facade abutting a public parking area.
- h. Location of Parking: In addition to the off-street parking requirements set forth in Section 1207.12 of this Code, off-street parking shall be located to the side and rear of the principal building. Proposed plan is in conformance.
  - i. Curb cuts: No more than one (1) driveway curb cut per lot, except that when the lot is wider than one hundred fifty (150) feet then no more than two (2) driveway curb cuts per lot. Proposed plan is in conformance.

#### Section 1207 Development Standards

- 1. Landscaping:
  - i. Bufferyard: Bufferyard “D” is required. Minimum width twenty-five (25) feet. Added landscaping to adjacent properties to screen addition. Along east side of building and adjacent to properties south of addition.
  - ii. Any proposed dumpster enclosures must be screened with a fence/wall and landscaping.
  - iii. Perimeter landscaping (5 ft. depth) is required to screen the parking lots from the perimeter and adjacent development. Existing vegetation can count towards this.
  - iv. A landscape plan will need to be submitted with the Planning Commission proposal.
- i. Stormwater Management – Will be required for the site and will need to be reviewed by City of Hudson Engineering Dept.
- j. Fire Access – To be reviewed by the City Fire Department.
- k. Parking-non-residential:
  - i. Places of Religious Places of Worship are required to provide a minimum of one space for each four seats in the place of assembly.
  - ii. Provide occupancy of gym in application and indicate if they are ever both occupied at the same time.
  - iii. Stall Dimensions - Parking spaces are subject to the dimensional requirements of Section 1207.12(k). Stalls dimensions have not been submitted.
  - iv. Maneuverability Areas: Parking areas will need to comply with Section 1207.12 (n).

Parking: Staff notes the following parking spaces are proposed for the development:

Onsite parking spaces	113
Existing Sanctuary seats	128
Total parking spaces required	32
Total parking space provided	117

#### Design Review

The architectural design will be reviewed for compliance with the architectural and design standards by the Architectural and historic Board of Review. Staff offers the following preliminary comments:

- The front door or main entrance to a building shall be visible from the street. An entrance to a public building shall be clear and visible from the street and not obscured by building masses or fences. Staff notes the addition conceals the existing front entrance however the building does contain a significant setback from the street.
- The addition is taller and more dominant than the existing mass. It is also attached to the front of the building, which conflicts with our requirements for wings. Could the addition be considered a main mass if a front entryway is added (a requirement of the main mass)?
- Question if the long span of roof can be broken up with reverse gable or dormers similar to the existing?
- Suggest using additional brick surfaces to match the existing structure.
- Submit a roof plan to better understand how the masses relate to each other.