



COMMUNITY DEVELOPMENT • 115 Executive Parkway, Suite 400 • Hudson, Ohio 44236 • (330) 342-1790

DATE: July 7, 2016

TO: City of Hudson Planning Commission for July 11, 2016 Meeting

FROM: Greg Hannan, City Planner
Mark Richardson, Community Development Director

SUBJECT: Site Plan Review for Hudson Crossing Parkway – Spec industrial building at Parcel #3009750

ZONING: District 6– Western Hudson Gateway

PC Case No: 2016-19

Project Introduction

Application has been received for proposed construction of a spec industrial building at the Hudson Crossing Business Park. The proposed project includes construction of a 125,000 sf facility with rear loading docks, 100 parking stalls, and 120 landbanked parking stalls.

The subject property is located within the interior of the Hudson Crossing Business Park within District 6 Western Hudson Gateway. The subject property is adjacent to Meyer Distributing to the north, large wetland areas to the east, and vacant land within the business park to the south and west.

The following information is attached to this report.

1. Preliminary comment letter from Greg Hannan, City Planner, dated June 23, 2016.
2. Preliminary comment letter from Thom Sheridan, City Engineer, dated July 7, 2016.
3. Site overview and architectural renderings submitted by Davison Smith Certo, Architects, Inc. received June 20, 2016.
4. Site improvement plans submitted by Polaris Engineering, received June 24, 2016.

Applicable Zoning District Standards, Section 1205

Use

Staff understands uses permitted by right within District 6 will occupy the facility. An administrative use certificate will be processed for each tenant, once known.

Dimensional Standards

The dimensional standards for lot width, lot frontage, and setbacks are acceptable based on the proposed parcel lines depicted. The plans depict splitting the existing 38 acre parcel to establish

an approximately 18 acre parcel accommodating the development. An administrative lot split application must be submitted to establish the proposed parcel.

Pedestrian Amenities

Sidewalks are required abutting a public street, along the building façade featuring a customer entrance, and along a building façade abutting a parking area. The widened sidewalk installed to the south of the development area should be installed along the applicable frontage of the development. Sidewalks should also be extended along the full frontage of the building façade as it contains the public entrance and abuts parking areas.

Applicable Zoning Development and Site Plan Standards, Section 1207

Staff compared the proposal to zoning development and site plan standards. We comment on the following:

Tree and Vegetation Protection

The proposed development area has been previously cleared. The limits of disturbance have been depicted on the plans.

Wetland/Stream Corridor Protection: Wetlands are located to the east of the development, outside of the project limits. The submitted plan complies with the previous approvals for the business park which established a wetland conservation easement at a 100 foot setback from the delineated wetlands and permits stormwater management basins at a 50 foot setback from the wetlands.

Landscaping: The concept site plan indicates appropriate areas to accommodate the necessary front yard, street trees, perimeter parking lot, and interior island landscaping. A final landscaping plan will need to be submitted and accepted prior to authorization to proceed.

Parking and Exterior Lighting: Industrial/manufacturing facilities are required to provide one space for each employee on the shift with the highest number of employees. The applicant has noted an anticipated parking demand at full occupancy of 164 spaces. The current proposal appropriately contains 100 paved spaces with an additional 120 landbanked parking spaces. Tenant specific parking needs will be assessed as use certificates are submitted for proposed tenants. An exterior lighting plan including photometrics must be submitted in compliance with applicable standards of Section 1207.18(g).

Engineering: City Engineer Thom Sheridan has submitted a preliminary review letter dated July 6, 2016. Additionally, Mr. Sheridan notes the preliminary plan is acceptance and review of the stormwater management system will be completed prior to authorization to proceed. Traffic reviews were completed for the full development as part of the final plat and improvement plans completed in 2003.

Industrial Design: Application for building design approval was submitted with the application for site plan approval. Staff notes the building design contains a precast wall panel system with two forward projecting entry masses containing stone veneer, large glass panels, and accent

lighting. Landscaping is also proposed along the front façade of the building. The proposed loading docks have been sited at the rear elevation. The design subcommittee has reviewed the proposed submittal and recommends Planning Commission acceptance of the design at the July 11, 2016 meeting.

Findings:

The staff finds that the application is in substantial compliance with the use, zoning development site plan, and other governmental regulations, and land disturbance and grading review contained in Section 1204.04.

Required PC Action, Chapter 1203.09(g)(3)

The PC shall consider the development application, the staff report, and then take final action. PC shall approve, approve with conditions, or deny the application based on its compliance with the appropriate review standards. All decisions of the Commission shall be based on findings of fact related to the relevant standards of the Code.

Recommendation

Approve the site plan in Case 2016-19 for Parcel #3009750, Hudson Business Park according to plans received June 20 and June 24, 2016 with the following conditions:

1. An administrative lot split application must be approved by the City of Hudson for the proposed lot split.
2. Incorporate a widened sidewalk along the frontage of the development. Sidewalks must also be extended along the full frontage of the front building façade.
3. A final landscaping plan must be submitted and accepted to comply with applicable front yard, street tree, perimeter parking lot, and interior island landscaping requirements.
4. An exterior lighting plan including photometrics must be submitted in compliance with applicable standards of Section 1207.18(g).
5. The comments of City Engineer Thom Sheridan must be addressed per the July 7, 2016 correspondence.
6. Planning Commission accepts the recommendation of the Design Subcommittee for Development in Districts 6 and 8 and approves the project design.
7. The applicant shall install silt fencing and/or polypropylene fencing to mark and protect the approved clearing limits, which shall be maintained by the applicant.
8. Satisfaction of the above conditions prior to scheduling of a preconstruction meeting with City Officials and no clearing or construction of any kind shall commence prior to the issuance of a Zoning Certificate.



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June 23, 2016

Linda Sherman
Premier Development Partners
5301 Grant Ave
Cleveland, Ohio 44125

RE: PC 2016-19-Site Plan Review for Hudson Crossing – 125,000 square foot spec building

Ms. Sherman-

Thank you for your submission of the site plan application for the proposed 125,000 square foot spec building at Hudson Crossing Business Park. The application has been scheduled for the Planning Commission (PC) agenda for the July 11, 2016 meeting. In preparation for such, I am forwarding preliminary comments related to compliance with the Land Development Code (LDC). In addition to these comments, engineering design related comments will be forwarded under separate cover. Our goal is to provide you an opportunity to respond to the below comments by July 1, 2016. We will revise the comments accordingly for the staff report scheduled to be issued on July 6, 2016. Additionally I am available to meet and review the comments at your convenience.

Submittal requirements:

The following items must be incorporated within the base submittal for Planning Commission review:

1. Site survey of the property including existing two foot contours.
2. Anticipated utility layout.
3. Preliminary grading design at one foot contour
4. Submittal of administrative lot split application

Chapter 1205 – District Regulations

1205.09 District 6:

Use: Staff understands uses permitted by right within District 6 will occupy the facility. An administrative use certificate will need to be submitted for each tenant, once known.

Dimensional standards: The dimensional standards for lot width, lot frontage, and setbacks are acceptable. We understand the subject parcel No. 3009750 will be split to create a lot to match the

needs of the project. We assume the new lot line will form a lot that meets Hudson's requirements and meets the current and future needs of the project.

Pedestrian Amenities

Required: Sidewalks are required abutting a public street, along the building façade featuring a customer entrance, and along a building façade abutting a parking area.

The widened sidewalk installed for a portion of the development should be extended along the applicable frontage of the split parcel. Sidewalks should also be extended along the full frontage of the building façade as it contains the public entrance and abuts parking areas.

Section 1207 Zoning Development and Site Plan Standards

The proposed development is subject to compliance with Section 1207.18 Zoning and Development Standards for District 6 and 8

Maximum Impervious Surface

Permitted: 75%

Proposed: Acceptable

Tree and Vegetation Protection

Limits of disturbance need to be depicted on the plans.

Wetland/Stream Corridor Protection

Wetlands are located to the east of the development, outside of the project limits. The submitted plan depicts the building and parking lots outside of the wetland conservation easement recorded as part of the subdivision plat in 2006.

Landscaping

- i. Front yard landscaping: The development shall incorporate at least 10% of the front yard setback with a mix of trees, shrubs, and planting beds.
- ii. Perimeter parking landscaping: 10 foot depth must be incorporated between the street and the parking lot.
- iii. Street trees shall be incorporated along the Hudson Crossing Parkway in consultation with the City Arborist.
- iv. Interior island landscaping: Parking areas are required to incorporate 160 sq ft of interior landscaping per 10 spaces.

Comment: The submitted concept landscape plan demonstrates the required landscaping can be accommodated.

Stormwater Management Design to be reviewed by City of Hudson Engineering Dept.

Parking

- i. Count: Industrial/manufacturing facilities are required to provide one space for each employee on the shift with the highest number of employees. The application has submitted documentation regarding the anticipated parking needs of the facility.
- ii. Stall dimensions: Proposed dimensions are acceptable.

- iii. Exterior lighting: a lighting plan including photometrics is required prior to the issuance of a zoning certificate.

Traffic Analysis: Based on review of the 2003 Development Agreement, staff does not anticipate the need for roadway improvements. The need for a trip generation report will be determined by the Engineering Department.

Design Review Committee for District 6 and 8: The architectural design will be reviewed by the subcommittee for compliance with Section 1207.18(h) with a recommendation forwarded to the Planning Commission.

Lot Split: Please submit an administrative lot split application for the proposed parcel. The application can be accessed at <http://www.hudson.oh.us/DocumentCenter/View/545>.

Summary:

Please address the below summary items:

1. Incorporate the following items into the base submittal for review by the Planning Commission:
 - a. Site survey of the property including existing two foot contours.
 - b. Anticipated utility layout
 - c. Preliminary grading design at one foot contour
 - d. Submittal of administrative lot split application
2. Incorporate the widened sidewalk along the applicable frontage. Sidewalks must also be extended along the full frontage of building façade.
3. The following items do not need to be revised prior to PC review; however, will need to be further reviewed prior to release of a zoning certificate:
 - a. The submitted concept landscape plan demonstrates the required landscaping can be accommodated; however a planting plan will need to be submitted.
 - b. A lighting plan including photometrics will need to be submitted.
4. Submit an administrative lot split application for the proposed parcel

Please contact me for any assistance I can provide.

Sincerely,

Gregory P. Hannan, AICP
City Planner

CC: Mark Richardson, Community Development Director
Thom Sheridan, City Engineer



ENGINEERING • 115 Executive Parkway, Suite 400 • Hudson, Ohio 44236 • (330) 342-1770

Date: July 7, 2016
To: Greg Hannan, City Planner, Community Development
From: Thomas J. Sheridan, P.E., P.S., City Engineer
Re: **Hudson Crossing Site Plan Review**

The City of Hudson Engineering Department has reviewed the plans submitted July 5, 2016.
Note: The City of Hudson Engineering Standards (Engineering Standards) and Land Development Code (LDC) are available online at the City of Hudson Website www.hudson.oh.us under the Engineering Dept. and Community Development Department respectively. The standards are also available in print for a fee. Please contact our office (330-342-1770) if you would like a cost for the printed version.

The Preliminary Site Plan is approved with the following comments:

- No major issues with the preliminary site plan.
- The storm water management calculations shall be submitted for review or a letter from the professional engineer performing the site plan design shall review the existing overall development storm water management plan, if this site was included in the original design.
- The City will perform a full review of the plans when the final site plans are submitted.

If you have any questions, please contact our office.

