

Meeting Date:

August 9, 2021

Location:

231 Seasons Road

Parcel Number

3000016, 3100058, 3009880

Request:

Site Plan Application -Tree
Clearing Authorization and
Preliminary Site Plan Review

Applicant:

Robert Howell, Thorson Baker and
Associates

Property Owner:

City of Hudson

Zoning:

D8-Industrial/Business Park

Case Manager:

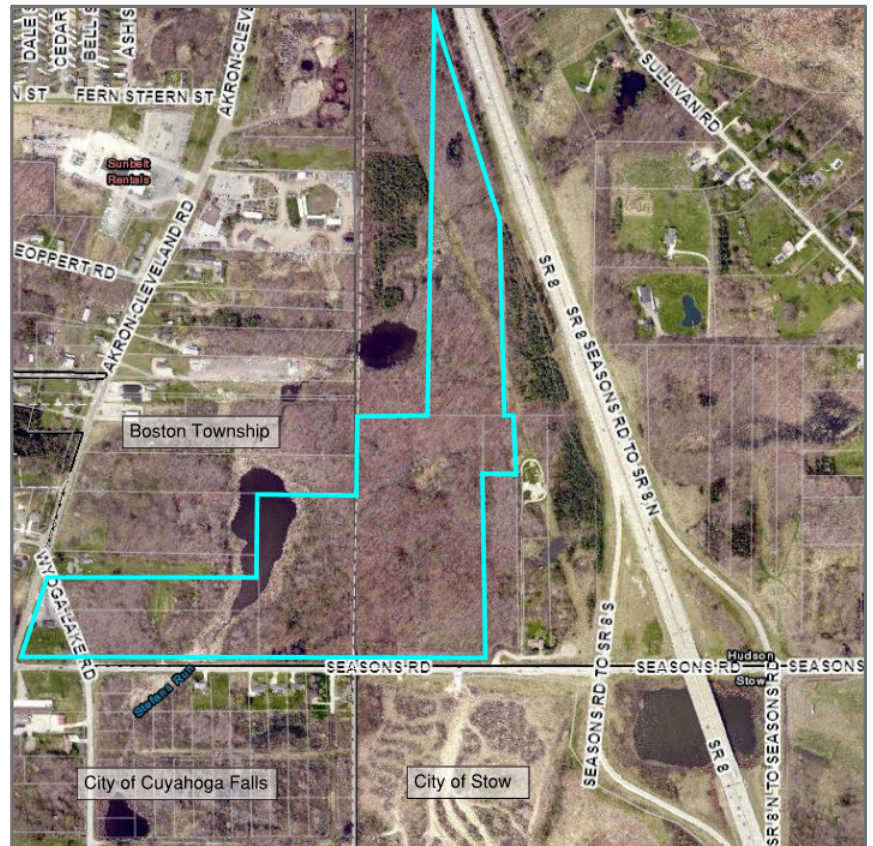
Nick Sugar

Staff Recommendation

Approval subject to conditions on
page four.

Contents

- General Site Plan, 7.12.21
- Site Clearing Plan, 7.12.21
- Wetland Delineation 8.3.21
- Asst. City Engineer Review
dated 8.2.21
- Site Photos, 7.30.21



Existing Conditions, City of Hudson GIS

Project Background:

The proposed development includes three (3) parcels within the City of Hudson, totaling approximately thirty-three (33) acres in area and three (3) parcels within Boston Township, totaling approximately eighteen (18) acres in area. Therefore, the total development site would encompass fifty-one (51) acres. The scope of work includes tree clearing in anticipation for an approximate 75,000 sq. ft. medical clinic for Western Reserve Hospital with associated parking and detention pond. As the current application is limited to tree clearing, the Planning Commission would review a separate application for the proposed site improvements. Staff notes the following review includes preliminary comments for these site improvements.

Adjacent Development:

The site is adjacent to undeveloped land to the north, east and west and industrial development to the south.

Hudson Planning Commission	SITE PLAN REVIEW
Case No. 2021-804	August 9, 2021

District Standards (Section 1205)

- ☒ **Property Standards** The proposed building and site improvements meet applicable dimensional standards.
- ☐ **Pedestrian Amenities** Pedestrian circulation will be reviewed as part of the site plan application. Staff notes appropriate accommodations to review will include an eight-foot path along Seasons Road, a sidewalk connecting Seasons Road to the public entrance, and consideration of a bus shelter.

Use Standards (Section 1206)

- ☒ **Use** The proposed use would provide outpatient medical services and is classified as a *medical clinic* within the Land Development Code. *Medical Clinics* are a permitted use in D8 – Industrial/Business Park

Site Plan Standards (Section 1207)

☒ **Tree and Vegetation Protection**

Tree clearing is proposed in the area shown in Figure 1. Staff notes the site activities are concentrated near the Seasons Road frontage with the majority of the site acreage remaining undisturbed. The area within the clearing limits contains mixed maple/ash/oak hardwoods with a general caliper size from 6-12 inches with intermittent mature trees of 20+inches.

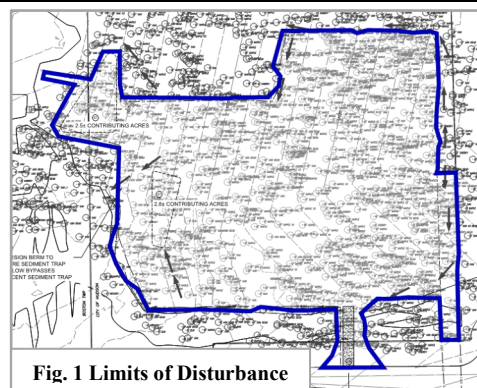


Fig. 1 Limits of Disturbance

Staff notes:

- the limits of disturbance at the east property line should be setback 10 feet from the property line to preserve mature maple and oak trees on the adjacent property near the shared boundary.
- The applicant must establish the limits of disturbance in the field prior to commencement of site activities area with silt fencing and/or polypropylene fencing.
- the proposed clearing has been submitted to the Summit Soil and Water Conservation District for review as part of the required Stormwater Pollution Plan (SWPPP) review process.
- The applicant must obtain approval from Boston Township for the proposed limited site activities within the township.

☐ **Wetland**

Staff notes the site contains significant Category II and III wetlands along the street frontage and within the western portions of the site. The building and parking have been proposed in the upland central portion of the site; however, a total impact of 0.496 acres of Category II wetlands is proposed. The LDC requires a 100 foot setback from the boundary of Category II and III wetlands to all buildings, accessory structures, and paved areas.

