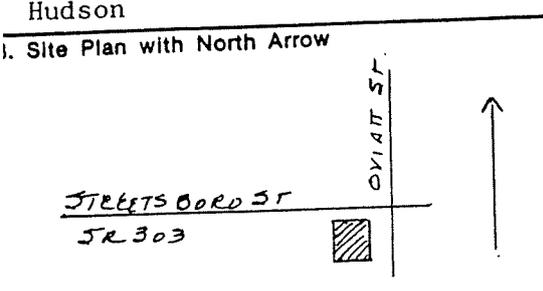
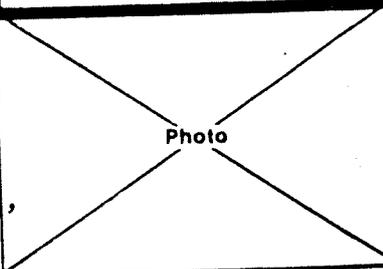
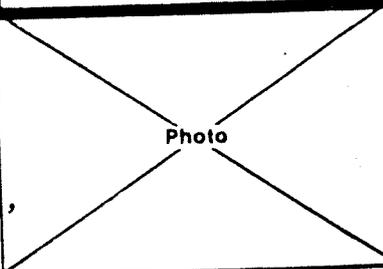


OHIO HISTORIC INVENTORY

| | | | | | | | | | | | | | | | |
|--|---|----|----------|----|----|-----|-----|------|---------|--|----------|--|--|--|--|
| No. _____ County <u>Summit</u> Location of Negatives <u>HHA 51-35,36</u> | 4. Present Name(s) <p style="text-align: center;">The Peck-Trowbridge House</p> 5. Other Name(s) | | | | | | | | | | | | | | |
| Specific Location <u>E</u> 96 Streetsboro Street, at Oviatt | 16. Thematic Category <p style="text-align: center;">C</p> | | | | | | | | | | | | | | |
| City or Town If Rural, Township & Vicinity Hudson | 17. Date(s) or Period <p style="text-align: center;">1844/1887</p> | | | | | | | | | | | | | | |
| Site Plan with North Arrow  | 18. Style or Design <p style="text-align: center;">not determined</p> | | | | | | | | | | | | | | |
| Coordinates Lat. _____ Long. _____ U.T.M. Reference <table border="1" style="width:100%; text-align: center;"> <tr> <td>17</td><td>46</td><td>35</td><td>12</td><td>45</td><td>65</td><td>228</td> </tr> <tr> <td>Zone</td><td colspan="2">Easting</td><td colspan="4">Northing</td> </tr> </table> | 17 | 46 | 35 | 12 | 45 | 65 | 228 | Zone | Easting | | Northing | | | | 19. Architect or Engineer 20. Contractor or Builder <p style="text-align: center;">Noah Carter</p> |
| 17 | 46 | 35 | 12 | 45 | 65 | 228 | | | | | | | | | |
| Zone | Easting | | Northing | | | | | | | | | | | | |
| 10. Site Building <input checked="" type="checkbox"/> Structure <input type="checkbox"/> Object <input type="checkbox"/> | 21. Original Use, if apparent <p style="text-align: center;">residence</p> | | | | | | | | | | | | | | |
| 11. On National Register? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> | 22. Present Use <p style="text-align: center;">residence - two family</p> | | | | | | | | | | | | | | |
| 12. Is it Eligible? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> | 23. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/> | | | | | | | | | | | | | | |
| 13. Part of Estab. Hist. Dist.? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> | 24. Owner's Name & Address, if known <p style="text-align: center;">R. McGrainor 7537 Huntington Drive Hudson 44236</p> | | | | | | | | | | | | | | |
| 14. District Potent'l? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> | 25. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> | | | | | | | | | | | | | | |
| 15. Name of Established District <p style="text-align: center;">Hudson Local Historic District</p> | 26. Local Contact Person or Organization <p style="text-align: center;">Hudson Heritage Association</p> | | | | | | | | | | | | | | |
| 16. Further Description of Important Features Old stone rubble foundation on east side of rear section, which is older (1844). Basement chimney of underbaked brick and sand lime mortar, probably base of cooking fire-place in kitchen above; broad axed sills, some joists with tree bark. West basement windows seem original. Fine early door with original hardware at stairs to upper floor. Kitchen: simple flat panel doors, thicker headings on doors and windows, no parting beads or sash balance on windows, 1860's built-in cupboard with hand planed boards. | 27. Other Surveys In Which Included | | | | | | | | | | | | | | |
