

Meeting Date:

April 12, 2021

Location:

76 N. Hayden Parkway

Parcel Number

3204161

Request:

Conditional Use and site plan request

Applicant:

John Peterson, GPD Group

Property Owner:

Hudson City School District

Zoning:

D3 – Outer Village  
Residential Neighborhood

Case Manager:

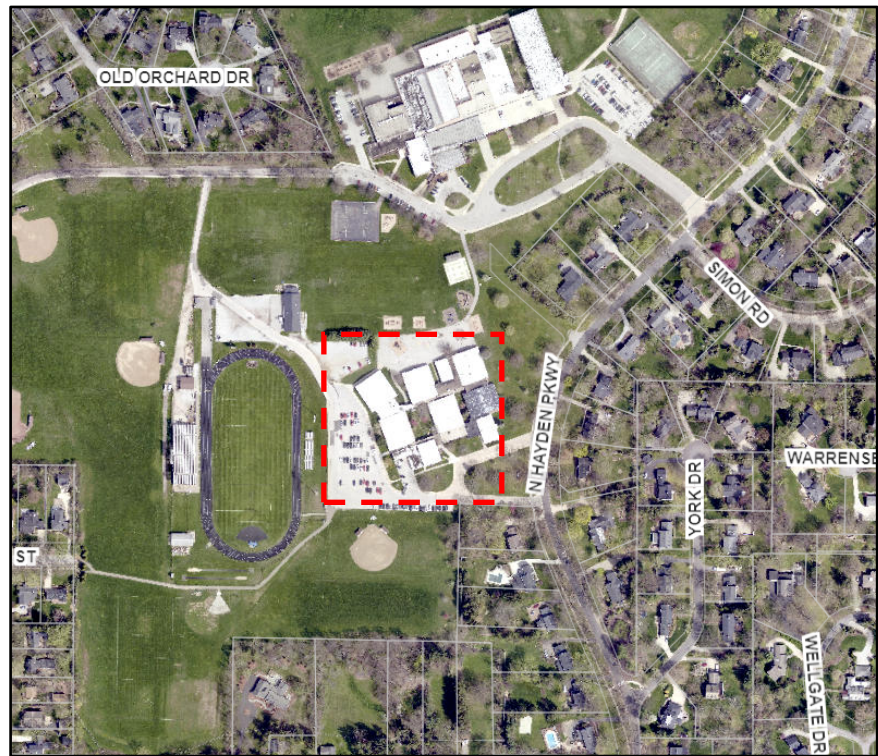
Nick Sugar, City Planner

Staff Recommendation

Approval subject to conditions on page 4.

**Contents**

- Project Overview, 3.8.21
- Site Plan, 3.9.20
- Fire Marshal Letter dated 3.9.21
- Assistant City Engineer Letter dated 3.23.21



**Existing Conditions, Hudson GIS (taken prior to Middle School Development)**

**Project Background:**

The proposal is part of the 2017 Hudson City Schools Facility Master Plan. The project would decommission Evamere as a preschool/kindergarten school facility, transferring the District offices for the Hudson City School District and Hudson Community Education and Recreation (HCER) from the current High School property to the building.

Evamere was originally constructed circa 1959. There have been multiple additions over the years, with the most recent constructed in 2007. Approximately twelve thousand (12,000) square feet of the front portion of the building would be demolished to accommodate the plan, leaving approximately thirty-six thousand (36,000) square feet.

The proposal also includes the following site modifications:

- Storm drainage provided around building.
- Landscaping provided at front of building.
- Paved bike/pedestrian paths installed from N. Hayden Pkwy.

The change of use and site alterations require a conditional use and site plan review.

**Adjacent Development:**

The building is adjacent to the newly constructed Middle School to the west, East Woods Elementary to the north, and single-family residential to the east and south.

Hudson Planning Commission	SITE PLAN REVIEW
Case No. 2021-227	April 12, 2021

### District Standards (Section 1205)

- ☒ **Property Standards** The proposal would meet the property/development design standards as stipulated in Section 1205.05 District 1: Suburban Residential Neighborhood.

### Use Standards (Section 1206)

The application is subject to compliance with the general conditional use standards of Section 1206.02:

(1) *The use is consistent with the policies and intent of the Comprehensive Plan.*

Comment: The Comprehensive Plan *Community Facilities and Services Plan* acknowledges the aging and inefficient administrative offices adjacent to Hudson High School and recommends the City support the School District in finding suitable office space. The Comprehensive Plan also states a broad goal of supporting the operation of the Hudson City School District, including expansion or relocation, as necessary.

(2) *The use is physically and operationally compatible with the surrounding neighborhood.*

Comment:

Staff notes the following based on the applicant's submittal:

- **Location of activity on the site:** The proposed building would remain in its present location, with a significant portion of the front façade removed and converted to green space.
- **Noise:** The proposed use would be administrative offices. Increased noise is not anticipated.
- **Hours of operation:** Anticipated hours would be typical 8:00 a.m. – 5:00 p.m. with an occasional evening meeting (Board of Education work session, HCER class etc.).
- **Light intensity and hours of full illumination:** The applicant should verify if any revised exterior lighting is proposed and, if so, submit a lighting plan in conformance to Section 1207.14 Exterior Lighting.
- **Location of loading and delivery zones:** Existing loading and delivery zones will be maintained.
- **Placement of trash receptacles:** Unenclosed trash receptacles are currently located at the southwest corner of the building. The proposal would enclose these dumpsters with an eight (8) foot privacy fence. Staff notes these dumpsters are located in a highly visible location, in line with both driveways as you approach the building. Staff suggests relocating to a secondary location on site with a continuous wood fence or masonry wall with evergreen plantings.

(3) *The use can generally be accommodated on the site consistent with any architectural and design standards set forth in the applicable district regulations of this Code.*

Comment: The proposal would demolish the front portion of the building and convert the area to open space. The resulting façade would require approval from the Architectural and Historic Board of Review.

(4) *Access points are located as far as possible from intersections and adequate sight distances are maintained.*

Comment: Existing access points will not be modified.

(5) *On-site and off-site traffic circulation patterns shall not adversely impact adjacent uses.*

Comment: During the January 13, 2020 Conditional Use Review for modifications of East Woods Schools, it was stated that the pedestrian connections for the campus would be finalized during the Evamere review. The proposal would extend two (8) foot asphalt trails from N. Hayden Parkway and construct an additional eight (8) foot path through the center of the campus at a currently disconnected sidewalk.

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Though the design of the trail connection through the center of campus is still being finalized, staff questions the following if curbing or wheel stops are proposed along the sidewalk adjacent to pavement edge.

(6) *The use will be adequately served by public facilities and services*

Comment: The existing building is served by City of Hudson water and Summit County sewer.

(7) *The use provides adequate off-street parking on the same property as the use.*

Comment: The minimum parking standards stipulated in Section 1207.12 require one parking space for each 400 square feet of floor area. Therefore, the thirty-six thousand (36,000) square foot facility would require ninety-six (96) spaces. The existing parking lot would provide one hundred-one (101) parking spaces. The applicant has indicated approximately forty (40) staff members will utilize the facility.

(8) *The use will be screened with fencing and/or landscaping in excess of what is required in of this Code if the use may otherwise result in an adverse impact.*

Comment: The proposed work would not require additional landscaping or screening as total building area would be reduced and no parking areas would be expanded.

(9) *The use is proposed at a density consistent with that of the existing neighborhood.*

Comment: Not applicable

### Special Conditions (Section 1206.02)

The application is in compliance with the special conditions addressing operation of Section 1206.02.

### City Departments:

- ☒ **Engineering** Assistant City Engineer Nate Wonsick has reviewed the request and has provided the following comments, which are explained in greater detail in the attached review letter:

  - Approval required from Summit Soil and Water Conservation District (submit documentation of approval).
  - No net impervious surface is being created, therefore, no additional storm water management is required.
- ☒ **Fire Department** Fire Marshal Shawn Kasson has reviewed the request and has provided the following comments, which are explained in greater detail in the attached review letter:

  - No comments regarding the conditional use and find the plans in substantial compliance with the Ohio Fire Code requirements.

### Findings:

The staff finds that the application is in substantial compliance with the use, zoning development site plan, and other governmental regulations.

### Required PC Action

The PC shall consider the development application, the staff report, and then take final action. PC shall approve, approve with conditions, or deny the application based on its compliance with the appropriate review standards. All decisions of the Commission shall be based on findings of fact related to the relevant standards of the Code.

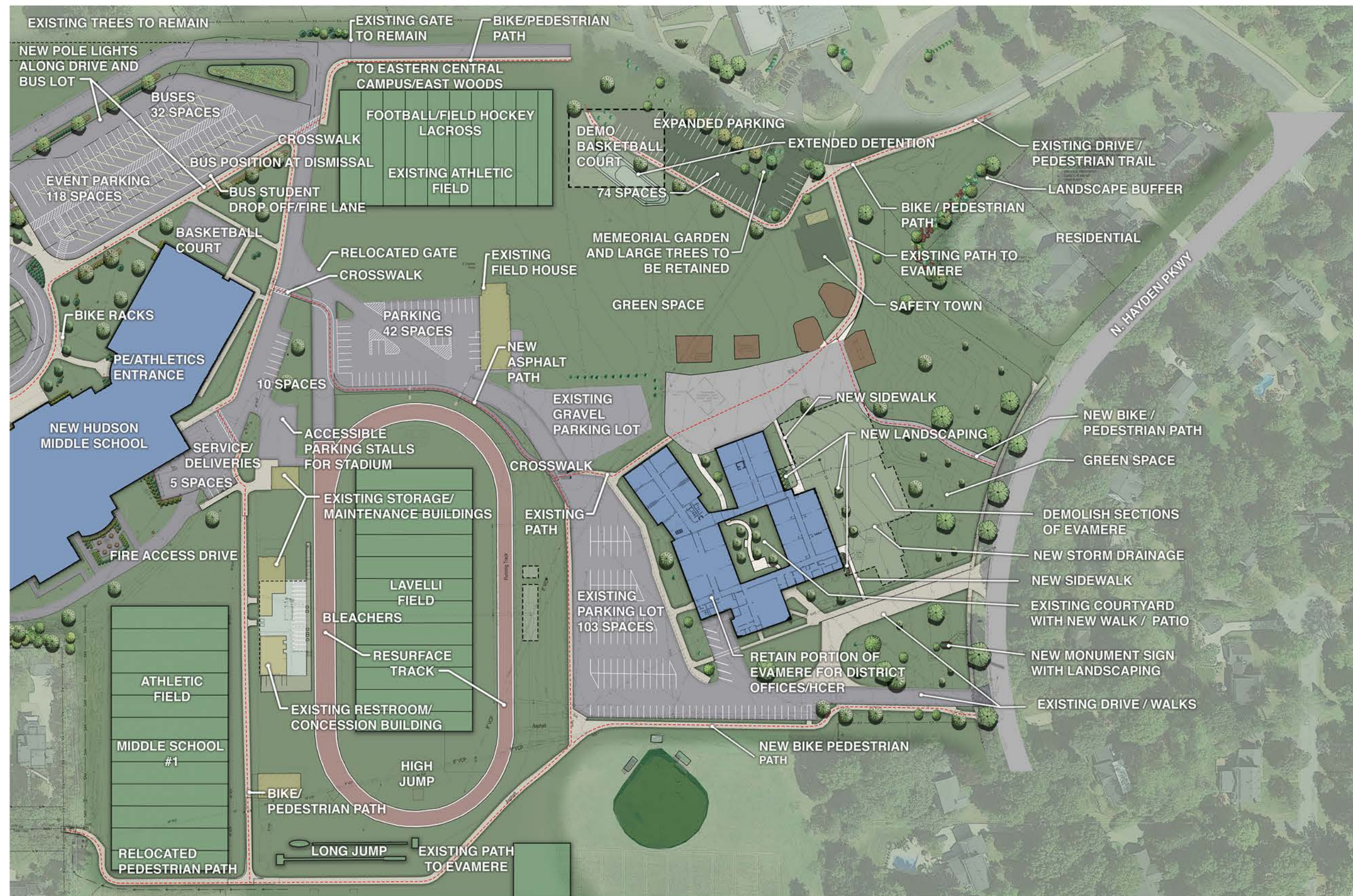
Hudson Planning Commission	SITE PLAN REVIEW
Case No. 2021-227	April 12, 2021

### Recommendation

Approve the application for the Conditional Use and site plan request to complete site improvements for the conversion of Evamere Elementary building from classrooms to administrative offices at 76 N. Hayden Parkway per Case 2021-2227, according to proposal dated March 9, 2021 subject to the following conditions:

1. Revise pedestrian connection linking the adjacent field house parking area with the surrounding campus to include curbing or wheel stops where adjacent to pavement.
3. All items stipulated in the review letter from the Assistant City Engineer dated 3.23.21 shall be addressed.





## HUDSON CENTRAL CAMPUS

EVAMERE PARTIAL DEMOLITION/RENOVATIONS FOR ADMINISTRATIVE OFFICES  
APRIL 8, 2021

THE COLORS AND MATERIALS SHOWN IN THIS RENDERING ARE CLOSE APPROXIMATIONS AND NOT AN EXACT MATCH. RENDERING IS TO BE CONSIDERED FOR VISUAL DESIGN INTENT ONLY AND NOT FOR CONSTRUCTION.





March 8, 2021

Mr. Nick Sugar  
City Planner  
City of Hudson  
1140 Terex Road  
Hudson, Ohio 44236

Planning Commission Submittal

## Evamere Elementary – Conversion to Administrative Offices

76 N. Hayden Pkwy.  
Hudson, Ohio 44236

Dear Mr. Sugar,

On behalf of the Hudson City School District, we submit the following documents for the partial demolition and renovations of Evamere Elementary School to serve as District Offices and for Hudson Community Education & Recreation (HCER). We request Planning Commission review and approval for Conditional Use Permit for the April 12, 2021 meeting, as well as preliminary approval of the site design documents. Documents include the following;

- Rendered site plan
- Site images
- Civil design documents
- Landscaping plan
- Updated Stormwater Management Report
- Floor plans

### Project Description

The existing Evamere Elementary School is to have approximately 12,000 square foot of the building demolished and remaining approximately 36,000 square foot building renovated for use as District Offices for the Hudson City School District as well as for Hudson Community Education & Recreation (HCER). This represents the final phase of construction for the Hudson City Schools Master Facility Plan on the Central Campus site.