Hudson Planning Commission	SITE PLAN REVIEW
Case No. 2021-804	August 9, 2021

The wetland consultant from Thorson Baker Associates notes the tree clearing activities will not require approval from the Army Corp of Engineers; however, such would be required as part of the upcoming site plan application.

Staff notes the proposed impacts to the Category II wetlands and their associated setbacks will require Planning Commission to consider a modification upon finding the standards of Section 1207.18(b)(6)(E)(ii)(b) of the Land Development Code have been met. This modification will be formally reviewed as part of the site plan application.

☐ **Parking**

The application has proposed two hundred ninety-seven (297) spaces with and additional one hundred twelve (112) spaces identified as future landbanked parking, for a total of four hundred nine (409) spaces.

The Land Development Code references:

Medical Clinic (outpatient, multidiscipline facility): one space for each one hundred (100) square feet of floor area - 750 spaces

Office (dentist, doctor, out-patient medical lab): one space per 250-400 sq ft of floor area for office use - 187-300 spaces –

Parking Generation Manual (medical office) 5.5 spaces per one thousand (1,000) square feet of GFA - 412 spaces.

Staff notes the proposed 409 spaces is in general compliance with both the office category of the LDC and the Parking Generation Manual. As part of the site plan application, the applicant should submit a letter indicating how their proposal will meet required need as part of the site plan application.

☐ **Transportation/Circulation Linkage**

Staff notes the site layout plan depicts the drive aligning with Gray Lane, a future street under construction in the City of Stow. A trip generation study and possible traffic impact study will be reviewed as part of the site plan application.

City Departments:

☒ **Engineering**

Assistant City Engineer Nate Wonsick has submitted a review letter dated July 30, 2020. Mr. Wonsick notes approval by SSWCD, Ohio EPA, and Army Corps of Engineers (if applicable) would be required prior to the issuance of a permit for tree clearing. Mr. Wonsick also notes the permitted timeframe for tree clearing pursuant to Indiana and Northern Long-Eared Bat requirements.

☒ **Fire Department**

Fire Marshal Shawn Kasson has no comments regarding the proposed tree clearing.

Hudson Planning Commission	SITE PLAN REVIEW
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Findings:

The staff finds that the application is in substantial compliance with the land disturbance review contained in Section 1204.04.

Required PC Action

The PC shall consider the development application, the staff report, and then take final action. PC shall approve, approve with conditions, or deny the application based on its compliance with the appropriate review standards. All decisions of the Commission shall be based on findings of fact related to the relevant standards of the Code.

Recommendation

Approve the application for the proposed tree clearing for an anticipated medical clinic at 231 Seasons Road per Case 2021-804, according to plans received July 12, 2021 subject to the following conditions:

1. Applicant shall submit documentation verifying the proposed tree clearing will be in accordance with Summit Soil and Water Conservation District (SSWCD) and the Army Corp of Engineers.
2. Adjust the tree clearing limits to maintain a 10-foot setback to the east to aid in the preservation of trees on the adjacent property.
3. The comments of Assistant City Engineer, Nate Wonsick regarding tree clearing must be addressed per the August 2, 2021 correspondence.
4. The applicant shall install silt fencing and/or polypropylene fencing to mark and protect the approved clearing limits, which shall be maintained by the applicant. Satisfaction of the above conditions prior to scheduling of a preconstruction meeting with City Officials and no clearing or construction of any kind shall commence prior to the issuance of a Zoning Certificate.

WESTERN RESERVE HOSPITAL - MEDICAL OFFICE BUILDING

PARCEL NO. 3000016

SEASONS RD

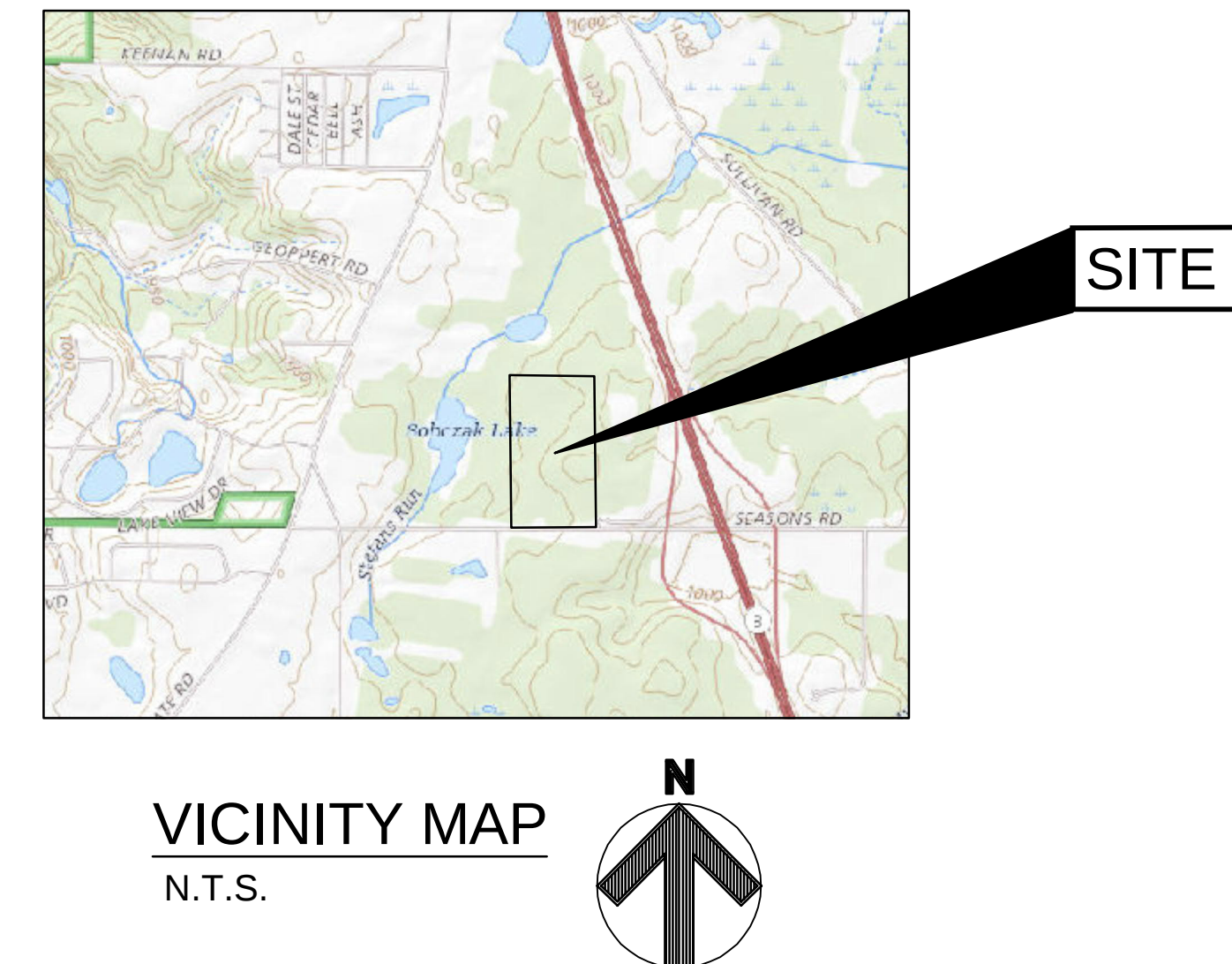
HUDSON, OH 44224

SUMMIT COUNTY

JULY, 2021

DRAWINGS INDEX:

C000 - TITLE SHEET
3 OF 3 BOUNDARY & TOPOGRAPHIC SURVEY
C200 - OVERALL SITE PLAN
C201 - PRELIMINARY SITE PLAN
C500 - NOTES
C501 - NOTES
C600 - DETAILS
C601 - DETAILS
C700 - SWPPP TITLE SHEET
C701 - SITE CLEARING PLAN
C703 - SWPPP NOTES & DETAILS
C704 - SWPPP NOTES & DETAILS
C705 - SWPPP NOTES & DETAILS
C706 - SWPPP NOTES & DETAILS
C707 - SWPPP NOTES & DETAILS
C708 - SWPPP NOTES & DETAILS



ROBERT J. HOWELL, P.E. DATE
3030 W. STREETSBOBO
RICHFIELD, OH 44286
330-659-6688

APPROVED BY:

CITY OF HUDSON
PLANNING AND ZONING

CITY OF HUDSON ENGINEER

SUMMIT COUNTY DEPT. OF SANITARY SEWER SERVICES

T.B.A.
Thorson • Baker + Associates
C O N S U L T I N G E N G I N E E R S
3030 West Streetsboro Road
Richfield, Ohio 44286
(330) 659-6688 Ph.
(330) 659-6675 Fax

WESTERN RESERVE HOSPITAL
MEDICAL OFFICE BUILDING

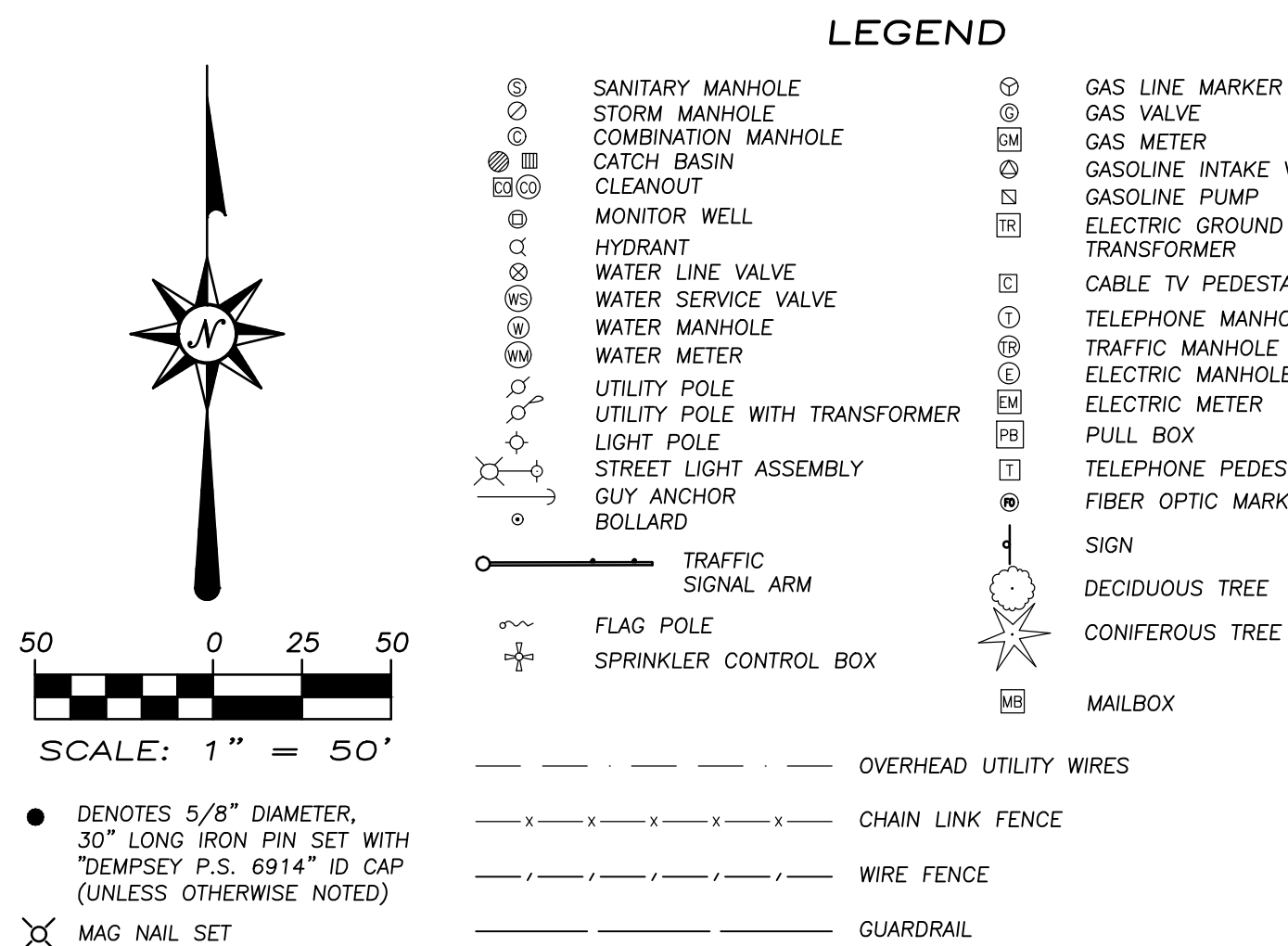
SHEET ISSUE:
ISSUE DATE: 07-12-2021

[illegible]

