

COMMUNITY DEVELOPMENT • 115 Executive Parkway, Suite 400 • Hudson, Ohio 44236 • (330) 342-1790

DATE: July 7, 2016

TO: City of Hudson Planning Commission for July 11, 2016 Meeting

FROM: Greg Hannan, City Planner

Mark Richardson, Community Development Director

SUBJECT: Site Plan Review for Hudson Crossing Parkway – Spec industrial building at

Parcel #3009750

ZONING: District 6– Western Hudson Gateway

PC Case No: 2016-19

Project Introduction

Application has been received for proposed construction of a spec industrial building at the Hudson Crossing Business Park. The proposed project includes construction of a 125,000 sf facility with rear loading docks, 100 parking stalls, and 120 landbanked parking stalls.

The subject property is located within the interior of the Hudson Crossing Business Park within District 6 Western Hudson Gateway. The subject property is adjacent to Meyer Distributing to the north, large wetland areas to the east, and vacant land within the business park to the south and west.

The following information is attached to this report.

- 1. Preliminary comment letter from Greg Hannan, City Planner, dated June 23, 2016.
- 2. Preliminary comment letter from Thom Sheridan, City Engineer, dated July 7, 2016.
- 3. Site overview and architectural renderings submitted by Davison Smith Certo, Architects, Inc. received June 20, 2016.
- 4. Site improvement plans submitted by Polaris Engineering, received June 24, 2016.

Applicable Zoning District Standards, Section 1205

Use

Staff understands uses permitted by right within District 6 will occupy the facility. An administrative use certificate will be processed for each tenant, once known.

Dimensional Standards

The dimensional standards for lot width, lot frontage, and setbacks are acceptable based on the proposed parcel lines depicted. The plans depict splitting the existing 38 acre parcel to establish

an approximately 18 acre parcel accommodating the development. An administrative lot split application must be submitted to establish the proposed parcel.

Pedestrian Amenities

Sidewalks are required abutting a public street, along the building façade featuring a customer entrance, and along a building façade abutting a parking area. The widened sidewalk installed to the south of the development area should be installed along the applicable frontage of the development. Sidewalks should also be extended along the full frontage of the building façade as it contains the public entrance and abuts parking areas.

Applicable Zoning Development and Site Plan Standards, Section 1207

Staff compared the proposal to zoning development and site plan standards. We comment on the following:

Tree and Vegetation Protection

The proposed development area has been previously cleared. The limits of disturbance have been depicted on the plans.

<u>Wetland/Stream Corridor Protection</u>: Wetlands are located to the east of the development, outside of the project limits. The submitted plan complies with the previous approvals for the business park which established a wetland conservation easement at a 100 foot setback from the delineated wetlands and permits stormwater management basins at a 50 foot setback from the wetlands.

<u>Landscaping</u>: The concept site plan indicates appropriate areas to accommodate the necessary front yard, street trees, perimeter parking lot, and interior island landscaping. A final landscaping plan will need to be submitted and accepted prior to authorization to proceed.

Parking and Exterior Lighting: Industrial/manufacturing facilities are required to provide one space for each employee on the shift with the highest number of employees. The applicant has noted an anticipated parking demand at full occupancy of 164 spaces. The current proposal appropriately contains 100 paved spaces with an additional 120 landbanked parking spaces. Tenant specific parking needs will be assessed as use certificates are submitted for proposed tenants. An exterior lighting plan including photometrics must be submitted in compliance with applicable standards of Section 1207.18(g).

<u>Engineering</u>: City Engineer Thom Sheridan has submitted a preliminary review letter dated July 6, 2016. Additionally, Mr. Sheridan notes the preliminary plan is acceptance and review of the stormwater management system will be completed prior to authorization to proceed. Traffic reviews were completed for the full development as part of the final plat and improvement plans completed in 2003.

<u>Industrial Design</u>: Application for building design approval was submitted with the application for site plan approval. Staff notes the building design contains a precast wall panel system with two forward projecting entry masses containing stone veneer, large glass panels, and accent

lighting. Landscaping is also proposed along the front façade of the building. The proposed loading docks have been sited at the rear elevation. The design subcommittee has reviewed the proposed submittal and recommends Planning Commission acceptance of the design at the July 11, 2016 meeting.

Findings:

The staff finds that the application is in substantial compliance with the use, zoning development site plan, and other governmental regulations, and land disturbance and grading review contained in Section 1204.04.

Required PC Action, Chapter 1203.09(g)(3)

The PC shall consider the development application, the staff report, and then take final action. PC shall approve, approve with conditions, or deny the application based on its compliance with the appropriate review standards. All decisions of the Commission shall be based on findings of fact related to the relevant standards of the Code.

Recommendation

Approve the site plan in Case 2016-19 for Parcel #3009750, Hudson Business Park according to plans received June 20 and June 24, 2016 with the following conditions:

- 1. An administrative lot split application must be approved by the City of Hudson for the proposed lot split.
- 2. Incorporate a widened sidewalk along the frontage of the development. Sidewalks must also be extended along the full frontage of the front building façade.
- 3. A final landscaping plan must be submitted and accepted to comply with applicable front yard, street tree, perimeter parking lot, and interior island landscaping requirements.
- 4. An exterior lighting plan including photometrics must be submitted in compliance with applicable standards of Section 1207.18(g).
- 5. The comments of City Engineer Thom Sheridan must be addressed per the July 7, 2016 correspondence.
- 6. Planning Commission accepts the recommendation of the Design Subcommittee for Development in Districts 6 and 8 and approves the project design.
- 7. The applicant shall install silt fencing and/or polypropylene fencing to mark and protect the approved clearing limits, which shall be maintained by the applicant.
- 8. Satisfaction of the above conditions prior to scheduling of a preconstruction meeting with City Officials and no clearing or construction of any kind shall commence prior to the issuance of a Zoning Certificate.



COMMUNITY DEVELOPMENT • 115 Executive Parkway, Suite 400 • Hudson, Ohio 44236 • (330) 342-1790

June 23, 2016

Linda Sherman Premier Development Partners 5301 Grant Ave Cleveland, Ohio 44125

RE: PC 2016-19-Site Plan Review for Hudson Crossing – 125,000 square foot spec building

Ms. Sherman-

Thank you for your submission of the site plan application for the proposed 125,000 square foot spec building at Hudson Crossing Business Park. The application has been scheduled for the Planning Commission (PC) agenda for the July 11, 2016 meeting. In preparation for such, I am forwarding preliminary comments related to compliance with the Land Development Code (LDC). In addition to these comments, engineering design related comments will be forwarded under separate cover. Our goal is to provide you an opportunity to respond to the below comments by July 1, 2016. We will revise the comments accordingly for the staff report scheduled to be issued on July 6, 2016. Additionally I am available to meet and review the comments at your convenience.

Submittal requirements:

The following items must be incorporated within the base submittal for Planning Commission review:

- 1. Site survey of the property including existing two foot contours.
- 2. Anticipated utility layout.
- 3. Preliminary grading design at one foot contour
- 4. Submittal of administrative lot split application

Chapter 1205 – District Regulations

1205.09 District 6:

Use: Staff understands uses permitted by right within District 6 will occupy the facility. An administrative use certificate will need to be submitted for each tenant, once known.

Dimensional standards: The dimensional standards for lot width, lot frontage, and setbacks are acceptable. We understand the subject parcel No. 3009750 will be split to create a lot to match the

needs of the project. We assume the new lot line will form a lot that meets Hudson's requirements and meets the current and future needs of the project.

Pedestrian Amenities

Required: Sidewalks are required abutting a public street, along the building façade featuring a customer entrance, and along a building façade abutting a parking area. The widened sidewalk installed for a portion of the development should be extended along the applicable frontage of the split parcel. Sidewalks should also be extended along the full frontage of the building façade as it contains the public entrance and abuts parking areas.

Section 1207 Zoning Development and Site Plan Standards

The proposed development is subject to compliance with Section 1207.18 Zoning and Development Standards for District 6 and 8

Maximum Impervious Surface

Permitted: 75%

Proposed: Acceptable

Tree and Vegetation Protection

Limits of disturbance need to be depicted on the plans.

Wetland/Stream Corridor Protection

Wetlands are located to the east of the development, outside of the project limits. The submitted plan depicts the building and parking lots outside of the wetland conservation easement recorded as part of the subdivision plat in 2006.

Landscaping

- i. Front yard landscaping: The development shall incorporate at least 10% of the front yard setback with a mix of trees, shrubs, and planting beds.
- ii. Perimeter parking landscaping: 10 foot depth must be incorporated between the street and the parking lot.
- iii. Street trees shall be incorporated along the Hudson Crossing Parkway in consultation with the City Arborist.
- iv. Interior island landscaping: Parking areas are required to incorporate 160 sq ft of interior landscaping per 10 spaces.

Comment: The submitted concept landscape plan demonstrates the required landscaping can be accommodated.

Stormwater Management Design to be reviewed by City of Hudson Engineering Dept.

Parking

- i. Count: Industrial/manufacturing facilities are required to provide one space for each employee on the shift with the highest number of employees. The application has submitted documentation regarding the anticipated parking needs of the facility.
- ii. Stall dimensions: Proposed dimensions are acceptable.

iii. Exterior lighting: a lighting plan including photometrics is required prior to the issuance of a zoning certificate.

<u>Traffic Analysis</u>: Based on review of the 2003 Development Agreement, staff does not anticipate the need for roadway improvements. The need for a trip generation report will be determined by the Engineering Department.

<u>Design Review Committee for District 6 and 8</u>: The architectural design will be reviewed by the subcommittee for compliance with Section 1207.18(h) with a recommendation forwarded to the Planning Commission.

<u>Lot Split</u>: Please submit an administrative lot split application for the proposed parcel. The application can be accessed at http://www.hudson.oh.us/DocumentCenter/View/545.

Summary:

Please address the below summary items:

- 1. Incorporate the following items into the base submittal for review by the Planning Commission:
 - a. Site survey of the property including existing two foot contours.
 - b. Anticipated utility layout
 - c. Preliminary grading design at one foot contour
 - d. Submittal of administrative lot split application
- 2. Incorporate the widened sidewalk along the applicable frontage. Sidewalks must also be extended along the full frontage of building façade.
- 3. The following items do not need to be revised prior to PC review; however, will need to be further reviewed prior to release of a zoning certificate:
 - a. The submitted concept landscape plan demonstrates the required landscaping can be accommodated; however a planting plan will need to be submitted.
 - b. A lighting plan including photometrics will need to be submitted.
- 4. Submit an administrative lot split application for the proposed parcel

Please contact me for any assistance I can provide.