| 17. History and Significance Original owner Herman Peck, painter; on 1844 tax duplicate. Transferred 1868 to Zenas Trowbridge, who was probably already living in house. Trowbridge was carpenter and joiner. Remained in Trowbridge family until 1958. | 28. No. of Stories <u>2</u> 29. Basement? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> 30. Foundation Material <p style="text-align: center;">sandstone blocks</p> | | | | | | | | | | | | | | |
| 18. Description of Environment and Outbuildings Attached garage, former carriage house. Rental property on heavily traveled S. R. 303, in area of historic houses. | 31. Wall Construction <p style="text-align: center;">wood frame</p> | | | | | | | | | | | | | | |
| 19. Sources of Information Summit County Tax Assessment records HHA Architectural Survey and Research Comm. files Personal inspection | 32. Roof Type & Material <p style="text-align: center;">gable - asph shingle</p> | | | | | | | | | | | | | | |
| 20. Prepared by <p style="text-align: center;">L Newkirk, F Barlow</p> | 33. No. of Bays Front <u>3</u> Side <u>6</u> | | | | | | | | | | | | | | |
| 21. Organization <p style="text-align: center;">HHA</p> | 34. Wall Treatment <p style="text-align: center;">beveled siding/shiplap</p> | | | | | | | | | | | | | | |
| 22. Distance from and Frontage on Road <p style="text-align: center;">30' 73'</p> | 35. Plan Shape <u>rect</u> 36. Changes (Explain in #42) Addition <input checked="" type="checkbox"/> Altered <input checked="" type="checkbox"/> Moved <input type="checkbox"/> | | | | | | | | | | | | | | |
| 23. Visible from Public Road? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> | 37. Condition Interior <u>good</u> Exterior <u>good</u> | | | | | | | | | | | | | | |
| 24. Distance from and Frontage on Road <p style="text-align: center;">30' 73'</p> | 38. Preservation Underway? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> | | | | | | | | | | | | | | |
| 25. Endangered? By What? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> | 39. Endangered? By What? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> | | | | | | | | | | | | | | |
| 26. Visible from Public Road? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> | 40. Visible from Public Road? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> | | | | | | | | | | | | | | |
| 27. Distance from and Frontage on Road <p style="text-align: center;">30' 73'</p> | 41. Distance from and Frontage on Road <p style="text-align: center;">30' 73'</p> | | | | | | | | | | | | | | |
| 28. Photo <div style="text-align: center; border: 1px solid black; width: 100px; height: 100px; margin: 0 auto;">  </div> | 42. Photo <div style="text-align: center; border: 1px solid black; width: 100px; height: 100px; margin: 0 auto;">  </div> | | | | | | | | | | | | | | |