The Evamere site plan is to remain mostly as current, with the existing drive and parking lot configurations with 101 parking spaces in the existing paved lot and 33 spaces available in the stone lot to the northwest. The area of the demolished building will be reverted to green space and playgrounds remaining. Storm drainage will be provided to collect and divert water around the building. Sidewalks will be added at newly created entrances. A solid vinyl fence dumpster enclosure will be provided at the service area for screening. The fencing will match the fencing being provided for the dumpster enclosures at East Woods and McDowell Elementary Schools during their renovations. Existing landscaping will remain as current, with additional landscaping provided at certain areas in the front of the building and at the dumpster enclosure. A new monument sign is being considered, however would be a separate application in the future if desired by the school district.

As per conditions set forth previously by the Planning Commission, new paved bike/pedestrian paths will be provided to improved neighborhood connectivity. One path will follow the south side of the parking lot to connect N. Hayden Pkwy. to the existing path to the southeast of Lavelli Field. Another path will

be provided to provide access from N. Hayden Pkwy. to the existing playground north of Evamere as well as to East Woods Intermediate School to the north.

The building currently serves as a Preschool and Kindergarten building for Hudson City Schools. When renovations are completed to McDowell Elementary School, staff and students will move to the renovated facility being renamed as McDowell Early Learning School. Renovations to McDowell are scheduled to be completed for occupancy in June 2021, at which time partial demolition and renovations to Evamere are scheduled to occur. The Hudson City Schools Administration and HCER will occupy the renovated building approximately February 2022, vacating the three residential properties along Hudson-Aurora Road by the High School. Renovations are to be somewhat limited and retain the current classroom configurations, allowing for future flexibility should the district require additional educational space to serve the students and community.

As an architectural and engineering practice, we take great pride in our commitment to serving our clients and the public through our profession and are excited to be able to provide Hudson City Schools administrators a renovated Evamere facility with all departments under the same roof. If you need additional information, or have any questions, please feel free to contact me at (330) 958-2399 or at [jpeterson@gpdgroup.com](mailto:jpeterson@gpdgroup.com).

Sincerely,

GPD Group

A handwritten signature in blue ink, appearing to read 'John P. Peterson', with a long horizontal flourish extending to the right.

John P. Peterson, AIA  
Project Manager





## HUDSON CENTRAL CAMPUS

EVAMERE PARTIAL DEMOLITION/RENOVATIONS FOR ADMINISTRATIVE OFFICES  
MARCH 8, 2021

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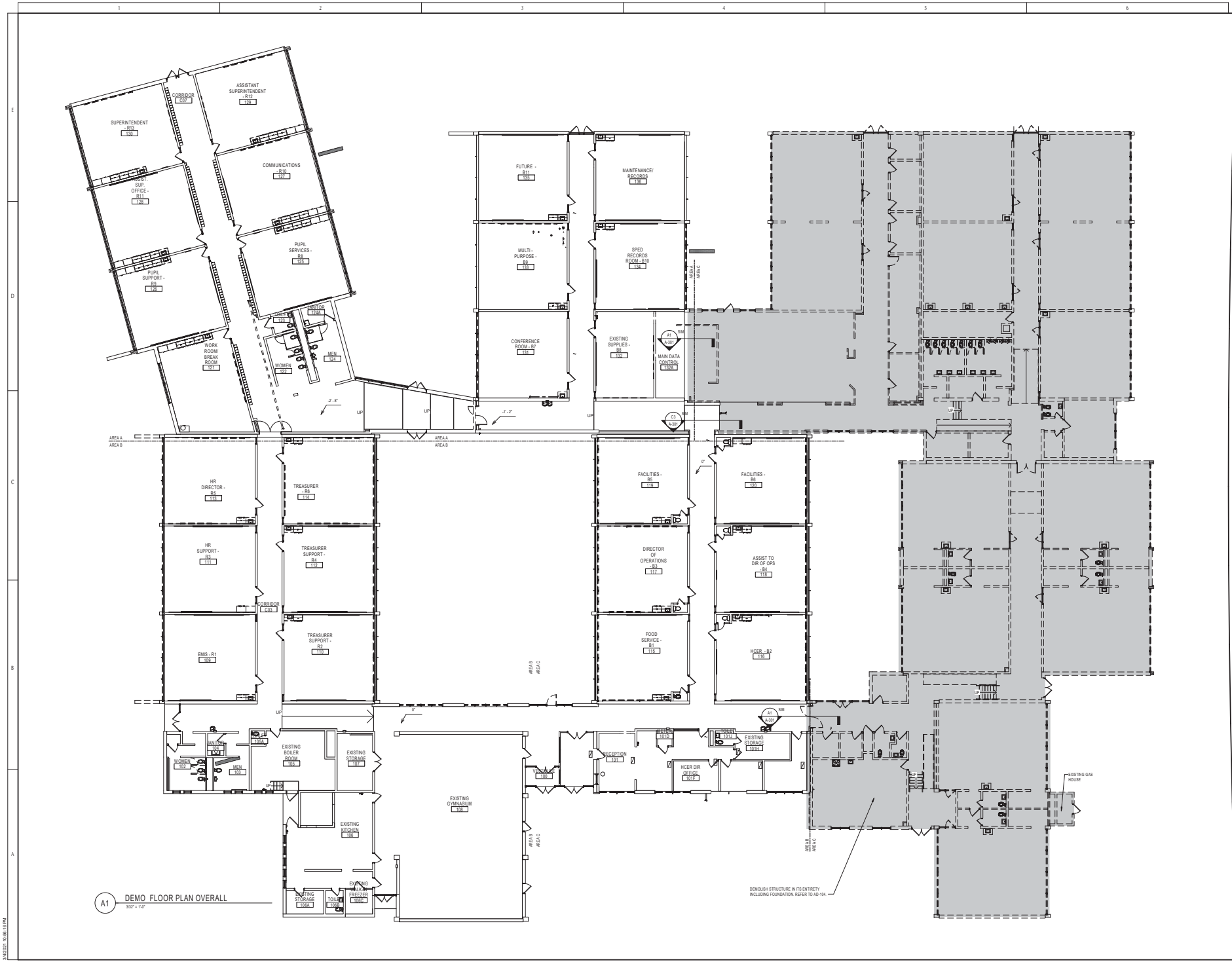
REV.	DATE	DESCRIPTION

EVAMERE RENOVATION TO ADMIN. OFFICE/HCR  
 75 HICKORY HILL AVENUE  
 HUDSON, OHIO 44236

PERMIT	DATE
BID	
CONSTRUCTION	
RECORDED	
PROJECT FINISHED	
JP	

2018098.08

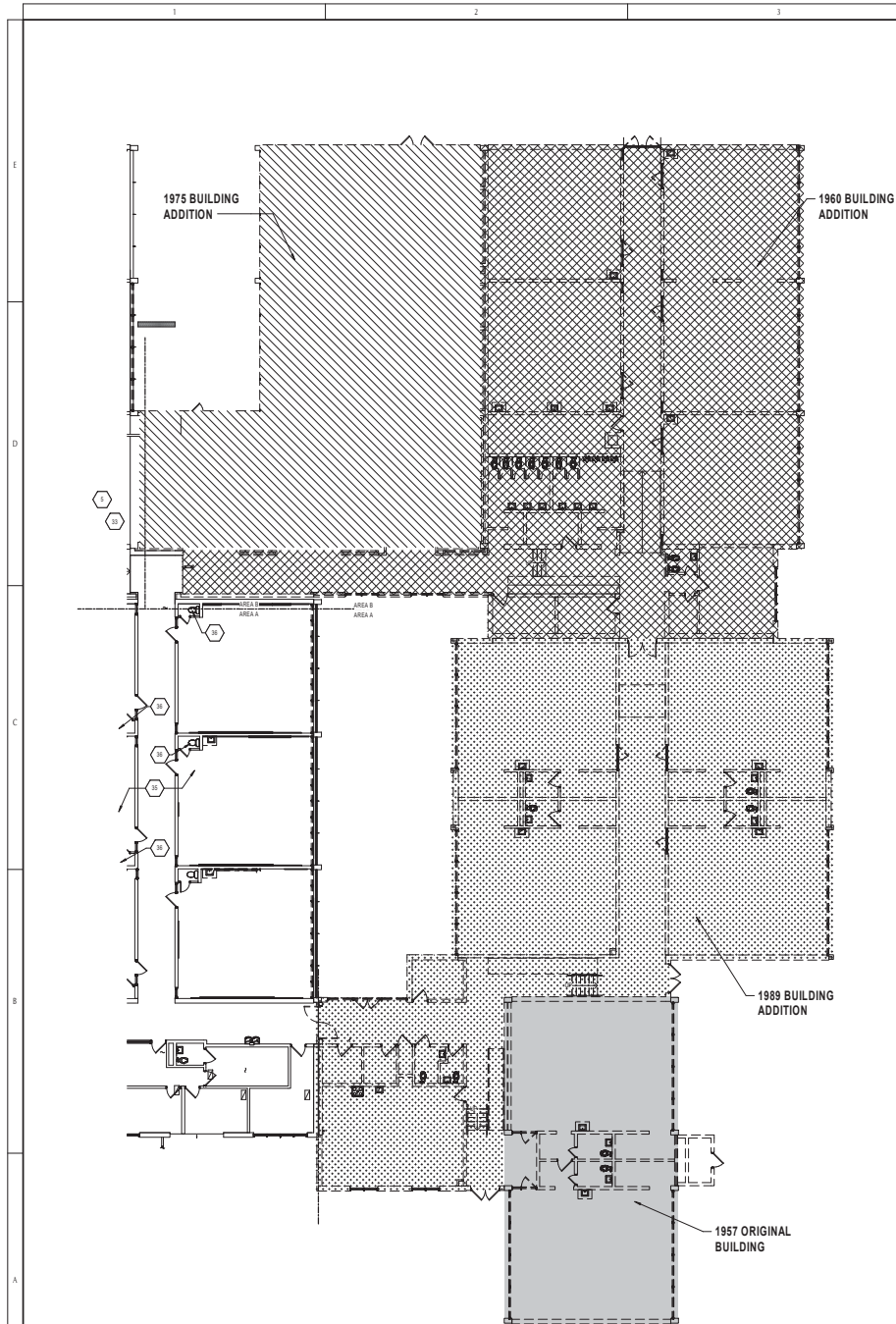
AD-101



A1 DEMO FLOOR PLAN OVERALL  
 330' x 110'

10/20/2018 10:08:10 AM





A1 DEMO FIRST FLOOR PLAN AREA C  
3/27/2018 10:36:47 PM

## GENERAL NOTES

1. THE INFORMATION PRESENTED IN THIS DRAWING IS INTENDED TO AID IN DETERMINING THE APPROXIMATE EXTENT OF BUILDING DEMOLITION AND SITE BACKFILLING REQUIRED. BIDDERS SHALL FURNISH THEMSELVES WITH ALL EXISTING CONDITIONS AND VERIFY THE ACTUAL RESULTS OF WORK REQUIRED AND REFLECT THAT SCOPE IN THEIR BIDS. NO EXTRA WILL BE PERMITTED DUE TO LACK OF KNOWLEDGE OF EXISTING CONDITIONS.
2. REFER TO THE DRAWINGS FOR ADDITIONAL INFORMATION AND THE BOUNDARY & TOPOGRAPHIC SURVEY BOUND INTO THE DRAWINGS FOR EXISTING CONDITIONS.
3. UNLESS NOTED OTHERWISE, ALL SCORING WALLS AND INTERIOR PARTITIONS ARE MASONRY.
4. TOTAL EXISTING BUILDING AREA TO BE DEMOLISHED IS APPROXIMATELY 10,000 SQ. FT.
5. EXISTING BUILDING TO BE DEMOLISHED IN ITS ENTIRETY, INCLUDING FOUNDATIONS.

## EXISTING CONSTRUCTION NOTES

1. 1957 ORIGINAL BUILDING
  - EXTERIOR WALLS: MASONRY BEARING WALLS
  - INTERIOR WALLS: MASONRY BEARING WALLS, MASONRY WALLS
  - FLOOR CONSTRUCTION: CONCRETE SLAB ON GRADE
  - FOUNDATIONS: CONCRETE FOOTINGS, CONCRETE FOUNDATION WALLS
  - ROOF FRAMING: STEEL TRUSSES
  - ROOFING SYSTEM: METAL DECK, RIGID INSULATION, ROOFING MEMBRANE
2. 1960 BUILDING ADDITION
  - EXTERIOR WALLS: MASONRY BEARING WALLS
  - INTERIOR WALLS: MASONRY BEARING WALLS, MASONRY WALLS
  - FLOOR CONSTRUCTION: CONCRETE SLAB ON GRADE
  - FOUNDATIONS: CONCRETE FOOTINGS
  - ROOF FRAMING: STEEL TRUSSES, STEEL JOISTS
  - ROOFING SYSTEM: METAL DECK, RIGID INSULATION, ROOFING MEMBRANE
3. 1969 BUILDING ADDITION
  - EXTERIOR WALLS: MASONRY BEARING WALLS
  - INTERIOR WALLS: MASONRY BEARING WALLS, STUD WALLS
  - FLOOR CONSTRUCTION: CONCRETE SLAB ON GRADE
  - FOUNDATIONS: CONCRETE FOOTINGS
  - ROOF FRAMING: STEEL TRUSSES, STEEL JOISTS
  - ROOFING SYSTEM: METAL DECK, RIGID INSULATION, ROOFING MEMBRANE
4. 1957 BUILDING ADDITION
  - EXTERIOR WALLS: MASONRY BEARING WALLS
  - INTERIOR WALLS: MASONRY BEARING WALLS, MASONRY WALLS
  - FLOOR CONSTRUCTION: CONCRETE SLAB ON GRADE
  - FOUNDATIONS: CONCRETE FOOTINGS
  - ROOF FRAMING: STEEL TRUSSES, STEEL JOISTS
  - ROOFING SYSTEM: METAL DECK, RIGID INSULATION, ROOFING MEMBRANE

DESCRIPTION

DATE

REV.