Sincerely,

Gregory P. Hannan, AICP City Planner

CC: Mark Richardson, Community Development Director Thom Sheridan, City Engineer

ENGINEERING ● 115 Executive Parkway, Suite 400 ● Hudson, Ohio 44236 ● (330) 342-1770

Date: July 7, 2016

To: Greg Hannan, City Planner, Community Development

From: Thomas J. Sheridan, P.E., P.S., City Engineer

Re: Hudson Crossing Site Plan Review

The City of Hudson Engineering Department has reviewed the plans submitted July 5, 2016. Note: The City of Hudson Engineering Standards (Engineering Standards) and Land Development Code (LDC) are available online at the City of Hudson Website www.hudson.oh.us under the Engineering Dept. and Community Development Department respectively. The standards are also available in print for a fee. Please contact our office (330-342-1770) if you would like a cost for the printed version.

The Preliminary Site Plan is approved with the following comments:

- No major issues with the preliminary site plan.
- The storm water management calculations shall be submitted for review or a letter from the professional engineer performing the site plan design shall review the existing overall development storm water management plan, if this site was included in the original design.
- The City will perform a full review of the plans when the final site plans are submitted.

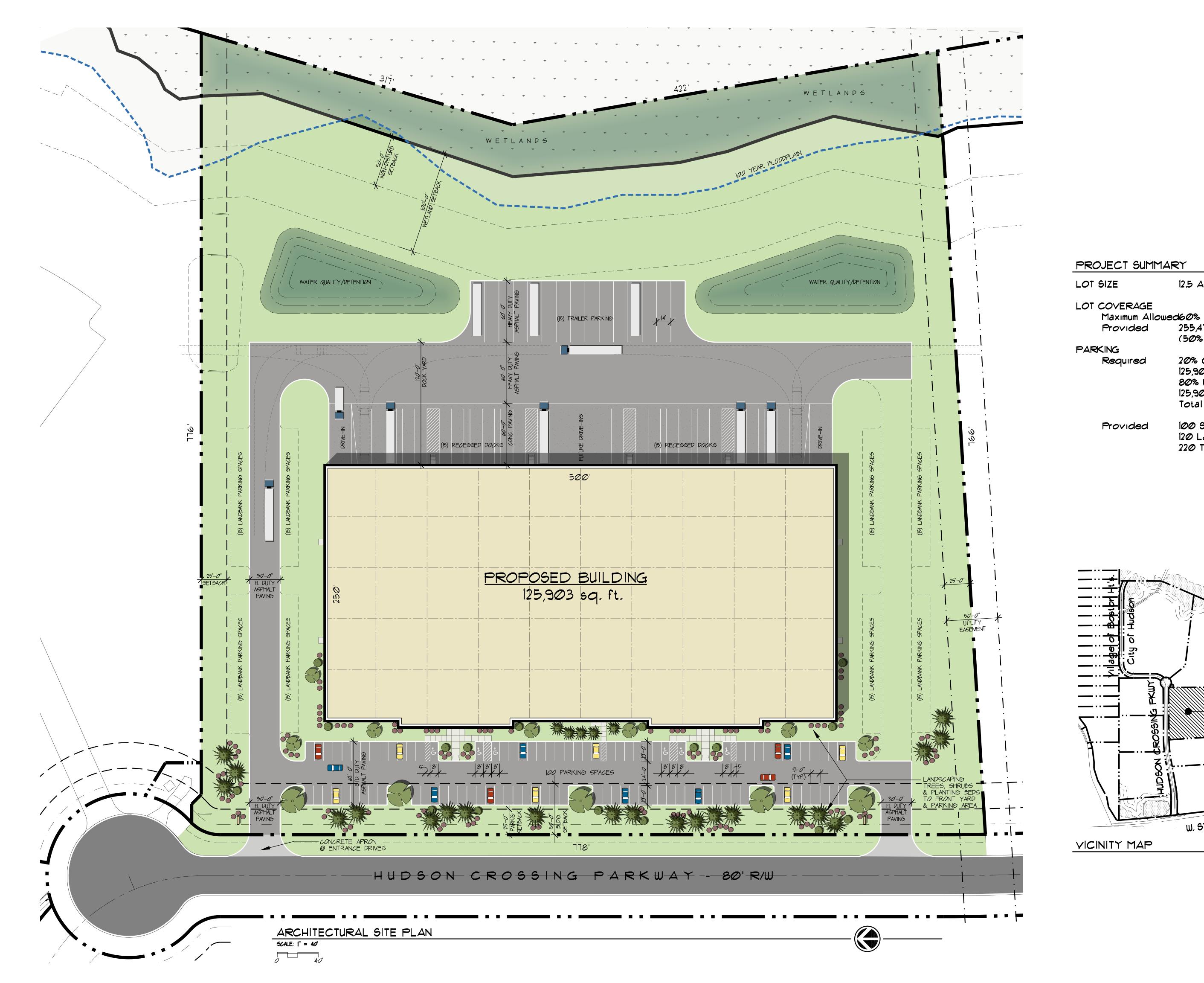
If you have any questions, please contact our office.

Sincerely,

TjS

Thomas J. Sheridan, P.E., P.S. Hudson City Engineer

C: File.







26031.B CENTER RIDGE RD. WESTLAKE, OHIO 44145 TELEPHONE: 440.835.3957 FACSIMILE: 440.835.4042 Miderto@dscarchitects.com

PLANNING COMMISSION

12.5 Acres

255,478 sf / 545,421 sf = 47%

20% Office 9 1/400 (minimum)

125,903 × 2/400 = 63 Spaces

125,903 x .8/1,000 = 101 Spaces

PROJECT SITE

W. STREETBORO STREET S.R. 303

Total = 164 Spaces Required

100 Spaces provided 120 Landbank spaces 220 Total spaces available

(50% w/ landbank parking)

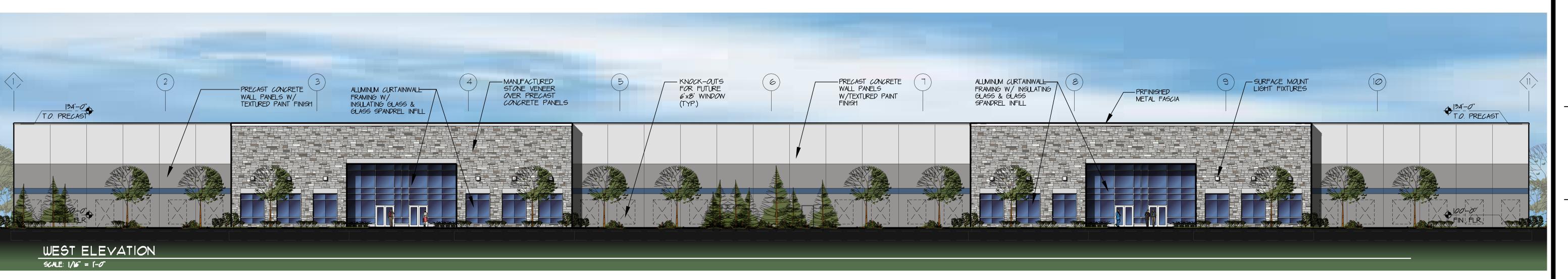
80% Warehouse 9 1/1,000

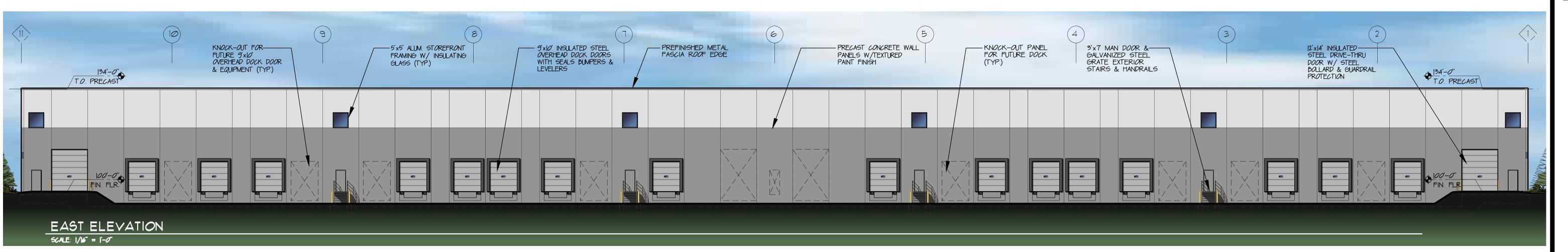
PRELIMINARY NOT FOR CONSTRUCTION

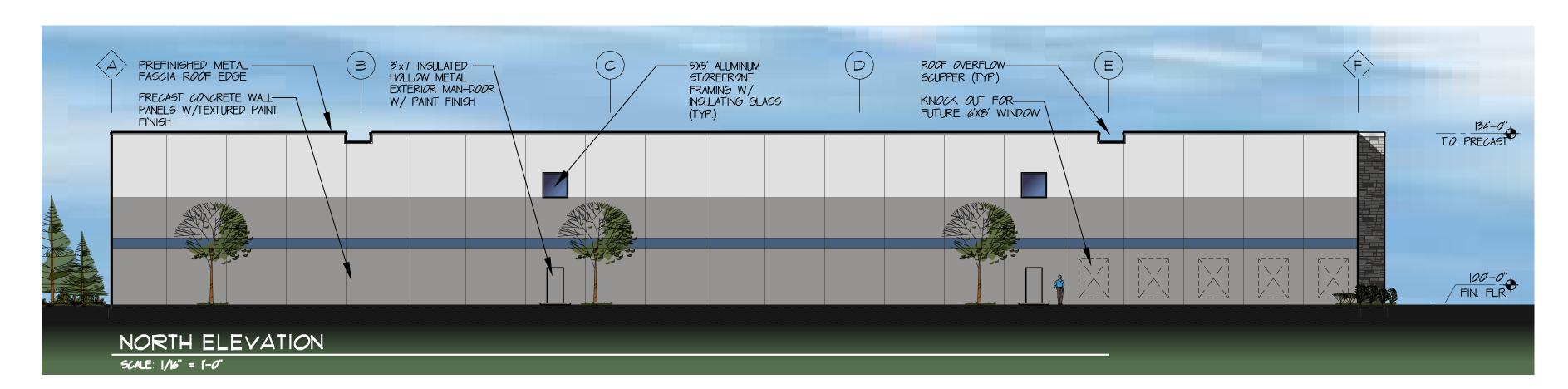
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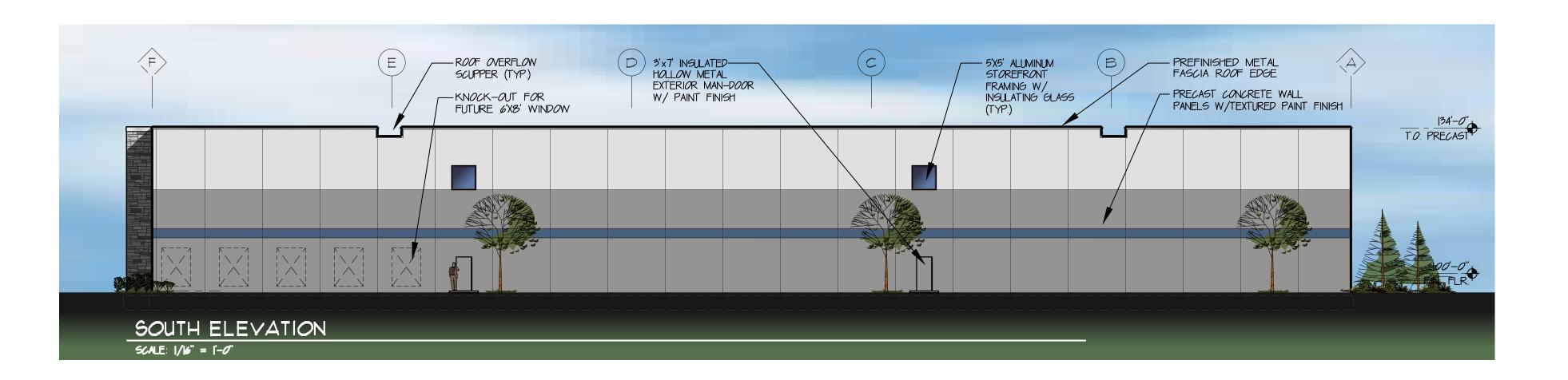
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> Drawing Number: SP.