Sincerely,

Thomas J. Sheridan, P.E., P.S.
Hudson City Engineer

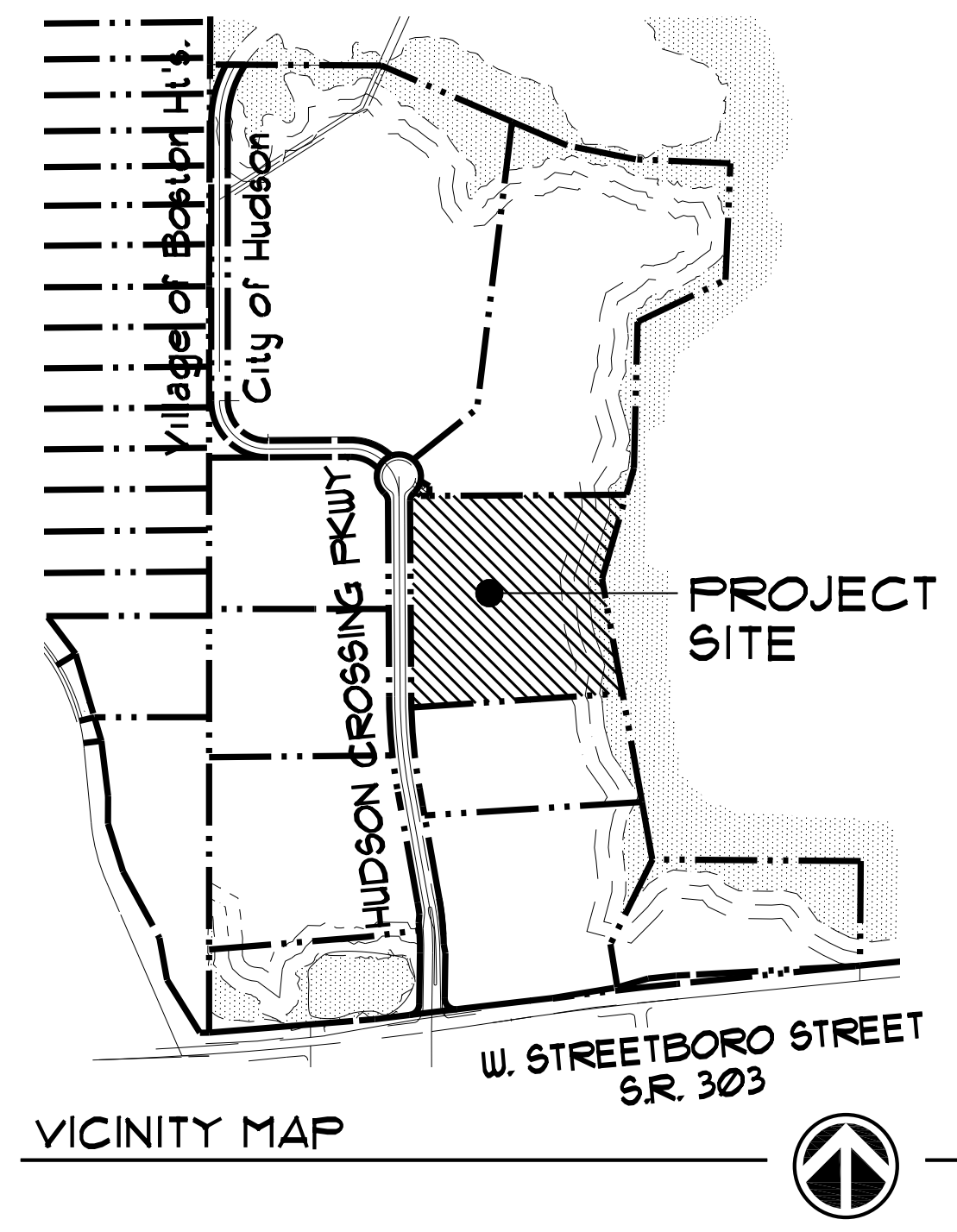
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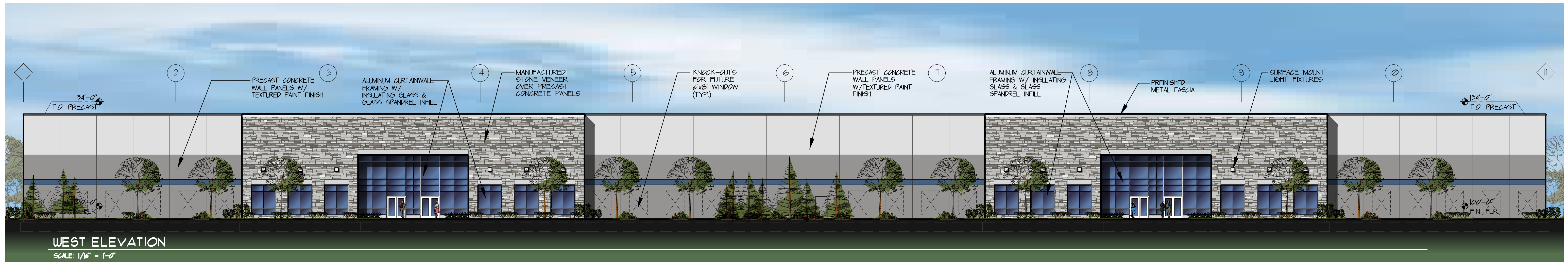
ARCHITECTURAL SITE PLAN
 SCALE 1" = 40'
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PROJECT SUMMARY

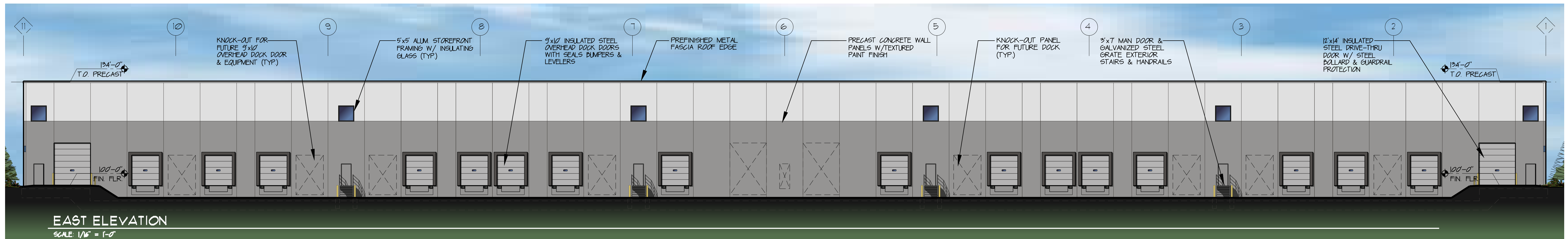
LOT SIZE	12.5 Acres
LOT COVERAGE	Maximum Allowed 60%
Provided	255,478 sf / 545,421 sf = 47% (50% w/ landbank parking)
PARKING	
Required	20% Office @ 1/400 (minimum) 125,903 x 2/400 = 63 Spaces 80% Warehouse @ 1/1,000 125,903 x 8/1,000 = 101 Spaces Total = 164 Spaces Required
Provided	100 Spaces provided 120 Landbank spaces 220 Total spaces available



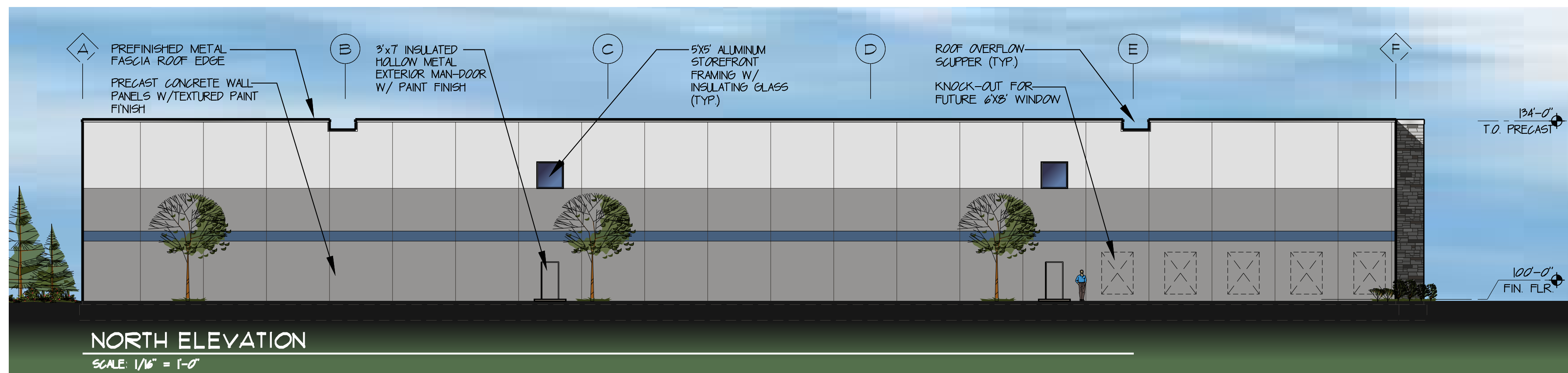
VICINITY MAP



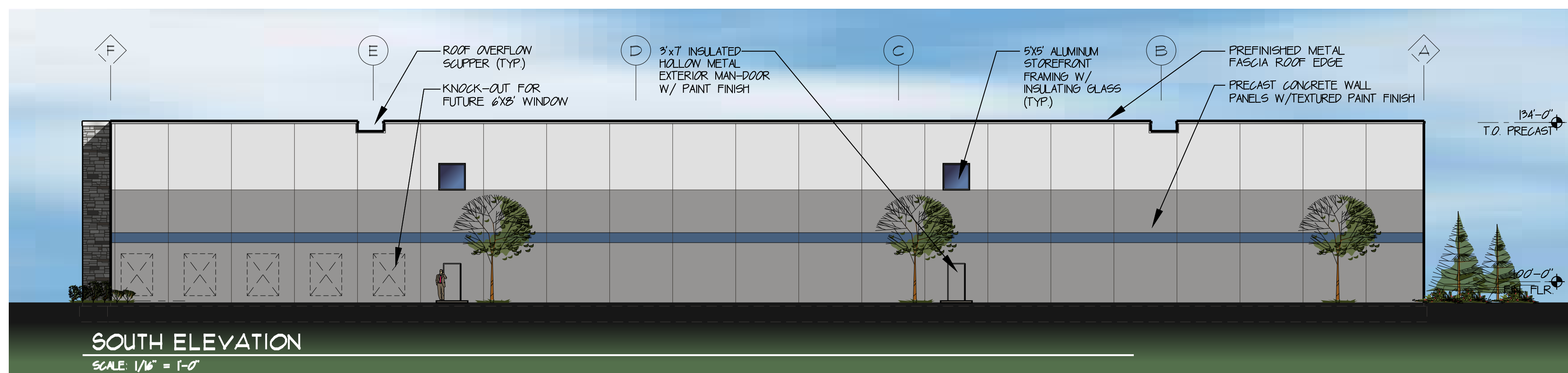
WEST ELEVATION
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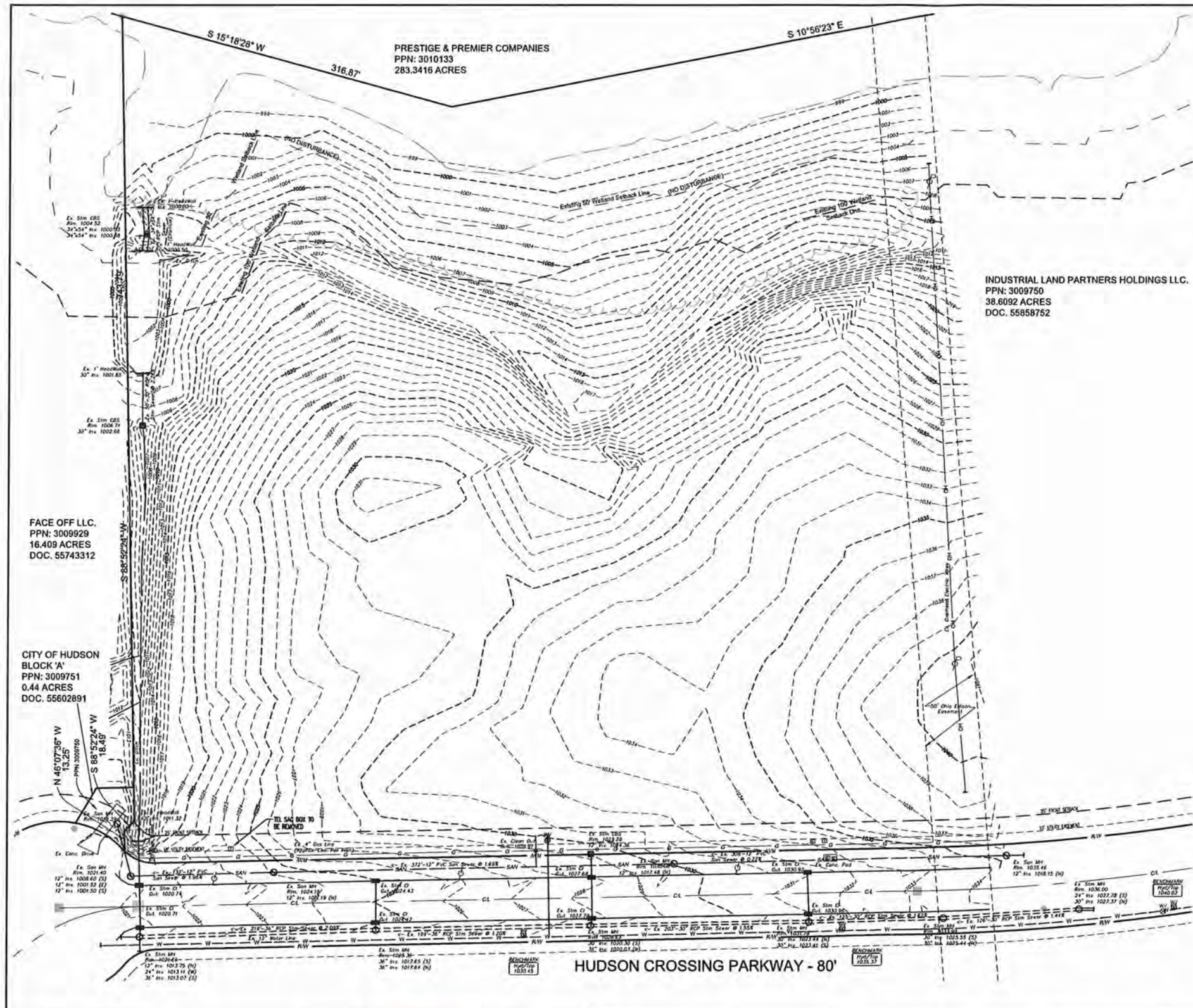
EAST ELEVATION
SCALE: 1/16" = 1'-0"