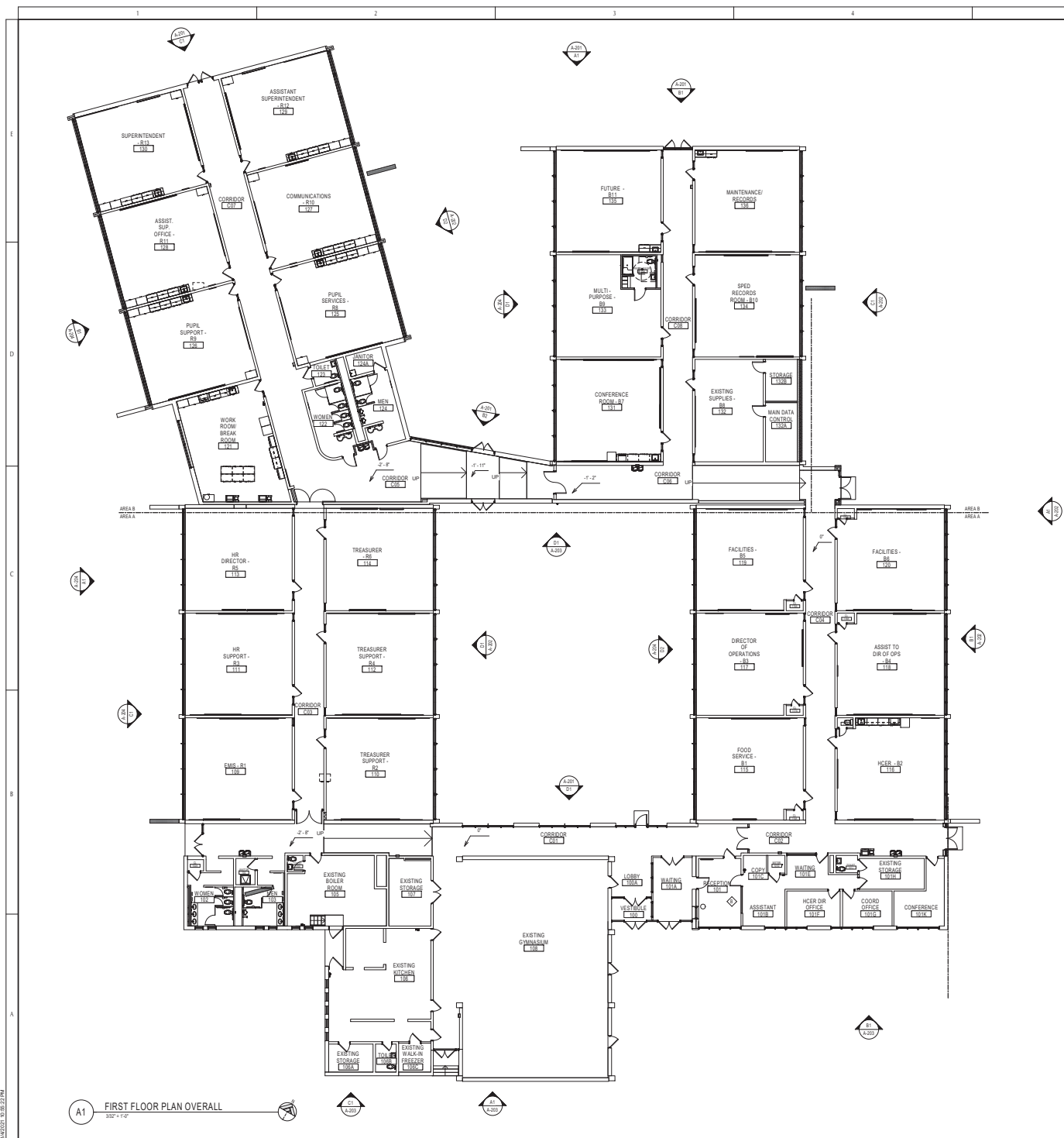
EVAMERE RENOVATION TO ADMIN. OFFICE/HCR  
7800 EVAMERE PARKWAY  
HUDSON, OHIO 44136

DEMO FIRST FLOOR PLAN AREA C

PERMIT	DATES
BID	10/1/18
CONSTRUCTION	10/1/18
RECORDED	10/1/18
PROJECT MANAGER	DESIGNER
JP	UPK

REV. NO.  
2018098.08

AD-104



GENERAL NOTES	
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1. REFER TO AREA PLANS FOR DETAILS AND MORE INFORMATION

NO. 16180530

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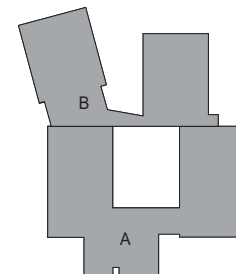
EVAMERE RENOVATION TO ADMIN. OFFICE/HCER  
76 N HAYDEN PKWY  
HUDSON, OHIO 44236

FIRST FLOOR PLAN OVERALL

DATE:	
PERMIT	-/-/-
BID	-/-/-
CONSTRUCTION	-/-/-
RECORDED	-/-/-
PROJECT MANAGER	DESIGNER
JP	LMK

JOB NO.  
2018098.08

A-101



**EVEAMERE – CONVERSION TO ADMINISTRATIVE OFFICES  
SITE/BUILDING IMAGES**

**3/8/21**



View along N. Hayden Pkwy. looking north – Evamere to the left.



View from N. Hayden Pkwy. looking west towards East Woods along north property line – lawn/mounding in front of Evamere to the left.



**EVEAMERE – CONVERSION TO ADMINISTRATIVE OFFICES  
SITE/BUILDING IMAGES**

**3/8/21**



View looking north at north entry drive. Sections of Evamere in this view are to be demolished and lawn restored.



View from N. Hayden Pkwy. looking northwest towards Evamere



**EVEAMERE – CONVERSION TO ADMINISTRATIVE OFFICES  
SITE/BUILDING IMAGES**

**3/8/21**



View looking north from the Evamere north drive – lawn between Evamere to the left and N. Hayden Pkwy.



View looking northwest from north entrance drive – sections of Evamere in this view are to be demolished



**EVEAMERE – CONVERSION TO ADMINISTRATIVE OFFICES  
SITE/BUILDING IMAGES**

**3/8/21**



area to be  
demolished

View from N. Hayden Pkwy. along North entrance to Evamere



View looking west along north entrance drive



## EVEAMERE – CONVERSION TO ADMINISTRATIVE OFFICES SITE/BUILDING IMAGES

3/8/21



View looking west from N. Hayden Pkwy. along south entrance drive. A new bike/pedestrian trail will be provided along the south side of the drive to N. Hayden Pkwy.



View from building entrance looking east towards N. Hayden Pkwy.



**EVEAMERE – CONVERSION TO ADMINISTRATIVE OFFICES  
SITE/BUILDING IMAGES**

**3/8/21**



area to be  
demolished

View of partial south elevation – center and right sections are to be demolished.



View of main entrance



## EVEAMERE – CONVERSION TO ADMINISTRATIVE OFFICES SITE/BUILDING IMAGES

3/8/21



View of delivery area – dumpsters are to be enclosed in a solid vinyl fence with landscaping



View from southwest of the building looking north – parking lot to the west.



**EVEAMERE – CONVERSION TO ADMINISTRATIVE OFFICES  
SITE/BUILDING IMAGES**

**3/8/21**



View from the service area towards the south elevation



View along west side of the building and parking lot



**EVEAMERE – CONVERSION TO ADMINISTRATIVE OFFICES  
SITE/BUILDING IMAGES**

**3/8/21**



View of the parking lot looking northwest.



View along the north side of the 2007 addition looking east.



**EVEAMERE – CONVERSION TO ADMINISTRATIVE OFFICES  
SITE/BUILDING IMAGES**

**3/8/21**



View of existing gravel parking lot to the north of Evamere



View of the existing gravel parking lot and field house to the north/northwest of Evamere



**EVEAMERE – CONVERSION TO ADMINISTRATIVE OFFICES  
SITE/BUILDING IMAGES**

**3/8/21**



View of the west elevation of the 2007 addition looking south



View from the north looking south – east elevation of the 2007 addition to the right, west elevation of the 1960 addition to the left.

**EVEAMERE – CONVERSION TO ADMINISTRATIVE OFFICES  
SITE/BUILDING IMAGES**

**3/8/21**



View looking east along the north side of the parking lot and the existing playground (to remain)



View from the north looking south – areas to be demolished (1960/1975)



## EVEAMERE – CONVERSION TO ADMINISTRATIVE OFFICES SITE/BUILDING IMAGES

3/8/21



View along north elevation – construction to the left to be demolished.



Existing playground to the north scheduled to remain.



**EVEAMERE – CONVERSION TO ADMINISTRATIVE OFFICES  
SITE/BUILDING IMAGES**

**3/8/21**



View looking east north of Evamere.



View of existing swing set looking east – lawn beyond and N. Hayden Pkwy.



**EVEAMERE – CONVERSION TO ADMINISTRATIVE OFFICES  
SITE/BUILDING IMAGES**

**3/8/21**



View from playground looking northeast – existing mounding/vegetation to remain.



View of south end of existing parking lot looking east.



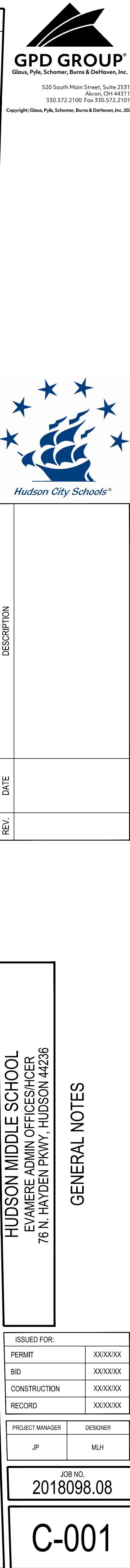
**EVEAMERE – CONVERSION TO ADMINISTRATIVE OFFICES  
SITE/BUILDING IMAGES**

**3/8/21**

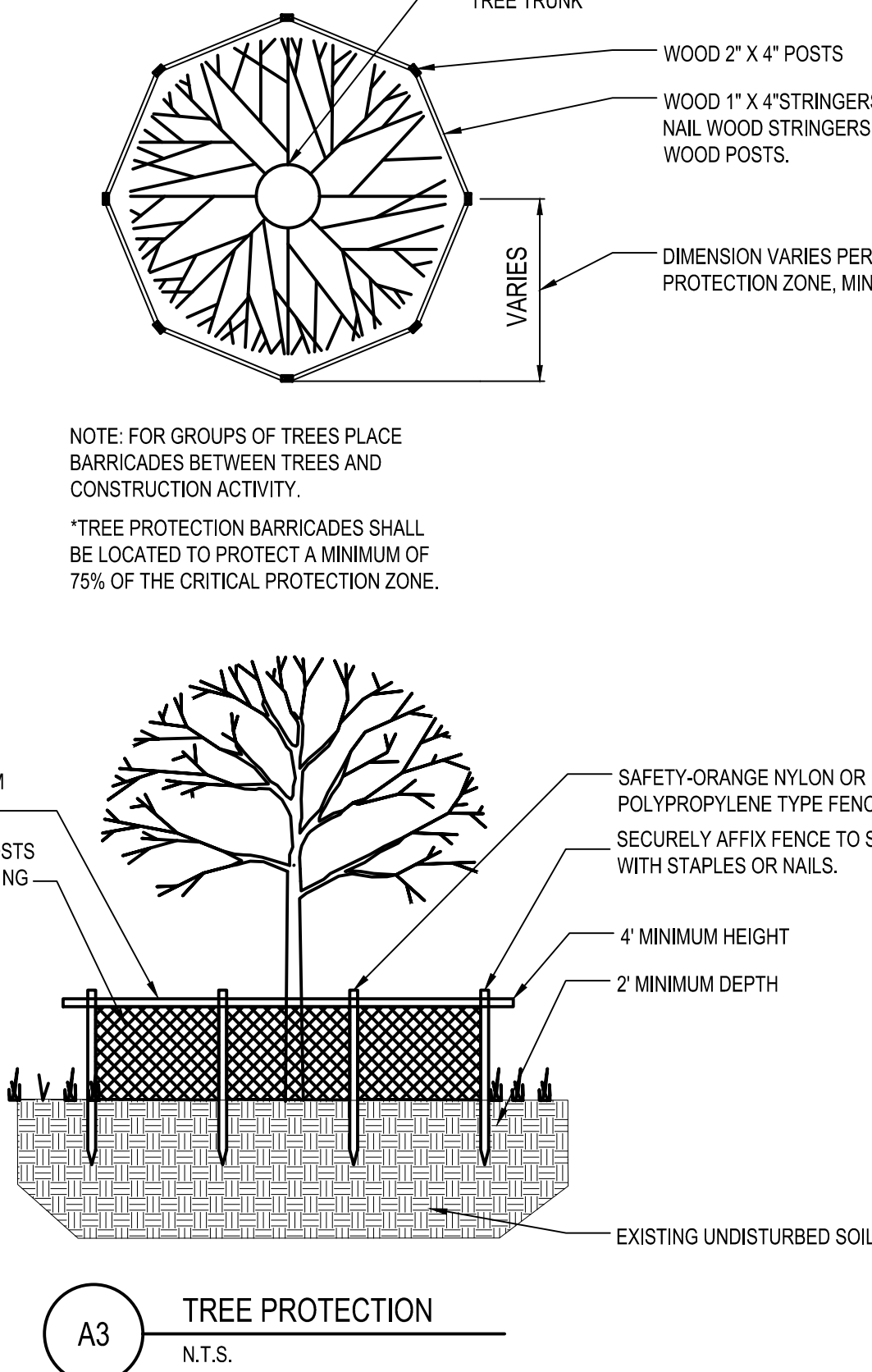


View from west end of existing parking lot looking east towards Evamere and N. Hayden Pkwy.