ARCHITECTS, INC.

26031.B CENTER RIDGE RD.
WESTLAKE, OHIO 44145

TELEPHONE: 440.835.3957
FACSIMILE: 440.835.4042
Miderto @ dscarchitects.com

Date:
PLANNING COMMISSION
06.20.16

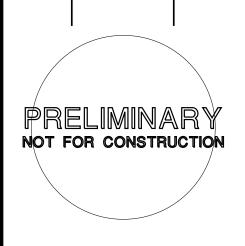
Approved By:
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HUDSON 125

FICE / WAREHOIUSE FACILITY

DSON CROSSING PARKWAY

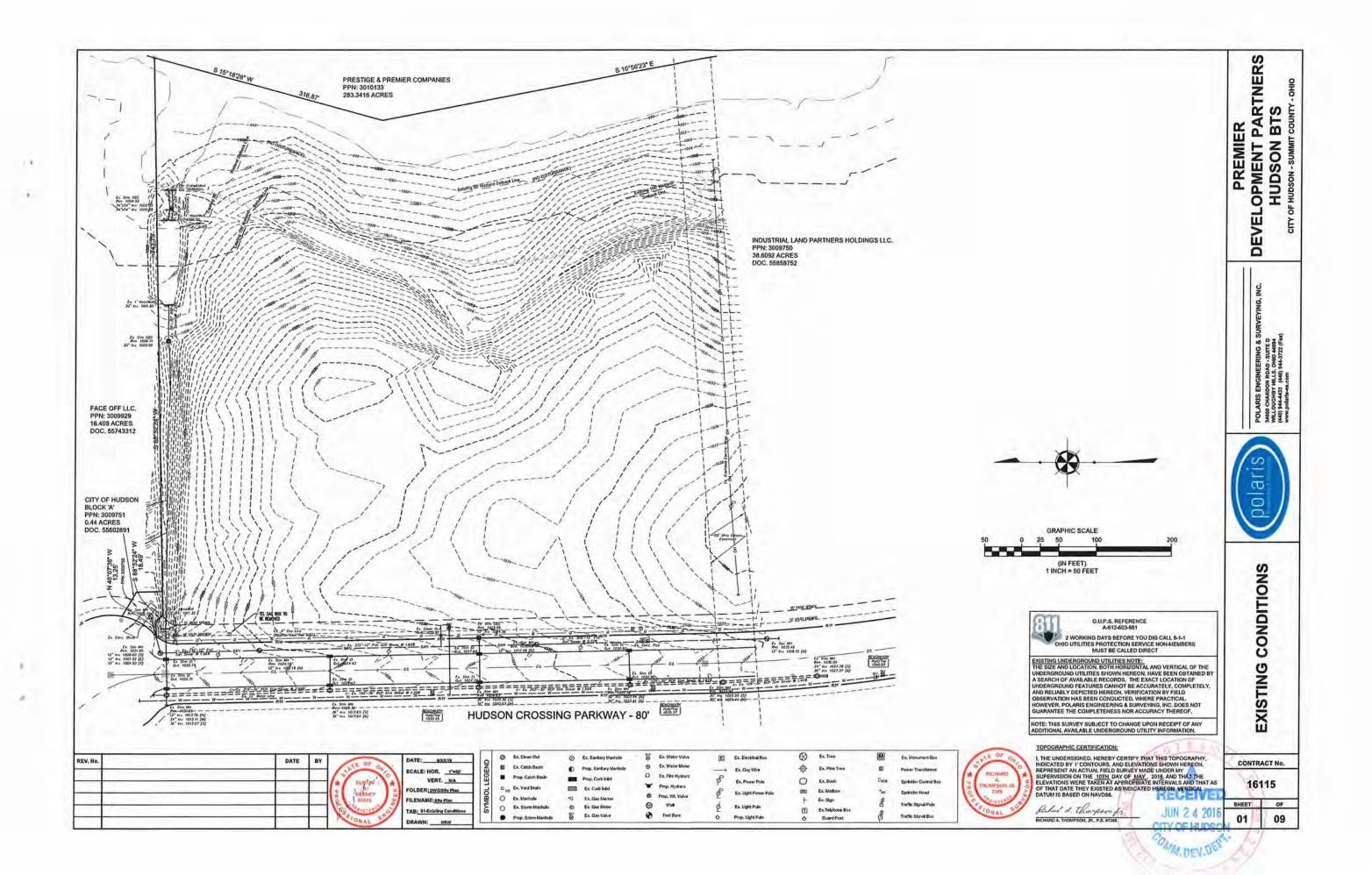
HUDSON, OHIO

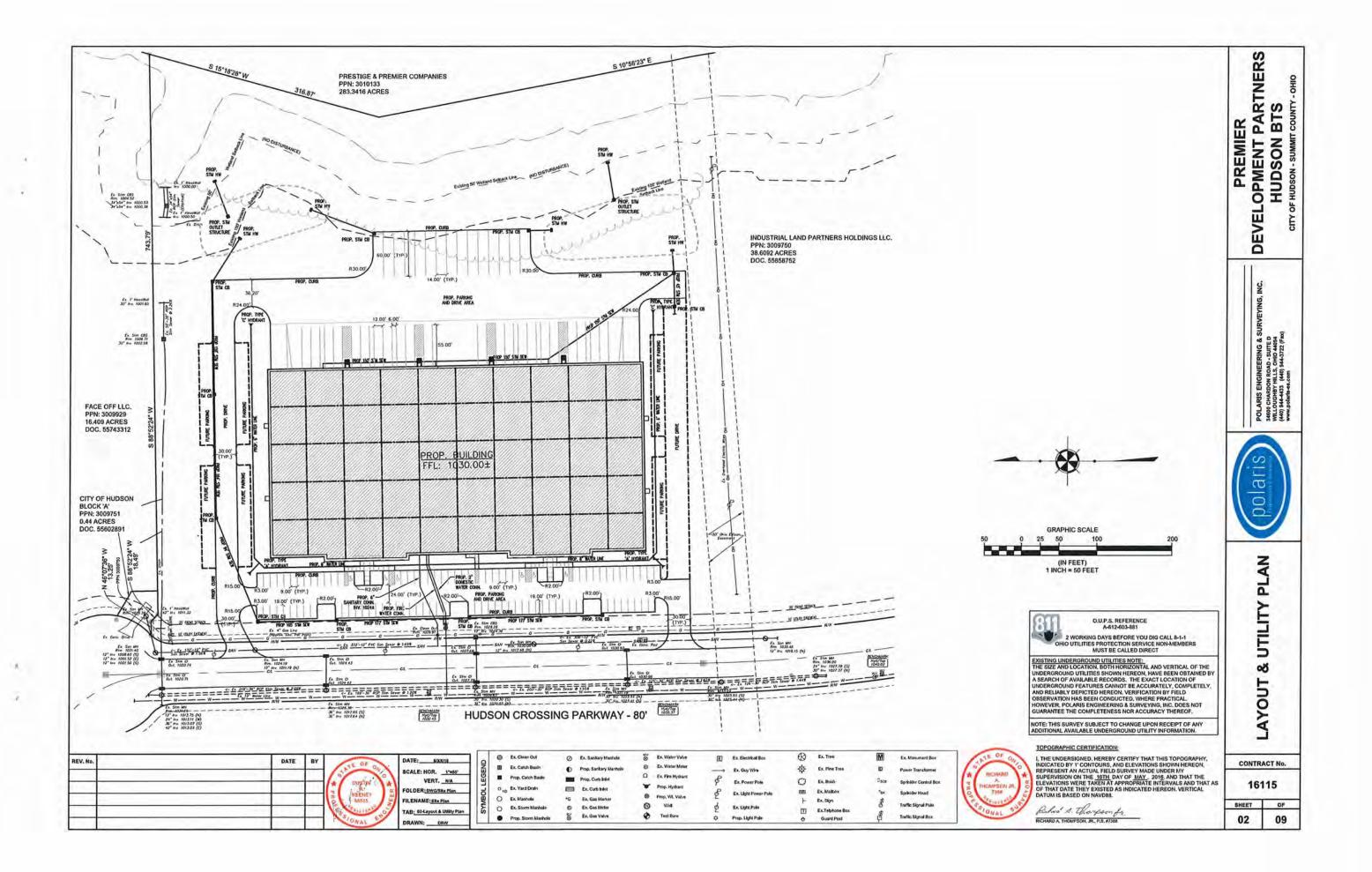


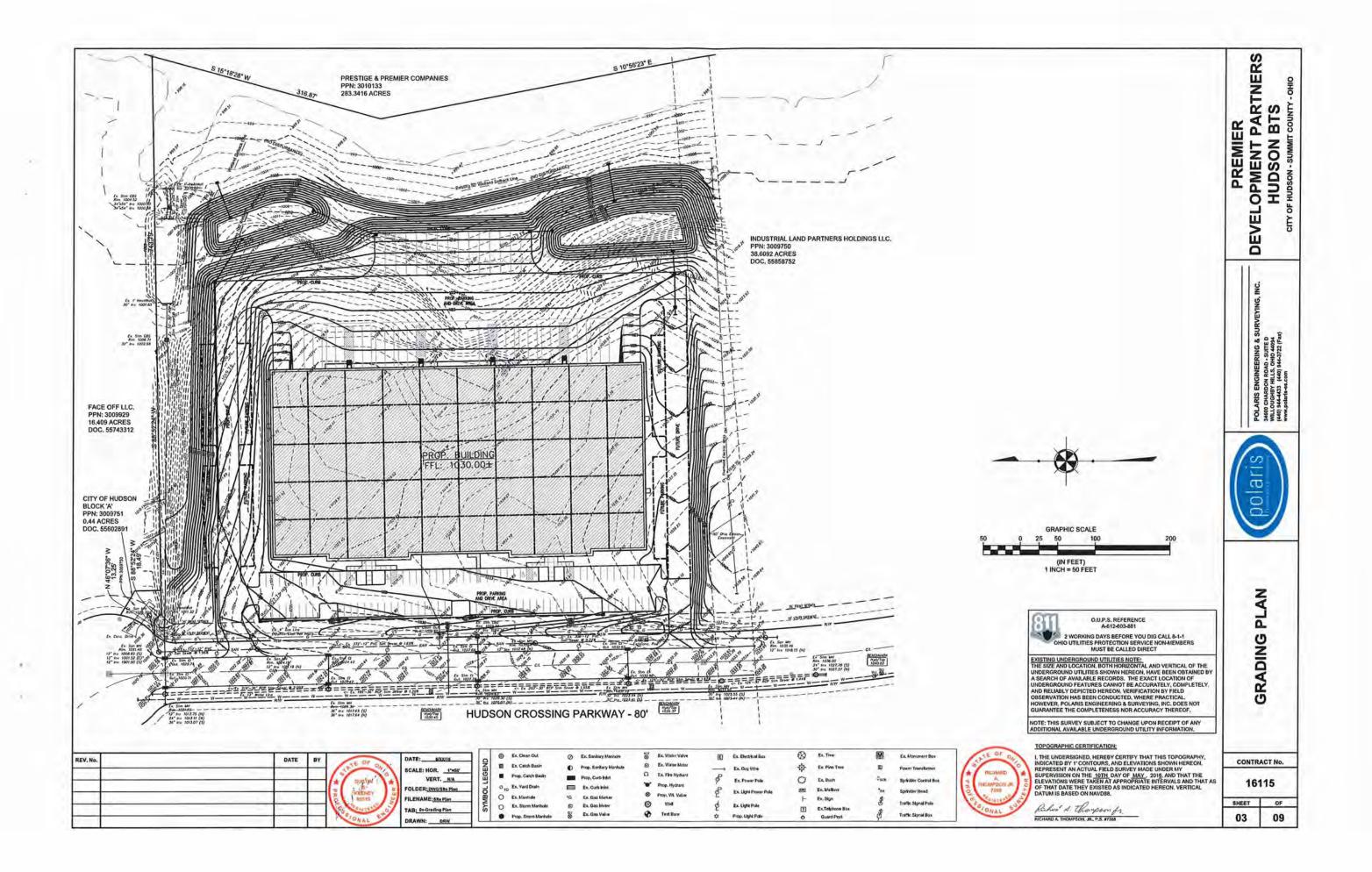
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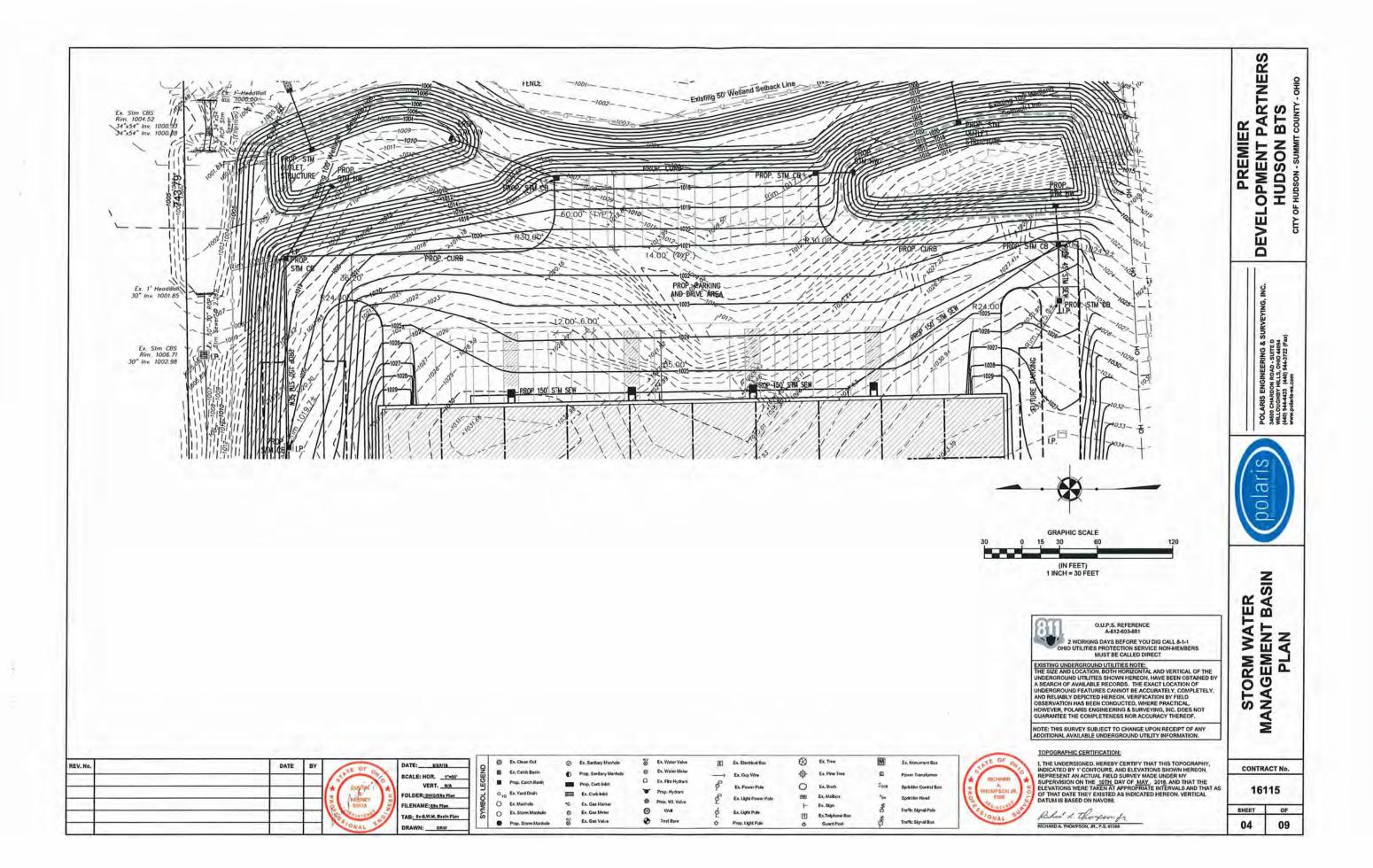