Summit The Peck-Trowbridge House

51-35,36

(over)

42, (Cont'd) First floor: poplar floors, Greek Revival doors with original hardware. Bennington door knobs. Very old staircase, not in original location. Fireplaces and stairway removed 1958 to convert to two-family; also front porch removed, front door walled up. Small porch at west side entrance is original. Jigsaw trim, brackets under eaves, endboards, projecting eaves, plain frieze, single stack brick chimney. Shiplap siding at original porch area and east two-story bay. Addition to east and bay show differences in style, siding and roof line, probably 1887 remodeling.

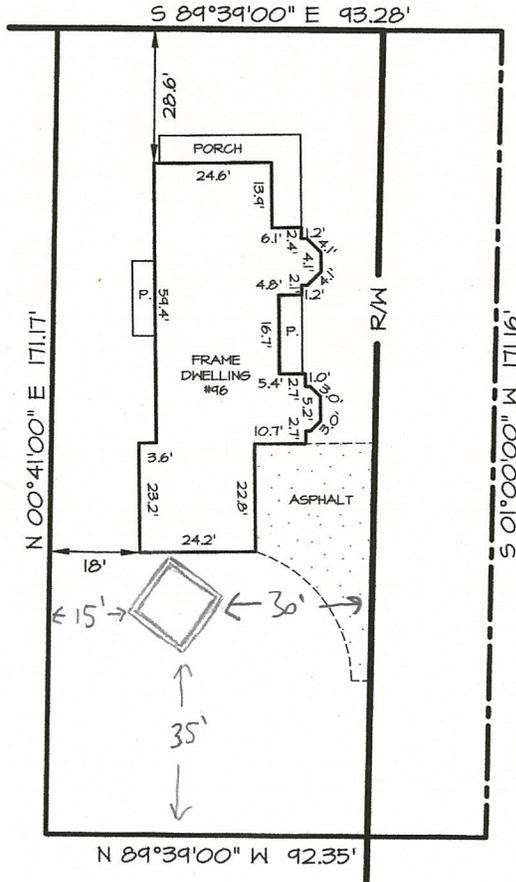


CAMPBELL &
ASSOCIATES, INC
Land Surveying

(330) 945-4117
Fax: (330) 945-4140
3485 Fortuna Drive
Suite 100
Akron, OH 44312
<http://www.campbellsurvey.com>

MORTGAGE LOCATION SURVEY

E. STREETSBORO STREET



S. OVIATT STREET

Pergola
Set backs

Parcel #
3200374



I/WE HAVE RECEIVED A COPY OF THIS SURVEY AND FIND THE CONDITIONS ACCEPTABLE TO ME/US.



BUYER/OWNER

Address 96 East Streetsboro Street

State of Ohio, County of Summit

City of Hudson, Ohio

New Owner Joan E. Archer and Stephen P. Archer

Allotment: Hudson

Volume 878 Page 364

Client Order No. 451-012711

Date September 16, 2020

Present Owner Tina White and Penney Real Estate Co.