- A4 SILT FENCE

1. ALL WORK SPECIFIED AS AN ODOT ITEM SHALL BE GOVERNED BY THE CURRENT STATE OF OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATION HANDBOOK. STORMWATER MANAGEMENT ITEMS SHALL CONFORM TO SPECIFICATIONS CONTAINED IN THE CONR REference. RAINWATER AND LAND DEVELOPMENT. OHIO'S STANDARDS FOR STORM WATER MANAGEMENT, LAND DEVELOPMENT AND URBAN STREAM PROTECTION, CURRENT EDITION
2. THE GRADING AND STORMWATER POLLUTION PREVENTION PLANS, NOTES AND DETAILS SHALL BE AVAILABLE ON SITE AT ALL TIMES AND PRESENTED UPON REQUEST. IF UNFORESEEN EROSION IS ENCOUNTERED, ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES MAY BE REQUIRED TO PREVENT THE EROSION FROM BECOMING A MAJOR EROSION EVENT (SEE SW-6) REPRESENTATIVE AT ANY TIME. SUCH REQUESTS SHALL BE IMPLEMENTED IMMEDIATELY.
3. ALL EROSION AND SEDIMENTATION CONTROL ITEMS SHALL BE IMPLEMENTED AS A FIRST STEP OF DESIGN AND WITHIN 7 DAYS FROM THE START OF GRUBBING AND SHALL CONTINUE TO FUNCTION UNTIL UPLAND AREAS ARE STABILIZED.
4. EROSION CONTROL MEASURES SHALL BE INSTALLED AROUND ALL DIRT OR TOPSOIL STOCKPILES AND OTHER TEMPORARILY DISTURBED AREAS AS SHOWN ON THESE PLANS AND AS DIRECTED BY THE ENGINEER.
5. REGULAR INSPECTION AND MAINTENANCE SHALL BE PROVIDED FOR ALL EROSION AND SEDIMENT CONTROL PRACTICES. PERMANENT RECORDS OF MAINTENANCE AND INSPECTIONS MUST BE KEPT THROUGHOUT THE CONSTRUCTION PERIOD. INSPECTIONS MUST BE MADE A MINIMUM OF ONCE EVERY 7 DAYS, AND IMMEDIATELY AFTER ANY EVENTS THAT CAUSE EROSION GREATER THAN 1 INCHES IN A 24 HOUR PERIOD. PROVIDE NAME OF INSPECTOR, MAJOR OBSERVATIONS, DATE OF INSPECTION AND CORRECTIVE MEASURES TAKEN. THE GENERAL CONTRACTOR SHALL PROVIDE TO THE CONSTRUCTION MANAGER (ON A WEEKLY BASIS) A COPY OF CURRENT INSPECTION REPORTS. INSPECTION REPORTS SHALL BE MAINTAINED ON SITE IN A DRY LOCATION ACCESSIBLE TO INSPECTORS UPON REQUEST. ALL INSPECTORS MUST BE QUALIFIED PERSONNEL.
- 5.1. INSPECTION RECORDS SHALL BE KEPT FOR 3 YEARS AFTER TERMINATION OF CONSTRUCTION ACTIVITY.
- 5.2. A BMP REQUIRING REPAIR OR MAINTENANCE MUST BE CORRECTED WITHIN 3 DAYS OF INSPECTION AND A SEDIMENT POND MUST BE REPAIRED OR CLEANED OUT WITHIN 10 DAYS OF INSPECTION.
- 5.3. IF A BMP IS NOT MEETING ITS INTENDED FUNCTION, A NEW BMP MUST BE INSTALLED WITHIN 10 DAYS OF INSPECTION. ANY MISSING BMPs SHALL BE INSTALLED WITHIN 10 DAYS OF INSPECTION.
6. UTILITY COMPANIES MUST COMPLY WITH ALL STORM WATER POLLUTION PREVENTION MEASURES AS DEFINED ON THE STORM WATER POLLUTION PREVENTION PLANS, DETAILS AND NOTES.
7. INSTALL TEMPORARY SEEDING AND MULCHING IN ALL AREAS THAT SHALL BE INACTIVE FOR 14 DAYS OR MORE. ALL DISTURBED AND ERODED EARTH SHALL BE REGRADED AND SEEDED WITHIN 14 DAYS WITH SEEDS, AS DEFINED ABOVE AND AS SHOWN ON THE TABLE BELOW, TO ESTABLISH STABILITY AND PROVIDE SEDIMENT CONTROL. WHERE SLOPES EXCEED 5% INSTALL TEMPORARY SEEDING AND SEDIMENT CONTROL MEASURES TO PREVENT EROSION. WHERE POSSIBLE, TEMPORARY SEEDING SHOULD NOT BE MOVED UNTIL IT HAS GONE TO SEED FOR 1 YEAR.

8. NO SOLID OR LIQUID WASTE SHALL BE DISCHARGED INTO STORM WATER RUNOFF.
9. OTHER PRACTICES MAY BE REQUIRED DUE TO ENVIRONMENTAL CONDITIONS.
10. DITCHES GREATER THAN 1.5% SHALL BE SODDED PER ODOT 660.

8. NO SOLID OR LIQUID WASTE SHALL BE DISCHARGED INTO STORM WATER RUNOFF.
9. OTHER PRACTICES MAY BE REQUIRED DUE TO ENVIRONMENTAL CONDITIONS.
10. DITCHES GREATER THAN 1.5% SHALL BE SODDED PER ROOT 660.
11. WINTERIZATION/ ANY DISTURBED AREAS THAT ARE NOT GOING TO BE WORKED FOR 14 DAYS OR LONGER MUST BE SEEDED AND MULCHED BY NOVEMBER 1 OR MUST HAVE DORMANT SEEDING OR MULCH COVER APPLIED BETWEEN NOVEMBER 1 AND MARCH 1.
12. THE SITE IS COVERED UNDER AN NPDES NOI, PERMIT NUMBER: 303C0256\*AG. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE OHIO EPA STORM WATER CONSTRUCTION GENERAL PERMIT 0400005.
13. CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL ON PROJECT SITE. CONTRACTOR MUST FILE WITH OHIO EPA AS CO-APPLICANT ON THE PROJECT NPDES GENERAL PERMIT.
14. OFF-SITE VEHICLE TRACKING SEDIMENT SHALL BE MINIMIZED. CONSTRUCTION VEHICLES ARE LIMITED TO THE CONSTRUCTION ACCESS ROAD(S) NOTED ON THE PLAN. STREETS ADJACENT TO THE SITE SHALL BE SWEEP DAILY.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SEDIMENT CONTROL. IF SEDIMENT WASHOUT BECOMES A PROBLEM DURING DEMOLITION THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SEDIMENT TRAPS PER OESA STANDARDS.
16. SEDIMENT TRAPS SHALL BE CLEANED OUT ANY TIME THAT SILT OCCUPIES 40% OR MORE OF THE POND DEPTH.
17. DUST CONTROL SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. DUST SHALL BE CONTAINED USING WATER. OIL IS NOT TO BE USED AS A DUST SUPPRESSANT. AFTER EARTHWORK OPERATIONS, THE EXPOSED SOILS SHALL BE COVERED WITH STRAW OR MULCH UNTIL SEEDD.
18. ANY DISCHARGE OF PETROLEUM OR PETROLEUM PRODUCTS OF LESS THAN 25 GALLONS ONTO A PERVIOUS SURFACE SHALL BE LEGALLY REMOVED AND PROPERLY TREATED. PROPERLY DISPOSED OF, OR OTHERWISE REMEDIATED, SO THAT NO CONTAMINATION FROM THE DISCHARGE REMAINS ON-SITE.
19. IN THE EVENT OF A LARGE SPILL (25 OR MORE GALLONS) OF PETROLEUM WASTE CONTRACTOR MUST CONTACT THE OHIO EPA AT (1-800-282-9378), THE LOCAL FIRE DEPARTMENT, AND THE LOCAL EMERGENCY PLANNING COMMITTEE (LEPC) WITHIN 30 MINUTES OF A SPILL OF 25 OR MORE GALLONS.
20. ALL PETROLEUM, HAZARDOUS, AND TOXIC WASTES SHALL BE CONTAINED AND LEGALLY DISPOSED OF OFF-SITE BY QUALIFIED PERSONNEL.
21. ALL NON-RECYCLED CONSTRUCTION AND DEMOLITION DEBRIS (C&D) WASTE SHALL BE DISPOSED OF IN AN OHIO EPA APPROVED C&D LANDFILL AS REQUIRED BY OHIO REVISED CODE (ORC) 3714 AND LOCAL REGULATIONS
22. ENSURE THAT ALL FUEL TANKS HAVE SECONDARY CONTAINMENT AND ARE LOCATED OUTSIDE DRAINAGE WAYS. NO MORE THAN 1300 GALLONS OF FUEL CAN BE STORED ON SITE.
23. ALL NON-SEDIMENT POLLUTANTS MUST BE PROTECTED FROM THE ELEMENTS AT ALL TIMES.
24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A SPILL PREVENTION, CONTROL, AND COUNTERMEASURE (SPCC) PLAN IN PLACE FOR ANY SPILLS.
25. IF ANY CONTAMINATED SOILS ARE FOUND DURING THE COURSE OF DEMOLITION, THEY SHALL BE LEGALLY DISPOSED OF ACCORDING TO LOCAL REGULATIONS.
26. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRENCHING AND DEWATERING OPERATIONS. TURBID WATERS MUST PASS THROUGH A SEDIMENT CONTROL DEVICE PRIOR TO OFF-SITE DISCHARGE.
27. ALL DUMPSTERS SHALL BE TARPED/COVERED AT THE END OF EACH DAY.
28. OPEN BURNING WILL NOT BE PERMITTED FOR THIS PROJECT.
29. OPERATOR SHALL OBTAIN PERMIT COVERAGE UNDER THE OHIO EPA NPDES CONSTRUCTION GENERAL PERMIT.
30. CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH SUMMIT SOIL AND WATER CONSERVATION DISTRICT PRIOR TO CONSTRUCTION AND PRIOR TO ANY INSTALLATION OF BIORETENTION BASINS.
31. ALL PERMITTER CONTROLS AND SEDIMENT BASINS SHALL BE INSTALLED/IMPLEMENTED WITHIN 7 DAYS OF GRUBBING ACTIVITIES OR PRIOR TO GRADING THE AREAS THEY WILL CONTROL.

1. THIS SET OF PLANS DEPICTS THE EVAMERE CAMPUS SWPPP MEASURES TO BE COMPLETED. THE CENTRAL AND WEST CAMPUS CONSTRUCTION WILL BE PERFORMED IN DIFFERENT PHASES. EACH CONSTRUCTION PHASE WILL HAVE A STAND ALONE SET OF CONSTRUCTION DRAWINGS SHOWING SWPPP MEASURES FOR ITS ASSOCIATED LIMITS OF DISTURBANCE.

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ANY REQUIRED BORROW AND SPOIL AREAS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING FOR AND OBTAINING NECESSARY APPROVALS FOR ANY REQUIRED BORROW AND SPOIL AREAS INCLUDING NPDES PERMITS FROM THE OHIO EPA AND LOCAL SOIL AND WATER CONSERVATION DISTRICTS AS REQUIRED.