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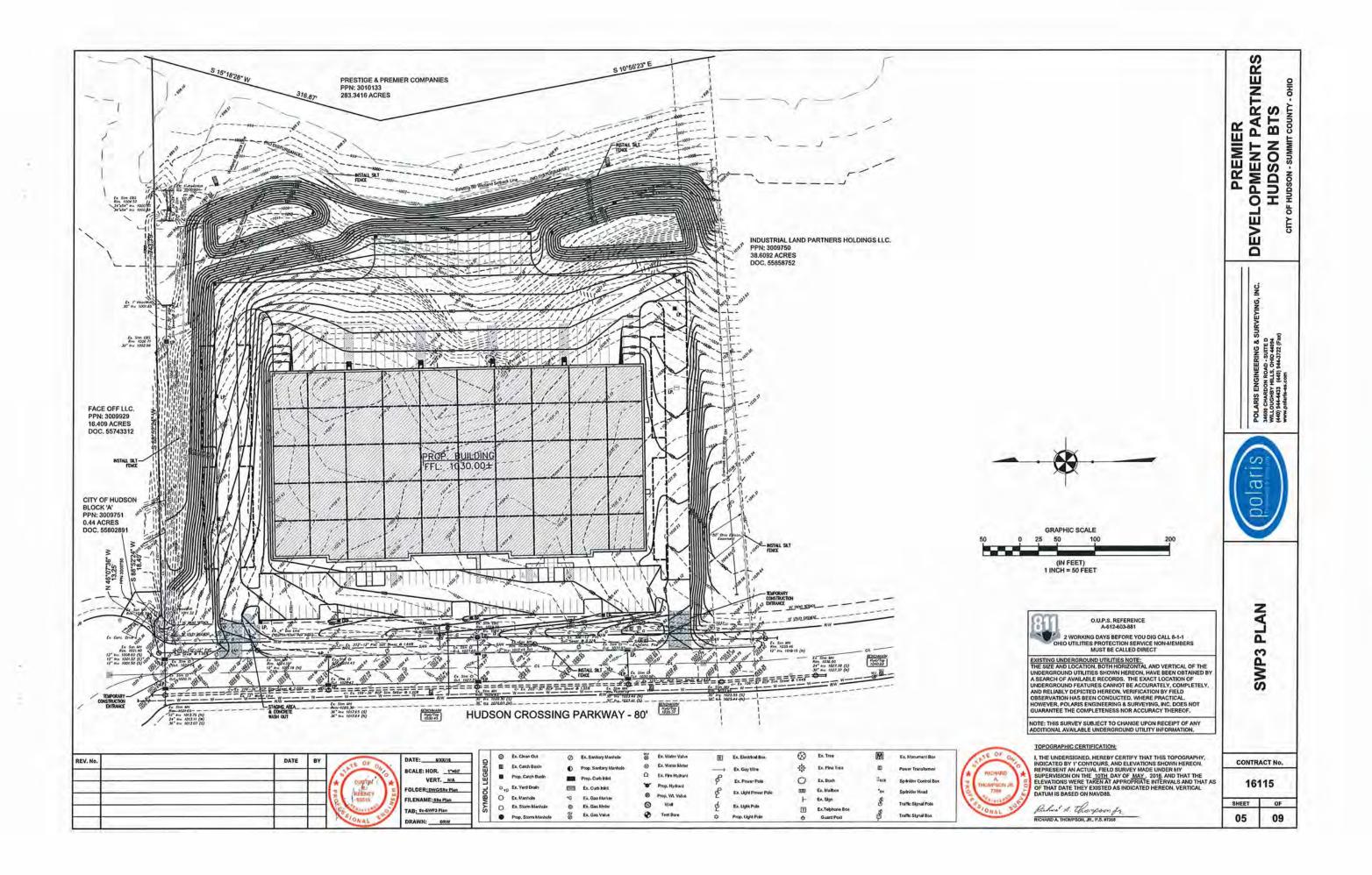
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NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT INFORMATION

PERMITEE (DEVELOPER)

CO-PERMITEE (CONTRACTOR)

GENERAL EROSION AND SEDIMENT CONTROL NOTES

EROSION CONTROL SHALL CONSIST OF TEMPORARY CONTROL WEASURES AS DETAILED ON THE PLANS OR ORDCRED BY THE GOVERNING AGENCY DURING THE LIFE OF THE CONTRACT TO CONTROL SOIL EROSION AND SEGMENTATION THROUGH USE OF EROSION CONTROL PERMANENT BEST MANAGEMENT PRACTICES (BUP'S).

