

WALTON RESIDENCE

PROJECT INFORMATION

CITY HUDSON
COUNTY SUMMIT COUNTY
PARCEL NO 3000190
ZONING DISTRICT 3 | OUTER VILLAGE RESIDENTIAL NEIGHBORHOOD
PROJECT RESIDENCE RENOVATION & ADDITION

APPLICABLE CODES

BUILDING: 2019 OHIO RESIDENTIAL BUILDING CODE
ZONING: CITY OF HUDSON

PROJECT AREA
FIRST FLOOR FINISHED 1,488 SF (EXISTING)
415 SF (ADDITION & REVISED GARAGE)

PROJECT TEAM

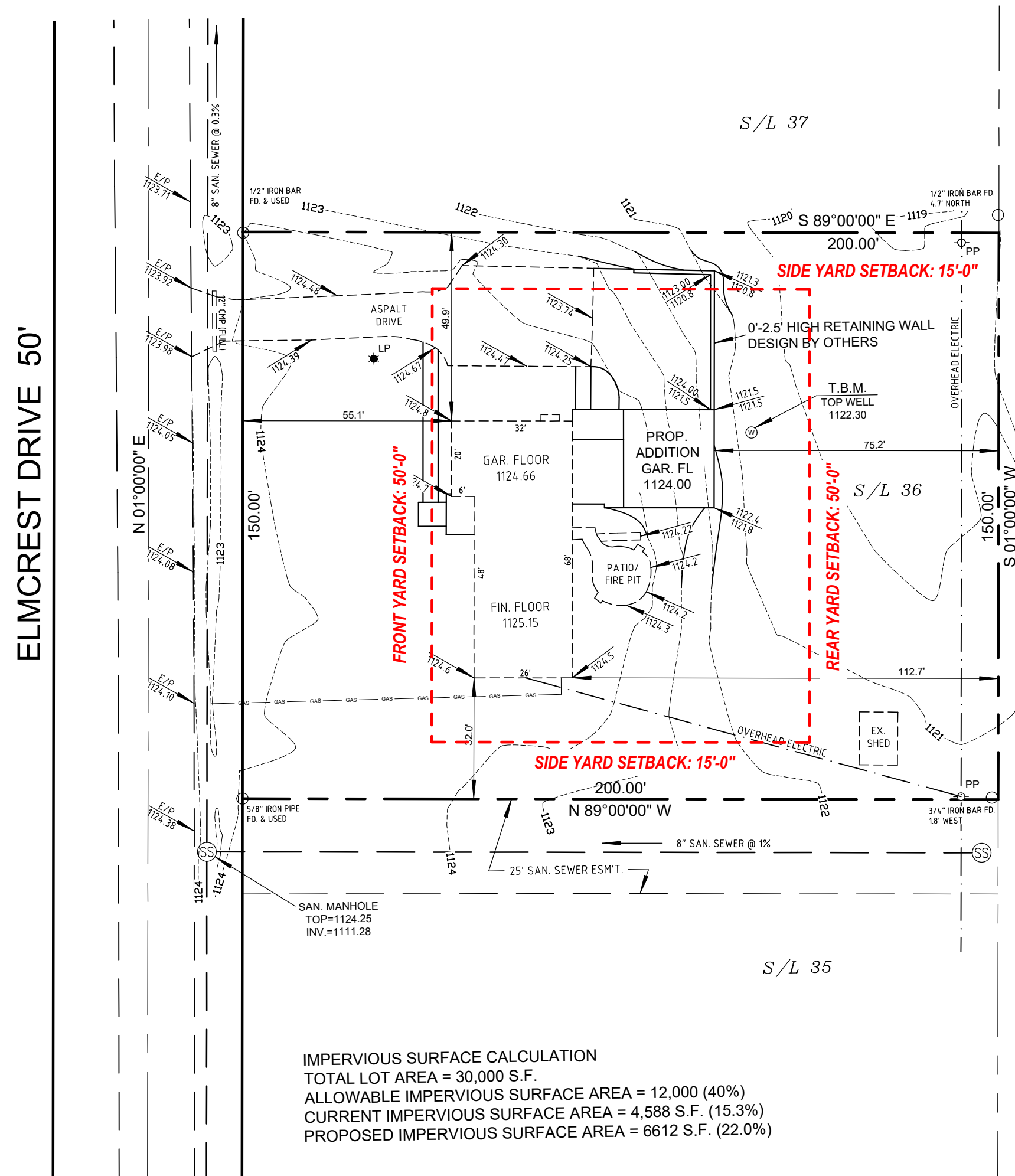
ARCHITECT:

HARA ARCHITECTS
HUDSON, OHIO
P: 419.410.6241

CONTACT: NATE BAILEY

DRAWING INDEX

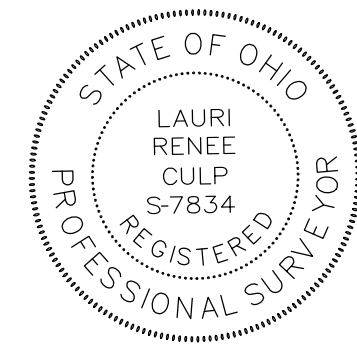
SHEET NAME	DATE
G100 COVER SHEET	
A100 FIRST FLOOR EXISTING AND DEMOLITION PLAN	
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IMPERVIOUS SURFACE CALCULATION
TOTAL LOT AREA = 30,000 S.F.
ALLOWABLE IMPERVIOUS SURFACE AREA = 12,000 (40%)
CURRENT IMPERVIOUS SURFACE AREA = 4,588 S.F. (15.3%)
PROPOSED IMPERVIOUS SURFACE AREA = 6612 S.F. (22.0%)

REV - ADD ADDITION, EXTENDED DRIVEWAY; REGRADE - 10/25/2024 - LRC

I HEREBY CERTIFY THAT I HAVE SURVEYED THE LAND SHOWN ON THIS PLAN AND THAT THIS PLAN IS A CORRECT REPRESENTATION OF THE LAND SHOWN HEREON.
LAURENCE COLLETT P.E. 1258
L.C.P. SURVEYING, L.L.C.
3803 RESIDENCE DRIVE
HUDSON, OHIO 44236
330-815-3767



6543 ELMCREST DRIVE
S/L 36 - ELMCREST SUBD. PART 1
PLAT BOOK 46, PAGE 40
CITY OF HUDSON
SUMMIT COUNTY, OHIO
AUGUST, 2024 SCALE: 1" = 30'