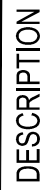
3. VALUES USED FOR BELOW CALCULATIONS:  
GRASS=0.35, PAVEMENT=0.98
1. THIS PROJECT IS A DEMOLITION PROJECT WHICH WILL REMOVE A PORTION OF THE EXISTING EVAMERE SCHOOL AND ADD A SMALL AMOUNT OF NEW WALK FOR CONNECTIVITY. IT IS PART OF AN OVERALL HUDSON SCHOOLS CAMPUS PLAN.
2. THE PREDEVELOPED SITE CONSISTS OF MULTIPLE SCHOOLS, PARKING LOTS, ADMINISTRATIVE OFFICES AND ATHLETIC FIELDS. THE SITE WAS 29.8% IMPERVIOUS AND THE REMAINING 70.2% IS OPEN LAWN.
3. THE OVERALL PREDEVELOPED RUNOFF COEFFICIENT WAS 0.538.
4. THE PROPOSED SITE WILL CONSIST OF A NEW MIDDLE SCHOOL, BUILDING ADDITIONS, OVERFLOW PARKING LOTS, VISITOR PARKING LOTS, ATHLETIC FIELDS AND POST CONSTRUCTION BMPs. THE PROPOSED SITE WILL CONSIST OF 33.9% IMPERVIOUS AND 66.1% OPEN AREA. POST CONSTRUCTION WATER QUALITY WILL BE HANDLED THROUGH EXTENDED DETENTION BASINS.
5. THE OVERALL POSTDEVELOPED RUNOFF COEFFICIENT IS 0.563. A NET INCREASE OF 0.025.
6. THIS PHASE WILL DISTURB 1.33 ACRES.
7. THE HYDROLOGIC SOILS FOR THE SITE CONSIST OF ELLSWORTH SILT LOAM AND ELLSWORTH URBAN LAND COMPLEX, WHICH ARE CLASSIFIED WITHIN THE HSG "D".
8. ALL STORMWATER RUNOFF SHEET FLOWS TO A SERIES OF THREE NEW YARD DRAINS THAT TIE INTO THE EXISTING ONSITE STORM SEWER, WHICH CHARGE TO THE CITY OF HUDSON'S SEWER SYSTEM. THE EVENTUAL RECEIVING WATERS OF THE SEWER SYSTEM IS BRANDYWINE CREEK.
9. THERE ARE NO STREAMS, WETLANDS OR AQUATIC SITES THAT WILL BE DISTURBED OR RECEIVE STORM WATER DISCHARGES.
10. THE FOLLOWING STORM WATER POLLUTION PREVENTION AND SEDIMENT CONTROL MEASURES WILL BE USED ON THIS SITE:
  - A. SILT FENCE
  - B. SILT BARRIERS

1. CONSTRUCTION PERSONNEL, INCLUDING SUBCONTRACTORS WHO MAY USE OR HANDLE HAZARDOUS OR TOXIC MATERIALS, SHALL BE MADE AWARE OF THE FOLLOWING GENERAL GUIDELINES REGARDING DISPOSAL AND HANDLING OF HAZARDOUS AND CONSTRUCTION WASTES:
  - a. PREVENT SPILLS
  - b. USE PRODUCTS UP
  - c. FOLLOW LABEL DIRECTIONS FOR DISPOSAL
  - d. REMOVE LIDS FROM EMPTY BOTTLES AND CANS WHEN DISPOSING IN TRASH
  - e. RECYCLE WASTES WHENEVER POSSIBLE
  - f. DON'T POUR INTO WATERWAYS, STORM DRAINS OR OUT TO THE GROUND
  - g. DON'T POUR DOWN THE SINK, DOOR DRAIN OR SEPTIC TANKS
  - h. DON'T BURY CHEMICALS OR CONTAINERS
  - i. DON'T BURY CHEMICALS OR CONTAINERS
  - j. DON'T MIX CHEMICALS TOGETHER

2. ANY DISCHARGE OF PETROLEUM OR PETROLEUM PRODUCTS OF LESS THAN 25 GALLONS ON TO A PERVIOUS SURFACE SHALL BE LEGALLY REMOVED AND PROPERLY TREATED OR PROPERLY DISPOSED OF. OR OTHERWISE REMEDIATED, SO THAT NO CONTAMINATION FROM THE DISCHARGE OR SPILL OCCURS. SPILLS OF SUCH MATERIALS, INCLUDING OIL-BASED PAINTS, AND CEMENT REPORTED TO THE OHIO EPA, THE LOCAL FIRE DEPARTMENT, AND THE LOCAL EMERGENCY PLANNING COMMITTEE WITHIN 30 MINUTES OF THE DISCOVERY OF THE RELEASE. ALL SPILLS WHICH CONTACT WATERS OF THE STATE MUST BE REPORTED TO THE CURRENT STATE'S EPA.
3. SPILL REPORTING REQUIREMENTS: SPILLS ON PAVEMENT SHALL BE ABSORBED WITH SAWDUST OR KITY LITTER AND DISPOSED OF WITH THE TRASH AT A LICENSED SANITARY LAND FILL. HAZARDOUS OR INDUSTRIAL WASTES SUCH AS MOST SOLVENTS, GASOLINE, OIL-BASED PAINTS, AND CEMENT CURING COMPOUNDS REQUIRE SPECIAL HANDLING. SPILLS SHALL BE REPORTED TO THE OHIO EPA.
4. CONTAINERS SHALL BE PROVIDED FOR THE PROPER COLLECTION OF ALL WASTE MATERIAL INCLUDING CONTAMINATED SUPERFASHION, PETROLEUM PRODUCTS AND ANY HAZARDOUS MATERIALS USED ON-SITE. CONTAINERS SHALL BE COVERED AND NOT LEAKING. ALL WASTE MATERIAL SHALL BE DISPOSED OF AT FACILITIES APPROVED FOR THAT MATERIAL. CONSTRUCTION DEMOLITION AND DEBRIS (CDD&) WASTE MUST BE DISPOSED OF AT AN OHIO EPA APPROVED CDD& LAND FILL.
5. PROCESS WASTE WATER/LEACHATE MANAGEMENT: A LEASING CONTRACTOR GENERAL PERMIT ONLY ALLOWS THE DISCHARGE OF STORM WATER AND DOES NOT INCLUDE OTHER WASTES. WASTEWATERS MUST BE STORED IN TANKS OR PIPED TO AN APPROVED TREATMENT FACILITY. SPECIFIC LEACHATE CATCHMENT WASH OUTS, WHICH ARE CONSIDERED PROCESS WASTEWATERS, ALL PROCESS WASTEWATERS MUST BE COLLECTED AND PROPERLY DISPOSED AT AN APPROVED DISPOSAL FACILITY. IN THE EVENT, LEACHATE OR SEPTAGE IS DISCHARGED, IT MUST BE ISOLATED FOR COLLECTION AND PROPER DISPOSAL, AND CORRECTIVE ACTIONS TAKEN TO ELIMINATE THE SOURCE OF WASTE WATER.
6. WASTES GENERATED BY CONSTRUCTION ACTIVITIES (I.E. CONSTRUCTION MATERIALS SUCH AS PAINTS, SOLVENTS, FUELS, CONCRETE, WOOD, ETC) MUST BE DISPOSED OF IN ACCORDANCE WITH LOCAL REGULATIONS. HAZARDOUS AND TOXIC SUBSTANCES ARE USED ON VIRTUALLY ALL CONSTRUCTION SITES. GOOD MANAGEMENT OF THESE SUBSTANCES IS ALWAYS NEEDED.
7. NO CONSTRUCTION RELATED WASTE MATERIALS ARE TO BE BURIED OR BURNED ON-SITE.
8. HANDLING CONSTRUCTION MATERIALS: MIXING, POURING, TRANSFERRING OR OTHER HANDLING OF STORMWATER, FUELS, OILS, AND OTHER LIQUIDS MUST BE CONDUCTED IN A MANNER THAT PREVENTS ANY OTHER POTENTIALLY HAZARDOUS MATERIALS SHALL BE PERFORMED IN AN AREA WAY FROM ALL WATERCOURSE, DITCH OR STORM DRAIN.
9. EQUIPMENT FUELING AND MAINTENANCE, OIL CHANGING, ETC., SHALL BE PERFORMED AWAY FROM WATERCOURSES, DITCHES OR STORM DRAINS, IN AN AREA DESIGNATED FOR THAT PURPOSE. THE DESIGNATED AREA SHALL BE EQUIPPED FOR RECYCLING OIL AND CATCHING SPILLS. SECONDARY CONTAINMENT SHALL BE PROVIDED FOR ALL FUEL OIL STORAGE TANKS. THESE AREAS MUST BE CLEANED UP EVERY SEVEN DAYS AND WITHIN 24 HOURS OF A LEAK OR GREATER RAIN EVENT TO ENSURE THERE ARE NO EXPOSED MATERIALS WHICH WOULD CONTAMINATE STORM WATER. SITE OPERATORS MUST BE AWARE THAT SPILL PREVENTION CONTROL, AND COUNTERMEASURES (SPCC) REQUIREMENTS MAY APPLY. AN SPCC PLAN IS REQUIRED FOR SITES WITH ONE SINGLE ABOVE GROUND STORAGE TANK OR 10,000 GALLONS OR MORE, OR 100,000 GALLONS OR MORE, OR 42,000 GALLONS OF UNDERGROUND STORAGE. CONTAMINATED SOLIDS MUST BE PROPERLY DISPOSED OF IN ACCORDANCE WITH LOCAL GOVERNING AUTHORITY REGULATIONS. SPCC PLAN AND APPROVALS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
10. CONTAMINATED SOLIDS IF SUBSTANCES SUCH AS OIL, DIESEL, FUEL, HYDRAULIC FLUID, ANTIFREEZE, ETC. ARE SPILLED, LEAKED, OR RELEASED ON TO THE SOIL, THE SOIL SHOULD BE DUG UP AND DISPOSED OF AT A LICENSED SANITARY LAND FILL OR OTHER APPROVED PETROLEUM CONTAMINATED MATERIALS HANDLING FACILITY. CONSTRUCTION DEMOLITION DEBRIS LAND FILL NOTE: THOSE STORM WATER RUNOFFS ASSOCIATED WITH CONTAMINATED SOLIDS ARE NOT BE AUTHORIZED UNDER CURRENT REGULATIONS OF CONSTRUCTION ACTIVITIES.
11. CONTRACTOR SHALL TAKE PREVENTIVE MEASURES FOR WATER DISCHARGES FROM CONTAMINATED SOLIDS BY ANY MEANS POSSIBLE, INCLUDING THE FOLLOWING:
  - 11.1. THE USE OF BERMS, TRENCHES, AND FITS TO COLLECT CONTAMINATED RUNOFF AND PREVENT IT FROM ENTERING A WATERCOURSE.
  - 11.2. PUMPING RUNOFF INTO A SANITARY SEWER (WITH PRIOR WRITTEN APPROVAL OF THE SANITARY SEWER SERVICE OPERATOR) OR INTO A CONTAINER FOR TRANSPORT TO AN APPROPRIATE TREATMENT/DISPOSAL FACILITY.
  - 11.3. COVERING AREAS WITH TARP OR OTHER METHODS THAT PREVENT STORMWATER FROM COMING INTO CONTACT WITH CONTAMINATED MATERIALS.

1. DUST CONTROL SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. IF POSSIBLE GRADING SHALL BE DONE BY PHASING IN ORDER TO MINIMIZE THE AMOUNT OF LAND DISTURBANCE AT ONE TIME. IF PHASING IS NOT AN OPTION, DUST SHALL BE CONTROLLED WITH WATER DURING EARTHWORK OPERATIONS. AFTER EARTHWORK OPERATIONS, THE EXPOSED SOILS SHALL BE COVERED WITH STRAW OR MULCH UNTIL SEEDING.

1. DUST CONTROL SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION, IF POSSIBLE GRADING SHALL BE DONE BY PHASING IN ORDER TO MINIMIZE THE AMOUNT OF LAND DISTURBANCE AT ONE TIME. IF PHASES ARE NOT POSSIBLE, DUST SHALL BE CONTROLLED WITH WATER DURING EASTWORK OPERATIONS. AFTER EASTWORK OPERATIONS, THE EXPOSED SOILS SHALL BE COVERED WITH STRIP MULCH UNTIL SEEDING.
2. DUST CONTROL OR DUST SUPPRESSANTS MAY BE USED TO PREVENT NUISANCE CONDITIONS WHEN APPROVED BY THE LOCAL AUTHORITY HAVING JURISDICTION. WHEN USED, SUPPRESSANTS SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND IN A MANNER, WHICH PREVENTS A DISCHARGE TO WATERS OF THE STATE. SUFFICIENT DISTANCE MUST BE PROVIDED TO PREVENT APPLICATION OF SUPPRESSANTS FROM REACHING OTHER WATERSHEDS. APPLICATION (EXCLUDING WATER) MAY NOT OCCUR WHEN RAIN IS IMMINENT AS NOTED IN THE SHORT TERM FORECAST. OIL MAY NOT BE APPLIED FOR DUST CONTROL.
3. SUGGESTED METHODS OF CONSTRUCTION DUST CONTROL MAY INCLUDE THE FOLLOWING:
  1. CONSTRUCTION SEQUENCING AND DISTURBING ONLY SMALL AREAS AT A TIME CAN GREATLY REDUCE PROBLEMATIC DUST FROM THE SITE. IF LAND MUST BE DISTURBED, ADDITIONAL MEASURES TO STABILIZE THE EXPOSED SOILS SHOULD BE USED TO PREVENT DUST PROBLEMS.
  2. APPLY TEMPORARY OR PERMANENT SEEDING AND MULCH TO AREAS THAT WILL REMAIN IDLE FOR OVER 14 DAYS. SAVING EXISTING TREES AND LARGE SHRUBS WILL ALSO REDUCE SOIL AND AIR MOVEMENT ACROSS DISTURBED AREAS.
  3. COVERING EXPOSED SOILS WITH WATER UNTIL THE SURFACE IS WET BEFORE AND DURING GRADING AND REPEAT AS NEEDED, ESPECIALLY ON HAIL ROUTES AND OTHER HEAVY TRAFFIC ROUTES. WATERING SHALL BE DONE AT A RATE THAT PREVENTS DUST BUT DOES NOT CAUSE SOIL EROSION. WETTING AGENTS MAY BE UTILIZED ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
  4. COVER EXPOSED AREAS WITH MULCH OR STRIP MULCH. MULCHING WITH MULCH AND STON OR COARSE GRAVEL AS SOON AS PRACTICABLE AFTER REACHING AN INTERIM OR FINAL CRUSHED STONE OR COARSE GRAVEL CAN BE USED AS A PERMANENT COVER TO PROVIDE SOIL EROSION CONTROL.
  5. EXISTING WINDBREAK VEGETATION SHALL BE MARKED AND PRESERVED TO THE EXTENT POSSIBLE. SNOW FENCES OR OTHER SUITABLE BARRIER MAY BE PLACED PERPENDICULAR TO PREVAILING AIR CURRENTS AT INTERVALS OF ABOUT 15 TIMES THE BARRIER HEIGHTS TO REDUCE CURRENT VELOCITY.
  6. WHEN TEMPORARY DUST CONTROL MEASURES ARE USED, REPETITIVE TREATMENT SHOULD BE APPLIED AS NEEDED TO ACCOMPLISH SATISFACTORY CONTROL.
  7. PAVED AREAS THAT HAVE ACCUMULATED SEDIMENT FROM CONSTRUCTION SHOULD BE CLEANED, DAILY AS NEEDED, UTILIZING A STREET SWEEPER OR BUCKET-TYPE ENDOLOADER OR SCRAPER.