PROJECT NO:	2021-0410
CURRENT DATE:	07/12/2021

TITLE SHEET

C000

**EXISTING STORM INVERT DATA**

- 1 18" RCP INV. (W) 1022.50
- 2 CATCH BASIN
RM 1022.90
18" RCP INV. (E & W) 1020.35
12" RCP INV. (SW) 1020.75
- 3 CATCH BASIN
RM 1022.92
18" RCP INV. (E & W) 1019.87
12" RCP INV. (SE) 1020.12
- 4 CATCH BASIN
RM 1022.13
18" RCP INV. (E) 1017.78
18" RCP INV. (W) 1017.68
- 5 CATCH BASIN
RM 1021.48
18" RCP INV. (E & W) 1016.86
- 6 CATCH BASIN
RM 1021.03
18" RCP INV. (E) 1015.23
21" RCP INV. (W) 1015.03
- 7 CATCH BASIN
RM 1017.12
21" RCP INV. (E & W) 1014.17
- 8 STORM MANHOLE
RM 1017.76
UNABLE TO MEASURE INVERTS
TOP OF WEIR 1014.56
SUMP 1013.46
- 9 STORM MANHOLE
RM 1017.70
21" RCP INV. (E & W) 1014.00
- 10 STORM MANHOLE
RM 1017.44
21" RCP INV. (E & N) 1013.79
- 11 21" RCP INV. (S) 1013.29
- 12 36" RCP INV. (NE) 1012.59
- 13 36" RCP INV. (SW) 1011.90
- 14 CATCH BASIN
RM 1015.19
12" RCP INV. (W) 1013.39
- 15 12" ADS INV. (W) 1031.86
- 16 12" ADS INV. (E) 1031.14
- 17 6" PVC INV. (N) 1027.24
- 18 15" ADS INV. (W) 1026.52
- 19 15" ADS INV. (E) 1024.92
- 20 12" RCP INV. (W) 1024.44
- 21 12" RCP INV. (E) 1024.04
- 22 15" ADS INV. (NE) 1030.95

HORIZONTAL AND VERTICAL DATUM

HORIZONTAL BASIS OF BEARINGS:
BEARINGS ARE REFERENCED TO GRID NORTH OF THE OHIO STATE PLANE COORDINATE SYSTEM NORTH ZONE, NAD 83 (2011) DATUM.

VERTICAL DATUM:
ELEVATIONS ARE REFERENCED TO NAVD88 VERTICAL DATUM.

BOTH DATUMS WERE ESTABLISHED USING GPS EQUIPMENT CONNECTED TO THE ODOT VRS RTK NETWORK.

ABBREVIATIONS

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**NOTE REGARDING UTILITIES**

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NOTE

THIS SURVEY WAS PERFORMED WITHOUT BENEFIT OF A CURRENT TITLE COMMITMENT FOR THE SUBJECT PREMISES, AND THEREFORE MAY NOT NECESSARILY REFLECT ALL EASEMENTS, RESTRICTIONS OR OTHER CONDITIONS AFFECTING THE PREMISES.

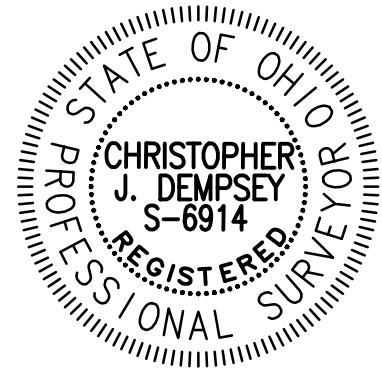
**BOUNDARY & TOPOGRAPHIC SURVEY FOR
AHP DEVELOPMENT, LLC**

SITUATED PARTLY IN THE CITY OF HUDSON AND PARTLY IN THE TOWNSHIP OF BOSTON, COUNTY OF SUMMIT, AND STATE OF OHIO, AND KNOWN AS BEING PART OF ORIGINAL HUDSON TOWNSHIP LOT 1 AND PART OF ORIGINAL BOSTON TOWNSHIP LOT 9

I HEREBY STATE THAT THIS MAP IS BASED ON AN ACTUAL FIELD SURVEY PREPARED BY ME. THE SURVEY IS CORRECT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF. ALL DIMENSIONS GIVEN ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF. BEARINGS ARE REFERENCED TO GRID NORTH OF THE OHIO STATE PLANE COORDINATE SYSTEM NORTH ZONE, NAD 83 (2011) DATUM.

Christopher Dempsey

CHRISTOPHER J. DEMPSEY
PROFESSIONAL SURVEYOR NO. 6914
DATE OF SURVEY: JULY 8, 2021



www.dempseysurvey.com
62
DEMPSEY SURVEYING COMPANY
P 216/226/1130 12815 DETROIT AVENUE
F 216/226/1131 CLEVELAND, OH 44107-2935

LINE DATA		
LINE	BEARING	DISTANCE
L1	N 00°37'49" W	40.00' DEED & USED
L2	N 00°16'47" W	15.00' ODOT & USED
L3	S 00°16'47" E	15.00' ODOT & USED
L4	N 53°05'39" W	55.20' REC. 55.15' OBS.
L5	S 00°16'47" E	30.00' REC. & USED
L6	S 89°43'13" W	1.24' REC. 1.32' OBS.
L7	S 00°43'55" E	60.00' DEED & USED
L8	N 00°45'03" W	40.00' DEED & USED
L9	S 00°37'49" E	40.00' DEED & USED
L10	S 89°14'57" W	88.82' DEED 88.81' OBS.

CURVE DATA					
CURVE	RADIUS	ARC	CHORD	CHORD BEARING	DELTA
C1	1175.91' DEED 1180.22' CALC.	44.73' DEED & OBS.	44.73'	S 14°39'55" E	2°10'18"
C2	1145.92' REC. 1150.22' CALC.	448.00' REC. 448.09' OBS.	445.26'	S 12°10'02" E	22°24' REC. 22°19'14" CALC.
C3	3819.94' COUNTY & USED	1296.74'	1290.52'	S 26°25'08" W	19°27'00" COUNTY & USED

MARY E. SOBCKZAK
O. R. VOL. 330, PG. 155 S.C.R.
PPN 07-00188

N 89°43'13" E 1073.52' DEED & USED

UYS PROPERTIES, LLC
REC. #55971078 S.C.R.
PPN 07-00046
PARCEL 2

UYS PROPERTIES, LLC
REC. #55971078 S.C.R.
PPN 07-00045
PARCEL 3

TOTAL AREA: 1737,648 SQUARE FEET
(39.8909 ACRES)

SEASONS ROAD (VARIABLE WIDTH)
ODOT Project SUM-8-10.66

BROWN FARMS THREE LLC
REC. #55272811 S.C.R.
PPN 07-00101

N 89°43'13" E
500.00' DEED & USED

UYS PROPERTIES, LLC
REC. #55971078 S.C.R.
PPN 07-00044
PARCEL 1

VINCENT & PAMELA PROCCACCIO
REC. #55950013 S.C.R.
PPN 07-00013

N 00°37'49" W 415.51'

125.00' DEED & USED

871.20' DEED & USED

560.69' OBS.