NORTH ELEVATION
SCALE: 1/16" = 1'-0"



SOUTH ELEVATION
SCALE: 1/16" = 1'-0"

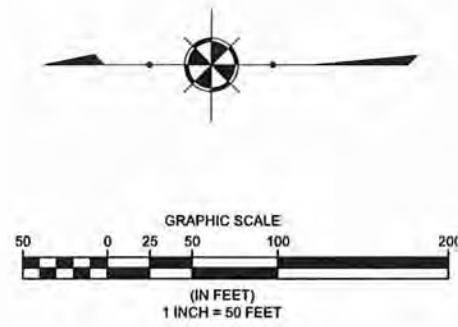


PRESTIGE & PREMIER COMPANIES
PPN: 3010133
283.3416 ACRES

INDUSTRIAL LAND PARTNERS HOLDINGS LLC.
PPN: 3009750
38.6092 ACRES
DOC. 55858752

FACE OFF LLC.
PPN: 3009929
16.409 ACRES
DOC. 55743312

CITY OF HUDSON
BLOCK 'A'
PPN: 3009751
0.44 ACRES
DOC. 55602891



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Richard A. Thompson, Jr.
RICHARD A. THOMPSON, JR., P.S. #7388

REV. No.	DATE	BY

DATE: 6/27/18
SCALE: HOR. 1"=50'
VERT. N/A
FOLDER: LOWDRE PLAN
FILENAME: 81a Plan
TAB: 81-Existing Conditions
DRAWN: DRW



SYMBOL LEGEND	
○	Ex. Clean Out
■	Ex. Catch Basin
■	Prop. Catch Basin
○	Ex. Yard Drain
○	Ex. Manhole
○	Ex. Storm Manhole
●	Prop. Storm Manhole
○	Ex. Sanitary Manhole
■	Prop. Sanitary Manhole
○	Prop. Curb Inlet
○	Ex. Curb Inlet
○	Ex. Gas Marker
○	Ex. Gas Meter
○	Ex. Gas Valve
○	Ex. Water Valve
○	Ex. Water Meter
○	Ex. Fire Hydrant
○	Prop. Hydrant
○	Prop. Wt. Valve
○	Wt#
○	Test Bore
□	Ex. Electrical Box
○	Ex. Guy Wire
○	Ex. Power Pole
○	Ex. Light Power Pole
○	Ex. Light Pole
○	Prop. Light Pole
○	Ex. Tree
○	Ex. Pine Tree
○	Ex. Bush
○	Ex. Mailbox
○	Ex. Sign
○	Ex. Telephone Box
○	Guard Post
□	Ex. Monument Box
□	Power Transformer
□	Spk#ler Control Box
○	Spk#ler Head
○	Traffic Signal Pole
○	Traffic Signal Box



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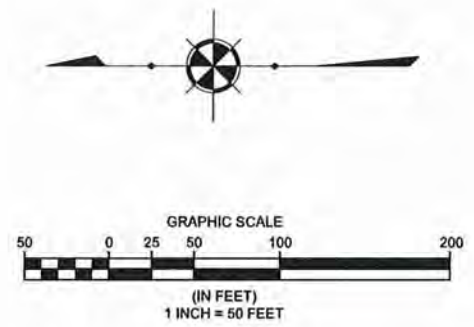
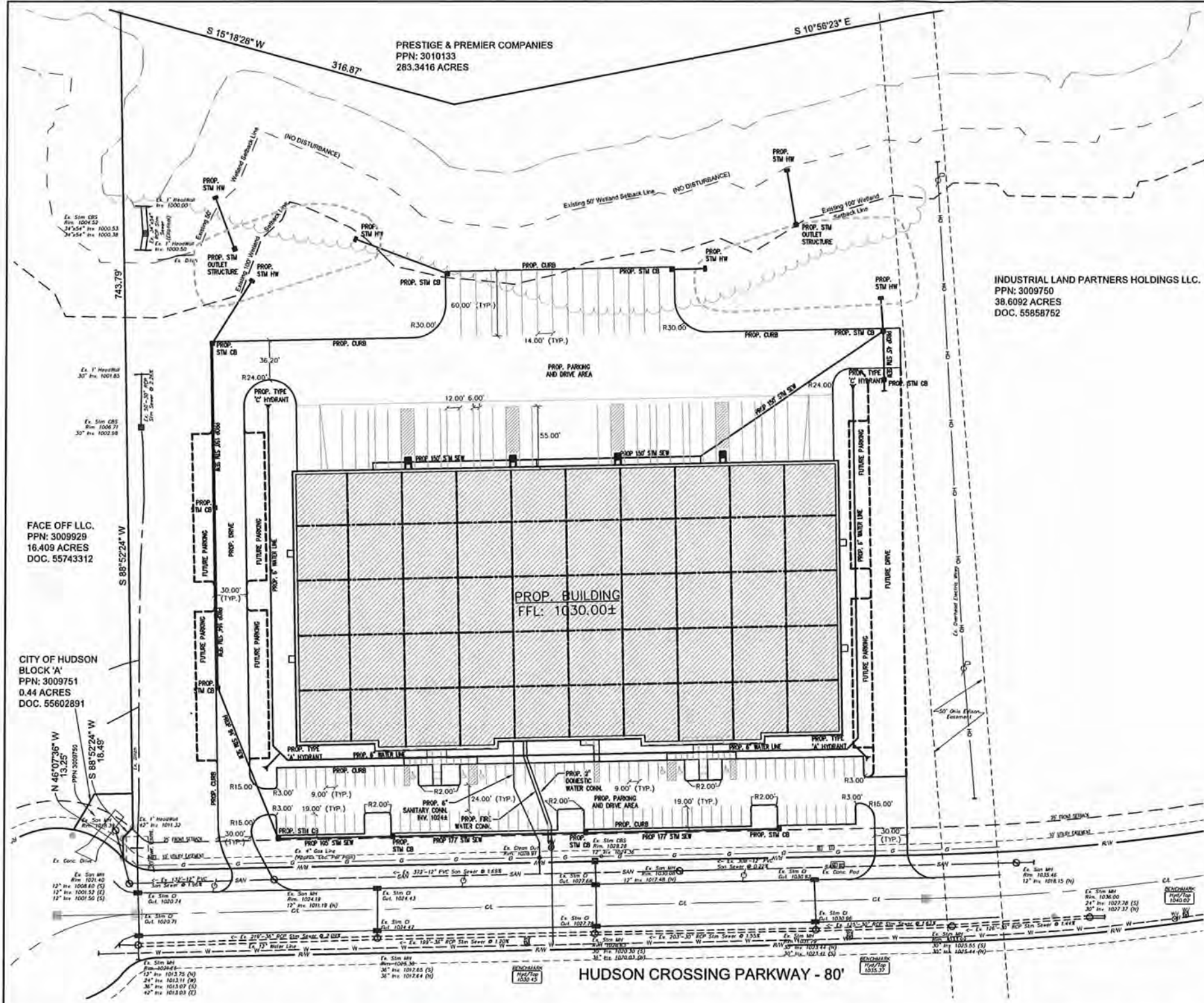
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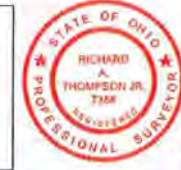
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REV. No.	DATE	BY

DATE: 06/11/18
SCALE: HOR. 1"=50'
VERT. 1"=10'
FOLDER: 1200/Site Plan
FILENAME: Site Plan
TAB: 02-Layout & Utility Plan
DRAWN: DRW

SYMBOL LEGEND	
⊙	Ex. Catch Basin
⊙	Prop. Catch Basin
⊙	Ex. Yard Drain
⊙	Ex. Manhole
⊙	Ex. Storm Manhole
⊙	Prop. Storm Manhole
⊙	Ex. Sanitary Manhole
⊙	Prop. Sanitary Manhole
⊙	Prop. Curb Inlet
⊙	Ex. Gas Meter
⊙	Ex. Gas Valve
⊙	Ex. Water Valve
⊙	Ex. Water Meter
⊙	Ex. Fire Hydrant
⊙	Prop. Hydrant
⊙	Prop. WL Valve
⊙	Well
⊙	Test Bore
⊙	Ex. Electrical Box
⊙	Ex. Guy Wire
⊙	Ex. Power Pole
⊙	Ex. Light Power Pole
⊙	Ex. Light Pole
⊙	Prop. Light Pole
⊙	Ex. Tree
⊙	Ex. Pine Tree
⊙	Ex. Bush
⊙	Ex. Mailbox
⊙	Ex. Sign
⊙	Ex. Telephone Box
⊙	Guard Post
⊙	Ex. Monument Box
⊙	Power Transformer
⊙	Sprinkler Control Box
⊙	Sprinkler Head
⊙	Traffic Signal Pole
⊙	Traffic Signal Box



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Richard A. Thompson, Jr.
RICHARD A. THOMPSON, JR., P.S., #7308