REV. DATE

HUDSON MIDDLE SCHOOL

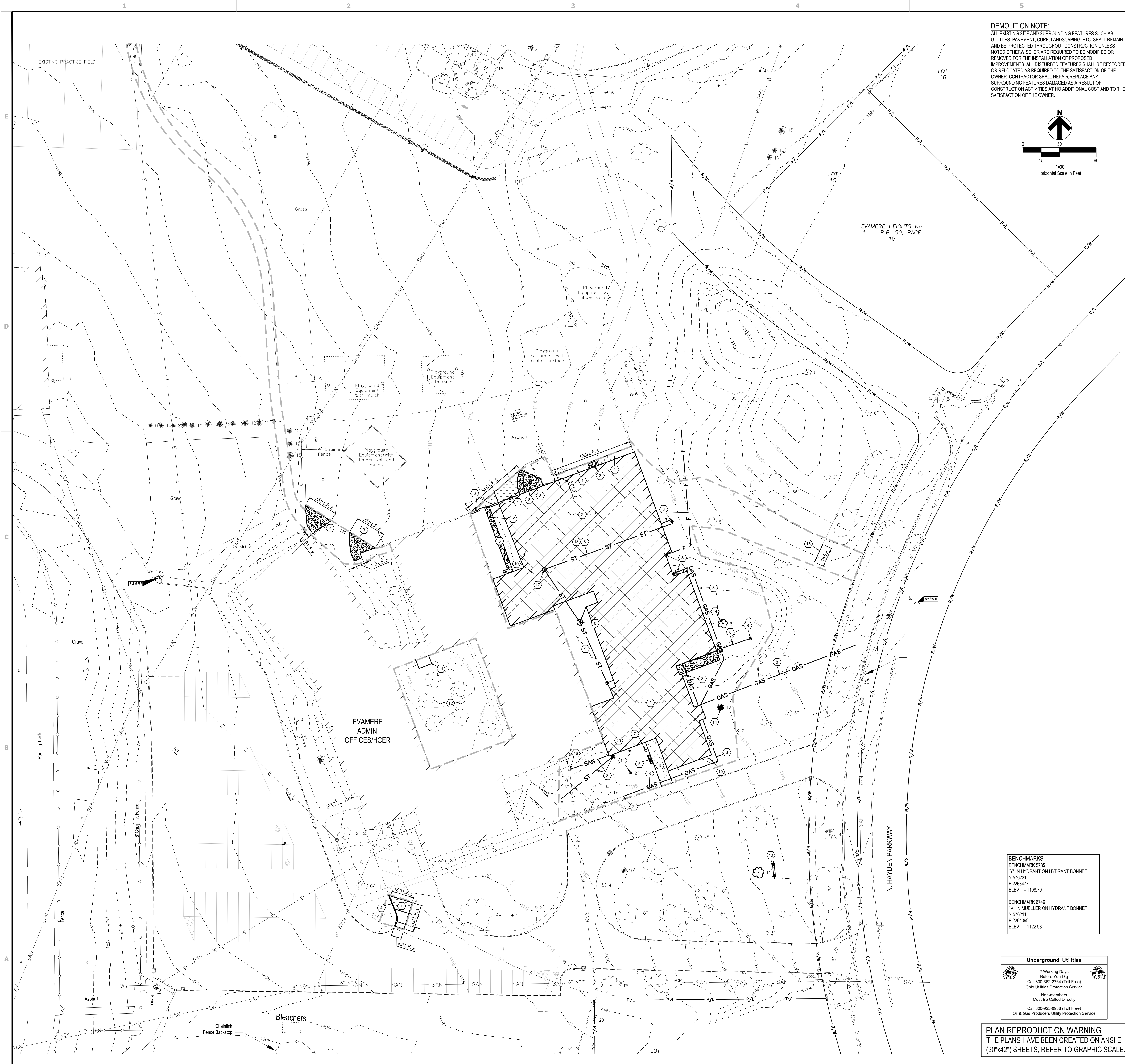
SWPP NOTES AND DETAILS

JOB NO.  
2018098.08

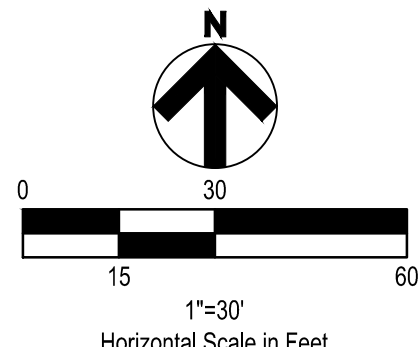
C-002



Drawing Name: C-111(20180808) - Evamere ES Reno For Admin., -HCER(Dwg)CSheets(20180808) Blank Demo And  
Site Date: March 11, 2021 12:41 PM - dflair



**DEMOLITION NOTE:**  
ALL EXISTING SITE AND SURROUNDING FEATURES SUCH AS UTILITIES, PAVEMENT, CURB, LANDSCAPING, ETC. SHALL REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION UNLESS NOTED OTHERWISE, OR ARE REQUIRED TO BE MODIFIED OR REMOVED FOR THE INSTALLATION OF PROPOSED IMPROVEMENTS. ALL DISTURBED FEATURES SHALL BE RESTORED OR RELOCATED AS REQUIRED TO THE SATISFACTION OF THE OWNER. CONTRACTOR SHALL REPAIR/REPLACE ANY SURROUNDING FEATURES DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST AND TO THE SATISFACTION OF THE OWNER.



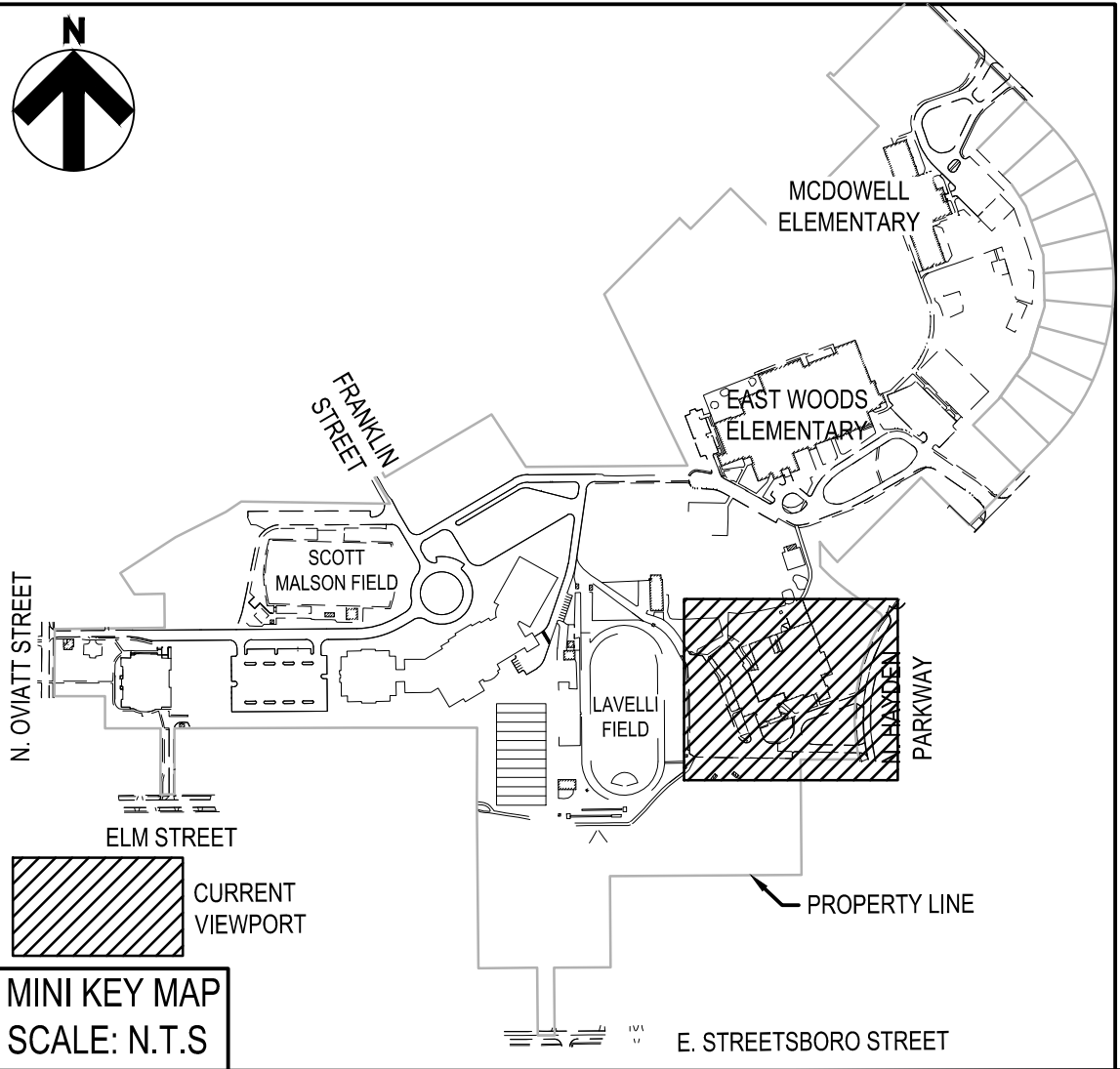
- GENERAL NOTES**
- FOR SITE AND GRADING INFORMATION, SEE SHEET C-121 AND C-131.
  - FOR STORM WATER POLLUTION PREVENTION SEE SHEET C-202 AND C-131.
  - RESTORE R/W SIDEWALK (5" THICK) AND CURB TO THE NEAREST FULL JOINTS. ALL SAW CUTTING MUST BE DONE WET, TO CONFORM TO THE OHIO EPA'S FUGITIVE DUST ACT CURB REPLACEMENT MUST MATCH EXISTING, WHETHER IT BE CONCRETE CURB, CONCRETE CURB AND GUTTER, OR CONCRETE CURB AND GUTTER WITH ASPHALT OVERLAY PER CITY OF HUDSON.
  - FILL EXISTING LATERALS WITH GROUT IF TO BE ABANDONED IN PLACE. PROPERLY CAP EXISTING LATERALS TO BE REUSED FOR NEW WORK.
  - CONTRACTOR SHALL SAWCUT PAVEMENT PRIOR TO REMOVAL.
- REFERENCE NOTES**
- |          |                      |
|----------|----------------------|
| 02 41 10 | SELECTIVE DEMOLITION |
| 31 10 00 | SITE CLEARING        |
| 31 20 00 | EARTH MOVING         |
| 31 92 00 | TURF AND GRASSES     |
- DEMOLITION KEYNOTES**
- EXISTING ASPHALT PAVEMENT TO BE SAWCUT AND REMOVED.
  - EXISTING BUILDING TO BE REMOVED. SEE ARCHITECTURAL PLANS FOR EXACT LIMITS AND TREATMENT OF BUILDING TO REMAIN.
  - EXISTING CONCRETE WALK TO BE SAWCUT TO NEAREST JOINT AND REMOVED.
  - EXISTING CURB TO BE SAWCUT TO NEAREST JOINT AND REMOVED.
  - EXISTING BENCH TO BE REMOVED. CONTRACTOR TO COORDINATE WITH OWNER FOR ANY RELOCATION OF BENCHES. ALL REMOVED BENCHES SHALL BE DELIVERED TO OWNER.
  - EXISTING BRICK WALL TO BE REMOVED. THE CONTRACTOR SHALL USE CAUTION REMOVING AGAINST THE BUILDING TO REMAIN TO ENSURE NO DAMAGE.
  - EXISTING BIRD HOUSE TO BE REMOVED.
  - EXISTING UTILITY TO BE REMOVED OR ABANDONED PER UTILITY COMPANY REQUIREMENTS. FOR STORM, PROVIDED WATERTIGHT CAP AT NEXT DOWNSTREAM STRUCTURE.
  - EXISTING COURTYARD FEATURES TO BE REMOVED, INCLUDING BUT NOT LIMITED TO SITE FURNISHINGS, TREES, AND DRAINAGE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT REMOVAL OF ANY DRAINAGE STRUCTURES WITHIN THE COURTYARD DO NOT CUT OFF THE DRAINAGE PATH FROM ANY STRUCTURES TO REMAIN.
  - EXISTING STREET SIGN TO BE REMOVED.
  - EXISTING GREENHOUSE WITHIN COURTYARD TO BE REMOVED INCLUDING ALL FOUNDATIONS. CONTRACTOR SHALL VERIFY SIZE AN LOCATION OF GREENHOUSE. SURVEY WAS NOT CONDUCTED WITHIN COURTYARD LIMITS.
  - CONTRACTOR SHALL REMOVE EXISTING WALKING PATH AND TOSOL AND SEED WHERE NEW WALK IS NOT IN ALIGNMENT WITH EXISTING GRAVEL WALKING PATH.
  - EXISTING MONUMENT SIGN TO BE REMOVED INCLUDING FOUNDATIONS.
  - EXISTING TREE INCLUDING STUMP TO BE REMOVED.
  - EXISTING FENCE TO BE REMOVED TO THE NEAREST POST.
  - PROVIDE WATERTIGHT CAP AT MANHOLE. CONTRACTOR SHALL ENSURE NO SANITARY DISCHARGES TO REMAIN ACTIVE ARE TIED INTO LINE PRIOR TO CAPPING.
  - EXISTING STORM MANHOLE FROM RECORD. CONTRACTOR SHALL REPLACE STRUCTURE AND RECONNECT EXISTING STORM LINES IF NECESSARY. SEE SHEET C-131.
  - EXISTING STORM LINE IS CONCRETE ENCASED PER RECORD. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ENCASEMENT TO THE LIMITS OF STORM REMOVAL.
  - EXISTING STORM LINES/STRUCTURE TO REMAIN AND BE PROTECTED. IF DAMAGED DURING DEMOLITION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPLACE ANY DAMAGED PORTION OF THE SEWER LINE.
  - EXISTING STORM LINES FROM RECORD. CONTRACTOR SHALL CAP EXISTING LINE OUTSIDE OF LIMITS OF THE BUILDING TO BE DEMOLISHED IF ENCOUNTERED DURING DEMOLITION.
  - CONTRACTOR SHALL RECONNECT PROPOSED GAS SERVICE TO EXISTING GAS LINE SERVICING THE BUILDING TO REMAIN. SEE SHEET C-121 FOR ROUTING INFORMATION.