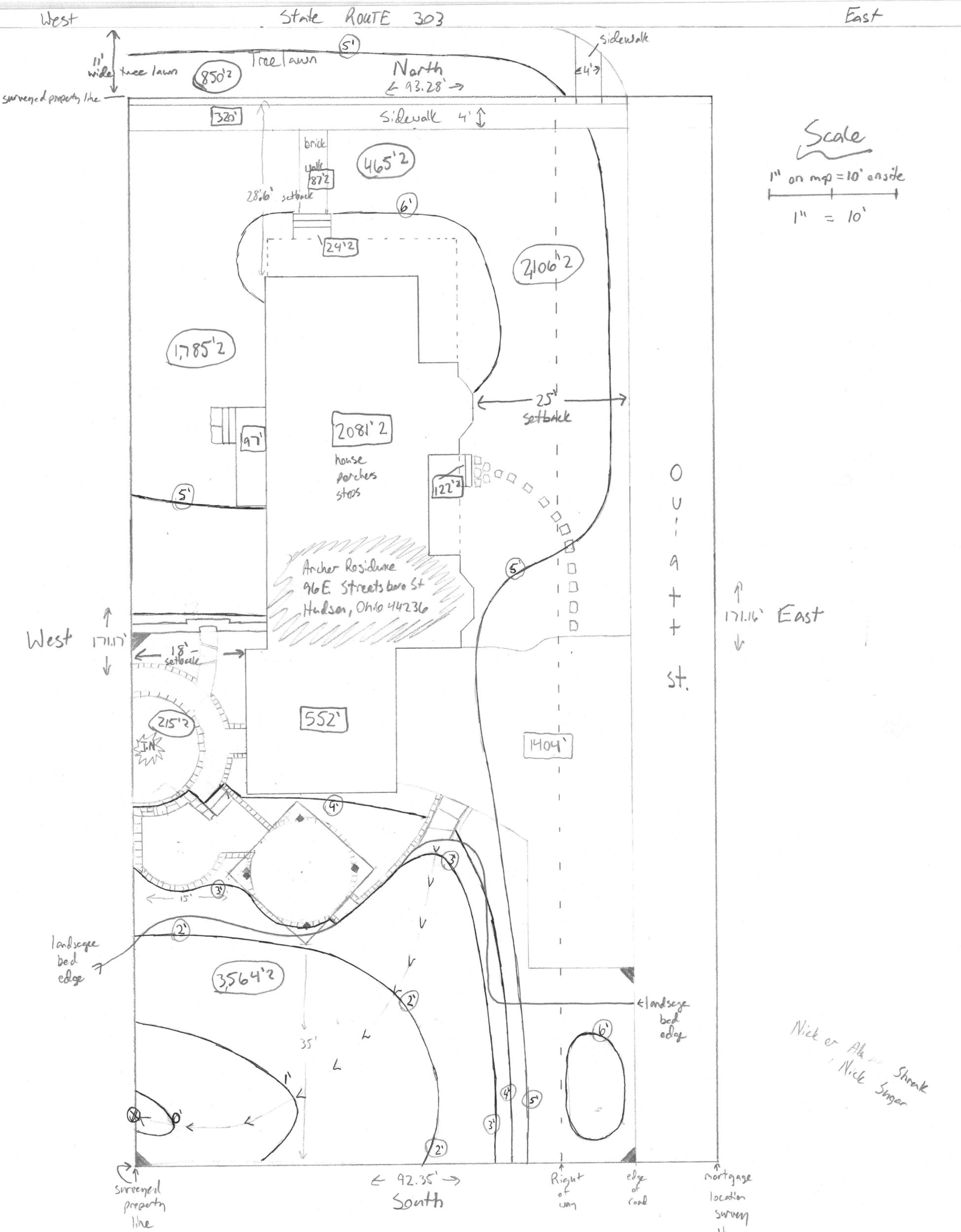
C & A Order No.
CF187679

This is to certify to America Land Title Affiliates LLC

that a visual inspection of the property and buildings shown (if any) has been made and there are no apparent encroachments or visible easements unless otherwise shown. This service was not performed for the purpose of establishing boundary lines, and is not to be used for that purpose.

This Mortgage Location Survey has been prepared in accordance with Chapter 4733-38, Ohio Administrative Code, and is not a boundary survey pursuant to Chapter 4733-37, Ohio Administrative Code.

Stephen P. Campbell



Scale
 1" on map = 10' onsite
 1" = 10'

West
 171.17'

171.16' East

O
U
-
A
+
+
St.

Nick or Alvin Shrank
 Nick Singer

Contour lines 0' at (X), 1', 2', 3', 4', 5', 6'
 ← ← ← ← ← natural H₂O flow off driveway.

Pre-construction
 Impervious SA
 = 516'²

760'² all patio, retaining, steeper + pergola post SA.
 450'² existing stone work in proposed renovation area.

Within the
 new construction
 proposed SA,

Non impervious SA

- 650'² all new construction
 - 320'² sidewalks, concrete
 - 24'² + 87'² brick front walkway + steps
 - 122'² + 97'² west porch + steps + E. steps + walkway
 - 552'² Garage
 - 2081'² House attachments
 - 1404'² asphalt driveway
- 5,337'² Total**
 37%

12,632.40 Hudson records
 1,219.7 ft² Summit County
 according to tax records
 N-S (182) (80) EW = 14,560'²
 total 14,432'²

Previous SA

- Tree lawn = 850'²
- NW Lawn = 1785'²
- North front lawn = 465'²
- NE lawn + bed = 2,106'²
- Landscape bed adjacent garage = 215'²
- All landscape beds + lawn within corners = 3564'²

62% 8,985 total Permeable SA

existing lower steps installed as landing

P
o
r
c
h

Scale

1" on map = 6' on site
1" = 6'