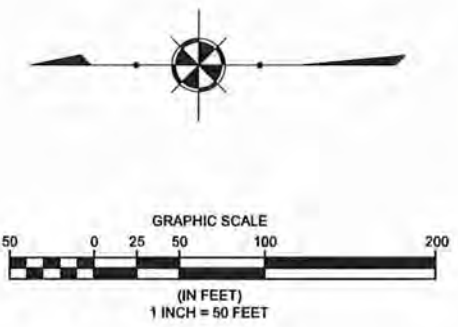
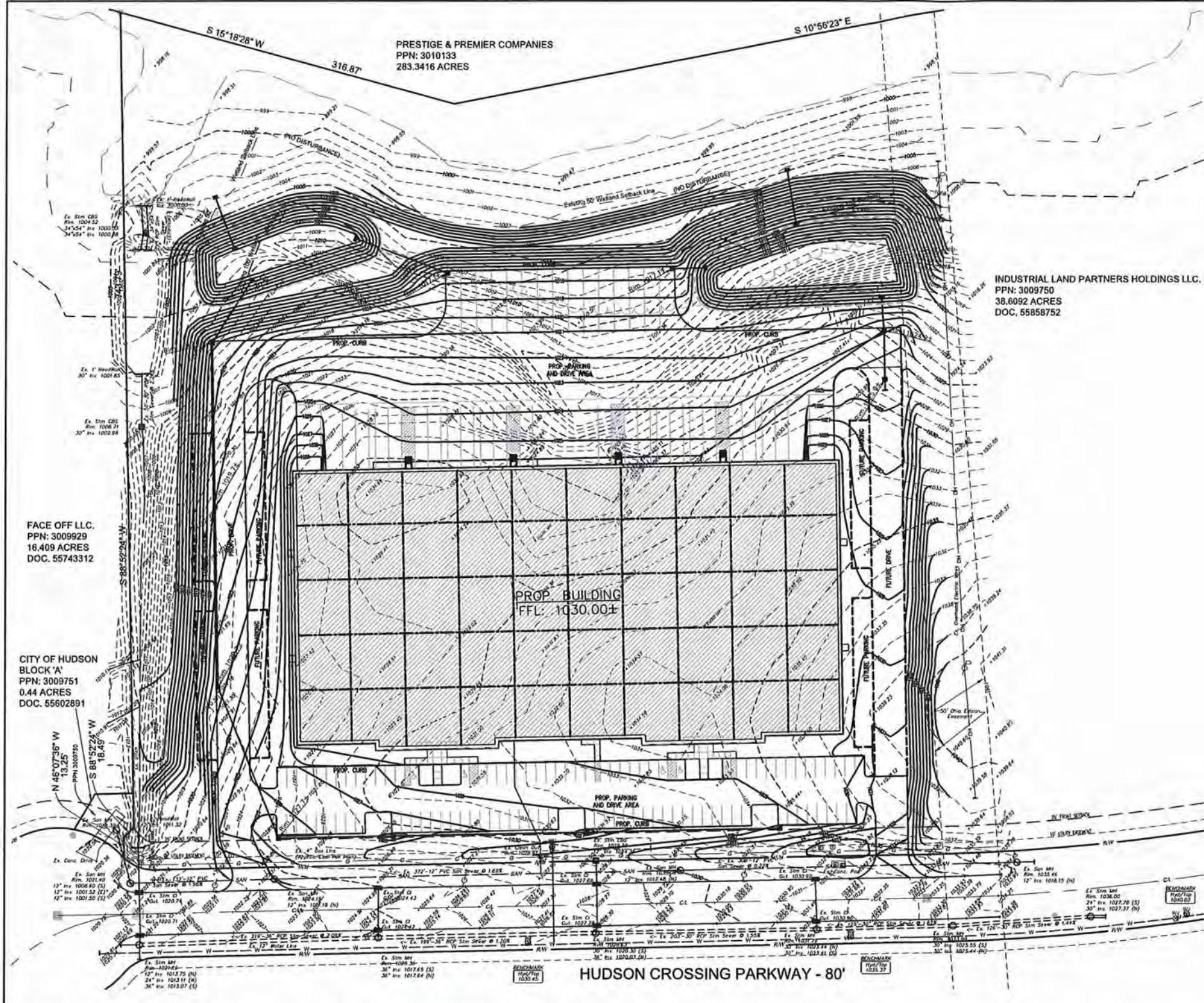
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REV. No.	DATE	BY



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 VERT. 1"=10'
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 FILENAME: 81a Plan
 TAB: 02-Grading Plan
 DRAWN: DRW

SYMBOL LEGEND	
⊙	Ex. Clean Out
⊙	Ex. Catch Basin
⊙	Prop. Catch Basin
⊙	Ex. Yard Drain
⊙	Ex. Manhole
⊙	Ex. Storm Manhole
⊙	Prop. Storm Manhole
⊙	Ex. Sanitary Manhole
⊙	Prop. Sanitary Manhole
⊙	Prop. Curb Inlet
⊙	Ex. Curb Inlet
⊙	Ex. Gas Marker
⊙	Ex. Gas Meter
⊙	Ex. Gas Valve
⊙	Ex. Water Valve
⊙	Ex. Water Meter
⊙	Ex. Fire Hydrant
⊙	Prop. Hydrant
⊙	Prop. V.I. Valve
⊙	Wall
⊙	Test Bore
⊙	Ex. Electrical Box
⊙	Ex. Guy Wire
⊙	Ex. Power Pole
⊙	Ex. Light Power Pole
⊙	Ex. Light Pole
⊙	Prop. Light Pole
⊙	Ex. Tree
⊙	Ex. Pole Tree
⊙	Ex. Bush
⊙	Ex. Mailbox
⊙	Ex. Sign
⊙	Ex. Telephone Box
⊙	Guard Post
⊙	Ex. Manometer Box
⊙	Power Transformer
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Richard A. Thompson
 RICHARD A. THOMPSON, JR., P.S. #7388

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GRADING PLAN

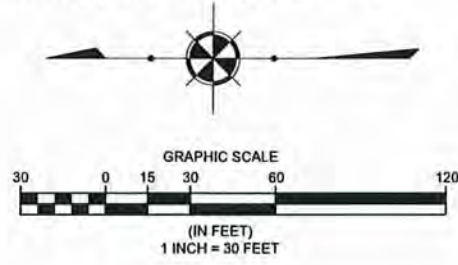
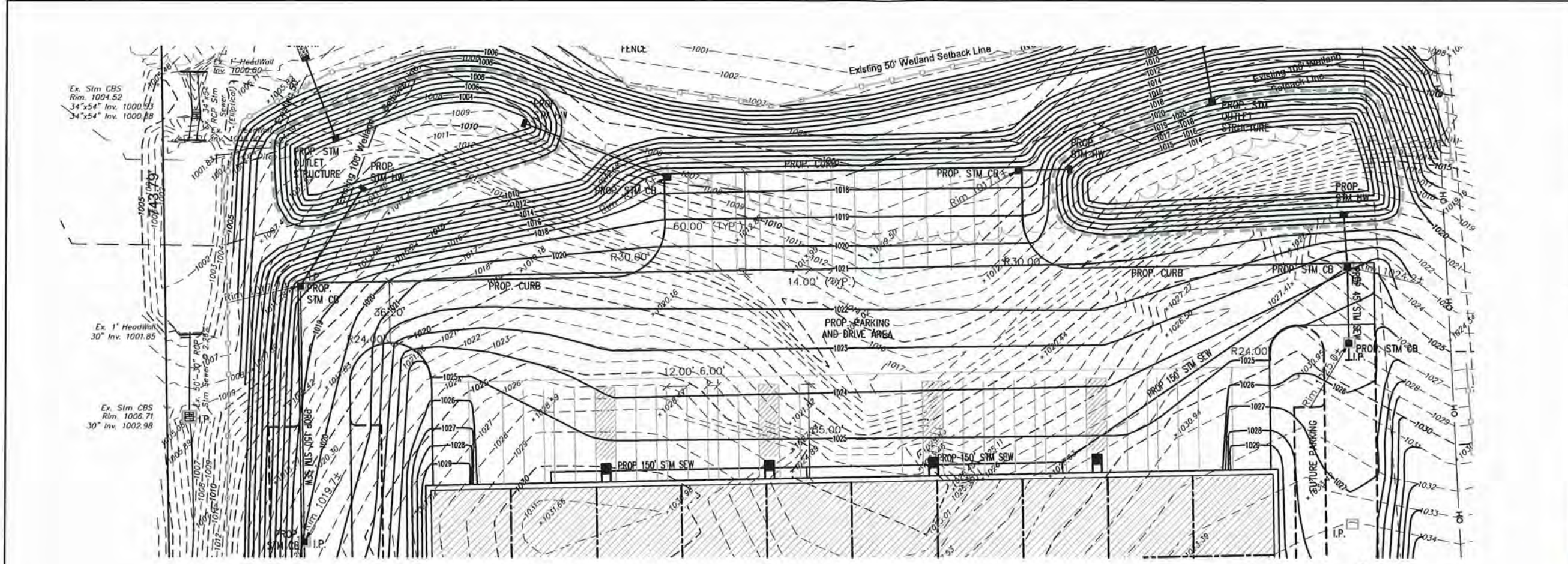
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**STORM WATER
MANAGEMENT BASIN
PLAN**

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EXISTING UNDERGROUND UTILITIES NOTE:
THE SIZE AND LOCATION, BOTH HORIZONTAL AND VERTICAL OF THE UNDERGROUND UTILITIES SHOWN HEREON, HAVE BEEN OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED HEREON. VERIFICATION BY FIELD OBSERVATION HAS BEEN CONDUCTED, WHERE PRACTICAL. HOWEVER, POLARIS ENGINEERING & SURVEYING, INC. DOES NOT GUARANTEE THE COMPLETENESS NOR ACCURACY THEREOF.

NOTE: THIS SURVEY SUBJECT TO CHANGE UPON RECEIPT OF ANY ADDITIONAL AVAILABLE UNDERGROUND UTILITY INFORMATION.