- LEGEND**  
(SEE SHEET C-201 FOR GENERAL LEGEND)
- |           |  |
|-----------|--|
| [Pattern] | EXISTING CONCRETE PAVEMENT TO BE REMOVED |
| [Pattern] | EXISTING ASPHALT PAVEMENT TO BE REMOVED  |
| (X)       | DEMOLITION KEYNOTE                       |
| ---       | LIMITS OF WORK                           |

**BENCHMARKS:**  
BENCHMARK 5785  
"Y" IN HYDRANT ON HYDRANT BONNET  
N 578231  
E 2283477  
ELEV. = 1108.79  
  
BENCHMARK 6746  
"M" IN MUELLER ON HYDRANT BONNET  
N 578211  
E 2284099  
ELEV. = 1122.98

**Underground Utilities**  
2 Working Days  
Before You Dig  
Call 800-362-2764 (Toll Free)  
Ohio Utilities Protection Service  
Non-members  
Must Be Called Directly  
Call 800-925-0888 (Toll Free)  
Oil & Gas Producers Utility Protection Service

**PLAN REPRODUCTION WARNING**  
THE PLANS HAVE BEEN CREATED ON ANSI E (30"x42") SHEETS, REFER TO GRAPHIC SCALE.



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Akron, OH 44311  
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Hudson City Schools®

DESCRIPTION	ADDITIONAL 01
DATE	04/09/2020
REV	

HUDSON MIDDLE SCHOOL  
EVAMERE ADMIN OFFICES/HCER  
76 N. HAYDEN PKWY, HUDSON 44236

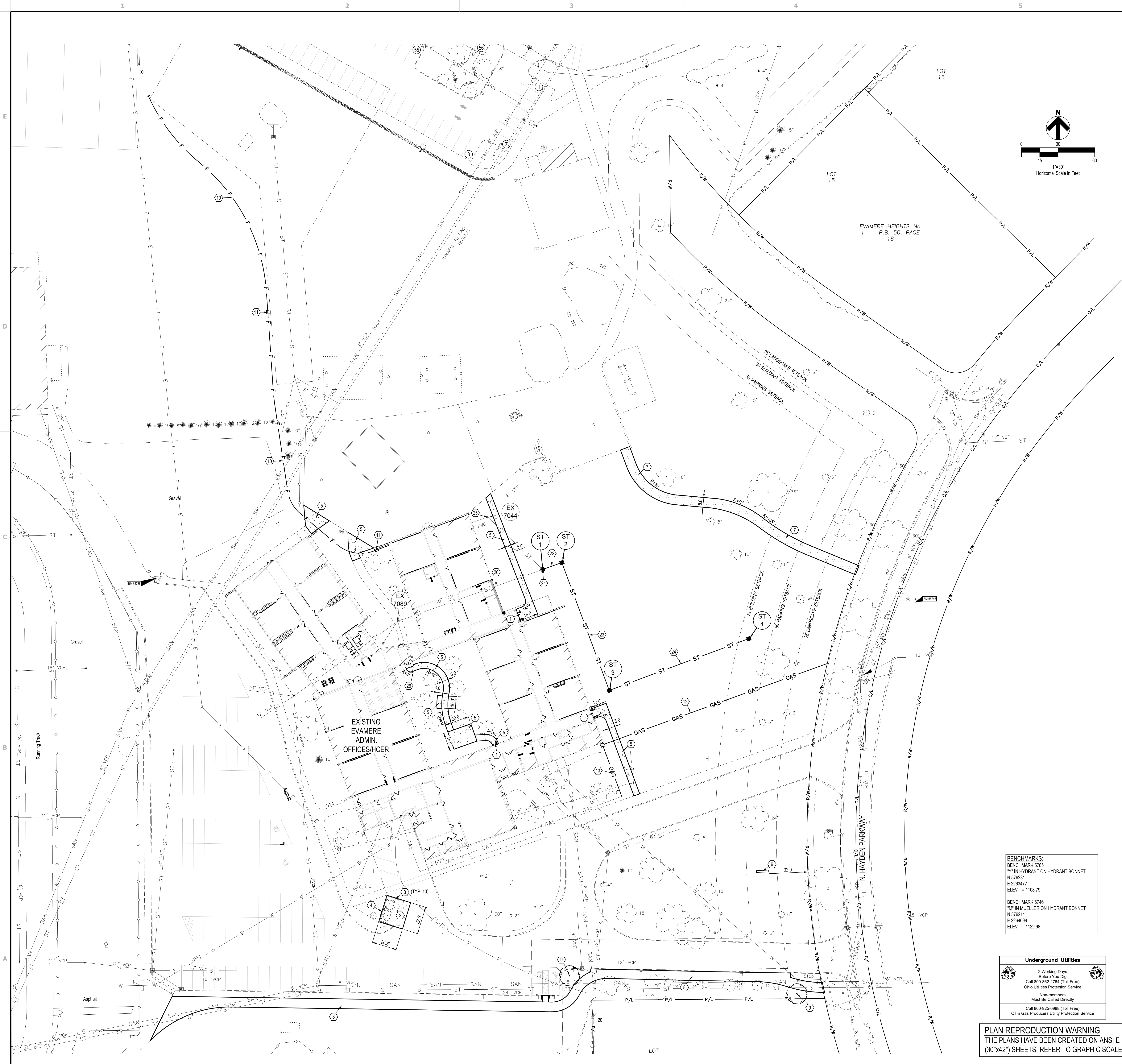
EXISTING CONDITIONS  
AND DEMOLITION PLAN

ISSUED FOR:	
PERMIT	XXXXXX
BID	XXXXXX
CONSTRUCTION	XXXXXX
RECORD	XXXXXX
PROJECT MANAGER	DESIGNER
JP	MH

JOB NO.  
**2018098.08**

**C-111**





- GENERAL NOTES**
- FOR STORM WATER POLLUTION PREVENTION SEE SHEET C-002 AND SHEET C-131.
  - FOR SITE GRADING INFORMATION REFER TO SHEET C-131.
  - RESTORE RIGHT OF WAY SIDEWALK (8" THICK), AND CURB TO THE NEAREST FULL JOINTS. ALL SAW CUTTING MUST BE DONE WET, TO CONFORM TO THE OHIO EPA'S FUGITIVE DUST ACT CURB REPLACEMENT MUST MATCH EXISTING, WHETHER IT BE CONCRETE CURB, CONCRETE CURB AND GUTTER, OR CONCRETE CURB AND GUTTER WITH ASPHALT OVERLAY PER CITY OF HUDSON STANDARDS. CONTRACTOR TO PROVIDE TOPSOIL AND PERMANENT SEED IN ALL DISTURBED AREAS PER SHEET C-002 AND SPECIFICATION SECTIONS 31200 AND 32200.
  -
- SITE KEYNOTES**
- PROPOSED FROST SLAB AT DOOR. SEE STRUCTURAL PLANS.
  - PROPOSED HEAVY DUTY CONCRETE PAVEMENT SEE SHEET C-501.
  - PROPOSED BOLLARD SEE SHEET C-501. INSTALL 9" O.C. UNLESS NOTED OTHERWISE.
  - PROPOSED 8" HIGH TONGUE AND GROOVE VINYL PRIVACY FENCE SEE SHEET C-501.
  - PROPOSED CONCRETE WALK, SEE SHEET C-501.
  - PROPOSED MONUMENT SIGN, SEE ARCHITECTURAL PLANS.
  - PROPOSED ASPHALT TRAIL, SEE SHEET C-501.
  - ASPHALT TRAIL UNDER SEPARATE CONTRACT.
  - PROPOSED TREES UNDER SEPARATE CONTRACT.
- UTILITY KEYNOTES**
- DRY UTILITIES**
- PROPOSED FIBER SERVICE CONDUIT. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ROUTING WITH THE SCHOOL REPRESENTATIVE. EXISTING PEDESTAL IS LOCATED NORTH OF THE FOOTBALL FIELD AND SOUTH OF THE EXISTING DRIVE. TOTAL CONDUIT ROUTING IS APPROXIMATELY 565' TO EXISTING PEDESTAL. SEE SHEET T-101 FOR DETAILS.
  - PROPOSED 24"x36"x36" PULL BOX. CONTRACTOR SHALL FIELD COORDINATE EXACT LOCATIONS. SEE SHEET T-101 FOR DETAILS.
  - CONTRACTOR SHALL COORDINATE WITH DOMINION EAST OHIO TO SET THE NEW GAS METER, AND RUN THE GAS LINE TO THE STREET.
  - CONTRACTOR SHALL MAKE THE CONNECTION FROM THE NEW GAS METER TO THE EXISTING GAS LINE SERVICING THE BUILDING TO REMAIN.
- STORM**
- EXISTING 10" STORM LINE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR JETTING THE EXISTING LINE AND ENSURING THAT IT IS FREE FLOWING AND IN GOOD CONDITION PRIOR TO CONNECTING NEW STORM. CONTACT THE ENGINEER IMMEDIATELY IF THESE CONDITIONS CANNOT BE MET. NO EXTRA COMPENSATION SHALL BE GIVEN IF THE CONTRACTOR HAS NOT NOTIFIED THE ENGINEERING IN WRITING AS TO THE DIFFERING CONDITIONS PRIOR TO STARTING WORK FOR AN ALTERNATE SOLUTION.
  - LOCATION OF EXISTING MANHOLE PER PLAN. IF DURING EXCAVATION IT IS DISCOVERED THAT THE MANHOLE EXISTS IN GOOD CONDITION THE CONTRACTOR SHALL BE PERMITTED TO ADJUST TO GRADE AND MAKE NEW CONNECTION IN LIEU OF PROVIDING A NEW STRUCTURE AT THIS LOCATION.
  - 16 LF OF 10" PVC @ 1.56% MINIMUM
  - 112 LF OF 10" PVC @ 0.50%
  - 122 LF OF 10" PVC @ 0.50%
  - EXISTING BASIN TO BE RECONSTRUCTED TO GRADE AS REQUIRED FOR INSTALLATION OF NEW SIDEWALK. CONTRACTOR SHALL REPLACE IF DAMAGED DURING DEMOLITION.
  - EXISTING BASIN TO REMAIN AND BE PROTECTED.

**LEGEND**  
(SEE SHEET C-001 FOR GENERAL LEGEND)

	PROPOSED CONCRETE
	PROPOSED ASPHALT TRAIL
	CONSTRUCTION KEYNOTE
	LIMITS OF WORK
	PROPOSED STORM SEWER
	PROPOSED FIBER LINE
	APPURTENANCES

EXISTING STRUCTURES	
STRUCT. ID	STRUCTURE DETAILS
CB 7044	EXISTING CATCH BASIN RM=1114.13 INV. 8" VCP (NE)= 1110.68 INV. 4" PVC (SW)= 1110.28
ST 7089	EXISTING STORM SEWER MANHOLE RM=1112.22 INV. 10" VCP (NE&SE)=1106.42 INV. 12" VCP (SW)= 1106.42 INV. 6" SMP (SW)= 1109.02

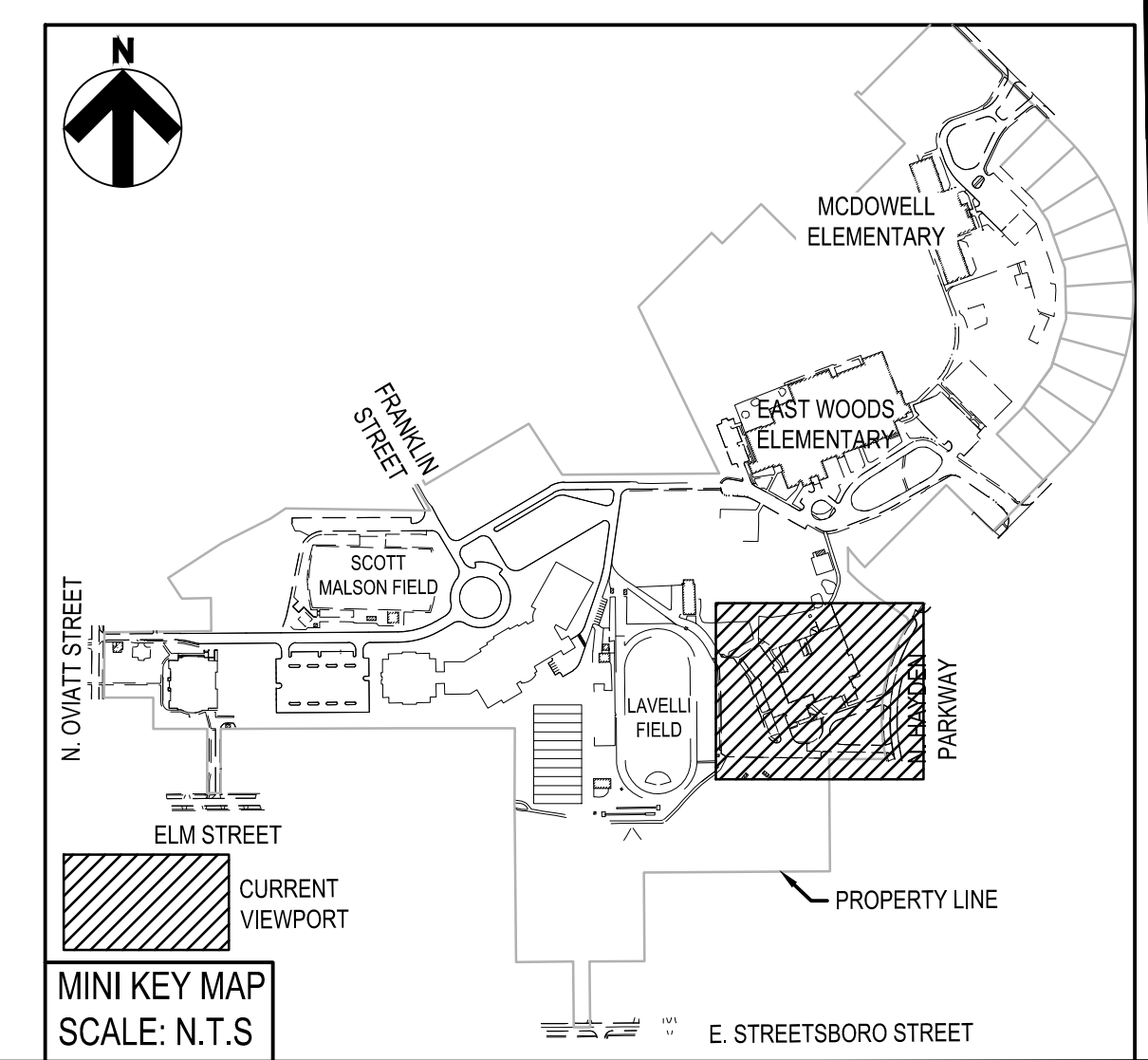
**PROPOSED STRUCTURES**

STRUCT. ID	STRUCTURE DETAILS
ST 1	PROPOSED STORM MANHOLE (SEE DETAIL SHEET C-501) RM=1113.80 INV. 10" (NE)=1108.70± EX. INV. 10" (SW)=1109.10± EX. INV. 8" (NW)= 1109.60±
ST 2	PROPOSED YARD DRAIN (SEE DETAIL SHEET C-501) RM=1113.80 INV. 10" (SW,SE)= 1109.95
ST 3	PROPOSED YARD DRAIN (SEE DETAIL SHEET C-501) RM=1113.80 INV. 10" (NW,NE)=1110.51
ST 4	PROPOSED YARD DRAIN (SEE DETAIL SHEET C-501) RM=1115.50 INV. 10" (SW)=1111.12