LEGEND

Herringbone PA blue full range of color siltstone pavers

Adirondack granite retention

Guillotined granite slabs, steps

PA blue full range of color flagstone

Existing trees

Proposed trees

+ Center points of radius

Edged landscape beds

Western Red Cedar Pergola

Existing fence

Pergola posts

Lawn

Mulch beds

Asphalt Drive

Archer Residence
96 East Streetsboro Rd
Hudson, Ohio

Garage

Organic Roots

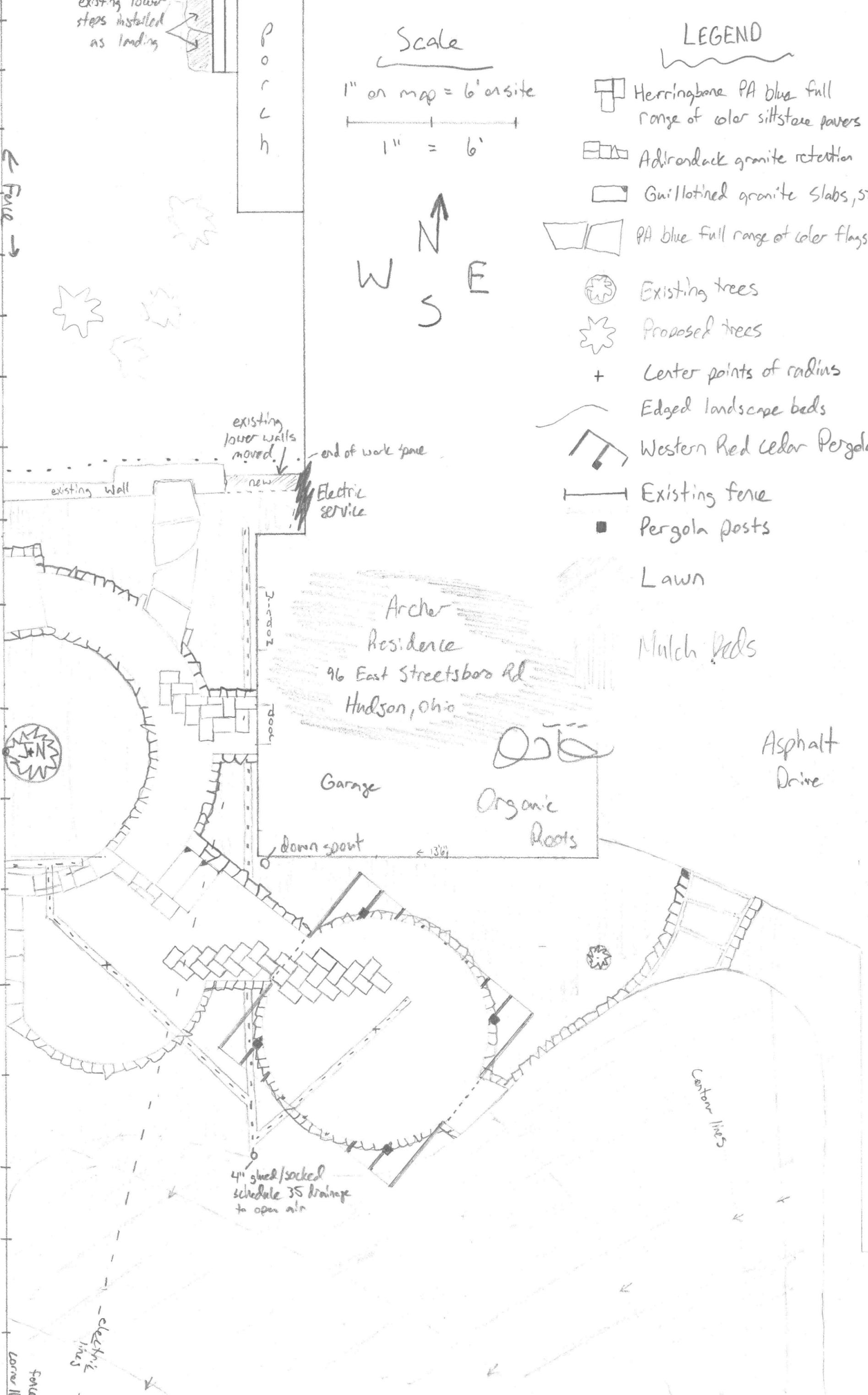
Contour lines

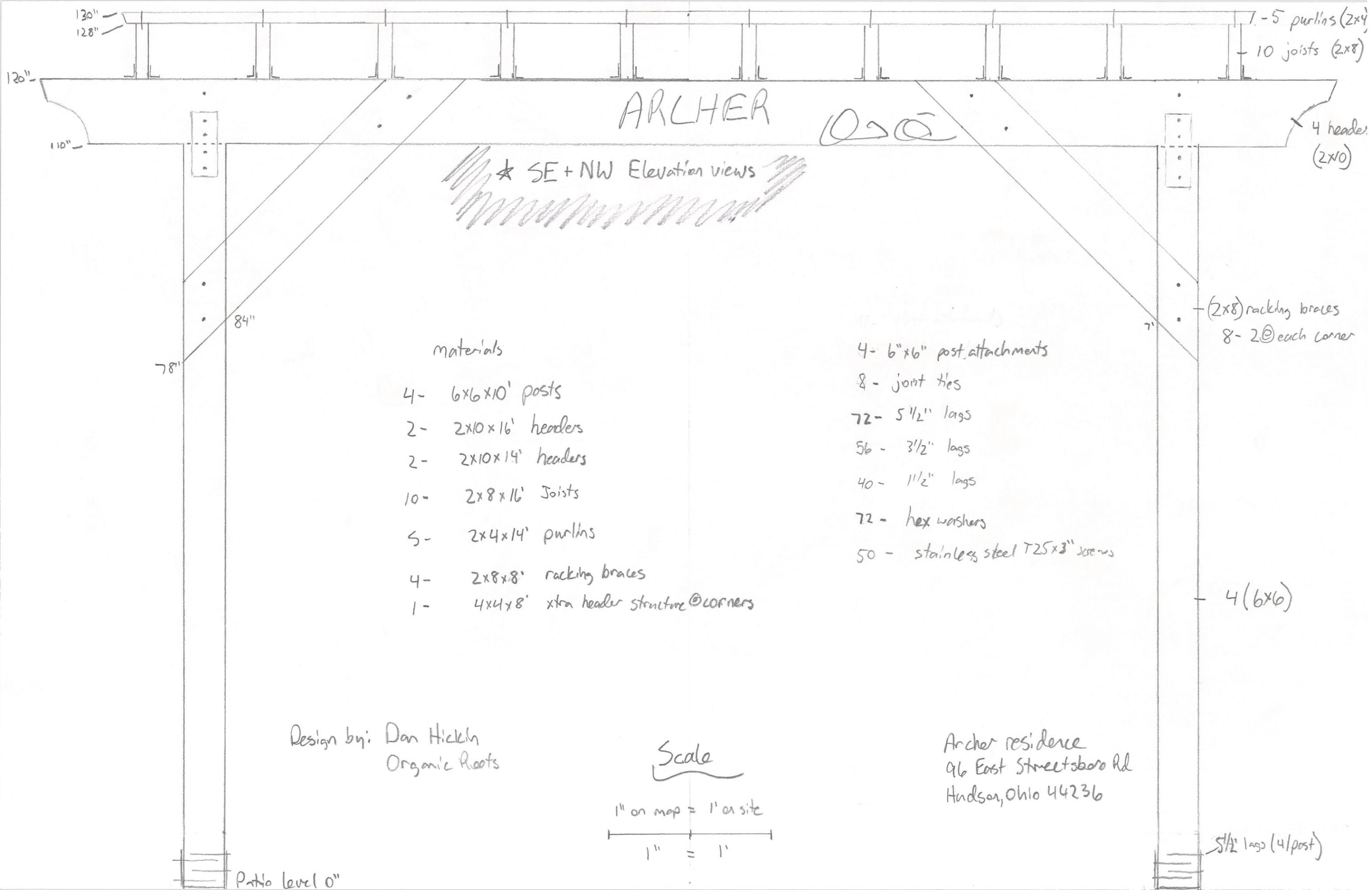
4" glued/sanded
schedule 35 drainage
to open air

electric lines

corner light

Fence





ARLHER

★ SE + NW Elevation views

1 - 5 purlins (2x4)
- 10 joists (2x8)

4 headers (2x10)

(2x8) racking braces
8 - 2 @ each corner

materials

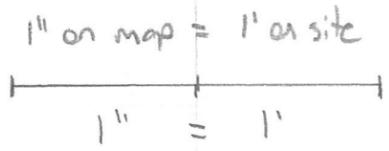
- 4 - 6x6x10' posts
- 2 - 2x10x16' headers
- 2 - 2x10x14' headers
- 10 - 2x8x16' Joists
- 5 - 2x4x14' purlins
- 4 - 2x8x8' racking braces
- 1 - 4x4x8' xtra header structure @ corners

- 4 - post attachments
- 4 - 6"x6" post attachments
- 8 - joint ties
- 72 - 5 1/2" lags
- 56 - 3 1/2" lags
- 40 - 1 1/2" lags
- 72 - hex washers
- 50 - stainless steel T25x3" screws

4 (6x6)