ADDITIONAL EROSION CONTROL BUP'S MAY BE MANDATED BY THE GOVERNING AGENCY AT ANY TIME DURING THIS PROJECT AS UNFORSEEN SITUATIONS MAY ARISE THAT WARRANT FURTHER EROSION AND SEDIMENT CONTROL PRACTICES.

TEMPORARY EROSION AND SEDMENT CONTROL ITEMS. THE LOCATION AND SIZE OF WHICH ARE DETAILED ON THE PLANS, SHALL BE INSTALLED BY THE CONTRACTION PRIOR TO COMMICIENT OF MY CLEARING OR EXPATIMENT OF PERMANENT CONTRIBUTES THAT REQUIRE ADDITIONAL OR MODIFIED TEMPORARY OR PERMANENT BUYES SHALL BE APPROVED BY THE DESIGN ENGINEER AND REFLECTED ON THE REVISED STORM MATER POLLUTION PREVIOUS PLAN (SIRES).

SEDIMENT BASINS, SEDIMENT TRAPS, AND PERIMETER SEDIMENT CONTROLS, SMALL BE IMPLEMENTED AS THE FREST SIEP OF GRADING AND WITHIN 7 DAYS FROM THE START OF GRUDDING. THLY SMALL CONTINUE TO FUNCTION UNTIL DISTURBED AREAS ARE RE-ESTABLISHED WITH TEMPORARY VEGETATION. NO SEDIMENT CONTROLS SMALL BE PLACED IN A STREAM.

TRENCH DEWATERING OR GROUND WATER, WHICH CONTAINS SEDWENT SHALL PASS THROUGH A SEDWENT SETTLING BASIN OR GUNLLY FFFECTIVE SEDWENT CONTROL DEVOCE. ALTERNATIVES WAY INCLUDE DEWATERING INTO SUMP PIT, FLITER BAG OR EXISTING VEGETATED UPSLOPE AREA SEDWENT WATER SHALL HOT DE DISCHARGED ID STREAMS OR THE STORM SEMER SYSTEM.

THE SWP3, NOTES, DETAILED DRAWNOS AND ANY ADDENDING ARE INTENDED TO SERVE AS BASIC GUIDELINES. ALL EROSON CONTROL PRACTICES SHALL WEET THE STANDARDS AND SPECIFICATIONS OF THE OHIO DEPARTMENT OF NATURAL RESOURCES (ODNR) RAINWATER AND LAND DEVELOPMENT MARIJAL AND THE NOTES STORM WATER DISCHARGE PERMIT.

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STORMWATER QUALITY MAINTENANCE NOTES

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SEE "GEPA CONSTRUCTION SITE INSPECTION CHECKLIST" FOR INSPECTIONS OCCURRING DURING THE CONSTRUCTION PROCESS. SEE "OPERATION AND MAINTENANCE MEPECTION REPORT FOR STORMMATER MANAGEMENT POMOS" FOR INSPECTIONS OCCURRING AFTER SITE STABILIZATION. INSPECTION REPORTS CAN BE OBTAINED BY CONTACTING THE DESIGN ENGINEER.

INSPECTIONS AND REQUIRED MAINTENANCE OCCURRING AFTER THE SITE IS STABILIZED ARE THE RESPONSIBILITY OF THE OWNER OR A CHARLED ACENT OF THE OWNER. THE OWNER SHALL BE RESPONSIBLE FOR MY COSTS ATTRIBUTED TO REPAIRS AFTER SITE STRUIZATION.

SEE "OPERATION AND MAINTENANCE INSPECTION REPORT FOR STORMWATER MANAGEMENT PONDS" FOR TIMBE ON INSPECTION PROJECT. NOTE THAT ADDITIONAL INSPECTIONS MAY BE REQUIRED IN THE FIRST YEAR TO ENSURE PROPER OPERATION OF STORM WATER MANAGEMENT FACULTIES.

SUBMITTAL OF MAINTENANCE REPORTS SHALL BE PER THE CITY OF GLENWILLOW.

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NON SEDIMENT SITE POLLUTION CONTROLS

REV. N

NO SOLID OR LIQUIO WASTE, INCLUDING BUILDING MATERIALS, SHALL BE DISCHARGED IN STORMWATER RUNGEF. ALL NECESSARY BUP'S MUST BE IMPLEMENTED TO PREVENT THE DISCHARGE OF NOW-SEDMENT POLLUTANTS TO THE ORANINCE SYSTEM OF THE STEE OR SYSTEM OF THE STATE. NO EXPOSURE OF STORMWATER TO WASTE MATERIALS IS RECOMMENDED.

MANDLING OF TOXIC AND HAZARDOUS WASTES OF PREVENTS SHIELD, USE PRODUCTS UP - FOLLOW LABEL DIRECTIONS FOR DISPOSAL - REMOVE LIBS FROM EMPTY BOTHES AND CAIS WHEN DISPOSING IN TRASH - RECYCLE WASTES INVENEVER.

POSSUEL

DON': POUR INTO WATERWAYS, STORM DRAINS, ONTO GROUND — POUR INTO SINKS, FLOOR DRAIN OF
SEPTIC TAINS — BURY CHEMICALS OR CONTAINERS — BURN CHEMICALS OR CONTAINERS — MIX
CHEMICALS TOCETHER.

WASIE DISPOSAL
CONTINUERS (E.G., DUMPSTERS, DRUMS) SHALL BE AVAILABLE FOR DISPOSAL OF DEBRIS, TRASH,
HAZARDOUS OR PETROCEUM WASTES. ALL CONTINUERS MUST BE COVERED AND LEAK-PROOF. ALL
WASTE MATERIAL SHALL BE DISPOSED OF AT FACILITIES APPROVED FOR THE PERTIMENT MATERIAL.

CLEAN HARD DILL BRICKS, HARDENING CONCRETE, AND SOIL WASTE SHALL BE THEE FROM CONTAMINATION WHICH MAY LEACH CONSTITUENTS TO WATERS OF THE STATE.

CLEAN CONSTRUCTION WASTES THAT WILL BE DISPOSED INTO THE PROPERTY, SHALL BE SUBJECT TO ANY LOCAL PROMIBITIONS FROM THIS TYPE OF DISPOSAL.

CONSTRUCTION A DEMOLITION DEBRIS
ALL CONSTRUCTION & DEMOLITION DEBRIS (C&DD) WASTE SHALL BE DISPOSED OF IN AN OHIO EPA
APPROVED CADO LANDFAL AS REQUIRED BY OHIO REVISED CODE (ORC) 3714. CONSTRUCTION DEBRIS
MAY BE DISPOSED OF ORE-SITE, BUT DEMOLITION DEBRIS MAY BE DISPOSED IN A OHIO EPA APPROVED
LANDFILL ANSO, MATERIALS WHECH CONTAIN ASSESTIOS MUST ECOMPLY WITH AM PROLLUTION. REGULATIONS (SEE OHIO ADMINISTRATIVE CODE (OAC) 3745-20)

CONSTRUCTION CHEMICAL COMPOUNDS
AREA SHALL BE DESCRIATED FOR MIXING OR STORAGE OF COMPOUNDS SUCH AS FEBTILIZERS, LIVE
ASPHALT, OR CONCRETE, THESE DESIGNATED AREAS SHALL BE LOCATED AWAY FROM WATERCOURSES;
DRAWAGE, OTTOMES, FIELD DRAWIS, OR OTHER STORMWATER DRAWAGE AREA.

EQUIPMENT FUELING & MAINTENANCE SHALL BE IN DESIGNATED AREAS ONLY.

CONCRETE WASH WATER ALL DESIGNATED CONCRETE WASHOUT AREAS SHALL BE LOCATED AWAY FROM WATERCOURSES, DRAWAGE DITCHES, FELD DRAWIS, OR OTHER STORMWATER DRAWAGE AREAS.

CONTAMNATED SOILS
ALL CONTAMNATED SOIL DUST BE TREATED AND/OR DISPOSED IN OHIO EPA APPROVED SOLID WASTE
MANAGEMENT FACILITIES OR HAZARDOUS WASTE TREATMENT, STORAGE OR DISPOSAL FACILITIES

SPIL PREVENTION CONTROL & COUNTERMEASURES
A SPAL PREVENTION CONTROL AND COUNTERMEASURES (SPCC) PLAN MUST BE DEVELOPED FOR SITES
WITH DIEL ABOVE-CROUND STORAGE TANK OF 850 GALLONS OR MORE, TOTAL ABOVE-CROUND
STORAGE OF 1,330 GALLONS, OR BELOW-GROUND STORAGE OF 42,000 GALLONS OF FUEL

SPILL REPORTING REQUIREMENTS
THE CONTRACTOR SHALL CONTACT THE OHIO EPA AT 800-282-9378, THE LOCAL FIRE DEPARTMENT,
AND THE LOCAL EUROPECTY PLANNING COUNTIES IN THE EVENT OF A PETROLEUM SPILL (225
GALONS) OR THE PRESENCE OF SHEEK.

DUST CONTROLS/SUPRESSANTS
USED DIL MAY NOT DE USED AS A DUST SUPPRESSANT, NO DUST SUPPRESSANT SHALL BE APPLIED
HEAR CATCH DASHS STORM SEVERS OR OTHER DRAINAGE WAYS.

ARE PERMITTING REQUIREMENTS
CERTAIN ACTIVITIES ASSOCIATED WITH CONSTRUCTION WILL REQUIRE AIR PERMITS. ACTIVITIES
INCLUDING BUT NOT LIMITE TO WORKE CONCRETE BATCH PLANTS, MOBILE ASPHALT PLANTS,
CONCRETE CRUSHERS, LARGE GENERATORS, ETC, WILL REQUIRE SPECIFIC OHIO EPA AIR PERMITS FOR
INSTALLATION MO OPERATION.

PROCESS WASTE WATER/ALACHATE JAMAGEMENT
DISCHARGES INCLUDING BUT NOT LIMITED TO VEHICLE/AND OR EQUIPMENT WASHING, LEACHATE
ASSOCIATED WITH ORI-STE WASTE DISPOSAL, COMPRETE WASHING, LETC. ARE A PROCESS
WASTEWATER AND ARE NOT AUTHORIZED FOR DISCHARGE UNDER ONCOGOOD. ALL PROCESS WASTE
WATER MUST BE COLLECTED AND PROPERTY DISPOSEDS OF AT AN APPROVED DESPOSAL FACULTY.