WALTON RESIDENCE
6543 ELMCREST DRIVE, HUDSON, OHIO 44236

PROJECT #: 2431

ISSUE	ID	DATE
AMER	A	

PROGRESS

NOT FOR CONSTRUCTION
10/25/2024

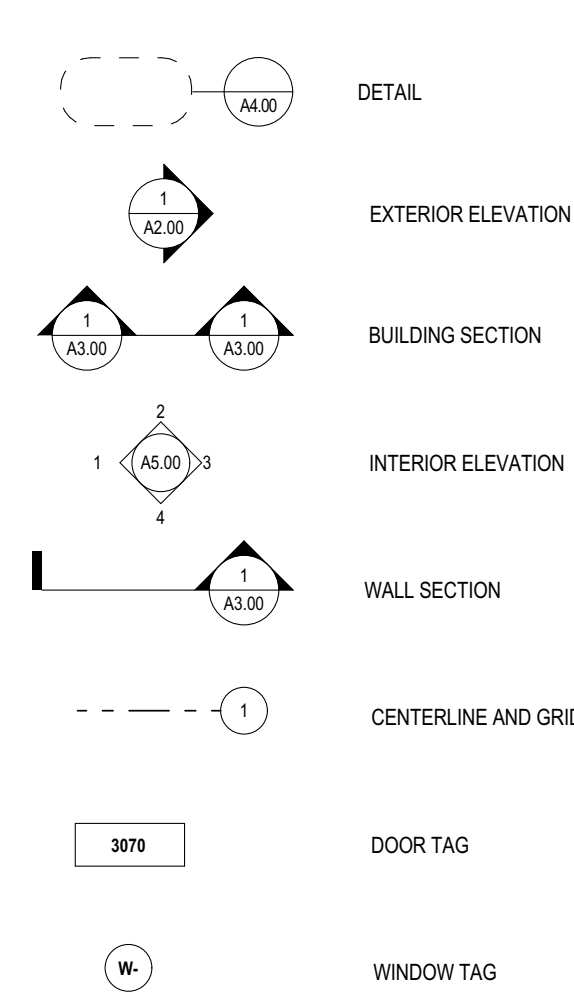
COVER SHEET

G100

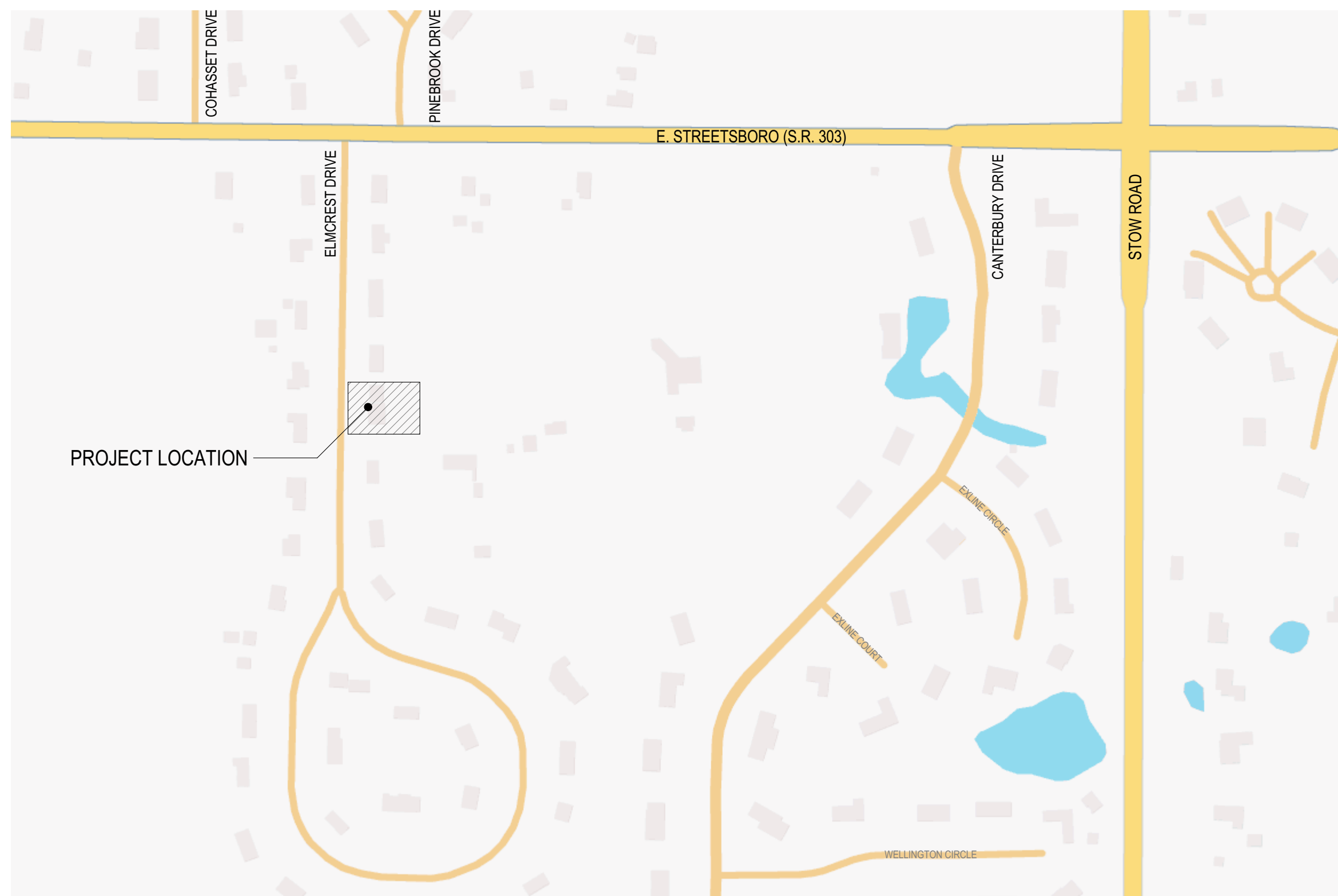
ABBREVIATIONS

ABV	ABOVE	HC	HOLLOW CORE
AC	AIR CONDITIONING	HDWR.	HARDWARE
AFF	ABOVE FINISHED FLOOR	HM	HOLLOW METAL
ALT	ALTERNATE	HVAC	HEATING, VENTILATION, AND AIR COND.
AHJ	AUTHORITY HAVING JURISDICTION	HT	HEIGHT
ALUM	ALUMINUM	INSUL	INSULATION
APPROX.	APPROXIMATELY	JST	JOIST
ARCH	ARCHITECTURAL	LAM	LAMINATED
ASPH	ASPHALT	LF	LINEAR FOOT
BD	BOARD	MAS	MASONRY
BLDG	BUILDING	MATL	MATERIAL
BOTT	BOTTOM OF	MAX.	MAXIMUM
BRG	BEARING	MECH	MECHANICAL
BOTT	BOTTOM	MFG.	MANUFACTURER
BTW	BETWEEN	MIN.	MINIMUM
CF	CUBIC FEET	MISC	MISCELLANEOUS
CP	CAST IN PLACE	MO	MASONRY OPENING
CJ	CONTROL JOINT	MTD	MOUNTED
CLG	CEILING	MTL	METAL
CLR	CLEAR	NOM	NOMINAL
CMU	CONCRETE MASONRY UNIT	NTS	NOT TO SCALE
CONC	CONCRETE	OV	OVER
CO	CLEAN OUT	O.C.	ON CENTER
CONT	CONTINUOUS	OPN	OPENING
DBL	DOUBLE	PREFAB	PREFABRICATED
DEPT	DEPARTMENT	PLYWD	PLYWOOD
DA	DIAMETER	PLAM	PLASTIC LAMINATE
DM	DIMENSION	PS	PAIR
DN	DOWN	PSI	POUNDS PER SQUARE INCH
DR	DOOR	REF	REFERENCE
DS	DOWNSPOUT	RM	ROOM
DTL	DETAIL	RO	ROUGH OPENING
DWG	DRAWING	REQ	REQUIRED
EA	EACH	SC	SOLID CORE
ELEC	ELECTRICAL	SECT	SECTION
EQ	EQUAL	SHA	SIMILAR
EXH	EXHAUST	STRUC	STRUCTURAL
EXIST	EXISTING	TYP	TYPICAL
EXP	EXPOSED	UNO	UNLESS NOTED OTHERWISE
EXT	EXTERIOR	WI	WITH
FD	FLOOR DRAIN	WWF	WELDED WIRE FABRIC
FDN	FOUNDATION		
FIN	FINISHED		
FLR	FLOOR		
FT	FOOT		
FTG	FOOTING		
FUR	FURRING		
GALV	GALVANIZED		
GA	GAUGE		
GC	GENERAL CONTRACTOR		
GYP. BD.	GYP. BOARD		
GYP	GYP. BOARD		