560.62' DEED

290.40' DEED 290.27' OBS.

105.42' DEED & USED

500.00' DEED & USED

S 89°43'13" W

SEE SHEET 2

SEE SHEET 3

BROWN FARMS THREE LLC
REC. #55272811 S.C.R.
PPN 07-00101

N 89°43'13" E
500.00' DEED & USED

BOSTON TOWNSHIP LOT 9
TOWNSHIP OF BOSTON
CITY OF HUDSON
HUDSON TOWNSHIP LOT 1

UYS PROPERTIES, LLC
REC. #55971078 S.C.R.
PPN 07-00044
PARCEL 1

UYS PROPERTIES, LLC
REC. #55950389 S.C.R.
PPN 30-00016
PARCEL 1

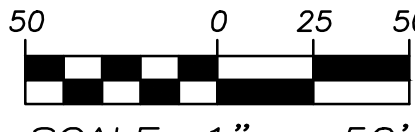
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SCALE: 1" = 50'

● DENOTES 5/8" DIAMETER,
30" LONG IRON PIN SET WITH
"DEMPSEY P.S. 6914" ID CAP
(UNLESS OTHERWISE NOTED)

✕ MAG NAIL SET

LEGEND

- SANITARY MANHOLE
- STORM MANHOLE
- COMBINATION MANHOLE
- CATCH BASIN
- CLEANOUT
- MONITOR WELL
- HYDRANT
- WATER LINE VALVE
- WATER SERVICE VALVE
- WATER MANHOLE
- WATER METER
- UTILITY POLE
- UTILITY POLE WITH TRANSFORMER
- LIGHT POLE
- STREET LIGHT ASSEMBLY
- GUY ANCHOR
- BOLLARD
- TRAFFIC SIGNAL ARM
- FLAG POLE
- SPRINKLER CONTROL BOX
- GAS LINE MARKER
- GAS VALVE
- GAS METER
- GASOLINE INTAKE VALVE
- ELECTRIC GROUND TRANSFORMER
- CABLE TV PEDESTAL
- TELEPHONE MANHOLE
- TRAFFIC MANHOLE
- ELECTRIC MANHOLE
- ELECTRIC METER
- PULL BOX
- TELEPHONE PEDESTAL
- FIBER OPTIC MARKER
- SIGN
- DECIDUOUS TREE
- CONIFEROUS TREE
- MAILBOX
- OVERHEAD UTILITY WIRES
- CHAIN LINK FENCE
- WIRE FENCE
- GUARDRAIL

EXISTING SANITARY INVERT DATA

- 1 SANITARY MANHOLE
RIM 1025.91
12" PVC (PLAN) INV. (SE) 1004.76
- 2 SANITARY MANHOLE
RIM 1033.52
12" PVC (PLAN) INV. (NW & E) 1003.27
- 3 SANITARY MANHOLE
RIM 1032.47
12" PVC (PLAN) INV. (W & SE) 1001.67

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(OUPS) Reference Nos. B114500652-00B, B114500666-00B,
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SEASONS ROAD (VARIABLE WIDTH)

ODOT Project SUM-8-10-66

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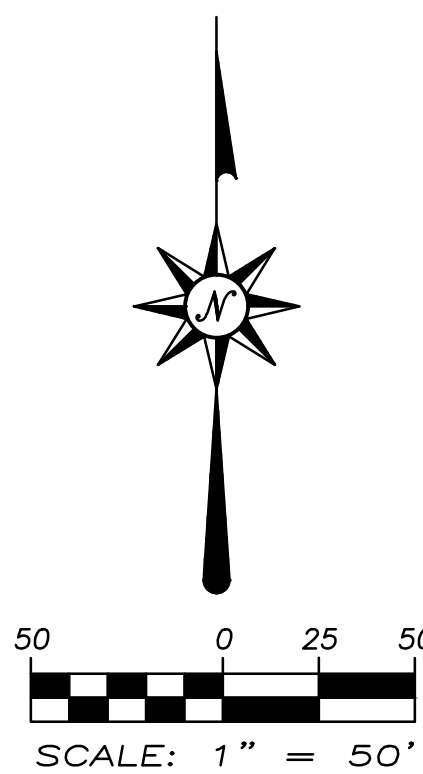
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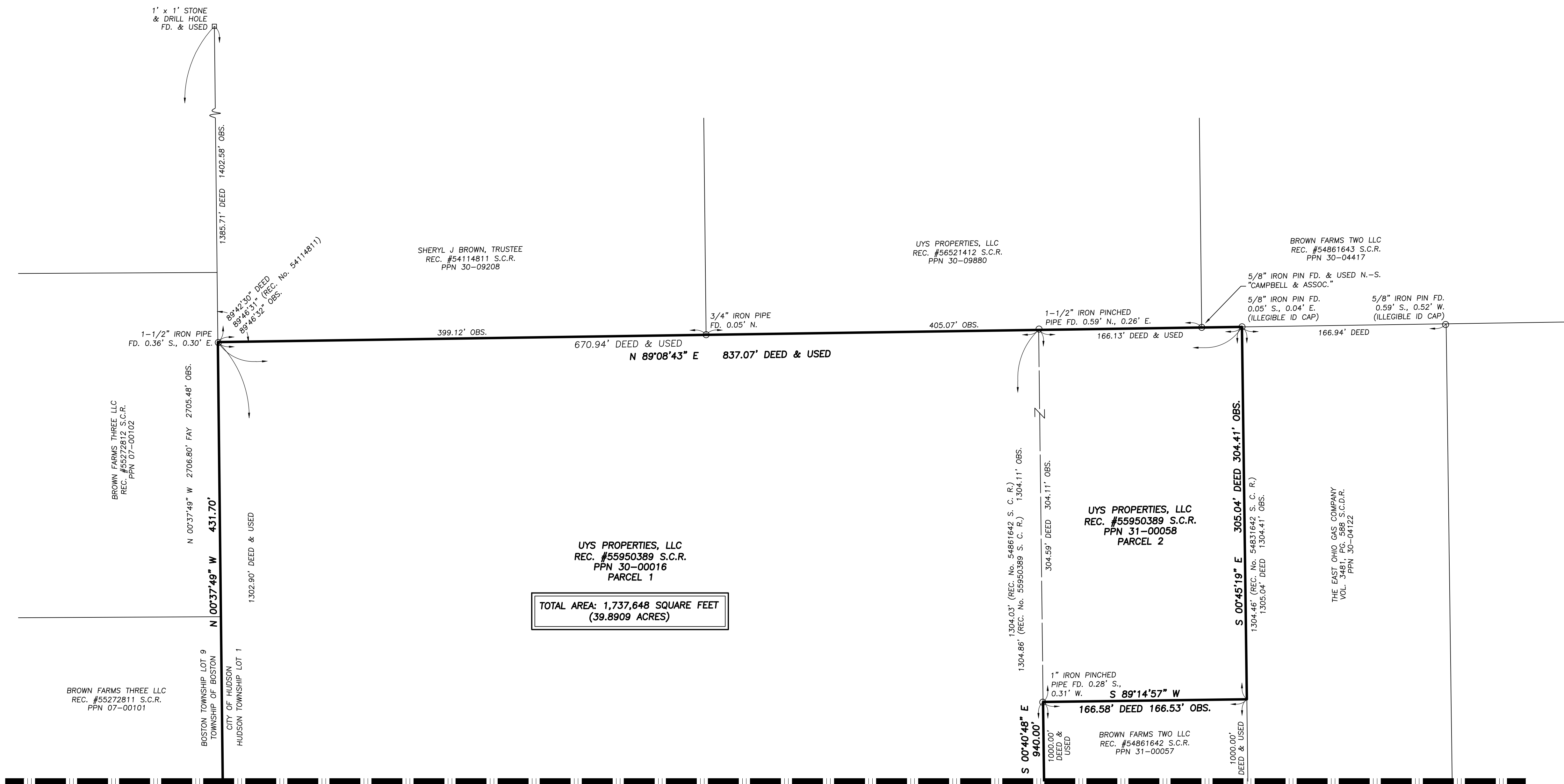