SOIL STABILIZATION CONTROLS

CLEARNER OF CLEARNER AND CRADING SHALL BE CLEARLY MARKED ON THE SITE WITH SIGNAGE, FLAGONG AND/OR CONSTRUCTION FENCING.

THE CONTRACTOR SHALL LIMIT THE SURFACE AREA OF ERODABLE EARTH MATERIAL EXPOSED BY EXCAVATION, BORROW, AND FILL OPERATIONS AND PROVIDE MULDIATE PERMANENT OR TEMPORARY CONTROL MEASURES TO PREVENT CONTANINATION OF ADJACENT STREAMS OR OTHER WATER COURSES. LAKES, POINS, METAMOS OR OTHER AREAS OF WATER MPOUNDMENT.

CONSTRUCTION ENTRANCE
A STORED CONSTRUCTION ENTRANCE SHALL BE DISTALLED FOR ALL MODESS AS EDDRESS TO THE SITE
THE MINIMUM INDUSTRIESS OF THE DRIVE SHALL BE 20 FT. WIDE AND 50 FT. LONG. THE STORE SHALL
BE US WORSE DOTE WITH AN INDUSTRIES ARE SOCIETIES FOR THE PROPERTY BY THE BEST SHALLED PROPE
TO ANY CLEARNING AND ORDINERS. SERVICENTS SHALL BE REMOVED FROM TO ADWAYS DALY.

STABILIZATION
PERMAIENT AND TEMPORARY STABILIZATION ARE DEFINED IN PART VILLOF THE OEPA AUTHORIZATION
PERMAIENT AND TEMPORARY STABILIZATION ARE DEFINED IN PART VILLOF THE NATIONAL
POST STORM WATER DISCHARGE FLAMMATION SYSTEM OND EPA PERMIT INC. OHODOGOD EFFECTIVE DATE
4/71/04 = PSPRATICIO JAATE 4/20/13. DISTURBED AREAS MUST BE STABILIZED AS SPECIFIED IN THE
FOLLOWING TABLES BELOW.

TEMPORARY SEEDING
SEEDING AREAS SHALL BE INSPECTED AND WHERE THE SEED HAS NOT PRODUCED BOX COVER SHALL
BE RESECRED AS ACCESSARY BY THE CONTRACTOR. AREAS SHALL BE STABILIZED WITH MULCH WHEN
CONDITIONS PROMBIT SEEDING.

STRAW MULCHING SHALL BE APPLIED AT A RATE 2-3 STANDARD 45 LB. BALES PER 1000 SOUT. OF DISTURBED AREA OR 2 TOHS PER ACRE. ALL HYDROSEDONG MUST BE STRAW MULCHED ACCORDING TO THE ABOVE SPECTICATIONS UNLESS IT IS WATERED WEEKLY.

ALL DETENTION PONDS, RETENTION PONDS, WATER QUALITY STRUCTURES, SEDIMENT PONDS, SEDIMENT TRAPS, EARTHEN DIVERSIONS OR EMBANKMENTS SHALL BE SEEDED AND MULCHED WITHIN 7 DAYS OF

TEMPORAL	RY STABLIZATION
AREA REQUIRING TEMPORARY STABILIZATION	TIME FRAME TO APPLY EROSION CONTROL
ANY DISTURBED AREAS WITHIN 50 FT. OF A STREAM AND NOT AT FINAL GRADE	WITHIN TWO DAYS OF THE MOST RECENT DISTURBANCE IF THE AREA WILL REMAIN TOLE FOR MORE THAN 14 DAYS
FOR ALL CONSTRUCTION ACTIVITIES, ANY DISTURBED AREAS THAT WILL BE DORMANT FOR MORE THAN 21 DAYS BUT LESS THAN ONE YEAR, AND NOT WITHIN 50 FT. OF STREAM	WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE WITHIN THE AREA FOR RESIDENTIAL SUBDIVISIONS OF DISTURBED AREAS MUST BE STABILIZED AT LEAST SEVEN DAYS PRIOR TO TRANSFER OF PERMIT COVERAGE FOR THE INDIVIDUAL LOT(S)
DISTURBED AREAS THAT WILL BE IDLE OVER- WINTER	PRIOR TO ONSET OF WINTER WEATHER (NOV.1) STRAW MULCH 2 TO 3 BALES PER 1000 SQ.FT. AND OR 2 TONS PER ACRE.

EMPORARY	SUBNIC STOTICATIONS	
EEDING DA	290	

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WARDH 1 TO MUCUST 15 OHS	INLL FESCIE NAUN. RYCERASS FERCINAL RYCERASS THAL FESCIE ANNUAL RYCERASS	3 4 BJOEL 1 40 LB 1 40 LB 1 40 LB 1 40 LB
AUCUST 16 TO MOVEWEER 1 MPC	INLL FISOUE ANNUAL RYCORUSS WELST THAL FISOUE ANNUAL RYCORUSS FERENMAL RYCORUSS THAL TISOUE ANNUAL RYCORUSS THAL TISOUE ANNUAL RYCORUSS ANNUAL RYCORUSS ANNUAL RYCORUSS ANNUAL RYCORUSS ANNUAL RYCORUSS	2 0.05 E

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MOTE OTHER APPRIANCE SEED SPECIES MAY BE SUBSTITUTED DATE: SCALE: HOR. 1"60"

DATE

PERMANENT STABILIZATION

AREA REQUIRING PERMANENT STABILIZATION	TIME FRAME TO APPLY EROSION CONTROL		
ANY AREA THAT WILL LIE DORMANT FOR ONE YEAR OR MORE	MITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE		
ANY AREA MITHIN 50 FT. OF A STREAM AND AT FINAL GRADE	MITHIN THO DAYS OF REACHING FINAL GRADE		
ANY OTHER AREAS AT FINAL GRADE	WITHIN SEVEN DAYS OF REACHING FINAL GRADE WITHIN THAT AREA		

Seed Mix	16 /oc	lb. / 1000sq(i	Notes:
	Gener	av Use	
Creeping Red Fescue Domestic Ryegrass Kentucky Bluegrass Tall Fescue	20-40 10-20 10-20	1/2-1 1/4-1/2 1/4-1/2	
Deart Fescue	40	1	
	Steep	Books or Cut Stopes	
Tall Fescue	40	1	
Crawn Velch Tall Fescue	10 20	1/4	Do not seed later than August
Fint Peo Tall Fescue	20 20	1/2	Do not seed later than August
	Rood	Ditches and Seales	
Toll Fescue	40	1 1	
Dearf Fescue Kentucky Bluegrass	90 5	2 1/4	
	Lowns		
Kentucky Bluegrass Perennial Ryegrass	60 60	1 1/2	
Kentucky Bluegross Creeping Red Fescue	60	1 1/2	For Shaded areas

Note: other approved seed species may be substituted

PERMANENT STABILIZATION OF CONSTYNICE CHANNELS
OPERATORS SHALL INDETENTS SPICIAL MEASURES TO STABILIZE CHANNELS AND OUTFALLS AND
PREVENT ERGONE FLOWS. DEADLIES MAY INCLUDE SEEDING, DORNANT SEEDING (AS DEFINED IN THE
LATEST EDITION OF GOOR RAINWATER AND LAND DEVELOPMENT MANUALLY, MULCHING, FORSON
CONTROL MATTING, SODDING, RIPRAP HATURAL CHANNEL DESIGN WITH BID ENGINEERING TECHNIQUES
OR ROCK CHOCK DAMS.

TEMPORARY SEDIMENT CONTROLS

SALTERICE
SHEET HOW RUNDEF FROM DENIDED AREAS SHALL BE INTERCEPTED BY SALT FENCE OR DIVERSIONS
SHEET HOW RUNDEF FROM DENIDED AREAS SHALL BE INTERCEPTED BY SALT FENCE OR DIVERSIONS
SHEET ADAL CHARLES AND WATER RESOURCES FROM SEDMENT TRANSPORTED VA. SHEET
FLOW WHERE INTERIOED TO PROMDE SEDMENT CONTROL, SALT FENCES SHALL BE PLACED ON A LEVEL
CONTOUR. THE EPA PERMIT NO. OHCODODOS DOES NOT PRECLUDE THE USE OF OTHER SEDMENT
BARRIERS DESIGNED TO CONTROL SHEET FLOW RUNDEF. SUIT TRICE IS NOT PERMITTED TO BE USED
FOR CONTROLLING CONCENTRATED SURFACEWATER FLOW (ONLY SHEET FLOW).

THE SIZE OF THE DRAMAGE AREA THAT CAN BE TREATED BY SILT FENCE VARIES WITH TOPOGRAPHY THE FOLLOWING TABLE IS TO BE USED TO DETERMINE THE MAXIMUM UPSTREAM DISTANCE THAT IS ALLOWABLE TO BE TREATED BY THE SIT FENCE WE ORDER TO CHINCTION PROPERTY.

SLOPE		SLOPE LENGTH (FT)
0-2%	FLATTER THAN 50:1	250
2-10%	50:1-10:1	125
0%-20%	10:1-5:1	100
0x-33x	5:1-3:1	75
33X-50X	3:1-2:1	50
>50%	>2:1	25

UNIT PROTECTION
OTHER EROSION AND SECURENT CONTROL PRACTICES SHALL MINIMIZE SECURENT LADEN WATER ENTERING
ACTUR STORM DRAIN SYSTEMS, UNILESS THE STORM DRAIN SYSTEM DRAINS TO A SECURENT POND.
INLET PROTECTION IS MANDATORY WHERE SECURENT SETTING PONDS WILL NOT BE IMPLEMENTED.

TEMPORARY RUN-OFF CONTROLS

RIMERSIAL SMALES
STORMMARED DEVERSION PRACTICES SHALL BE USED TO NEEP RUNOFF AWAY FROM DISTURBED AREAS
AND STEEP SLOPES WHERE PRACTICAL. DIVERSIONS SHOULD BE USED IN LOCATIONS WHERE THE
ORDANIAGE AREA EXCECSO THE CAPADITY OF THE SIL FENELS. IN SUCH CASES, THE RUNOFF SHOULD
BE DIVERTED INTO A SEGMENT BASIN OR SEDIMENT TRAP. DIVERSION SWALES, DIKES OR BERNS, MAY
RECEIVE FROM AREAS UP TO 10 AGRES.