DRAWING SYMBOLS



PROJECT LOCATION MAP



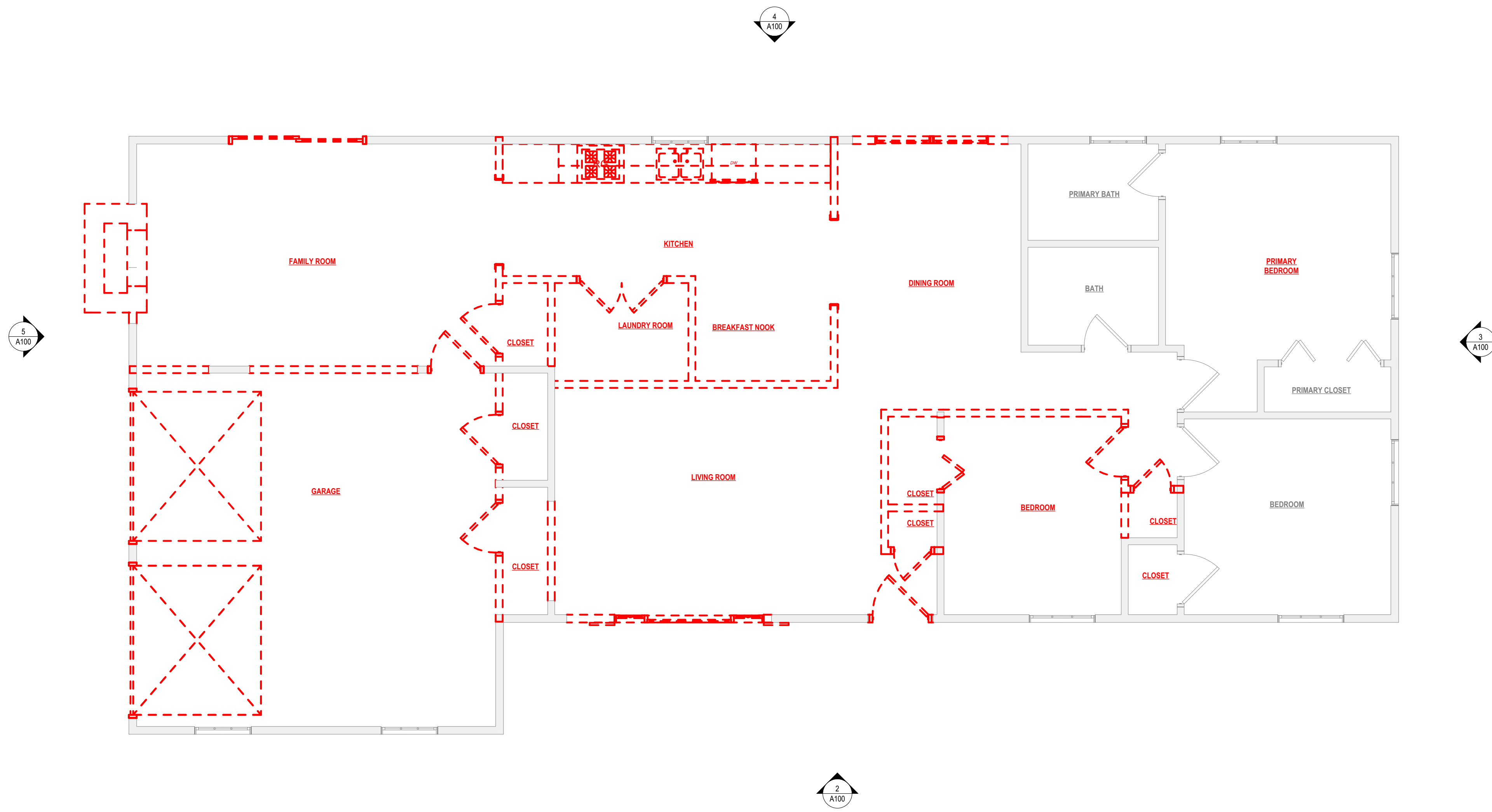
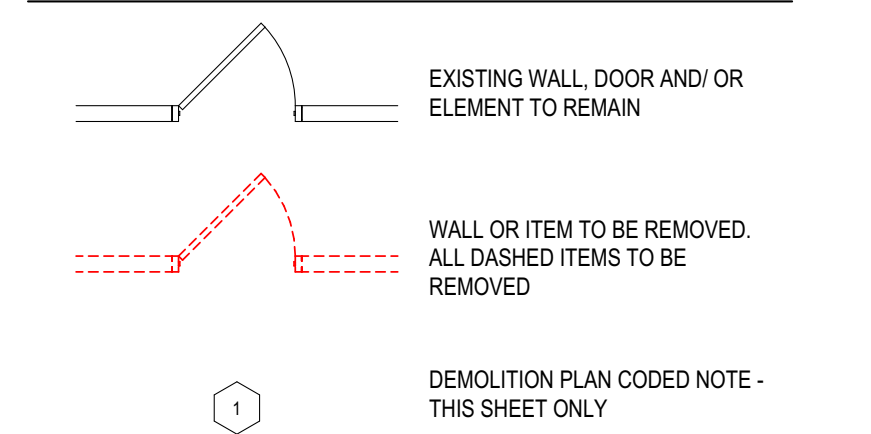
DEMOLITION PLAN GENERAL NOTES

1. WALLS ARE GYPSUM BOARD ON METAL STUD UNLESS NOTED OTHERWISE REMOVE ENTIRE WALL TO UNDERSIDE OF DECK UNLESS NOTED OTHERWISE.
2. IN DEMOLITION AREAS REMOVE ALL MISCELLANEOUS ITEMS ON WALLS INCLUDING TACKBOARDS, TOILET ACCESSORIES, CORNER GAUDES, AND OTHER WALL MOUNTED ITEMS, UNLESS NOTED OTHERWISE.
3. FILL AND LEVEL ALL HOLES IN FLOORS AND WALLS AFTER REMOVAL OF PIPES, DUCTS, CONDUIT, AND OTHER PENETRATING ITEMS. MAINTAIN REQUIRED FIRE RATINGS.
4. REMOVE CEILING WHERE NEW CEILINGS ARE INDICATED AND AS NOTED REMOVE ALL UNUSED ABANDONED FASTENERS, SUPPORTS, BRACKETS, HANGERS, ETC. ABOVE THE CEILING. PATCH AND REPAIR WALL SURFACES FOR NEW CEILING.
5. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR REQUIRED DEMOLITION AND RELATED WORK.
6. TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO ADJACENT AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE INCURRED.
7. ALL DEMOLITION ACTIVITIES SHALL BE COORDINATED WITH THE OWNER TO MINIMIZE DISRUPTION OF NORMAL DAILY ACTIVITIES IN THE PROJECT AREA.
8. RESUPPORT EXISTING CONDUIT, PIPING, AND EQUIPMENT REMAIN AS REQUIRED DUE TO DEMOLITION OF EXISTING CEILINGS.
9. PATCH ALL EXISTING ADJACENT INTERIOR FINISHES TO REMAIN AS UNDISTURBED BY THE DEMOLITION TO MATCH ADJACENT SURFACES.
10. ALL DEMOLITION ITEMS ARE TO REMAIN THE PROPERTY OF THE OWNER AT THEIR DISCRETION. ALL ITEMS NOT RETAINED BY THE OWNER SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR. IN ADDITION, SEE CODED NOTES BELOW FOR ITEMS TO BE REMOVED AND TURNED OVER TO OWNER.
11. ALL STRUCTURAL MEMBERS ARE TO REMAIN AND BE PROTECTED UNLESS OTHERWISE NOTED.
12. NOTIFY ARCHITECT PRIOR TO DEMOLITION IF ITEM INDICATED TO BE REMOVED IS SUSPECT AS STRUCTURAL ELEMENT.
13. MAINTAIN BUILDING IN WEATHERTIGHT CONDITIONS AT ALL TIMES.

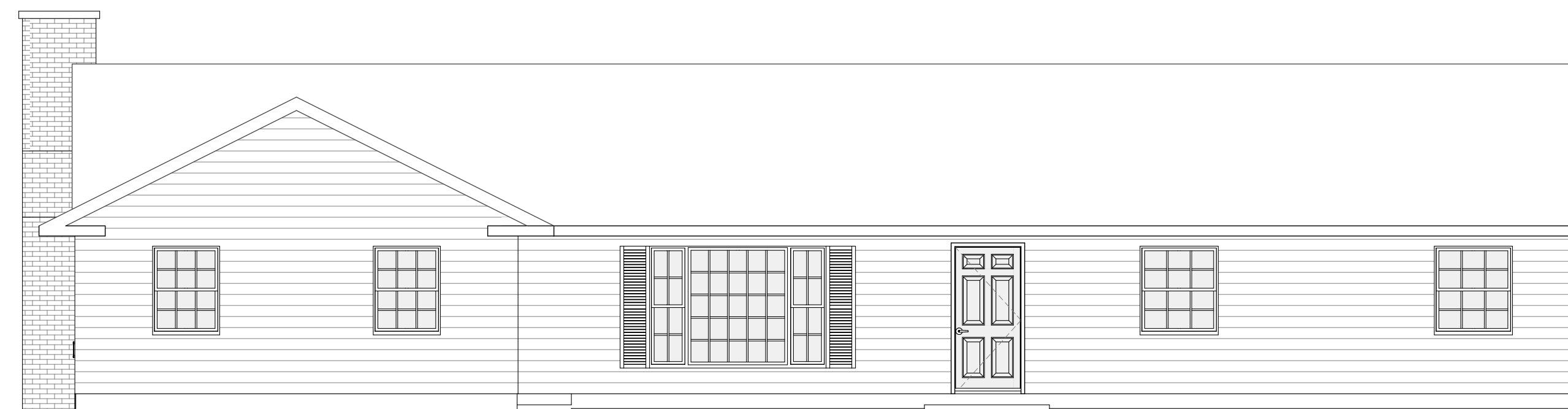
DEMOLITION PLAN CODED NOTES

1. EXISTING SERVICES TO REMAIN IN USE. COORDINATE LOCATION AND ROUTINGS IN FIELD.
2. REMOVE AND REPLACE EXISTING CEILING SYSTEM AS REQUIRED FOR ABOVE CEILING WORK. REPLACE ANY DAMAGED TILE WITH NEW TO MATCH EXISTING.
3. PLUMBING FIXTURE AND ASSOCIATED MILLWORK TO BE DEMOLISHED IN ITS ENTIRETY. ALL ASSOCIATED DRAIN AND SUPPLY PLUMBING TO BE DEMOLISHED TO MAIN.
4. TILE WALL FINISH TO BE DEMOLISHED IN ITS ENTIRETY. GYPSUM BOARD AND FRAMING TO BE REMOVED TO EXTENTS REQUIRED FOR NEW WORK PLAN.
5. REMOVE PORTION OF EXISTING DRYWALL TO ACCOMMODATE NEW INTERIOR WINDOW, WINDOW TO OCCUR IN PREVIOUS LOCATION OF DOOR AND SIDELITE AND TO MAKE USE OF EXISTING HEADER.
6. DEMOLISH EXISTING FLOORING MATERIAL. ALL ASSOCIATED MATERIALS INCLUDING, BUT NOT LIMITED TO, ADHESIVE, BACKER AND TRANSITION STRIPS SHOULD BE DEMOLISHED.
7. EXTENTS OF NEW SPACE GO TO DASHED LINE. REFER TO NEW WORK PLAN FOR ADDITIONAL INFORMATION.