LEGEND

- | | | | |
|--|-------------------------------|--|-----------------------------|
| | SANITARY MANHOLE | | GAS LINE MARKER |
| | GAS VALVE | | GAS VALVE |
| | COMBINATION MANHOLE | | GAS METER |
| | CATCH BASIN | | GASOLINE INTAKE VALVE |
| | CLEANOUT | | GASOLINE PUMP |
| | MONITOR WELL | | ELECTRIC GROUND TRANSFORMER |
| | HYDRANT | | CABLE TV PEDESTAL |
| | WATER LINE VALVE | | TELEPHONE MANHOLE |
| | WATER SERVICE VALVE | | TRAFFIC MANHOLE |
| | WATER MANHOLE | | ELECTRIC MANHOLE |
| | WATER METER | | ELECTRIC METER |
| | UTILITY POLE | | PULL BOX |
| | UTILITY POLE WITH TRANSFORMER | | TELEPHONE PEDESTAL |
| | LIGHT POLE | | FIBER OPTIC MARKER |
| | STREET LIGHT ASSEMBLY | | SIGN |
| | GUY ANCHOR | | DECIDUOUS TREE |
| | BOLLARD | | CONIFEROUS TREE |
| | TRAFFIC SIGNAL ARM | | MAILBOX |
| | FLAG POLE | | |
| | SPRINKLER CONTROL BOX | | |

- — — — — OVERHEAD UTILITY WIRES
- x — x — x — x — x — CHAIN LINK FENCE
- / — / — / — / — / — WIRE FENCE
- — — — — GUARDRAIL

- DENOTES 5/8" DIAMETER, 30" LONG IRON PIN SET WITH "DEMPSEY P.S. 6914" ID CAP (UNLESS OTHERWISE NOTED)
- ⊗ MAG NAIL SET



SEE SHEET 2

Appendix B Water Resources Map

NOTE: Wetlands sizes and stream lengths could change upon overlay of a boundary survey, especially where these features extend outside of or are in close proximity to the shown study limits. Wetlands acreage and stream lengths are calculated for the portion that occurs in the shown study limits.

Prepared for

UYS

34.29 Acres, Seasons Road
Boston Township and Hudson
Summit County, Ohio

Prepared by
DAVEY
RESOURCE GROUP
A Division of The Davey Tree Report Company

Data used to produce this
map were collected on
April 16, 2012 and March
23, and July 13, 2017

----- = Study area

① = Sample point location

 = Areas of wetlands delineated within study area (8.512 acres)

NOTE: Wetland C have increased in size per The United States Army Corps of Engineers (USACE) site visit on July 13, 2017

Pond
(1.872 acres)

Wetland B
(4.884 acres)

Wetland B

Wetland B

ORAM
Scoring
Breakpoints

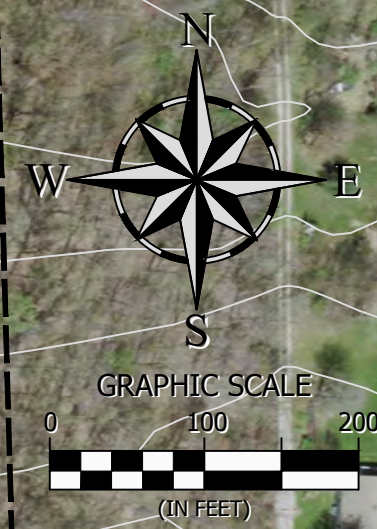
Wetland C
(0.102 acre)

Wetland B1
(2.580 acres)

Wetland D
(0.039 acre)

Wetland B1

existing
culvert



Seasons Road

Seasons Road

Boston Township
Hudson

⑦ ⑧

Wetland A
(0.065 acre)

Wetland B2
(0.842 acres)

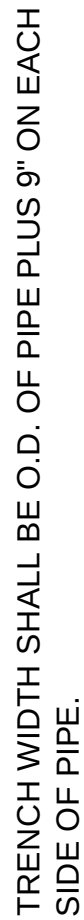
⑩ ⑨

⑤ ⑥

⑫ ⑪

② ①

③ ④



NTS

WETLAND IMPACT MAP
1" = 50'



A north arrow pointing upwards and a graphic scale bar are located at the bottom of the map. The scale bar is marked with 50', 0, 50', and 100'.