Design by: Dan Hicklin
Organic Roots

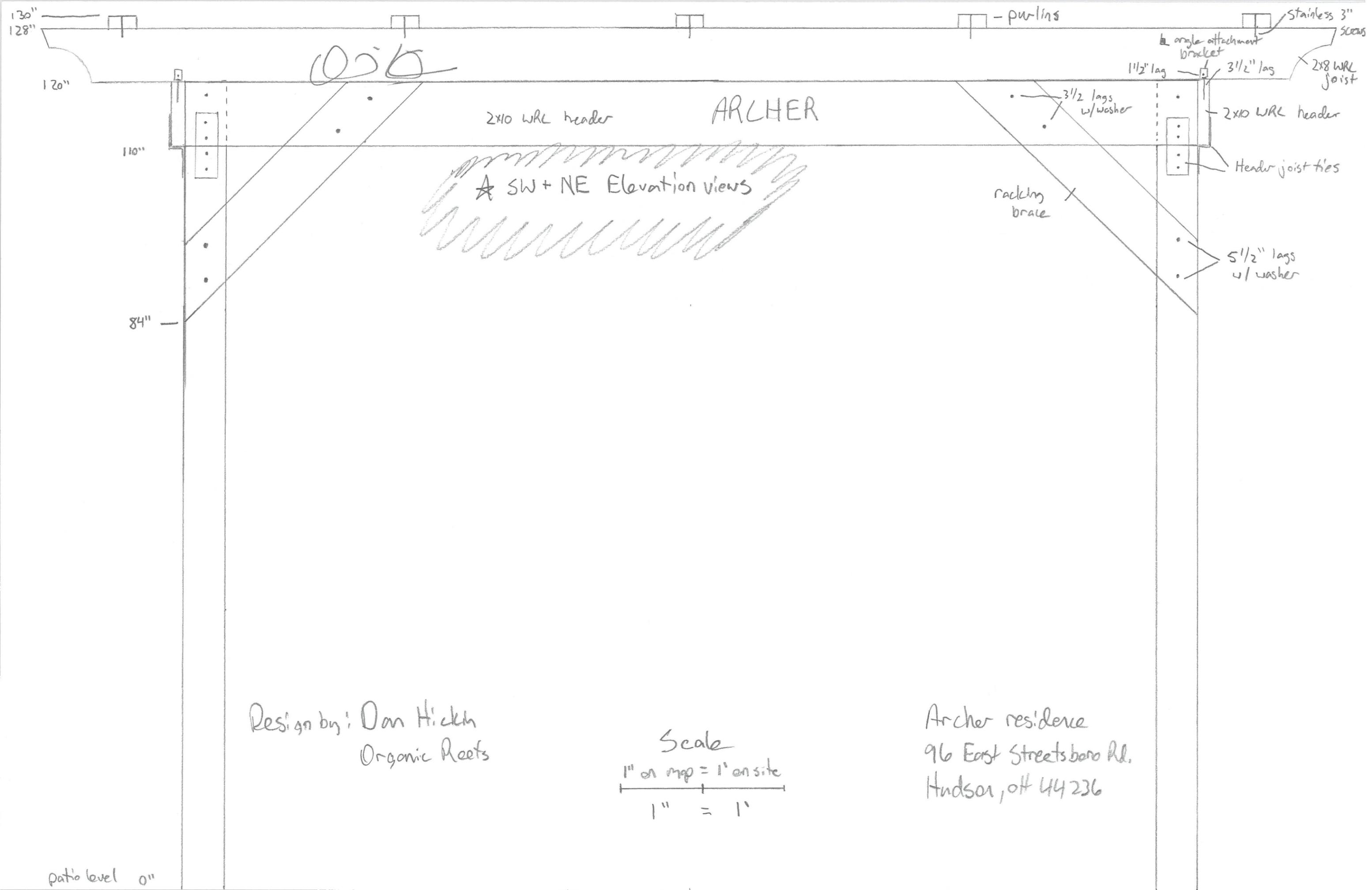
Scale



Archer residence
96 East Streetsboro Rd
Hudson, Ohio 44236

Patio level 0"

5 1/2" lags (4/post)