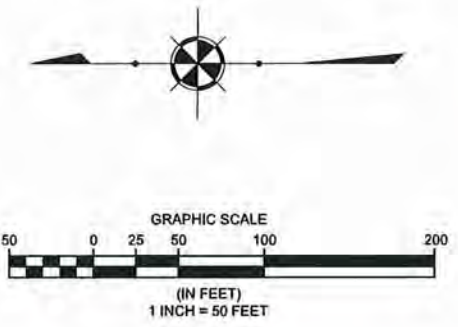
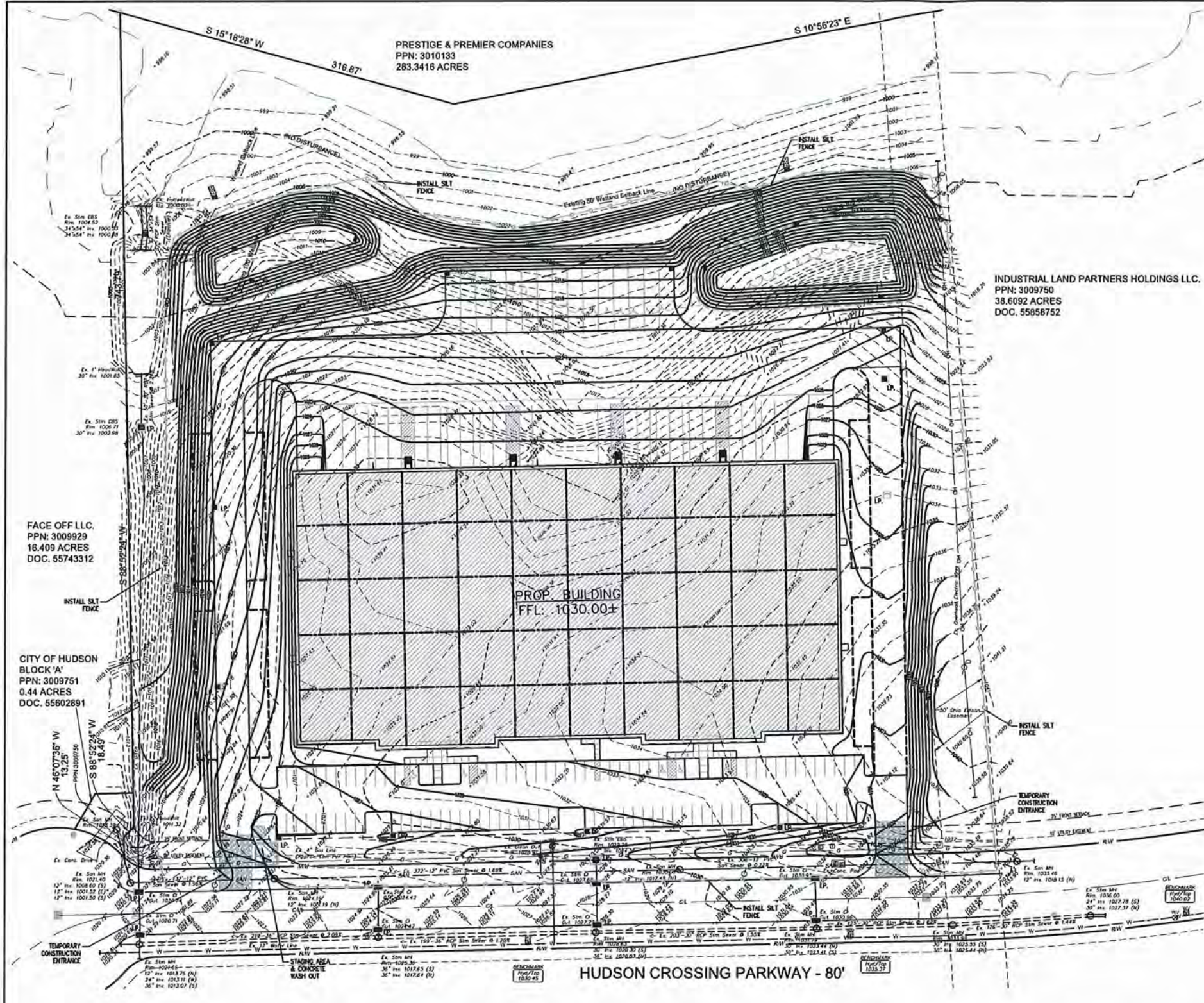
TOPOGRAPHIC CERTIFICATION:
I, THE UNDERSIGNED, HEREBY CERTIFY THAT THIS TOPOGRAPHY, INDICATED BY 1' CONTOURS, AND ELEVATIONS SHOWN HEREON, REPRESENT AN ACTUAL FIELD SURVEY MADE UNDER MY SUPERVISION ON THE 10TH DAY OF MAY, 2016, AND THAT THE ELEVATIONS WERE TAKEN AT APPROPRIATE INTERVALS AND THAT AS OF THAT DATE THEY EXISTED AS INDICATED HEREON. VERTICAL DATUM IS BASED ON NAVD88.

Richard A. Thompson, Jr.
RICHARD A. THOMPSON, JR., P.S. #7384



REV. No.	DATE	BY		DATE: 6/27/16
				SCALE: HOR. 1"=50'
				VERT. N/A
				FOLDER: 16115 Site Plan
				FILENAME: Site Plan
			TAB: Ex-S.W.M. Basin Plan	
			DRAWN: DRW	

SYMBOL LEGEND	
<ul style="list-style-type: none"> ○ Ex. Clean Out ■ Ex. Catch Basin ■ Prop. Catch Basin ○ Ex. Yard Drain ○ Ex. Manhole ○ Ex. Storm Manhole ● Prop. Storm Manhole 	<ul style="list-style-type: none"> ○ Ex. Sanitary Manhole ● Prop. Sanitary Manhole ■ Prop. Curb Inlet ○ Ex. Gas Marker ○ Ex. Gas Meter ○ Ex. Gas Valve
<ul style="list-style-type: none"> ○ Ex. Water Valve ○ Ex. Water Meter ○ Ex. Fire Hydrant ○ Prop. Hydrant ○ Prop. Wt. Valve ○ Wt. ○ Test Box 	<ul style="list-style-type: none"> □ Ex. Electrical Box — Ex. Guy Wire — Ex. Power Pole — Ex. Light Power Pole ○ Ex. Light Pole ○ Prop. Light Pole
<ul style="list-style-type: none"> ○ Ex. Tree ○ Ex. Pine Tree ○ Ex. Bush ○ Ex. Mailbox ○ Ex. Sign ○ Ex. Telephone Box ○ Guard Post 	<ul style="list-style-type: none"> □ Ex. Monument Box □ Power Transformer □ Sprinkler Control Box ○ Sprinkler Head ○ Traffic Signal Pole ○ Traffic Signal Box



811 O.U.P.S. REFERENCE
A-612-603-881
2 WORKING DAYS BEFORE YOU DIG CALL 8-1-1
OHIO UTILITIES PROTECTION SERVICE NON-MEMBERS
MUST BE CALLED DIRECT

EXISTING UNDERGROUND UTILITIES NOTE:
THE SIZE AND LOCATION, BOTH HORIZONTAL AND VERTICAL OF THE UNDERGROUND UTILITIES SHOWN HEREON, HAVE BEEN OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED HEREON. VERIFICATION BY FIELD OBSERVATION HAS BEEN CONDUCTED, WHERE PRACTICAL. HOWEVER, POLARIS ENGINEERING & SURVEYING, INC. DOES NOT GUARANTEE THE COMPLETENESS NOR ACCURACY THEREOF.

NOTE: THIS SURVEY SUBJECT TO CHANGE UPON RECEIPT OF ANY ADDITIONAL AVAILABLE UNDERGROUND UTILITY INFORMATION.

TOPOGRAPHIC CERTIFICATION:

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THIS TOPOGRAPHY, INDICATED BY 1' CONTOURS, AND ELEVATIONS SHOWN HEREON, REPRESENT AN ACTUAL FIELD SURVEY MADE UNDER MY SUPERVISION ON THE 10TH DAY OF MAY, 2018, AND THAT THE ELEVATIONS WERE TAKEN AT APPROPRIATE INTERVALS AND THAT AS OF THAT DATE THEY EXISTED AS INDICATED HEREON. VERTICAL DATUM IS BASED ON NAVD83.

Richard A. Thompson Jr.
RICHARD A. THOMPSON, JR., P.S. #7256



REV. No.	DATE	BY

DATE: 07/18
SCALE: HOR. 1"=50'
VERT. 1/4"=10'
FOLDER: 10/2018 Plan
FILENAME: SWP3 Plan
TAB: SWP3 Plan
DRAWN: DRW

SYMBOL LEGEND	
○	Ex. Clean Out
■	Ex. Catch Basin
■	Prop. Catch Basin
○	Ex. Yard Drain
○	Ex. Manhole
○	Ex. Storm Manhole
●	Prop. Storm Manhole
○	Ex. Sanitary Manhole
○	Prop. Sanitary Manhole
○	Prop. Curb Inlet
○	Ex. Curb Inlet
○	Ex. Gas Marker
○	Ex. Gas Meter
○	Ex. Gas Valve
○	Ex. Water Valve
○	Ex. Water Meter
○	Ex. Fire Hydrant
○	Prop. Hydrant
○	Prop. Wt. Valve
○	Well
○	Test Bore
□	Ex. Electrical Box
○	Ex. Guy Wire
○	Ex. Power Pole
○	Ex. Light Power Pole
○	Ex. Light Pole
○	Prop. Light Pole
○	Ex. Tree
○	Ex. Pine Tree
○	Ex. Bush
○	Ex. Mailbox
○	Ex. Sign
○	Ex. Telephone Box
○	Guard Post
□	Ex. Monument Box
□	Power Transformer
□	Sprinkler Control Box
□	Sprinkler Head
□	Traffic Signal Pole
□	Traffic Signal Box

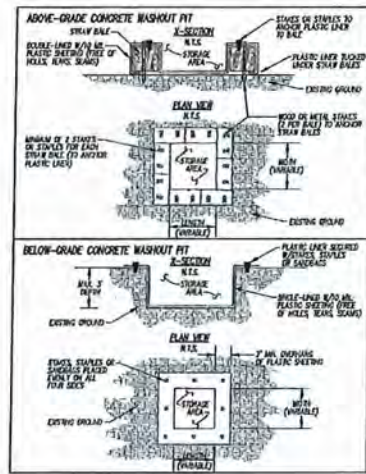
PREMIER DEVELOPMENT PARTNERS HUDSON BTS
CITY OF HUDSON - SUMMIT COUNTY - OHIO

POLARIS ENGINEERING & SURVEYING, INC.
34680 CHARDON ROAD - SUITE D
WILLOUGHBY HILLS, OHIO 44094
(440) 944-4433 (440) 944-3722 (Fax)
www.polaris-es.com



SWP3 PLAN

CONTRACT No.	
16115	
SHEET	OF
05	09



Concrete Washout Areas

Installation:

- Concrete washout areas shall be placed in low flow streams, ditches, storm drains, or any other water conveyance and washout pits shall be situated a minimum of 50' (15 m) from them.
- Field the or other surface drainage structures with 1/2\"/>

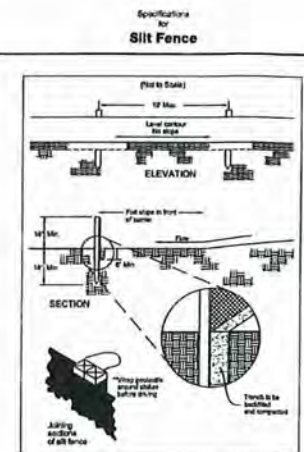
Removal:

- Once the washout pit is no longer needed, ensure all washout material has completely hardened, then remove and properly dispose of all materials. If other basins were used, they shall be turned in as such.
- Perforated containers specifically designed for concrete washout collection may be used subject to prior approval by the Community Engineer. Follow the manufacturer's application for installation, maintenance and removal procedures.

Sizing of Concrete Washout Pits

# of concrete basins (to be washed out at one time)	Below grade (2-ft depth)		Above grade (2-ft depth)	
	Width (ft)	Length (ft)	Width (ft)	Length (ft)
2-3	2	3	2	3
4-5	4	4	3-4	4
6-7	6	6	6-6	6
8-10	8	8	7-8	8
11-14	7	7	8-11	7
	7	8	12-14	8

**For small projects using a maximum of only one washed out concrete or silting-in site mixing, mixing of material may take place on the lot without a pit, provided it can be done a minimum of 50' (15 m) from any water conveyance.*

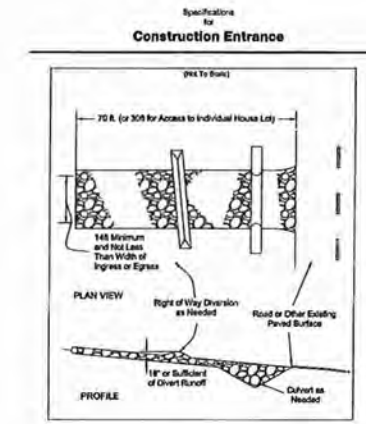
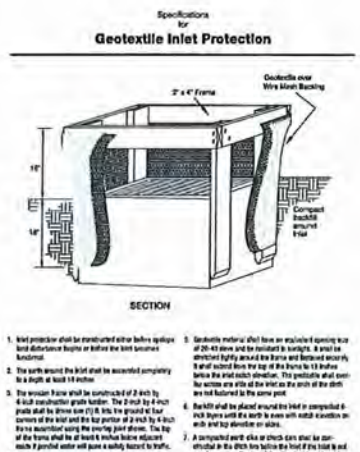


Specifications for Bill Fence

- Bill fence shall be constructed before any other site work begins.
- All bill fences shall be placed on a firm, level surface and shall be constructed of a minimum of 2\"/>

Table 6.3.3 Minimum Bill Fence Specifications

Minimum Bill Fence Length	Minimum Bill Fence Height	Minimum Bill Fence Spacing	Minimum Bill Fence Material
100 ft (30 m)	2 ft (0.6 m)	10 ft (3 m)	2\"/>



Specifications for Construction Entrance

- Material - 100% #20 (0.85 mm) sieve size or larger, washed, crushed limestone.
- Length - The construction entrance shall be no less than 70' (21.3 m) and no more than 100' (30.5 m) in length.
- Thickness - The stone layer shall be at least 12 inches thick for all sites and at least 18 inches thick for all sites with a 100' or greater length.
- Width - The entrance shall be at least 148 inches wide and shall have a minimum of 164 inches width at the entrance.
- Location - The entrance shall be located on the right side of the driveway or on the left side of the driveway if the driveway is on the right side of the road.