LEGEND

AREA OF TEMPORARILY IMPACTED
WETLANDS (0.020 ACRES)

CALL TOLL FREE: 800-362-2764
OHIO UTILITIES PROTECTION SERVICE

MARK	DATE	DESCRIPTION
------	------	-------------

CURRENT DATE: 07/23/2021



(330) 659-6688 Ph.
(330) 659-6675 Fax

Background Information

Name:	Todd Crandall	
Date:	April 18, 2012	
Affiliation:	Davey Resource Group	
Address:	3728 Fishcreek Road, Stow, Ohio 44224	
Phone Number:	330-673-5685, ext. 8033	
E-Mail Address:	Todd.crandall@davey.com	
Name of Wetland: Wetland B (large portion)		
Vegetation Communit(ies): Forested, scrub/shrub, emergent, open water		
HGM Class(es): Depression, riverine headwater		
Location of Wetland: Include map, address, north arrow, landmarks, distances, roads, etc. See Water Resources Delineation Report		
Lat/Long or UTM Coordinate:	41.2049, 81.4912	
USGS Quad Name:	Hudson	
County:	Summit	
Township:	Boston, Hudson	
Section and Subsection:	n/a	
Hydrologic Unit Code:	04110002	
Site Visit:	April 16, 2012	
National Wetland Inventory Map:	See Water Resources Delineation Report	
Ohio Wetland Inventory Map:	n/a	
Soil Survey:	See Water Resources Delineation Report	
Delineation Report/Map:	See Water Resources Delineation Report	

Name of Wetland:	Wetland B (large portion)		
Wetland Size (acres, hectacres)	➤ 10 acres		
Sketch: Include north arrow, relationship with other surface waters, vegetation zones, etc. See Water Resources Delineation Report			
Comments, Narrative Discussion, Justification of Category Changes: See attached scoring boundary description and justification.			
Final Score:	66.5	Category:	3

Background Information

Name:	Todd Crandall	
Date:	April 18, 2012	
Affiliation:	Davey Resource Group	
Address:	3728 Fishcreek Road, Stow, Ohio 44224	
Phone Number:	330-673-5685, ext. 8033	
E-Mail Address:	Todd.crandall@davey.com	
Name of Wetland: Wetland B1		
Vegetation Communit(ies): Forested, scrub/shrub		
HGM Class(es): Depression		
Location of Wetland: Include map, address, north arrow, landmarks, distances, roads, etc. See Water Resources Delineation Report		
Lat/Long or UTM Coordinate:	41.2049, 81.4912	
USGS Quad Name:	Hudson	
County:	Summit	
Township:	Boston, Hudson	
Section and Subsection:	n/a	
Hydrologic Unit Code:	04110002	
Site Visit:	April 16, 2012	
National Wetland Inventory Map:	See Water Resources Delineation Report	
Ohio Wetland Inventory Map:	n/a	
Soil Survey:	See Water Resources Delineation Report	
Delineation Report/Map:	See Water Resources Delineation Report	

Name of Wetland:	Wetland B1		
Wetland Size (acres, hectacres)	2.948 acres		
Sketch: Include north arrow, relationship with other surface waters, vegetation zones, etc. See Water Resources Delineation Report			
Comments, Narrative Discussion, Justification of Category Changes: See attached scoring boundary description and justification.			
Final Score:	50.5	Category:	2

Background Information

Name:	Todd Crandall	
Date:	April 18, 2012	
Affiliation:	Davey Resource Group	
Address:	3728 Fishcreek Road, Stow, Ohio 44224	
Phone Number:	330-673-5685, ext. 8033	
E-Mail Address:	Todd.crandall@davey.com	
Name of Wetland: Wetland B2		
Vegetation Communit(ies): Forested, emergent		
HGM Class(es): Depression		
Location of Wetland: Include map, address, north arrow, landmarks, distances, roads, etc. See Water Resources Delineation Report		
Lat/Long or UTM Coordinate:	41.2049, 81.4912	
USGS Quad Name:	Hudson	
County:	Summit	
Township:	Boston, Hudson	
Section and Subsection:	n/a	
Hydrologic Unit Code:	04110002	
Site Visit:	April 16, 2012	
National Wetland Inventory Map:	See Water Resources Delineation Report	
Ohio Wetland Inventory Map:	n/a	
Soil Survey:	See Water Resources Delineation Report	
Delineation Report/Map:	See Water Resources Delineation Report	

Name of Wetland:	Wetland B2		
Wetland Size (acres, hectacres)	1.123 acre		
Sketch: Include north arrow, relationship with other surface waters, vegetation zones, etc. See Water Resources Delineation Report			
Comments, Narrative Discussion, Justification of Category Changes: See attached scoring boundary description and justification.			
Final Score:	51.5	Category:	2

Background Information

Name:	Todd Crandall	
Date:	April 18, 2012	
Affiliation:	Davey Resource Group	
Address:	3728 Fishcreek Road, Stow, Ohio 44224	
Phone Number:	330-673-5685, ext. 8033	
E-Mail Address:	Todd.crandall@davey.com	
Name of Wetland: Wetland C		
Vegetation Communit(ies): Forested		
HGM Class(es): Depression		
Location of Wetland: Include map, address, north arrow, landmarks, distances, roads, etc. See Water Resources Delineation Report		
Lat/Long or UTM Coordinate:	41.2053, 81.4912	
USGS Quad Name:	Hudson	
County:	Summit	
Township:	Boston, Hudson	
Section and Subsection:	n/a	
Hydrologic Unit Code:	04110002	
Site Visit:	April 16, 2012	
National Wetland Inventory Map:	See Water Resources Delineation Report	
Ohio Wetland Inventory Map:	n/a	
Soil Survey:	See Water Resources Delineation Report	
Delineation Report/Map:	See Water Resources Delineation Report	

Name of Wetland:	Wetland C		
Wetland Size (acres, hectacres)	0.038 acre		
Sketch: Include north arrow, relationship with other surface waters, vegetation zones, etc. See Water Resources Delineation Report			
Comments, Narrative Discussion, Justification of Category Changes:			
Final Score:	49	Category:	2



ENGINEERING • 1140 Terex Road • Hudson, Ohio 44236 • (330) 342-1770

Date: August 2, 2021

To: Nick Sugar, City Planner, Community Development

From: Nate Wonsick, P.E., Assistant City Engineer

Re: **Western Reserve Hospital Office Building (Tree Clearing and SWPPP Only)**
Engineering Review - Viewpoint #21-804

The City of Hudson Engineering Department has reviewed the plans submitted and the comments are below. Note: The City of Hudson Engineering Standards (Engineering Standards) and Land Development Code (LDC) are available online at the City of Hudson Website www.hudson.oh.us under the Engineering Dept. and Community Development Department respectively. The standards are also available in print for a fee. Please contact our office (330-342-1770) if you would like a cost for the printed version.

The City of Hudson Engineering Department has the following comments:

Approvals that will be needed prior to the City of Hudson Engineering Acceptance include:

1. Summit Soil and Water Conservation District
2. Ohio EPA Notice of Intent.
3. Approval from Boston Township for all work shown within Boston Township.
4. US Army Corp. of Engineers for any wetland disturbed areas, if applicable.
5. Submit documentation of approval of all the above.