DEMOLITION PLAN LEGEND



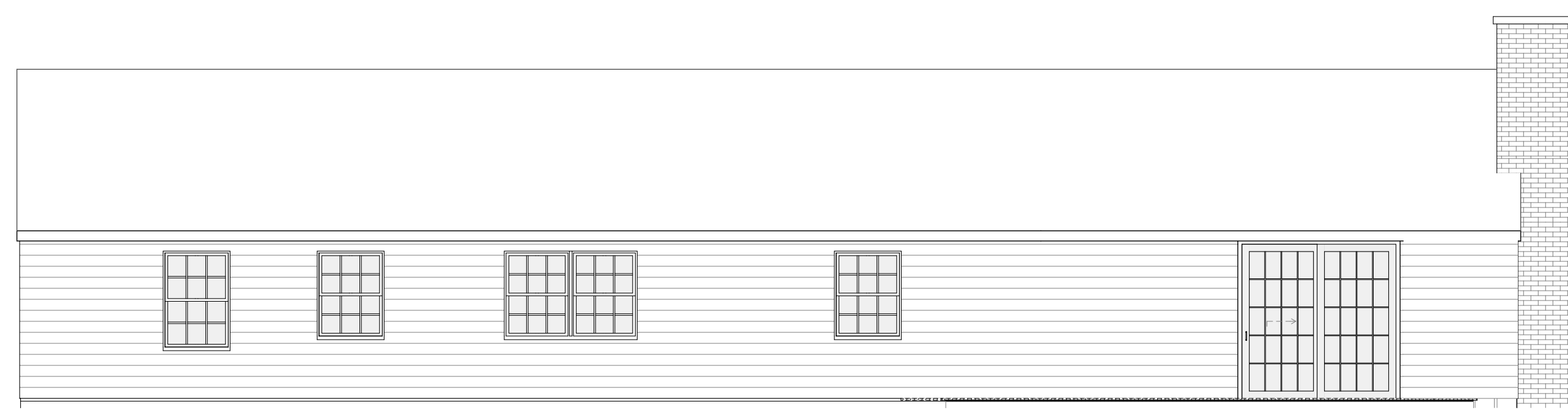
1 FIRST FLOOR PLAN - DEMOLITION
SCALE: 1/4" = 1'-0"



2 EXISTING FRONT OF HOUSE ELEVATION
SCALE: 3/16" = 1'-0"



3 EXISTING SIDE OF HOUSE ELEVATION
SCALE: 3/16" = 1'-0"



4 EXISTING REAR OF HOUSE ELEVATION
SCALE: 3/16" = 1'-0"



5 EXISTING SIDE OF HOUSE ELEVATION
SCALE: 3/16" = 1'-0"

WALTON RESIDENCE
6543 ELMCREST DRIVE, HUDSON, OHIO 44236

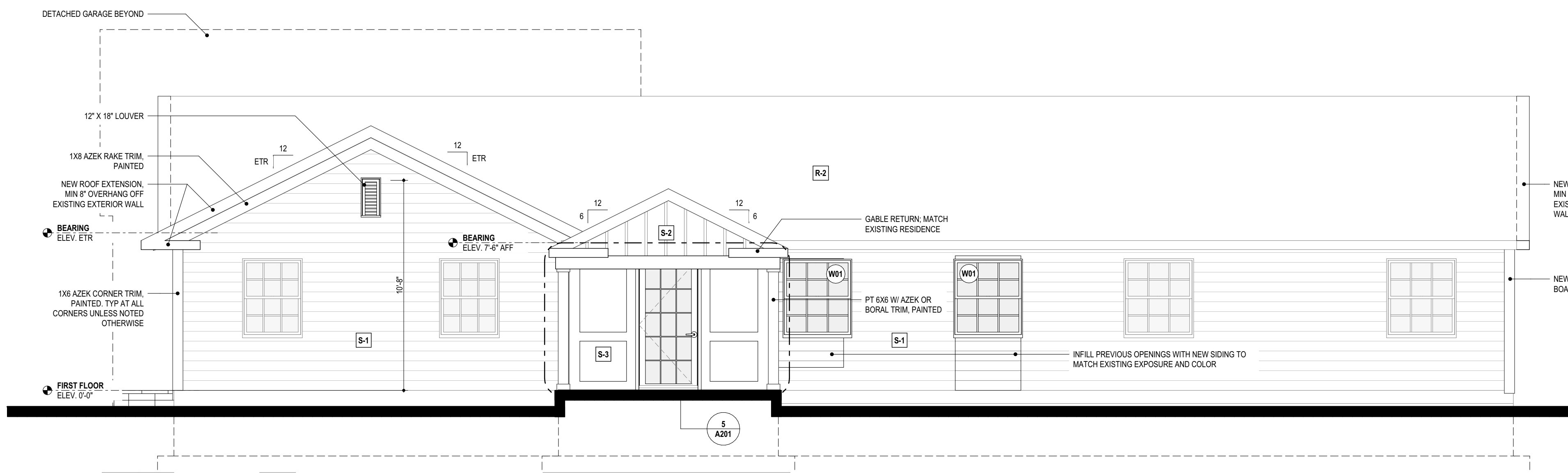
PROJECT #: 2431

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PROGRESS

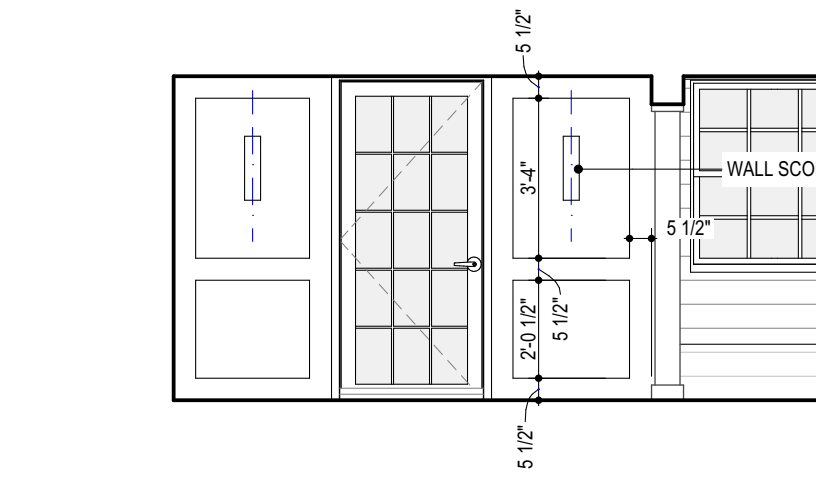
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FIRST FLOOR EXISTING AND DEMOLITION PLAN