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CONSTRUCTION SEQUENCE NARRATIVE

- PROVIDE SAFE AND SECURE PEDESTRAIN AND VEHICULAR TRAFFIC CIRCULATION THROUGHOUT THE ENTRETY OF THE CONSTRUCTION SEQUENCE WITH WELL DETAILS CONSTRUCTION BOUNDAINES TO BE ACCESSED BY CONSTRUCTION PERSONNEL ONLY ALL REDGON CONTROLS ARE TO BE THROUGHOUT HIS PEDESTED BY THE SAFE YOUNG TO MAINTAINED THROUGHOUT THE REQUERD LIFE OF THE CONTROL AS SPECIFICD BY THE APPROVED SWP3 FLANS AND MARRATIVE. CONTRACTOR MUST REVIEW THE SWP3 AND MARRATIVE.
- CONTRACTOR SHALL COMPLETE AND SUBURT THE GEPA CO-PERMITTEE NOTICE OF INTENT (N.O.L.) APPLICATION. ALL OPERATORS AT THE CONSTRUCTION SITE ARE REQUIRED TO BECOME CO-PERMITTEES, INSTRUCTIONS AND FORMS CAN BE OBTAINED AT THE GEPA WEBSITE: http://www.docum.org/portols/35/storm/NO_eo-1_sirpdi
- INSTALL STONE CONSTRUCTION ENTRANCE FOR ACCESS TO CONSTRUCTION AREAS OF SITE.
- DELIVER CONSTRUCTION TRAILER TO SITE AND ESTABLISH TEMPORARY POWER AND TELEPHONE SERVICE
- 4. ALL TEMPORARY UTILITY SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- STAKEOUT LIVITS OF DISTURBANCE AND WISTALL DRANGE CONSTRUCTION FENCE TO CLEARLY DEMONSTRATE THE BOUNDARY OF THE RIPARIAN SETBACKS AS REQUIRED.
- 6. WISTALL TEMPORARY WHET PROTECTION ON ALL EXISTING CATCH BASINS. WHET PROTECTION SHALL BE HISTALLED AS PER PLAN
- WISTALL ALL FILTER FABRIC FENCE WHERE SHOWN ON PLANS. FILTER FABRIC FENCE SHALL BE INSTALLED AS PER PLAN DESIGNATION. INSTALL ALL TEMPORARY STREAM CROSSING CULVERTS WHERE REQUIRED. MODIFY EXISTING SWAM BASIN AND WISTALL TEMPORARY SEDMENT BASIN OUTLET STRUCTURE PER PLAN.
- 8. BEGIN CLEARING AND GRUBBING IN THE TEMPORARY DIVERSION SWALE LIMITS ONLY.
- REMOVE TOPSOIL FROM AREAS AS NECESSARY. REMOVE FROM SITE PER OHIO ENVIRONMENTAL PROTECTION AGENCY (OHIO EPA) STANDARDS OR TEMPORARILY STOCKPILE MATERIAL IN DESIGNATED AREAS.
- 11. AT A MINIMUM ALL CONTROLS ARE INSPECTED AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT CREATER THAN 0.5 MCH PER 24 HOUR PERIOD. IF THE INSPECTION REVEALS THAT A CONTROL PRACTICE IS IN NEED OF REPAIR OR MAINTERNACE, WITH THE EXCEPTION OF 'A SEQUENT SETTING PORO, IT MUST BE REPAIRED OR MAINTAINED WITHIN 3 DAYS OF THE INSPECTION. SEDMENT SETTLING PONDS MUST BE REPAIRED WITHIN 10 DAYS OF THE INSPECTION.
- 12. TEMPORABILY STORE MATERIAL EXCAVATED FOR CONSTRUCTION AT DESIGNATED AREAS. MATERIAL TO BE MAINTAINED FOR DUST CONTROL BY USE OF A COVER OR OTHER METHODS APPROVED BY ONIO EPA.
- CONTROL BY USE OF A COVEN OR OHRER METHODS APPROVED BY ORIO EPA.

 3. IN THE LYENT OF RAIN, ALLOW STANDING WATER TO SETTLE PRIOR TO PUMPHIG. DITUZE THE PUMPHIG SYSTEMS TO PUMP POLITICE WATER PER REQUIREMENTS. ALLOW ONLY CLEAN WATER TO BE DISCHARGED TO THE EXISTING DRAINAGE SWALE REMOVE SILT FROM BASIN AS NECESSARY PRIOR TO CONTINUOUS EARTHMORE AND ENGLISH AND ENGLISH BE REPORTED BY THE ORIOR OF METHOD BY THE ORIOR OF THE ORIOR ORION OF THE ORIOR ORION OF THE ORION OR THE ORION OR THE ORION OF THE ORION OF THE ORION OR THE ORION OR THE ORION OR THE ORION OF THE ORION OR THE ORION ORTHON ORTHON
- 14. BEGIN CLEARING AND GRUBBING WITHIN THE DISTURBANCE LIWITS, AS REQUIRED
- 15 BEON EARTHMOVING AND SITE GRADING OPERATIONS CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE COUNTY CONSERVATION DISTRICT OF LOCATION AND ERGOSON SEQUENTATION CONTROL MEASURES IMPLEMENTED AT BORROW OR SPOIL SITE OF IMPORT/EXPORT MATERIAL.
- TEMPORARY STABULZATION PROVIDES EROSION CONTROL ON AREAS IN BETWEEN CONSTRUCTION OPERATIONS, CRASSES WHICH ARE DUCK, GROWING ARE SEEDED AND USUALLY STRAW WULCHED TO PROVIDE PROVIDE TEMPORARY SOLL STABULZATION. TEMPORARY STABULZATION IS REQUIRED BY OHIOS PARS GENERAL CONSTRUCTION PERMIT TO BE APPLIED ON DISTURBED AN AREAS WITHIN 7 DAYS, IF THE AREA IS WITHIN SOLD FOR OHIOSAL WATER (STREAM OF METALAND).
- 17 BEGIN STORM SEWER AND OTHER UTILITY INSTALLATION STABLIZE ALL UTILITY TRENCHES AT THE END OF EACH WORKDAY INLET PROTECTION SHALL BE INSTALLED ON EACH STORM STRUCTURE UPON INDIVIDUAL COMPLETION.
- 18. REPARYSTABILIZE ALL AREAS DESIGNATED FOR TEMPORARY SEEDING AND MULCIONG, INCLUDING AREAS WHERE SLOPE IS 3.1 OR GREATER, WHICH REQUIRE A MULCH NETTING, ANY AREAS AT FINAL GRADE OR THAT WILL UE DORMANT FOR ONE YEAR OR MORE REQUIRE PERMANENT SEEDING WITHIN 7 DAYS OF THE MOST RECENT DESURBANCE REFERE TO GHOST HEAVING REFERE TO GHOST HEAVING AT FINAL GRADE REQUIRE EROSON CONTROLS WITHIN 2 DAYS OF REACHING FINAL GRADE NOTE THAT A 70K YEGETATIVE DENSITY IS REQUIRED ON ALL DISTURBED SON, AREAS FOR STABLIZATION.
- 19 MAINTAIN TEMPORARY CONTROLS UNTIL REMOVAL IS WARRANTED DUE TO PROGRESSION OF WORK.
- 20. THE TEMPORARY DRAINAGE SWALE SHALL BE REMOVED AND BROUGHT TO FINAL GRADE UPON COMPLETION OF STORM SEWER INSTALLATION.
- INSTALL CONCRETE CURBS (WHERE APPLICABLE) AND PAVEMENT SUBBASE BEON BITUDINOUS OR CONCRETE PAVING, REMOVING STONE CONSTRUCTION ENTRANCE ONLY WHEN NECESSARY.
- 22. STABILIZE ALL DISTURBED AREAS WITH PERMANENT SEED AND MULCHING OR CROWNVETCH SEEDING IMMEDIATELY UPON REACHING FRIAL GRADE.
- 23. ALL REMANNIG TEUPORARY SEDIVENT CONTROL PRACTICES (WHET PROTECT, SLT FENCE, ETC.) SHALL BE REMOVED UPON SITE STABILIZATION. NOTE: 70% VEGETATIVE DENSITY IS REQUIRED ON ALL DISTURBED SOL AREAS FOR STABILIZATION. ORANGE CONSTRUCTION FENCE SHALL REMAIN ALONG THE RIPARANI SETBACK UNITS UNIT. IN THE CONSTRUCTION AND SITE LANGESCAPING ACTIVITIES ARE COMPLETE. THE ORANGE FENCE SHALL BE REMOVED FROM THE SITE WITHOUT USING ANY EARTH DISTURBING PRACTICES.
- 24. THE EXISTING ON-SITE BASIN IS TO BE INSPECTED AND CLEANED IF REQUIRED. THE BASIN SHOULD REMAIN IN THE SAVE CONDITION THROUGH THE CONSTRUCTION PROCESS. IF BASIN REQUIRES ANY CLEANING THE CONTRACTOR SHALL TAKE ALL NECCESSARY STEPS TO ENSURE THAT NO SEDVENT LADEN WATER IS ALLONED TO DISCHARGE FROM THE SITE. AFTER CLEANING THE BASIN IS TO BE STABILIZED AS REQUIRED.
- 25. COMPLETE SITEWORK, PAYEMENT MARKINGS, FINAL LANDSCAPING, SIGN INSTALLATION(S), AND CLEAN-UP.
- 26. RESEED AND REDRESS ANY AREAS THAT MAY REQUIRE ATTENTION IMMEDIATELY, NOTE THAT LAWN AREAS WILL NOT BE DEEMED STABLE UNTIL A UNIFORM 70% VEGETATIVE DENSITY IS ACHIEVED.
- ONCE FUAL STABILIZATION MAS BEEN ACHEVED THE CONTRACTOR SHALL COMPLETE AND SUBMIT THE OEPA NOTICE OF TERMINATION (N.G.T) APPLICATION, INSTRUCTIONS AND APPLICATIONS ARE ALSO LOCATED ON THE EPA WEBSIE (SEE STEP #)). CONTRACTOR SHOULD VERIFY WITH THE OWNER THAT THE TERMS OF THE CONTRACT MAY BEEN FINALIZED PRIOR TO SUBMITHING THE N.G.T.
- 29. ALL QUESTIONS REGARDING ERGSION CONTROL ARE TO BE DIRECTED TO POLARIS ENGINEERING AND SURVEYING AT (440) 944-4433 OR TO THE CITY OF GLEWILLOW ENGINEER FOR REVIEW PRIOR TO THE CONVENCEMENT OF SUCH CHANGES AT THE CONSTRUCTION



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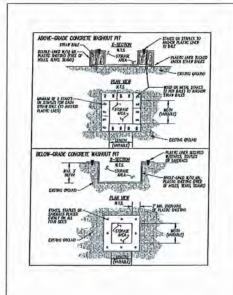
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CONTRACT No.

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SHEET OF 09



Concrete Washout Areas

- Concrete weath writer shall not be allowed to flow to streams, district, actions drains, or any other write conveyance and weathout pits shall be chasted a minimum of Phy (50) field from them.
- Field the or other extractions drainage structures within 10 ft. of the sump shall be out and plugged.
 Ensure a statio path is provided for concrete trucks to much the weekend error.
- A highly viable sign that roads "Concrete Washout Area" shall be excited adjusted to the washout pit.
 Burless cureff generated from upsings areas afted be styreful every from below grade washout pits no as
- not to flow into them.