General Comments:

6. The City will perform a complete and thorough review when the revised set of improvement plans and reports are submitted to the City at a future date and the City reserves the right to add to these comments as needed.
7. Submit a current approved wetland delineation or a letter from a wetland biologist stating that they have visited the site and no wetlands exist on the project area.

Overall plan comments:

8. The tree clearing plans shall be a stand-alone set of plans with a title sheet and no other references to future development of the site. The plans shall indicate the final site restoration including filling in all sediment traps to original grades after completing of the tree clearing operations. Sediment traps may be re-used if additional development plans are approved in the future for this site.
9. Add the City of Hudson Engineering General Notes to the plans. These notes are available on the internet at the City of Hudson website.
10. Construction fencing shall be shown along all wetland setbacks.
11. Add a note to the plans that "All tree clearing shall only occur between the dates of October 1 through March 31 to avoid impacts to the Federally listed and protected Indiana Bat and Northern Long Eared Bat. No trees shall be removed under this project from April 1 through September 30. For the purposes of this note a tree is defined as a live, dying, or dead woody plant, with a trunk three inches or greater in diameter at a height of 4.5 feet above the ground surface, and with a minimum height of 13 feet."
12. Show all temporary soil stockpiles on the plans, as applicable. Add the following note regarding all temporary soil stockpiles: "Excess soil stockpiles that will not be used on the site must be removed within 48 hours."

13. Submit an engineer's estimate based on prevailing wages and 110% of the construction value in order to calculate the performance bond and permit fees. This estimate shall include all erosion and sediment controls for the tree clearing.
14. An inspection escrow will be needed at the final approval of the plans, prior to a pre-construction meeting. This escrow account will be based on the R/W bond, meetings, etc.
15. A pre-construction meeting shall be held prior to any construction with the City of Hudson and Summit Soil and water District.

In addition to the above comments related to the tree clearing only plans, the following typical comments are provided based on the preliminary future full submittal of full detailed site development plans:

Approvals that will be needed prior to the City of Hudson Engineering Acceptance include:

16. Summit Soil and Water Conservation District
17. Ohio EPA Notice of Intent.
18. Summit County Building Standards shall review the building structures; fire lines; and any retaining walls proposed on the site.
19. Summit County DSSS shall review and approve the sanitary sewer for this site.
20. Ohio EPA may need to review the sanitary and water systems, if applicable.
21. US Army Corp. of Engineers for any wetland disturbed areas, if applicable.
22. Submit documentation of approval of all the above.

General Comments:

23. The designer shall check sight distances at the new intersection.
24. A traffic trip generation report shall be provided for this site. Note, a Traffic Impact Study or turn lane warrant analysis may be necessary following the trip generation report. Note that a Traffic Impact Study is needed if trip generation is over 100 the turn lane warrant analysis is needed if trip generation is over 60.

Overall plan comments:

25. Add the City of Hudson Engineering General Notes to the plans. These notes are available on the internet at the City of Hudson website.
26. Provide a plan and profile view of all proposed storm and sanitary sewers.
27. Construction fencing shall be shown along all wetland setbacks.
28. The surface of all fire access lanes shall be engineered to provide a bearing weight of 60,000 pounds. Provide calculations to support this (example calculations are available upon request). Fire access shall be determined by the fire department.
29. Show all temporary soil stockpiles on the plans, as applicable. Add the following note regarding all temporary soil stockpiles: "Excess soil stockpiles that will not be used on the site must be removed within 48 hours."
30. Label all major cut and fill slopes (i.e. %, or 3:1, etc.) Note that 3:1 is the max. allowable slope for site grading.
31. Please include the pre and post impervious box on the first page of the plans per section 1.7 of the Engineering Standards.
32. The commercial drive aprons shall be 8" MS concrete. See Hudson Engineering Standards. Apron flares shall be per the City standards.
33. All existing road repairs shall be repaired to Hudson Engineering Standard Section 7, Fig. 7.1.1.
34. Submit an engineer's estimate based on prevailing wages and 110% of the construction value in order to calculate the performance bond and permit fees. This estimate shall include all work in the R/W, storm water retention basin work, and all erosion and sediment controls.
35. An inspection escrow will be needed at the final approval of the plans, prior to a pre-construction meeting. This escrow account will be based on the R/W bond, meetings, etc.
36. A pre-construction meeting shall be held prior to any construction with the City of Hudson and Summit Soil and water District.

Water system comments:

37. The water service connection shall be a live tap (tapping sleeve and valve) to the existing water main per City of Hudson standards.
38. The water and gas service connections shall be bored under existing roads as needed.
39. Label the proposed waterline size of pipe, type of pipe, including thrust-blocking, meg-a-lug restraint system, hydrants, and valves per the City of Hudson Water Standards.
40. The proposed waterlines shall be tested and approved per the City of Hudson Standards.
41. The domestic waterline and the fire line shall be separate and will need separate valves. The domestic water main shall have an access easement to the City from the right of way to the main shut-off valve which shall be a 10' wide perpetual access easement to the City.

Storm Sewer/ Storm Water Management Comments:

42. Per the City of Hudson Engineering Standards Section 5 - The storm water runoff shall be designed for the 25-year post-developed storm to be detained to the 1-year pre-developed storm for this site, due to the flooding in the downstream areas adjacent to this site, per the City.
43. The designer shall also complete a downstream analysis per section 5.5 of the Engineering Standards to ensure no adverse impacts downstream of the proposed development.
44. Storm Sewer calculations and storm sewer drainage area maps need to be submitted.
45. Show that the 100-year design storm reaches all storm water management BMP's via the storm sewers or an overland flow path. If overland, show the 100-year overland flow path on the drainage area maps.
46. Review Section 5 of the Hudson Engineering Standards for the 100-year flood path requirements on the emergency spillways for the detention basins for this site and make any applicable changes, as needed. Also, provide emergency spillways for all detention basins and ensure that they meet the requirements of Section 5.
47. Provide details of all outlet structures and include top, front, right and left side views of the structures.
48. A professional engineer shall stamp and sign the storm water management plans and calculations.
49. A City of Hudson Long Term Maintenance Agreement must be signed for the storm water management SCD's.
50. All storm sewer pipes from an outlet structure to a City sewer (or open discharge point) shall meet City of Hudson standards for pipe material per City Engineering standards section 4.1.A.
51. A 30' wide access easement to the City of Hudson shall be granted to each stormwater basin and shall also be 30' past the 100-year water surface of each basin. Show the limits of this easement on the improvement plans. This easement shall be recorded prior to completion of construction and acceptance of the improvements.

Please resubmit the tree clearing plans further review.

If you have any questions, please contact our office.

Sincerely,



Nate Wonsick, P.E.
Assistant City Engineer

C: File.

Site Photos