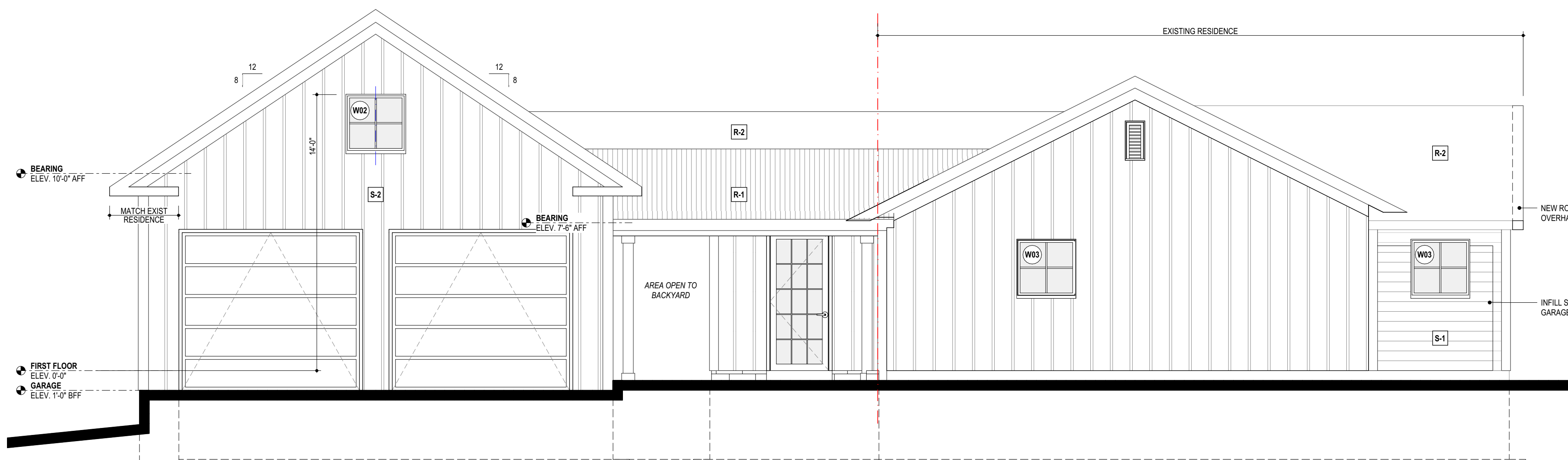
1 FRONT OF HOUSE ELEVATION

SCALE: 1/4" = 1'-0"



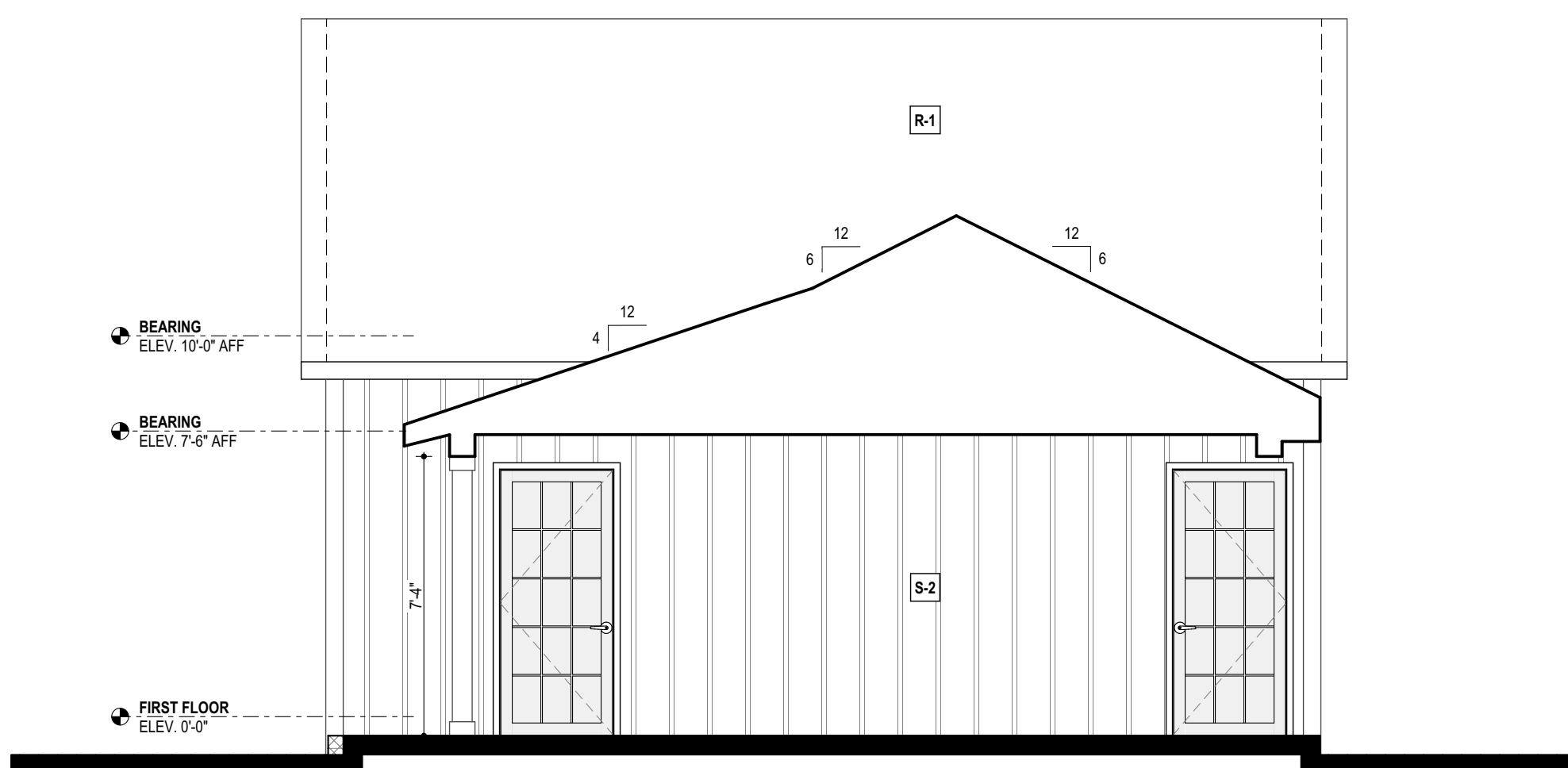
5 PARTIAL PORCH ELEVATION

SCALE: 1/4" = 1'-0"



2 SIDE OF HOUSE ELEVATION

SCALE: 1/4" = 1'-0"



3 PARTIAL SIDE OF HOUSE ELEVATION

SCALE: 1/4" = 1'-0"

MATERIAL SCHEDULE

ALL MATERIAL ASSEMBLIES LISTED BELOW TO OCCUR OVER THE FOLLOWING UNLESS NOTED OTHERWISE.

0 WEATHER BARRIER
0 APA RATED EXTERIOR GRADE OSB SHEATHING
0 2X6 STUDS W/ R-19 BATT INSULATION

LAP SIDING (S-1)
SIDING TO MATCH EXPOSURE AND COLOR OF EXISTING RESIDENCE.

VERTICAL SIDING (S-2)
FIBER CEMENT BOARD & BATTEN SIDING.

ASPHALT SHINGLE ROOF (R-1)
30 YEAR ARCHITECTURAL SHINGLE
0 MANUFACTURER'S RECOMMENDED UNDERLAYMENT
0 1/2\"/>

METAL STANDING SEAM ROOF (R-2)
METAL STANDING SEAM ROOF

EXTERIOR ELEVATION GENERAL NOTES

ROOF SOFFITS TO MATCH EXISTING RESIDENCE UNLESS NOTED OTHERWISE.

ALL FIBER CEMENT EXTERIOR TRIM TO BE AZEK OR BORAL, PAINTED, OR APPROVED EQUAL.

ALL EXPOSED WOOD ELEMENTS AND TONGUE AND GROOVE CEILINGS IS TO BE DOUG FIR STAINED AND SEALED. COORDINATE FINAL COLOR WITH ARCHITECT AND OWNER.

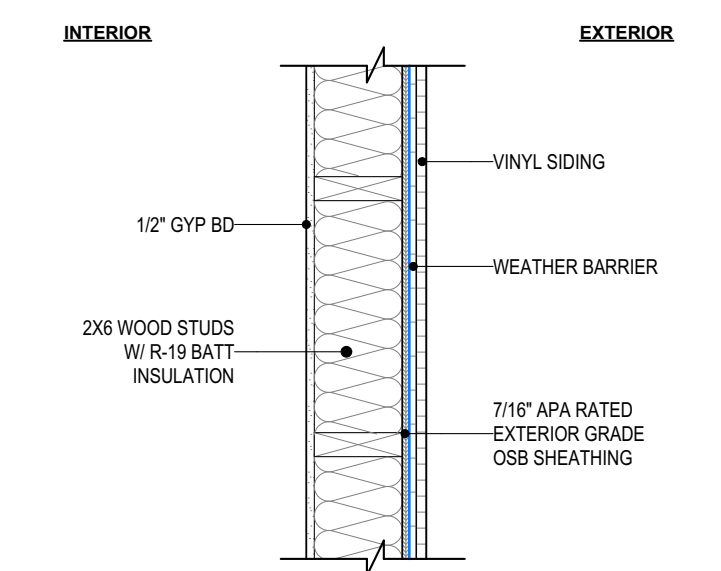
ALL ROOF PENETRATIONS TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION TO ENSURE AESTHETIC EXPECTATIONS ARE MAINTAINED.

GUTTER PROFILES SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ORDERING. SAFETY GLAZING TO BE IN ACCORDANCE WITH THE 2019 RESIDENTIAL CODE OF OHIO (SECTION R308).