OSB

ARCHER

2x10 WRL header

★ SW + NE Elevation views

racking brace

angle attachment bracket

stainless 3" screws

1 1/2" lag

3 1/2" lag

2x8 WRL joist

3 1/2 lags w/washer

2x10 WRL header

Header joist ties

5 1/2" lags w/washer

Design by: Dan Hickm
Organic Reefs

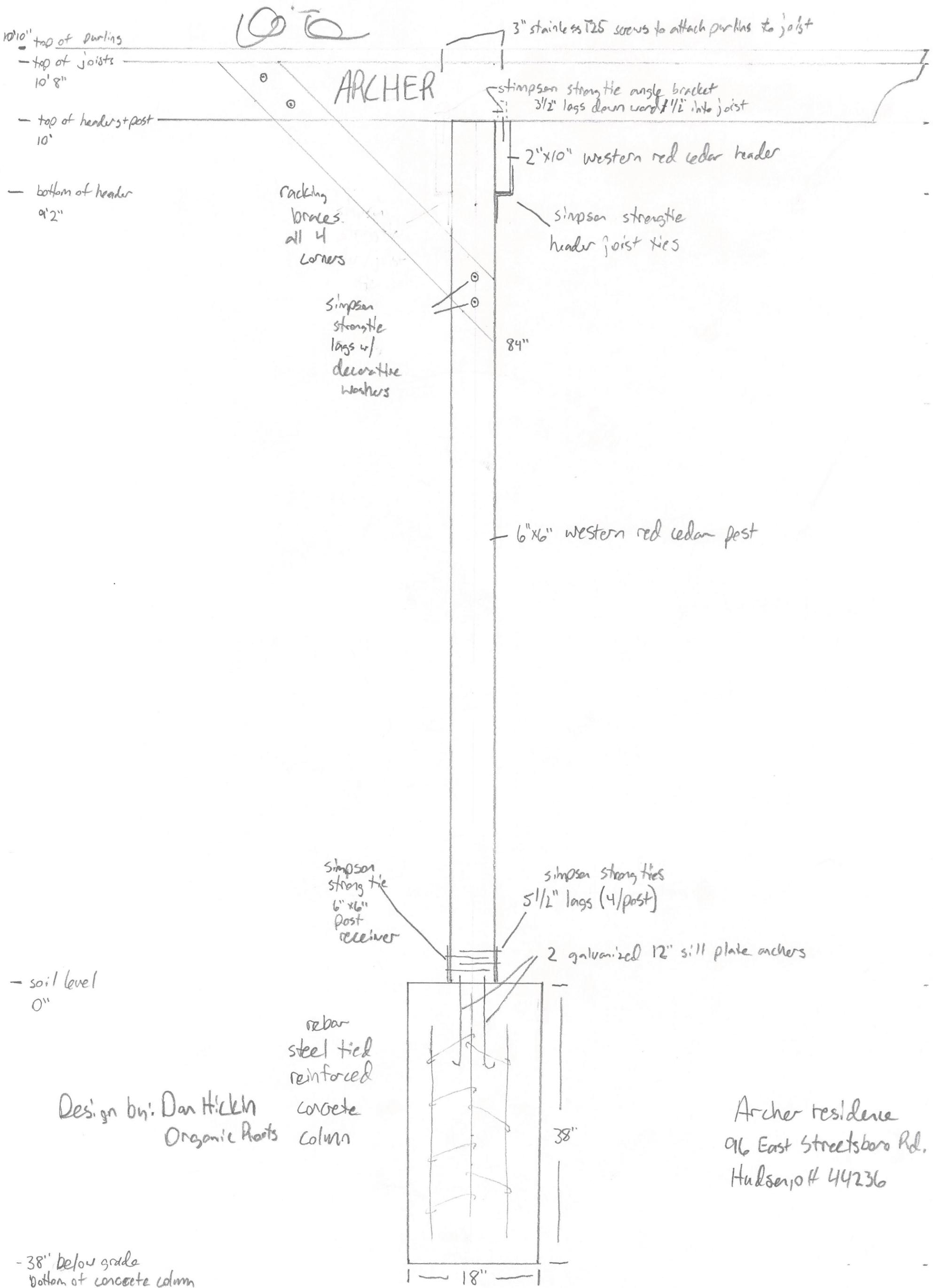
Scale
1" on map = 1" on site
1" = 1"

Archer residence
96 East Streetsboro Rd.
Hudson, OH 44236

patio level 0"

Archer Pergola hardware detail

Scale
 1" on map = 1' on site
 1" = 1'



Design by: Dan Hickm
 Organic Roots

rebar
 steel tied
 reinforced
 concrete
 column

Archer residence
 916 East Streetsboro Rd.
 Hudson, OH 44236

- 38" below grade
 bottom of concrete column