Table 7.1.1 Minimum Specifications for Construction Entrance

Minimum Entrance Length	Minimum Entrance Width	Minimum Entrance Thickness	Minimum Entrance Material
70 ft	148 in	12 in	#20 sieve
100 ft	164 in	18 in	#20 sieve

Specifications for Temporary Seeding

Mixing Temporary Seeding

- Application of temporary seeding shall include water, fertilizer, and lime. The mixture shall be applied to the soil in a uniform manner.
- Seeding shall be applied to the soil in a uniform manner.

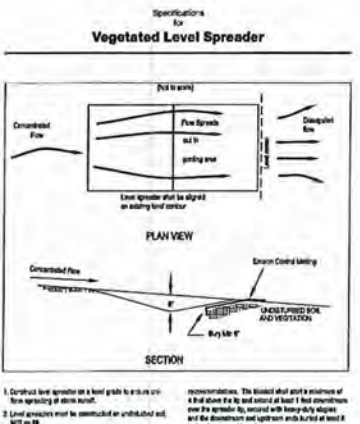
Table 7.1.2 Temporary Seeding Application

Soil Type	Seeding Rate (lb/1000 sq ft)	Fertilizer Rate (lb/1000 sq ft)	Lime Rate (lb/1000 sq ft)
Good	1	1	1
Fair	2	2	2
Poor	3	3	3
Very Poor	4	4	4

Specifications for Temporary Seeding

Table 7.1.1 Temporary Seeding Application

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PREMIER DEVELOPMENT PARTNERS HUDSON BTS
CITY OF HUDSON - SUMMIT COUNTY - OHIO

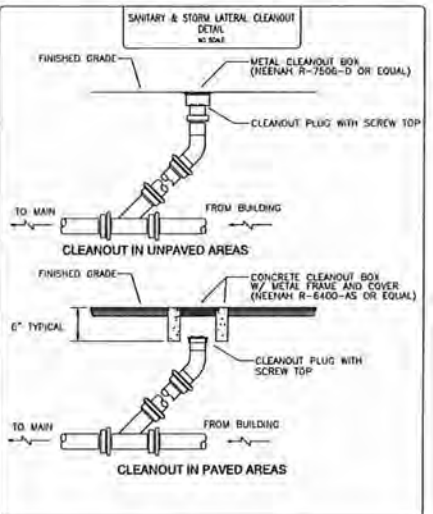
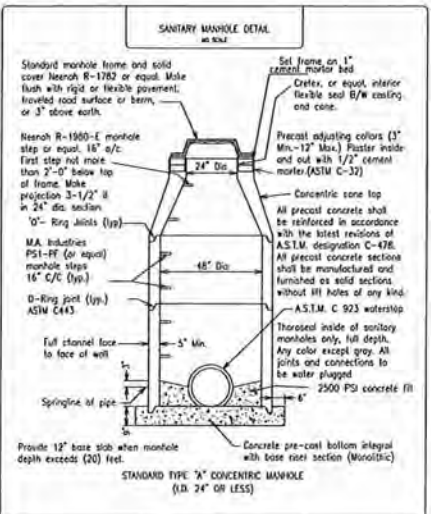
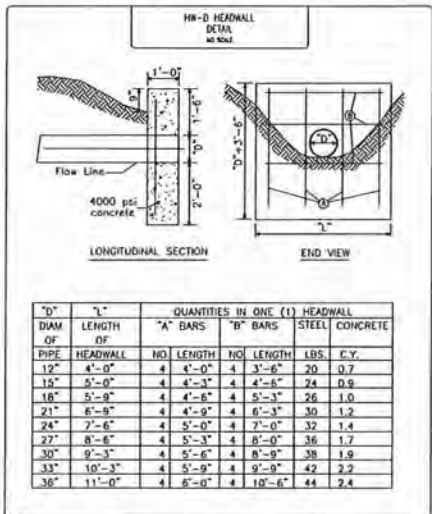
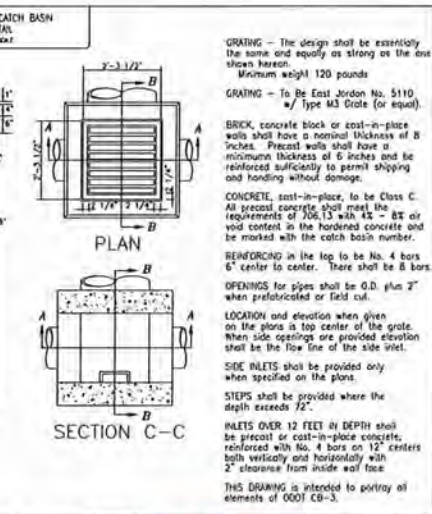
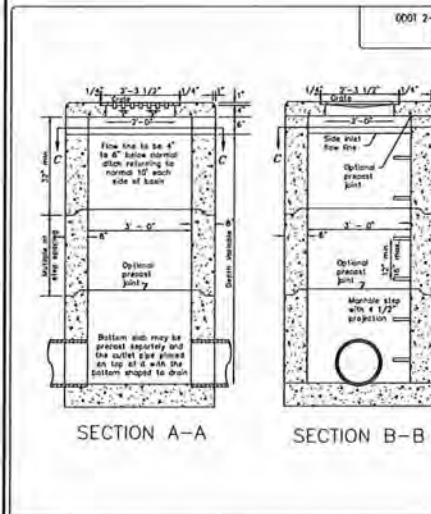
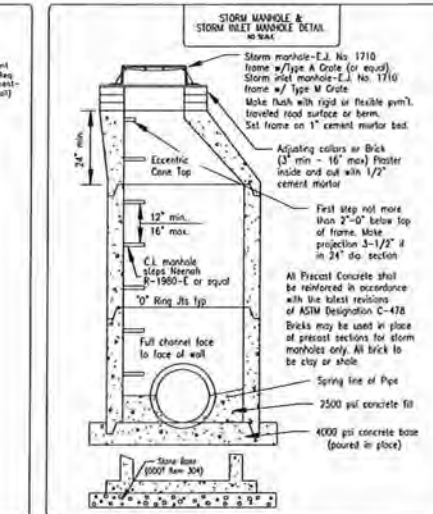
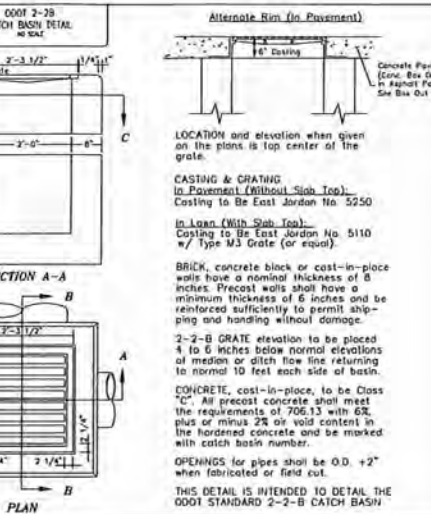
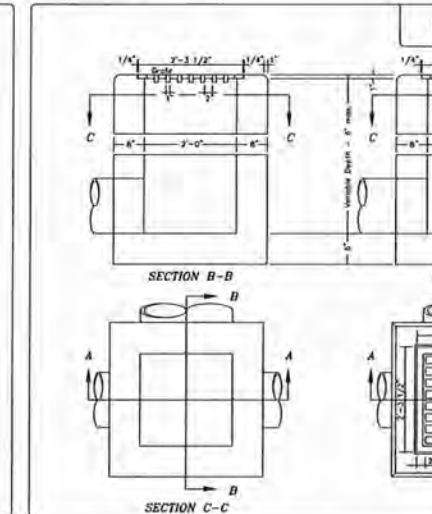
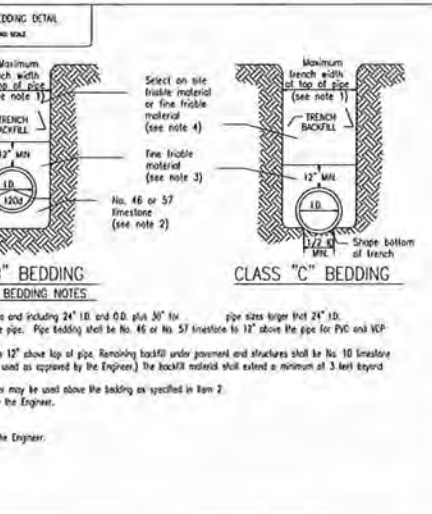
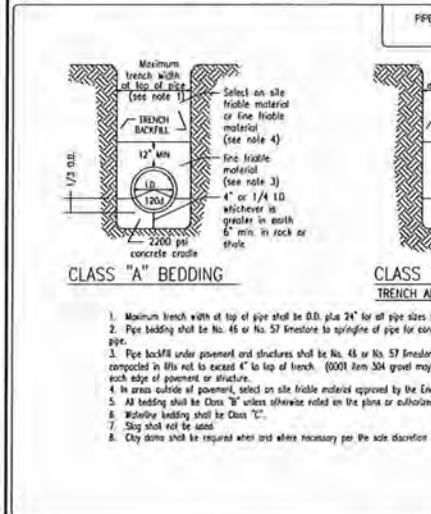
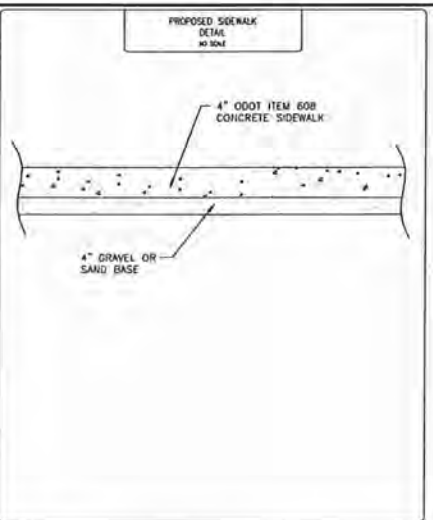
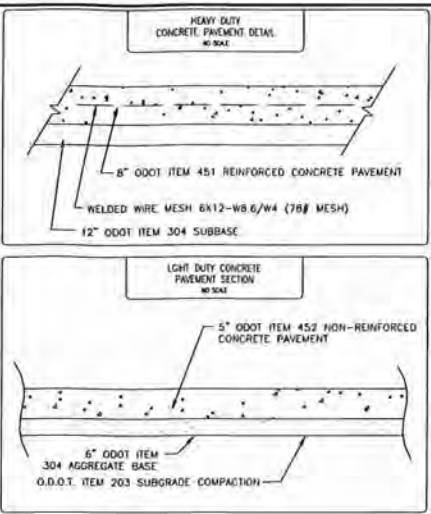
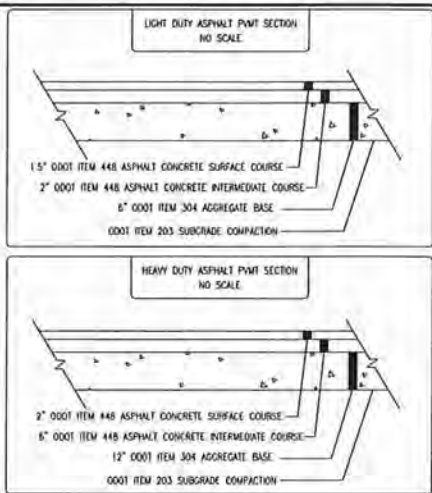
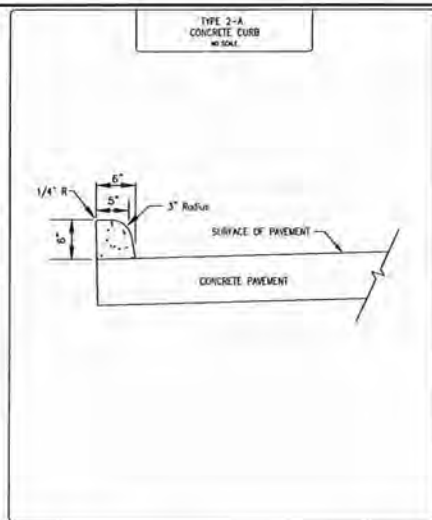
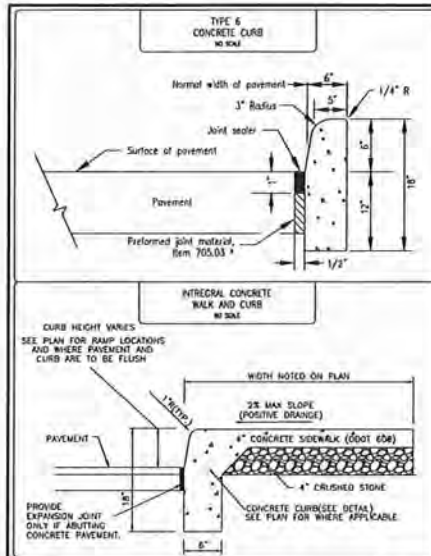