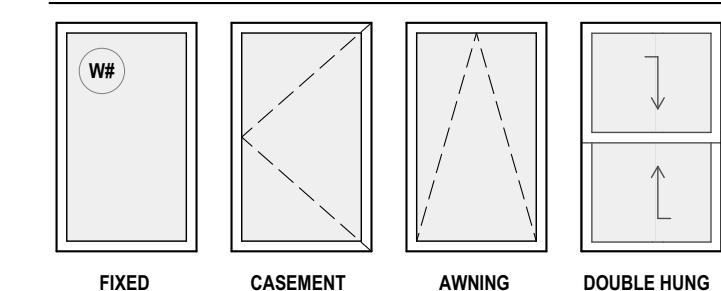
BEDROOM EGRESS WINDOWS TO COMPLY WITH THE 2019 RESIDENTIAL CODE OF OHIO (SECTION R310).

EXTERIOR WALL TYPES

NOTE: WALL INFORMATION IS DEMONSTRATED IN PLAN VIEW.



WINDOW LEGEND



BASIS OF DESIGN:

WINDOWS ARE TO BE PELLA VINYL WINDOWS OR APPROVED EQUAL. WINDOW HEAD GIVEN ABOVE FIRST AND SECOND FLOOR. CONFIRM WINDOW QUANTITIES WITH ELEVATIONS.

** WINDOW COUNT PROVIDED FOR GENERAL REFERENCE AND VERIFICATION ONLY. CONTRACTOR TO VERIFY TOTAL NUMBER OF WINDOWS WITH DOCUMENTS.

WALTON RESIDENCE
6543 ELMCREST DRIVE, HUDSON, OHIO 44236

PROJECT #: 2431

ISSUE	ID	DATE
AHR	A	

PROGRESS

NOT FOR
CONSTRUCTION

10/29/2024

EXTERIOR ELEVATIONS

A201

MATERIAL SCHEDULE

ALL MATERIAL ASSEMBLIES LISTED BELOW TO OCCUR OVER THE FOLLOWING UNLESS NOTED OTHERWISE:

W WEATHER BARRIER
O APA RATED EXTERIOR GRADE OSB SHEATHING
O 2X6 STUDS W/ R-19 BATT INSULATION

LAP SIDING (S-1)
SIDING TO MATCH EXPOSURE AND COLOR OF EXISTING RESIDENCE.

VERTICAL SIDING (S-2)
FIBER CEMENT BOARD & BATTEN SIDING.

ASPHALT SHINGLE ROOF (R-1)
30 YEAR ARCHITECTURAL SHINGLE
O MANUFACTURER'S RECOMMENDED UNDERLAYMENT
O 1/2" APA RATED EXTERIOR GRADE SHEATHING. ICE GUARD SHOULD BE INSTALLED AT ALL EAVES AND VALLEYS, UP 72", AND WRAPPED OVER THE FACE OF ALL FASCIAS.

METAL STANDING SEAM ROOF (R-2)
METAL STANDING SEAM ROOF

EXTERIOR ELEVATION GENERAL NOTES

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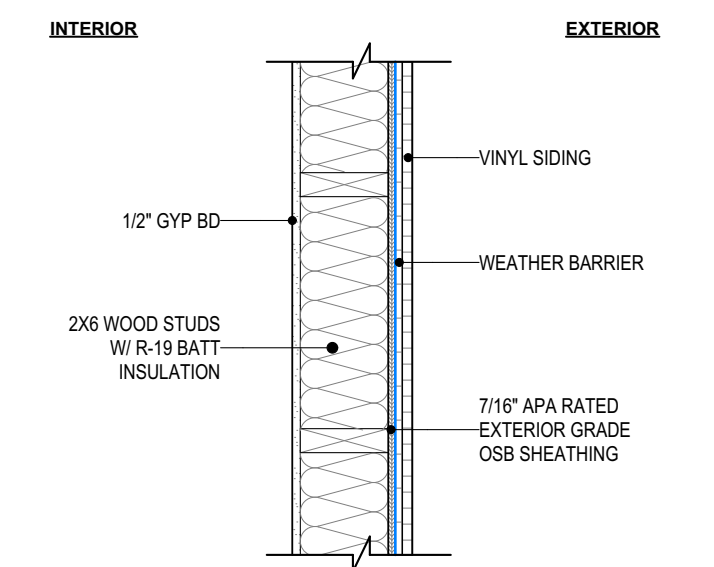
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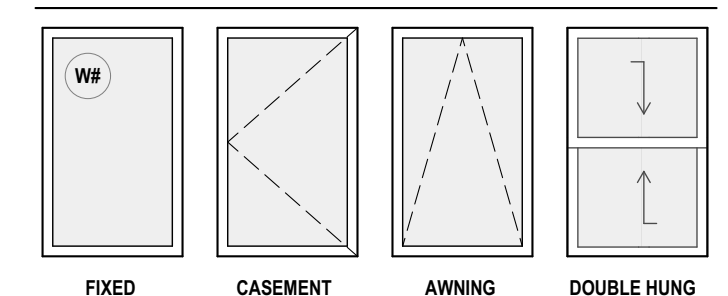
BEDROOM EGRESS WINDOWS TO COMPLY WITH THE 2019 RESIDENTIAL CODE OF OHIO (SECTION R310).

EXTERIOR WALL TYPES

NOTE: WALL INFORMATION IS DEMONSTRATED IN PLAN VIEW.



WINDOW LEGEND



BASIS OF DESIGN:

WINDOWS ARE TO BE PELLA VINYL WINDOWS OR APPROVED EQUAL.

WINDOW HEAD GIVEN ABOVE FIRST AND SECOND FLOOR. CONFIRM WINDOW QUANTITIES WITH ELEVATIONS.

**WINDOW COUNT PROVIDED FOR GENERAL REFERENCE AND VERIFICATION ONLY. CONTRACTOR TO VERIFY TOTAL NUMBER OF WINDOWS WITH DOCUMENTS.

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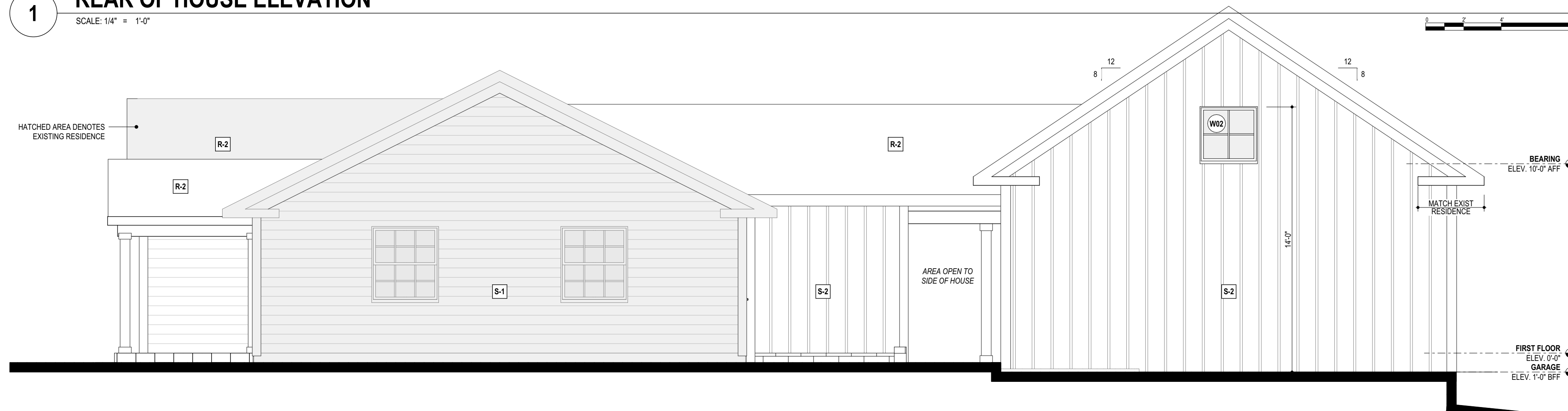
EXTERIOR ELEVATIONS