 8. A single contralized washout area may be utilized for multiple subjets.
- Matrianance:
- 7. This washout pit must be supercost trougantly to smarts the first in that.
 8. Once 17% of the original volume of the washout pit is fined or if the tree is turn, the statutied must be sentenced and properly disposated of smore it is morphishly hardward. Once the fundement currents is removed, the liner must be replaced (if term). A new pit must be smokinated if the original structure is not become authority.
- Removal:
- 8 Once the evaluat pil is to longer needed, the sure at weahout material his completely hardened, then remove and properly dispose of all materials. If stress below even send, they can be spread as much.
 4.5 Enablating continuous accordingly desired to records another a refusion to the send addict to
- Pedabitated containers specifically designed by amonds weekend solication may be used subject to priapproved by the Community Engineer. Failure the manufacturer's augmenture for installation, matricener and money procedure.

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# of executes trucks expected to be washed out on alter	Mrian (M	Langth (70)	# of concreta trucks expected to be washed out on alla?	Water (m)	Langth (ft)
2-5	3		1	3	3
44	4	•	34		4
67		-	5-6		
-	•		7-8		
6-10		•	0-11	7	7
15-14	+	7	12-16		

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Specifications for Silt Fence



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 4. So force which by facest on the Eastest area analysis.

 5. Where procedure, regulation attend the procedure for Solid for an execution procedure, service from the set force. It
- This happit of the six these shall his a maintain of 15 inches done the wights' great surface.

 The six force shall be placed to an exceptual or shall head a sentence of a fundament. This tracel shall he made with a broader, said height machine, show a state with a broader, said height machine, show a shall not shall be shall
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- replaced Map.
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- Mulching Temporary Seeding

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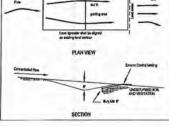


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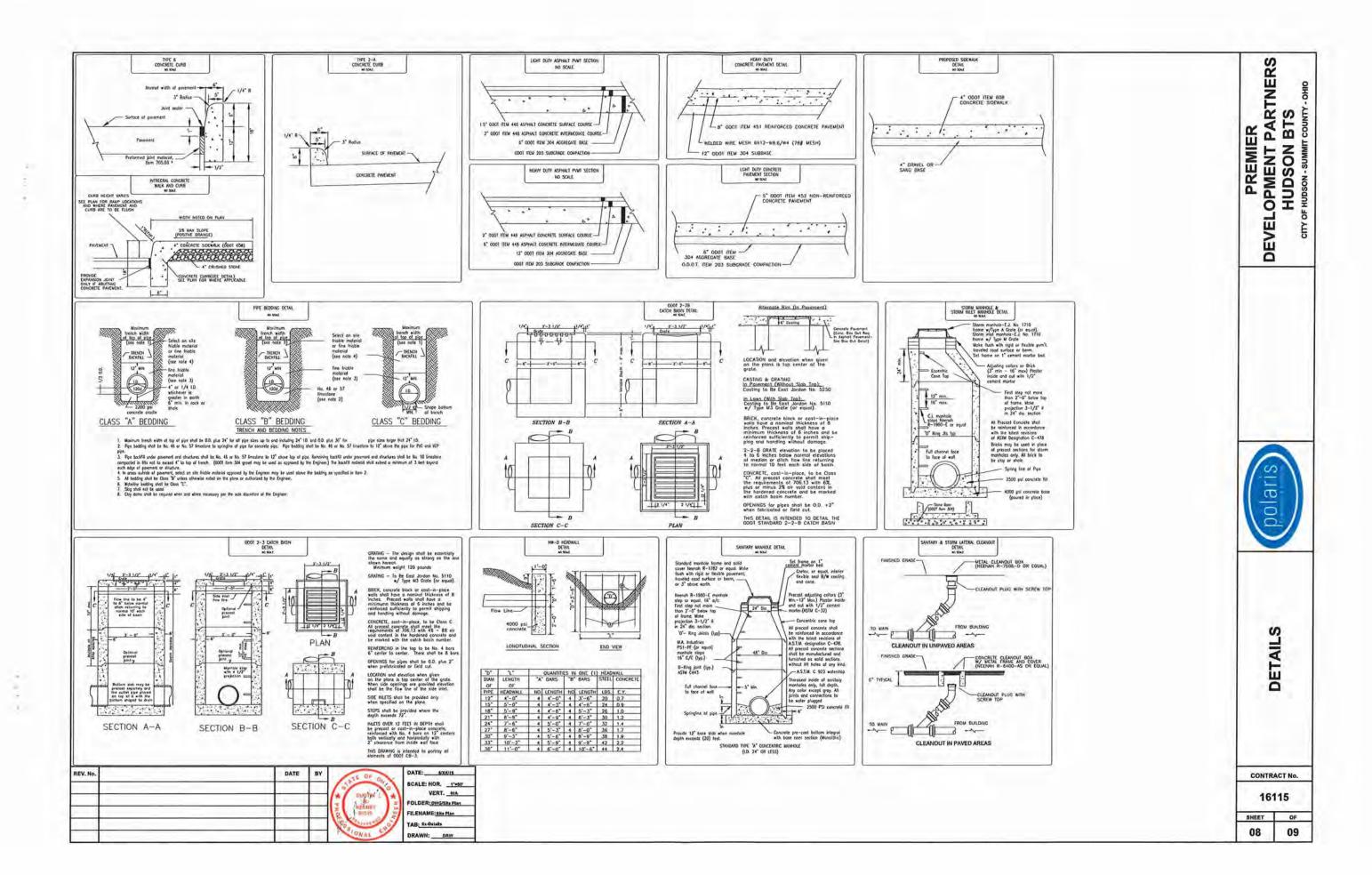
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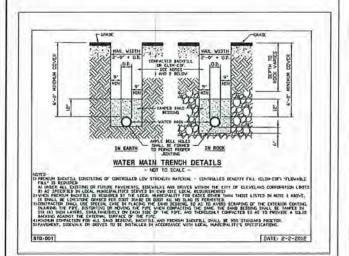
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PHOTOS SHALL BE MANUTER ON A EAST, MANE MAISS OBENVIEW RETRIES BY THE CVE RESPECTOR ON DELEMENT ALL PHOTOS THACH DIVER THE COURTE OF THE PROJECT SHALL BE SUMMITTED BY THE COMPRESSION AS PARKS OF THE ACTIVITY, A PROJECT SHALL BE ENABLANG MANUSER ALL PURIES SHALL BE DECIMED DESIDENCE VICTORY SAND COLLECTION OF MINISTAN PHOTOS.

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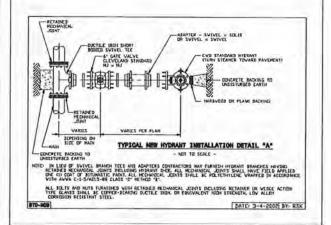
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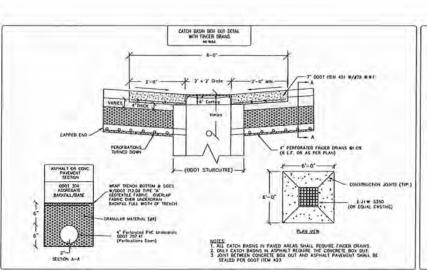
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HIGHLIST ON THE APPROVED FARS.

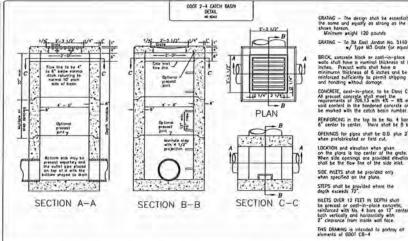
IN ALL VALVES SHILL BE AN APPROVED HIREL HESILINIT SEATED GATE VALVES AT PER THE MOST CLASSINIT VERSION OF ANNA CONT DR COST.

- TO THE CONTROL OF THE PRAYING AND THE CONTROL OF TH
- 6 DIE DIOI SERVICE CONCETIENT SHALL BE PERMITTED TO SERVICE HOLES TELLENDING CRITERIA
- PEAK FLOW DEMANDS DO HOT EXCEED 25 OFM FOR AN ENDIVIDUAL HOME/UNIT, ENGLISHING OF ALL VISIGE STIFF, CONCESSIO MODIFIC PRODUCTION AND
- LONGTH OF DIE JICH CONNECTION DOES HOT EXCEED 73 FEET AS HEADINED FROM THE HAIN TO THE POINT OF ENTRY DITO THE PREPERTY LONG ANT.
- 7. ALL VATER HAIN CLRS VALVE BOVES & HEYER VAILTE WILL BE DISTALL IN GRASS AREAS VACH POSSIBLE.
- DESCRIPTION. RE IF A VATER HAIN OR SERVICE CORRECTION BYEAR DECORS DURING CONSTRUCTION AND EMPROPHY ASSISTANCE IS REQUIRED, PLEASE HOTHEY THE BEVILLION OF VATER AT

DATE: 5-22-2012 BY: RSK | STD-0118







CRATING - The design shall be essentially the same and equally as strong as the a shown hereon. Ministern weight 120 pounds GRATING - To Be East Jordan No. 5110 w/ Type M3 Grate (or equal)

BRCK, cancrale block or cott-in-place wolks shall have a numbed blokhesis of B incles. Precurt wolks shall have a minimum blokhesis of 6 inches and te-refelored sufficiently to permit shipping and handling whited domage. CONCRETE, cost-in-place, to be Class of precost concrete that meet the requirements of 706.13 with 4X - 8X and concrete in the fandand concrete obe marked with the cotch basin number

REMEDICANS in the top to be No. 4 hors 6" center to center. There show be & bo OFENNOS for pipes shall be 0.0. plus 2" when prelabricated or field cut.

SDE MIETS shall be provided only when specified on the plans. STEPS shall be provided where the depth exceeds 72".

mets over 12 FET in DEPTH shall be precast or cost-in-place concrete; relatored with No. 4 bars on 12 cents both vertically and harizontally with 2' clearance from inside wall face.

THES DRAWING is intended to portray off elements of 000T CB-4

EVELOPMENT PARTNERS HUDSON BTS PREMIER

OHO

CITY OF HUDSON

POLARIS ENGINEERING & SURV 3460 CHARDON ROAD - SUITE D WILLOUGHBY HILLS, OHIO 44094 (440) 9444437 (440) 9444722 (Fax) www.polaris-est.com



ETAILS

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CONTRACT	No.

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DATE; NXXIII SCALE: HOR. 17450 VERT. NA FOLDER: DWG/Site Plan FILENAME: the Plan TAB: 0x-Details DRAWN: DRW