SWP3 DETAILS

REV. No.	DATE	BY

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SCALE: HOR. 1"=40'
VERT. N/A
FOLDER: DWS/SW3 Plan
FILENAME: SW3 Plan
TAB: SW3 Details
DRAWN: DRW

CONTRACT No.	
16115	
SHEET	OF
07	09



REV. No.	DATE	BY

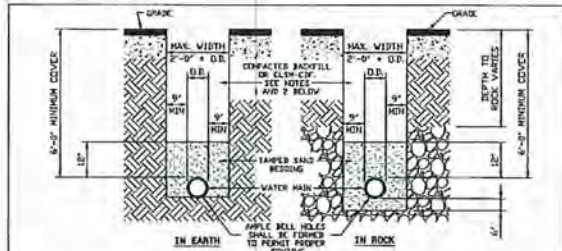
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 TAB: 8x-Details
 DRAWN: DRW

STATE OF OHIO
 DIVISION OF PROFESSIONAL ENGINEERING
 REGISTERED PROFESSIONAL ENGINEER

CONTRACT No. 16115
 SHEET 08 OF 09

PREMIER DEVELOPMENT PARTNERS
 HUDSON BTS
 CITY OF HUDSON - SUMMIT COUNTY - OHIO

08 09

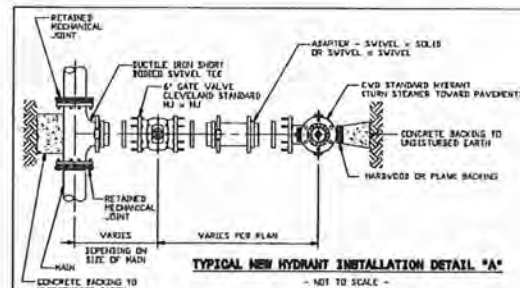


WATER MAIN TRENCH DETAILS
NOT TO SCALE

NOTES:
 1) FRENCH DRAINAGE CONSISTING OF CONTROLLED LOW STRENGTH MATERIAL - CONTAINABLE DENSITY FILL (CLD-CDF) (FILLABLE FILL) IS REQUIRED.
 2) UNDER ALL EXISTING OR FUTURE PAVEMENTS, SIDEWALKS AND DRIVEWAYS WITHIN THE CITY OF CLEVELAND CONSTRUCTION LIMITS IS AS SPECIFIED IN LOCAL MUNICIPALITIES SERVED BY CWS (SEE LOCAL REQUIREMENTS).
 3) WHEN FRENCH BACKFILL IS REQUIRED BY THE LOCAL MUNICIPALITY FOR CATCHES OTHER THAN THOSE LISTED IN NOTE 1 ABOVE, IT SHALL BE LIMESTONE GRADE FILL (DOT 3) OR DOT 41 NO SLAG IS PERMITTED.
 4) CONTRACTOR SHALL USE SPECIAL CARE IN PLACING THE SAND BEDDING SO AS TO AVOID SCRAPING OF THE EXISTING CURB OR INJURING THE PIPE. DISTURBING OR MOVING THE PIPE WHEN COMPACTING THE SAND BEDDING SHALL BE TAMPED IN SIX (6) INCH LAYERS. SIMILARLY, THE TOP OF THE PIPE AND THOROUGHLY COMPACTED TO PROVIDE A SOLID BEDDING AGAINST THE EXTERIOR SURFACE OF THE PIPE.
 5) ANCHOR CONSTRUCTION FOR ALL SAND BEDDING, BACKFILL AND FRENCH MATERIAL SHALL BE NON-STANDARD FACTOR DIVISIONS, SIDEWALK OR DRIVEWAYS TO BE INSTALLED IN ACCORDANCE WITH LOCAL MUNICIPALITY SPECIFICATIONS.

810-001

DATE: 2-2-2012



TYPICAL NEW HYDRANT INSTALLATION DETAIL "A"
NOT TO SCALE

NOTE: IN LIEU OF SWEVEL TEE AND ADAPTERS CONTRACTORS MAY FURNISH HYDRANT BRANCHES HAVING RETAINED MECHANICAL JOINTS INCLUDING HYDRANT DRILL. ALL MECHANICAL JOINTS SHALL HAVE FIELD APPLIED DIE (D) COAT OF BITUMASTIC PAINT. ALL MECHANICAL JOINTS SHALL BE POLYETHYLENE WRAPPED IN ACCORDANCE WITH ANVA C-1-S-2421-88 CLASS "C" METHOD "E".
 ALL BOLTS AND NUTS FURNISHED WITH RETAINED MECHANICAL JOINTS INCLUDING RETAINER OR WEDGE ACTION TYPE BOLTS SHALL BE COPPER-BEARING, DUCTILE IRON OR EQUIVALENT HIGH STRENGTH, LOW ALLOY CORROSION RESISTANT STEEL.

810-100

DATE: 3-4-2009 BY: RSK

CLEVELAND DIVISION OF WATER NOTES FOR NEW WATER MAIN INSTALLATION

CONTRACTOR IS TO ADHERE BY THE MOST CURRENT VERSION OF THE CLEVELAND DIVISION OF WATER NOTES AND DETAILS. THE MOST UP-TO-DATE VERSION CAN BE FOUND AT WWW.CLEVELANDWATER.COM

1. ALL WATER WORK REQUIRED, WHETHER SHOWN ON THE PLANS OR AS DIRECTED BY THE CLEVELAND DIVISION OF WATER, SHALL BE AT THE EXPENSE OF THE PROJECT.
2. THE INFORMATION SHOWN ON THE CLEVELAND DIVISION OF WATER'S SUMMARY OF WORKING LETTERS AND STEP MAPS ARE TAKEN FROM EXISTING AVAILABLE RECORDS, AND THEIR ACCURACY IS NOT GUARANTEED.
3. CALL THE INSPECTOR AND SUPERVISOR LIST AT 216-464-2342 TO SCHEDULE A PRECONSTRUCTION MEETING. THE OPERATION OF ANY VALVE OR ALTERATION OF ANY PART OF THE WATER SYSTEM BY CONTRACTORS OR THEIR EMPLOYEES IS PROHIBITED WITHOUT THE SUPERVISION OF THE CLEVELAND DIVISION OF WATER INSPECTOR.
4. THE MUNICIPALITY SHALL REQUIRE THAT THE PROJECT'S PROFESSIONAL ENGINEER OBTAIN ACTUAL FIELD MEASUREMENTS OF THE MAIN BEING INSTALLED AND SHALL FURNISH THE CWS INSPECTOR WITH RECORD POINTS IN A FORM ACCEPTABLE TO THE DIVISION OF WATER. THE CLEVELAND DIVISION OF WATER WILL RESOLVE THE DELIVERY AND ACCEPTANCE OF TWO COPIES OF RECORDS 90 DAYS PRIOR TO THE PRESSURE TEST AND CALIBRATION OF THE MAIN.
5. FOR THE PURPOSES OF CALIBRATION AND BACTERIOLOGICAL TESTING OF THE WATER MAINS THE CONTRACTOR SHALL PROVIDE AND INSTALL AT EACH OF THE CALIBRATION PIT LOCATIONS SHOWN AND AT OTHER LOCATIONS DETERMINED BY THE DIVISION OF WATER, FURNISHING THE TAPS OF SIZES TO BE DETERMINED BY THE DIVISION OF WATER. CALIBRATION PITS SHALL BE SIX (6) FOOT SQUARE MEETING CITY STANDARDS.
6. A TWO YEAR WARRANTY, COMMENCING FROM THE DATE OF ACCEPTANCE OF THE FINAL CALIBRATION OF THE WATER MAIN INSTALLATION, SHALL BE PROVIDED BY THE REGISTERED ENGINEER AND/OR CONTRACTOR FOR ALL WATER MAINS AND SERVICE CONNECTIONS WORK PERFORMED BY THE CONTRACTOR. INCLUDING RECORDS, SHOULD ANY LEAKS OCCUR AND REPAIRS BE REQUIRED DUE TO DEFECTIVE MATERIAL, OF WORK WORKMANSHIP.
7. USE SANDFILL MATERIAL AS SPECIFIED AND COMPACT SUFFICIENTLY IN THOSE AREAS WHERE EXISTING MAINS AND WATER SERVICE CONNECTIONS ARE COUPED.
8. ALL MATERIALS, INCLUDING BUT NOT LIMITED TO WATER MAINS, PIPE HYDRANTS, VALVES, CONNECTION MATERIALS AND OTHER WATER APPLIANCES, SHALL BE NEW AND UNUSED AND SHALL CONFORM TO THE MOST CURRENT DIVISION OF WATER SPECIFICATIONS. ALL MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH DIVISION'S STANDARDS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING WATER MAINS AND APPLIANCES THEREOF WHEN CONSTRUCTING THE NEW WATER MAIN FOR THE HYDROSTATIC TEST. ALL REPAIRS TO DAMAGED EXISTING FACILITIES SHALL BE MADE BY THE CONTRACTOR, AT THE CONTRACTOR'S EXPENSE. TO THE SATISFACTION OF THE DIVISION OF WATER REFER TO THE ALTERNATE TEST DETAIL, STD-002 AS NEEDED.
10. ALL HYDROSTATIC PRESSURE TESTING SHALL BE DONE BY THE CONTRACTOR IN THE PRESENCE OF THE DIVISION OF WATER'S INSPECTOR. THE HYDROSTATIC TEST PRESSURE SHALL BE 75 PSI ABOVE THE STATIC PRESSURE PREVALENT AT THE SITE, BUT IN NO CASE LESS THAN 100 PSI. THE PRESSURE TEST SHALL BE FOR A DURATION OF TWO (2) HOURS WITH THE PRESSURE BEING MAINTAINED WITHIN 5 PSI OF THE REQUIRED TEST PRESSURE. SHOULD THE PRESSURE TEST FAIL, THE CONTRACTOR SHALL FIND AND CORRECT THE DEFICIENCIES TO THE SATISFACTION OF THE DIVISION OF WATER AND REPEAT THE TWO (2) HOUR PRESSURE TEST.

DATE: 5-22-2012 BY: RSK 810-011A

11. ALL BURIED WATER MAINS, FITTINGS, VALVES, PIPE HYDRANT BRANCH PIPING AND APPLIANCES SHALL BE ENCASED WITH POLYETHYLENE WRAPPING IN ACCORDANCE WITH THE MOST CURRENT REVISION OF ANSVANVA C-1-S-2421 INSTALLATION METHOD A. ALTERNATE INSTALLATION METHOD A FOR MET PROTECTING SHALL BE USED WHEN WATER MAINS ARE INSTALLED IN UNDERGROUND LOCATIONS SUCH AS TREE LANS AND FACILITIES TRAVELING PRIVATE PROPERTY.