A202



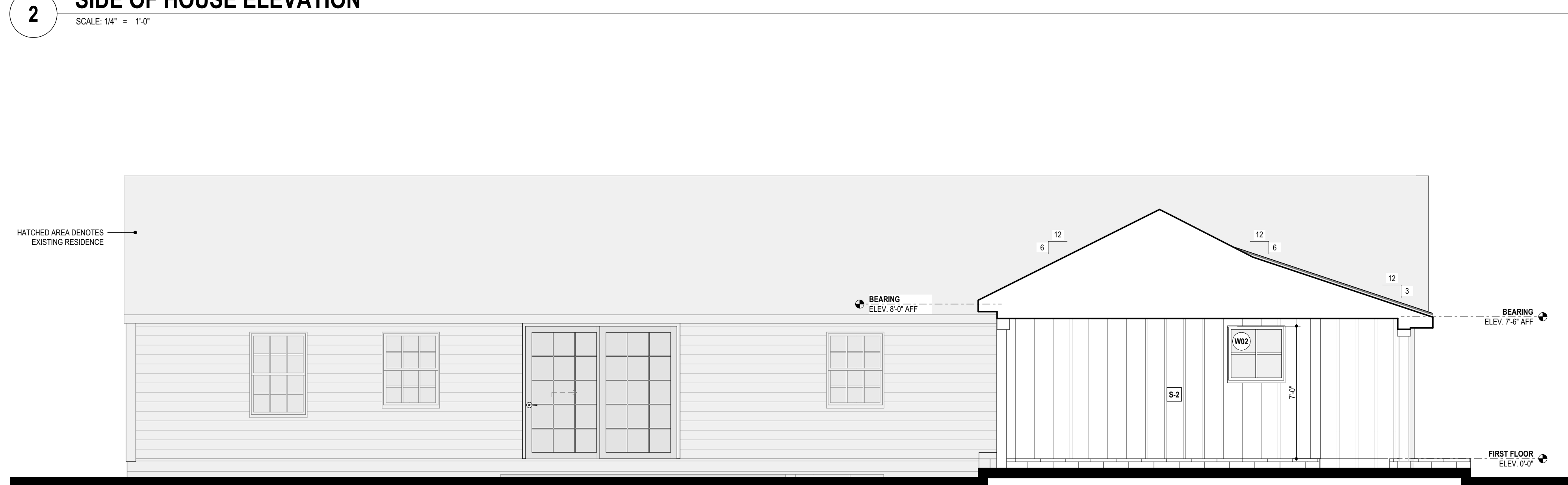
1 REAR OF HOUSE ELEVATION

SCALE: 1/4" = 1'-0"



2 SIDE OF HOUSE ELEVATION

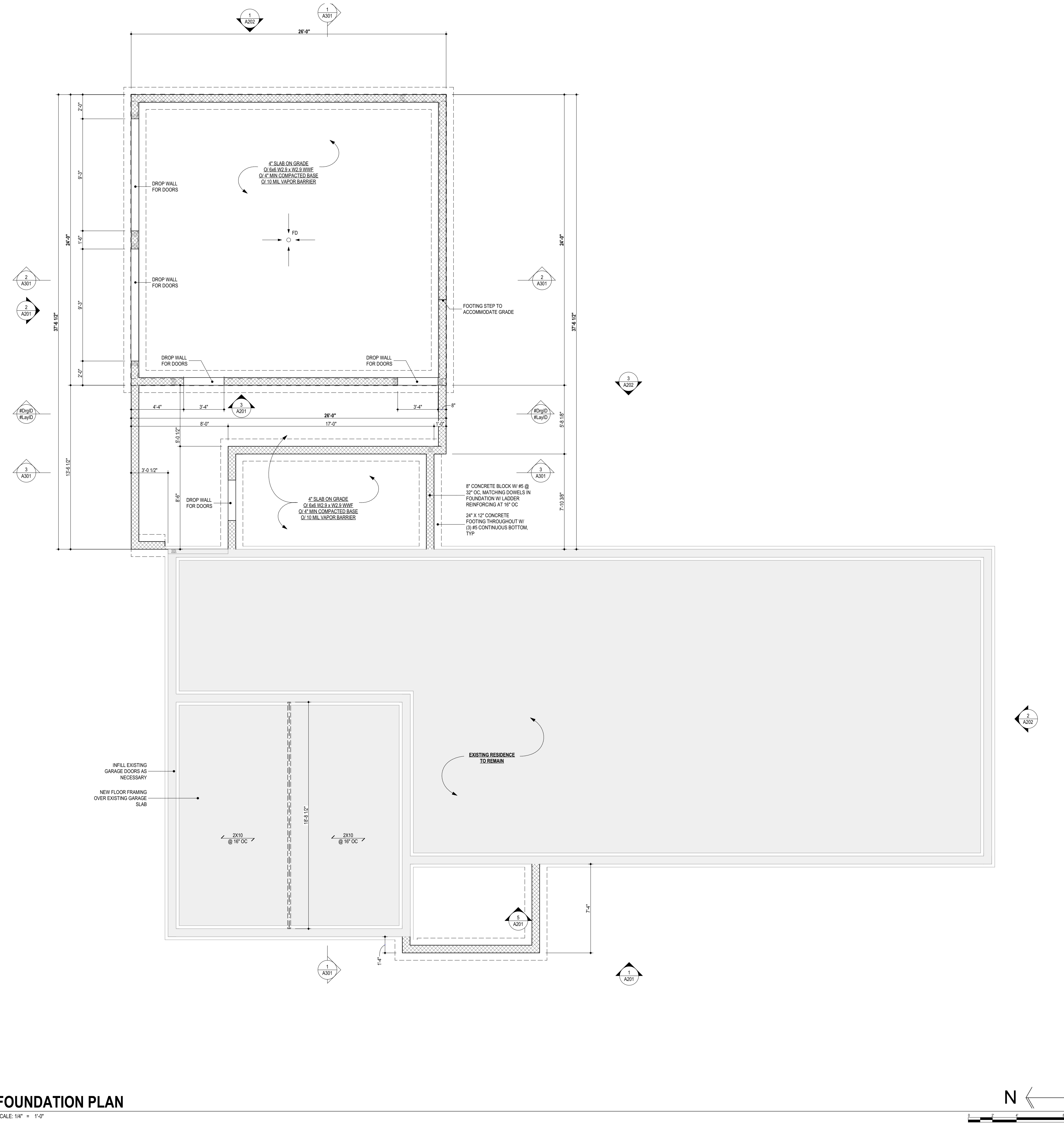
SCALE: 1/4" = 1'-0"



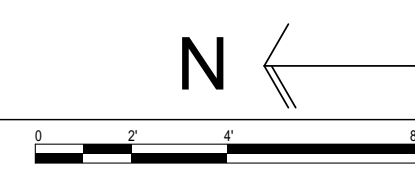
3 REAR OF HOUSE ELEVATION

SCALE: 1/4" = 1'-0"

ISSUE	ID	DATE
AHR	A	



1 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



FLOOR PLAN GENERAL NOTES

VERIFY DIMENSIONS AND CONDITIONS IN FIELD. WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON DRAWINGS CONFLICT WITH ACTUAL, CONTACT ARCHITECT FOR CLARIFICATION

PROVIDE SOUND DEADENING INSULATION AROUND BEDROOMS, BATHROOMS, MECHANICAL ROOMS, AND PLUMBING STACKS

BLOCK WEBS SOLID AT BEARING WALL LOCATIONS ABOVE

CONTRACTOR TO EXTEND ALL POSTS DOWN TO SOUND FOUNDATION. INSTALL FULL DEPTH SOLID BLOCKING AT ALL POINT LOAD LOCATIONS.

ALL FOOTINGS TO EXTEND DOWN TO FROST LEVEL MINIMUM.

COORDINATE EXACT LOCATIONS OF FLOOR DRAINS WITH MECHANICAL CONTRACTOR.

PROVIDE 5/8" GYP. BOARD TYPE "X" ON GARAGE CEILINGS.

ALL INTERIOR DOORS TO BE 1 7/8" SOLID CORE WOOD DOORS. COORDINATE WITH FINISH PLANS FOR FINAL FINISH SELECTIONS

ALL INTERIOR TRIM TO BE POPLAR OR APPROVED EQUAL. COORDINATE WITH INTERIOR ELEVATIONS AND MILLWORK DRAWINGS FOR SELECT TYPES AND PROFILES.

ALL MILLWORK TO BE PER DRAWINGS.

REFER TO CONSULTANT DRAWINGS IF APPLICABLE FOR COORDINATION OF WORK BETWEEN TRADES

FLOOR TRUSS CRITERIA

TCL= 30 PSF
TCDL= 10 PSF
BCDL= 10 PSF
NET UPLIFT= 15 PSF
1932" APA RATED EXPOSURE 1 OSB

ROOF TRUSS CRITERIA

TCLL= 25 PSF
TCDL= 10 PSF
BCDL= 10 PSF
NET UPLIFT= 10 PSF
ATTIC LL= 40 PSF
ATTIC < L/240

WOOD HEADERS (U.N.O.)

OPENING	HEADERS	NON BEARING	BEARING
UP TO 4'-0"	(2) 2 X 8	1 JACK, 1 KING	1 JACK, 1 KING
4'-0" - 6'-0"	(2) 2 X 10	1 JACK, 1 KING	2 JACK, 1 KING
6'-0" - 8'-0"	(2) 2 X 12	1 JACK, 1 KING	2 JACK, 1 KING
8'-0" - 10'-0"	(2) 11 1/4 LVL	2 JACK, 1 KING	3 JACK, 1 KING

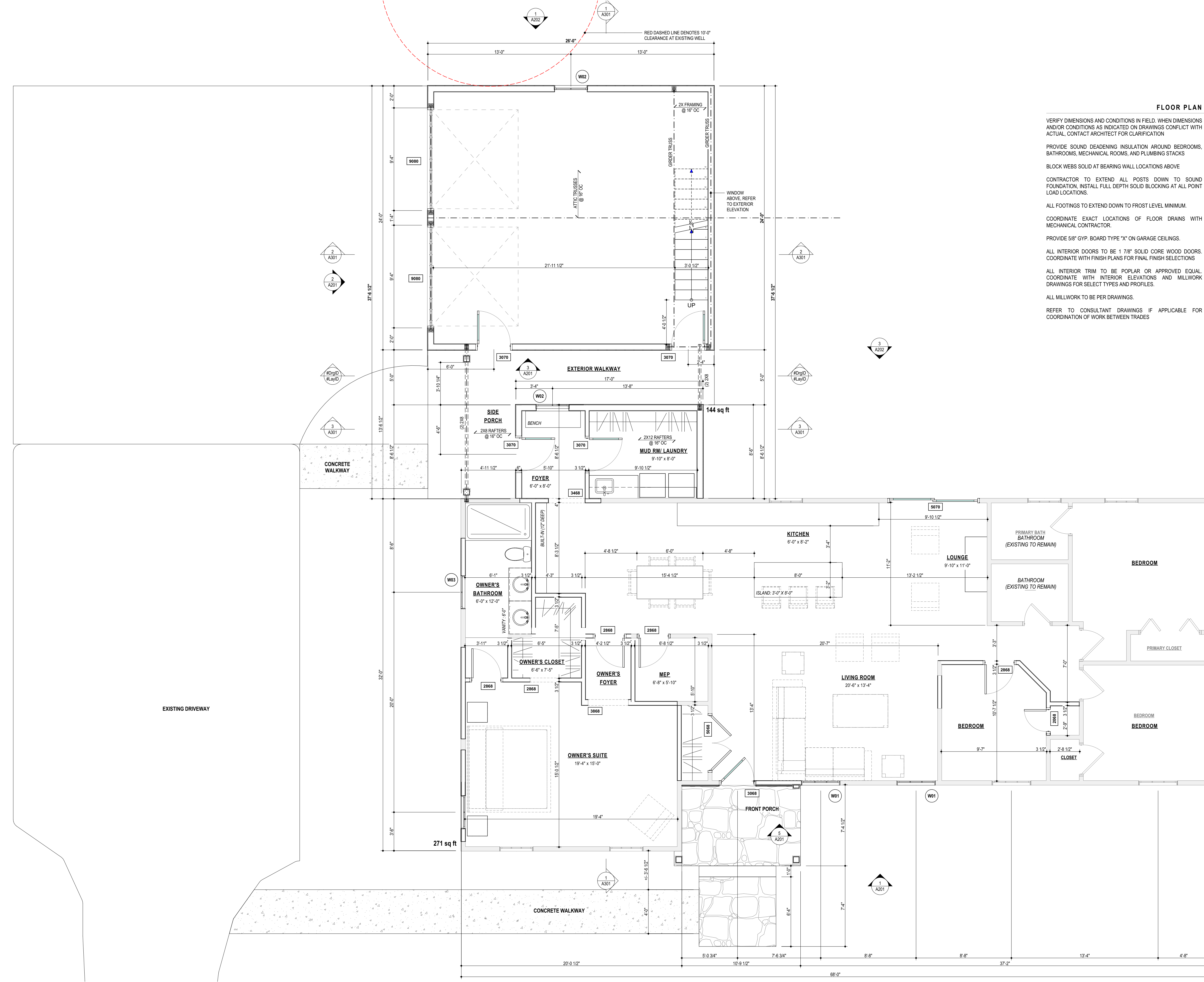
INDICATES WEB STIFFENING BELOW BEARING WALL ABOVE

INDICATES AREA OF ADDITIONAL FRAMING REQUIRED

INDICATES POINT LOAD FROM ABOVE

INDICATES LOCATION OF BEARING WALL ABOVE

INDICATES BEARING WALL



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FIRST FLOOR PLAN

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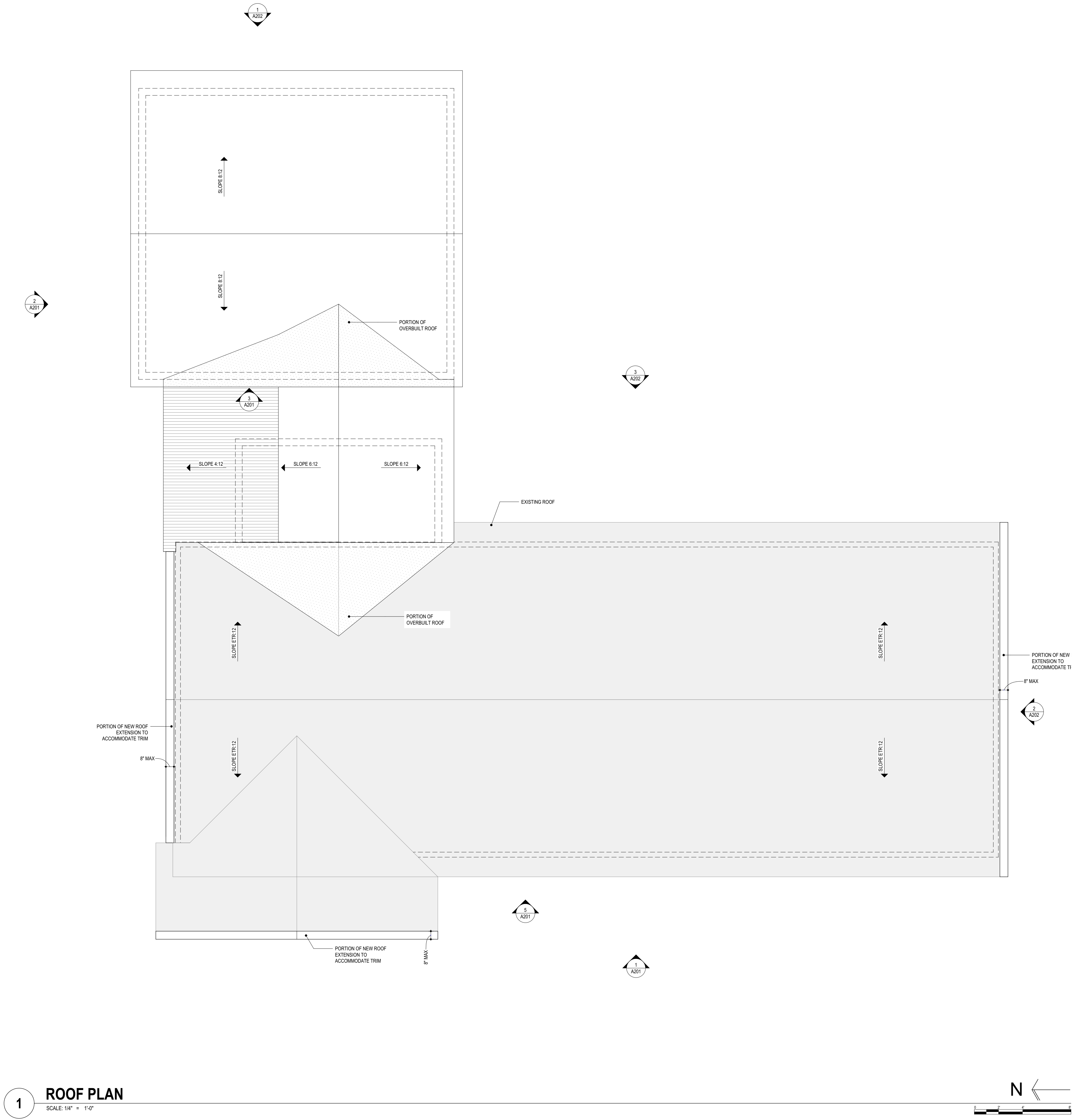
PROGRESS

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ROOF PLAN

A103



1 ROOF PLAN
SCALE: 1/4" = 1'-0"

