WATER MAINS

12. ALL PIPE UNLESS OTHERWISE CALLED FOR, SHALL BE DUCTILE IRON, MINIMUM CLASS 50, JOINT LINES HAVING PUSH-ON JOINTS WITH RADIALLY EXPANDED RUBBER RING GASKETS AND INSTALLED AS PER THE MOST CURRENT REVISION OF ANVA C-242.
13. ALL FITTINGS, UNLESS OTHERWISE CALLED FOR, SHALL BE APPROVED DUCTILE IRON. CLASS 500, CEMENT LINED OR FUSION BONDED FIBER GLASS. ALL FITTINGS AND PIPE CONNECTED TO FITTINGS SHALL BE RESTRAINED USING A "RETAINED MECHANICAL JOINT" CONFORMING TO THE MATERIAL AND PERFORMANCE REQUIREMENTS OF ANSVANVA C-1-S-2421 AND ANSVANVA C-1-S-2421, OR "PROTECT" FITTINGS IN ACCORDANCE WITH ANSVANVA C-1-S-2421 EXCEPT FOR HYDRANT TEES, REDUCERS OR OTHER SPECIAL CIRCUMSTANCES WHEN DIRECTED BY CLEVELAND DIVISION OF WATER. ALL FITTINGS ARE TO HAVE BELL ENDS.
14. ALL BOLTS AND NUTS ON ALL "RETAINED MECHANICAL JOINTS" SHALL HAVE FIELD APPLIED DIE (D) COAT OF BITUMASTIC PAINTING.
15. WHERE SHOWN ON THE PLANS, OR WHEN OTHERWISE CALLED FOR, PIPE AND FITTINGS SHALL HAVE AN APPROVED "TYPE I" OR "TYPE II" ROLLER RESTRAINED PUSH-ON JOINTS TO THE LIMITS SHOWN ON THE BRANCHES.
16. AT THE END OF EACH WORKDAY, THE CONTRACTOR SHALL PLUG ALL OPEN PIPE ENDS WITH WATER TIGHT PLUGS AS PER THE PREVENTATIVE AND CORRECTIVE MEASURES DURING CONSTRUCTION SECTION OF THE MOST CURRENT REVISION OF ANVA C-242 AS TO PREVENT THE INFILTRATION OR SEEPAGE OF ANY FOREIGN OBJECTS OR MATERIALS. SAFE STOPPER SIGNAL PHOTO SHALL BE PROVIDED FOR EACH VERTICAL BROADCASTING THAT PROPER ANVA C-242 ACTIVITY WERE USED TO PLUG ALL OPEN WATER MAIN ENDS. EACH PHOTO SHALL CLEARLY IDENTIFY THE STATION AT WHICH THE PIPE IS PLUGGED. THE STATIONING SHALL BE SHOWN BY THE USE OF A STATION NUMBER PLACED AT THE PLUGGED PIPE END.

PHOTOS SHALL BE SUBMITTED ON A DAILY BASIS UNLESS OTHERWISE DEFINED BY THE CWS INSPECTOR OR ENGINEER. ALL PHOTOS TAKEN OVER THE COURSE OF THE PROJECT SHALL BE IDENTIFIED BY THE CONTRACTOR AS PART OF THE AS-BUILT SUBMITTAL. PHOTOS ARE TO INCLUDE STATIONING NUMBER. AS-BUILT SHALL BE BOUND INCOMPLETE, WITHOUT SAID COLLECTION OF SIGNAL PHOTOS.

HYDRANTS

13. IN ALL HYDRANT INSTALLATIONS THE CONTRACTOR SHALL FACE ALL HYDRANT'S 4" STANDARD NOZZLE TOWARD THE PAVEMENT FROM TO TESTING AND CALIBRATION OF WATER MAINS. CONTRACTOR SHALL CONSULT WITH THE LOCAL MUNICIPALITY'S ENGINEERING OR SERVICE DEPARTMENT TO OBTAIN HYDRANT MODEL AND METEAL THREAD REQUIREMENTS IF NOT INDICATED ON THE APPROVED PLANS.
14. ALL VALVES SHALL BE AN APPROVED MODEL, RESILIENT SEATED GATE VALVES AS PER THE MOST CURRENT REVISION OF ANVA C-242 OR C-243.

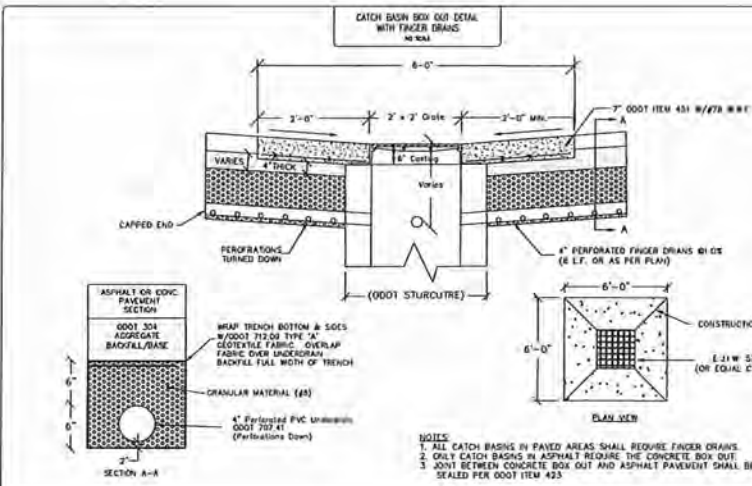
CONNECTIONS

15. WATER CONNECTIONS SHOWN ON THESE DRAWINGS ARE FOR REFERENCE ONLY AND ARE NOT PART OF THE WATER MAIN APPROVAL. ADDITIONAL PROVISIONS FOR SERVICE CONNECTIONS MUST BE OBTAINED FROM THE DIVISION OF WATER PRIOR TO INSTALLATION OF ANY PORTION OF THE SERVICE CONNECTIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR PERMITS FOR ALL SUE WATER SERVICE CONNECTIONS BEFORE PERFORMING ANY WORK. THE PERMITS OF THE CHARGES CAN BE OBTAINED FROM THE DIVISION OF WATER, PERMITS AND SALES SECTION AT 216-464-2444 (2521).
16. ONE INCH SERVICE CONNECTIONS SHALL BE PERMITTED TO SERVICE HOMES BASED ON THE FOLLOWING CRITERIA:
 - A. PEAK FLOW DEMANDS DO NOT EXCEED 25 GPM FOR AN INDIVIDUAL HOME/UNIT INCLUSIVE OF ALL SINK, TUB, DOMESTIC AND/OR IRRIGATION AND
 - B. LENGTH OF ONE INCH CONNECTION DOES NOT EXCEED 75 FEET AS MEASURED FROM THE MAIN TO THE POINT OF ENTRY INTO THE PROPOSED HOME/UNIT.
 ANY SERVICE REQUESTS SUFFERING FROM THE STATES CRITERIA SHALL REQUIRE THE SUBMITTAL OF A COMPLETE WATER SERVICE APPLICATION. PEAK DEMANDS ARE TO BE ASSESSED ON APPLICATION AND SERVICES ARE TO SHOWN ON AN ACCOMPANYING SITE PLAN. SITE PLANS SHALL SHOW WATER METER VALVES IN THE FRONT OF WAY OR AN EASTMENT CONFORMANCE TO THE RIGHT OF WAY FOR ANY HOME/SERVE WITH SERVICES GREATER THAN 100 FEET. EASEMENTS ARE TO BE PROVIDED WITH THE SERVICE CONNECTION APPLICATION SUBMITTAL.
17. ALL WATER MAIN CURB VALVE BOXES & METER VALVES WILL BE INSTALLED IN GRASS AREAS WHEN POSSIBLE.

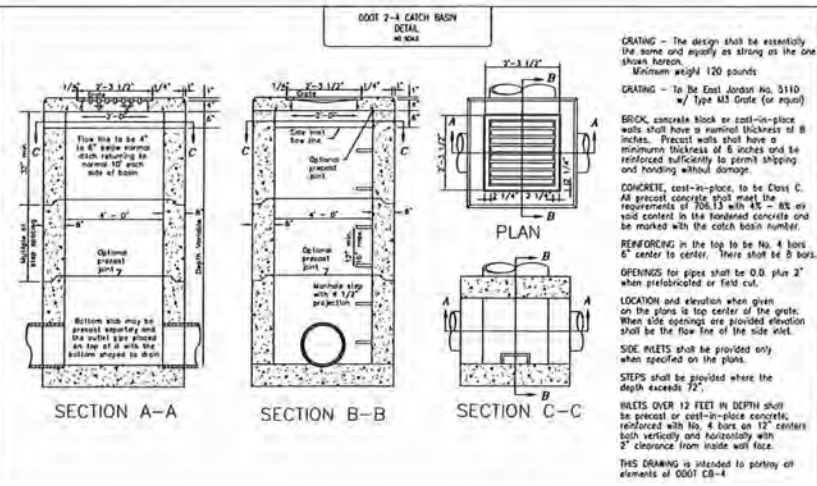
DEFICIENCIES

18. IF A WATER MAIN OR SERVICE CONNECTION BREAK OCCURS DURING CONSTRUCTION AND EMERGENCY ASSISTANCE IS REQUIRED, PLEASE NOTIFY THE DIVISION OF WATER AT 216-464-2068.

DATE: 5-22-2012 BY: RSK 810-011A



NOTES:
 1. ALL CATCH BASINS IN PAVED AREAS SHALL REQUIRE FINGER DRAINS.
 2. ONLY CATCH BASINS IN ASPHALT REQUIRE THE CONCRETE BOX OUT.
 3. JOINT BETWEEN CONCRETE BOX OUT AND ASPHALT PAVEMENT SHALL BE SEALED PER DOT ITEM 423.



CRATING - The design shall be essentially the same and equally as strong as the one shown herein.
 Minimum weight 120 pounds
 CRATING - To be East Jordan No. 5110 w/ Type M3 Grid (or equal)

BRICK - concrete block or cast-in-place walls shall have a nominal thickness of 8 inches. Precast walls shall have a minimum thickness of 8 inches and be reinforced sufficiently to permit shipping and handling without damage.

CONCRETE - cast-in-place, to be Class C. All precast concrete shall meet the requirements of 706.13 with 4% - 8% air void content in the hardened concrete and be marked with the catch basin number.

REINFORCING in the top to be No. 4 bars 6" center to center. There shall be 8 bars.

OPENINGS for pipes shall be O.D. plus 2" when precast or field cut.

LOCATION and elevation when given on the plans is top center of the grate. When site openings are provided elevation shall be the flow line of the side inlet.

SIDE INLETS shall be provided only when specified on the plans.

STEPS shall be provided where the depth exceeds 72".

INLETS OVER 12 FEET IN DEPTH shall be placed on cast-in-place concrete, reinforced with No. 4 bars on 12" centers both vertically and horizontally with 2" clearance from inside wall face.

THIS DRAWING IS INTENDED TO PRINTING OF ELEMENTS OF DOT CB-4

REV. No.	DATE	BY

DATE: 08/08/11
 SCALE: HOR. 1"=20'
 VERT. 1"=4'
 FOLDER: 1000/30/30/Plan
 FILENAME: 810-Plan
 TAB: 02-Details
 DRAWN: DRV

PREMIER DEVELOPMENT PARTNERS HUDSON BTS
 CITY OF HUDSON - SUMMIT COUNTY - OHIO

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 (440) 944-4433 (440) 944-3722 (Fax)
 www.polaris-es.com



DETAILS

CONTRACT No. 16115

SHEET 09	OF 09
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