**BENCHMARKS:**  
BENCHMARK 5785  
"Y" IN HYDRANT ON HYDRANT BONNET  
N 578231  
E 2283477  
ELEV. = 11108.79  
  
BENCHMARK 6746  
"M" IN MUELLER ON HYDRANT BONNET  
N 578211  
E 2284099  
ELEV. = 1122.98

**Underground Utilities**  
2 Working Days  
Before You Dig  
Call 800-362-2764 (Toll Free)  
Ohio Utilities Protection Service  
Non-members  
Must Be Called Directly  
Call 800-925-0888 (Toll Free)  
Oil & Gas Producers Utility Protection Service

**PLAN REPRODUCTION WARNING**  
THE PLANS HAVE BEEN CREATED ON ANSI E (30"x42") SHEETS, REFER TO GRAPHIC SCALE.



**GPD GROUP**  
Gloss, Pyle, Schomer, Burns & DeHaven, Inc.  
530 South Main Street, Suite 2531  
Akron, OH 44311  
330.572.2100 Fax 330.572.2101  
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**Hudson City Schools**

DESCRIPTION	DATE	REV

**HUDSON MIDDLE SCHOOL**  
EVAMERE ADMIN OFFICES/HCR  
76 N. HAYDEN PKWY, HUDSON 44236

**SITE AND UTILITY PLAN**

ISSUED FOR:	
PERMIT	XXXXXX
BID	XXXXXX
CONSTRUCTION	XXXXXX
RECORD	XXXXXX
PROJECT MANAGER	DESIGNER
JP	MH

JOB NO.  
**20180908.08**

**C-121**



Drawing Name: C-131(20180808) - Evamere ES Reno For Admin., HCR(Dwg)C:Sheets(20180808) Blank Demo And  
Site.dwg  
March 11, 2021 12:29 PM - dflair



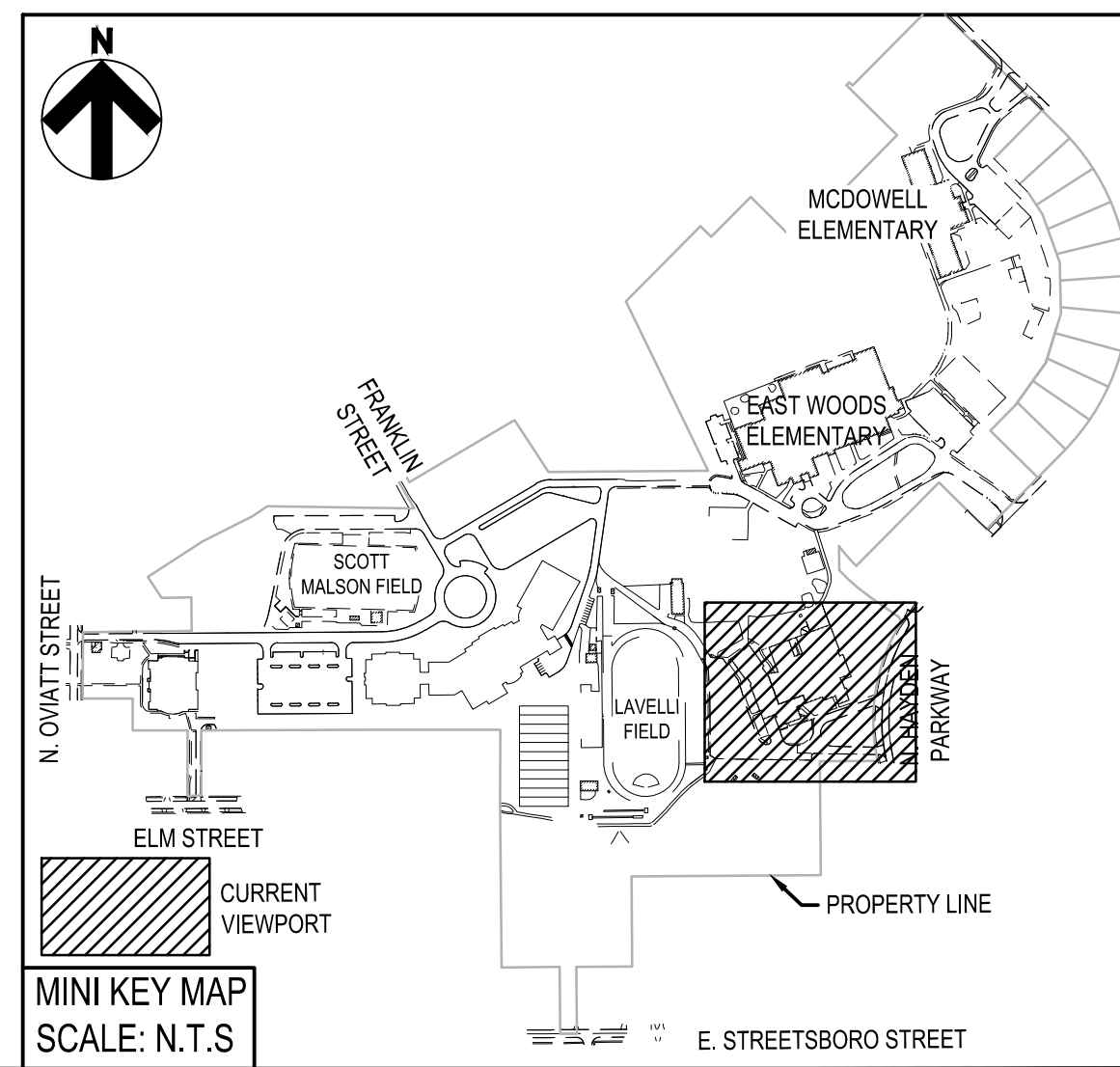
- GENERAL NOTES**
- FOR STORM WATER POLLUTION PREVENTION SEE SHEET C-002 AND THIS SHEET.
  - FOR SITE AND UTILITY INFORMATION REFER TO SHEET C-121.
  - RESTORE RIGHT OF WAY SIDEWALK (8" THICK), AND CURB TO THE NEAREST FULL JOINTS. ALL SAW CUTTING MUST BE DONE WET, TO CONFORM TO THE OHIO EPA'S FUGITIVE DUST ACT CURB REPLACEMENT MUST MATCH EXISTING, WHETHER IT BE CONCRETE CURB, CONCRETE CURB AND GUTTER, OR CONCRETE CURB AND GUTTER WITH ASPHALT OVERLAY PER CITY OF HUDSON STANDARDS. CONTRACTOR TO PROVIDE TOPSOIL AND PERMANENT SEED IN ALL DISTURBED AREAS PER SHEET C-001.
- CONSTRUCTION SEQUENCE**
- DURING PRECONSTRUCTION MEETING ALL EROSION & SEDIMENT CONTROL FACILITIES & PROCEDURES SHALL BE DISCUSSED. A GENERAL CONSTRUCTION SEQUENCE FOLLOWS AND MAY NEED TO BE UPDATED BY THE CONTRACTOR TO SUIT THE SPECIFICS OF THE SITE AND INTENDED CONTRACTOR SPECIFIC SEQUENCING.
  - TEMPORARY CONSTRUCTION FENCING SHALL BE INSTALLED AROUND PERIMETER OF CONSTRUCTION SITE AS NECESSARY. WHERE THERE IS EXISTING FENCE ALONG THE PERIMETER OF THE SITE, IT CAN BE UTILIZED. FENCING SHALL BE USED TO RESTRICT OUTSIDE TRAFFIC TO SITE.
  - STAKE AND/OR FLAG LIMITS OF CLEARING.
  - CLEAR & GRUB, AS NECESSARY, FOR INSTALLATION OF PERIMETER CONTROLS. INSTALL SILT PERIMETER CONTROLS AS SHOWN ON PLANS. SILT PERIMETER CONTROLS SHALL BE INSTALLED LEVEL, ALONG THE CONTOURS, WITH ENDS TURNED UPSLOPE TO PREVENT CONCENTRATED FLOW AT THE SILT PERIMETER CONTROLS.
  - INSTALL TEMPORARY SILT INLET PROTECTION ON ALL EXISTING CATCH BASINS AND INLETS, AS DESIGNATED IN THE PLANS. REMOVAL OF SILT INLET PROTECTION FROM DESIGNATED INLETS CAN ONLY OCCUR WHEN A STRUCTURE IS REMOVED, AND AS REQUIRED BY THE PROGRESSION OF THE DEMOLITION AND CONSTRUCTION.
  - INSTALL TREE PROTECTION FENCING AS REQUIRED AROUND ALL TREES TO REMAIN WITHIN WORK LIMITS.
  - CLEAR & GRUB THE REMAINING SITE AS NECESSARY. TOPSOIL SHALL BE STRIPPED AND STOCKPILED ON SITE FOR REUSE, OR REMOVED TO AN APPROVED OFFSITE SPOIL AREA.
  - UTILIZE DUST CONTROL MEASURES AS REQUIRED TO MINIMIZE AIR-BORNE POLLUTION BY METHODS APPROVED BY THE AUTHORIZING EPA OFFICE.
  - BEGIN FILLING & GRADING AS REQUIRED TO REACH SUBGRADE.
  - CONSTRUCT UNDERGROUND UTILITY WORK INCLUDING STORM DRAINAGE FACILITIES. UPON INSTALLATION OF STORM DRAINAGE CATCH BASINS, YARD DRAINS AND INLETS, INSTALL REQUIRED INLET PROTECTION.
  - FOLLOWING COMPLETION OF BUILDING DEMOLITION AND EXTERIOR BUILDING IMPROVEMENTS, BEGIN LANDSCAPE INSTALLATION.
  - COMPLETE SITEWORK AND FINAL CLEAN-UP. RESEED ANY AREAS THAT MAY REQUIRE ATTENTION IMMEDIATELY. NOTE THAT LAWN AREAS WILL NOT BE DEMED STABLE UNTIL A MINIMUM 80% VEGETATIVE DENSITY HAS BEEN ACHIEVED.
  - MAINTAIN EROSION & SEDIMENTATION CONTROL MEASURES UNTIL THE SITE HAS BEEN COMPLETELY STABILIZED. ALL AREAS OF VEGETATIVE SURFACE, WHETHER PERMANENT OR TEMPORARY, SHALL BE CONSIDERED TO BE IN PLACE AND FUNCTIONAL WHEN THE REQUIRED UNIFORM RATE OF COVERAGE (80%) IS OBTAINED.
  - REMOVE SEDIMENT CONTROLS.
- GRADING NOTES**
- EXISTING COURTYARD WAS NOT SURVEYED. CONTOURS SHOWN WITHIN THE COURTYARD ARE FROM THE EVAMERE ELEMENTARY SCHOOL ADDITION AND RENOVATION DATED 10/23/06 BY HASENSTAB ARCHITECTS.
  - MATCH EXISTING CONCRETE ELEVATION.
  - CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM THE DOOR. GRADES SURROUNDING WALK SHALL BE FLUSH WITH THE TOP OF WALK.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING NEW SIDEWALK NOT TO EXCEED A 1.8% CROSS SLOPE OR A 4.5% RUNNING SLOPE WHEN INSTALLING COURTYARD WALK. ENSURE EXISTING DRAINAGE PATTERNS ARE MAINTAINED ACROSS THE WALK.
  - PROPOSED CONCRETE PAD, SLOPES SHALL NOT EXCEED 1.8% IN ANY DIRECTION.
  - EXISTING YARD DRAIN TO REMAIN AND BE PROTECTED. THE CONTRACTOR SHALL PROVIDE A TURN DOWN AT THE EDGE OF THE CONCRETE WALK IF A 3:1 SLOPE CANNOT BE OBTAINED FROM THE EDGE OF THE WALK TO THE EDGE OF THE DRAIN.
  - CONTRACTOR SHALL MEET EXISTING GRADES AT BUILDING AND TAPER DOWN AT 3:1 MAX SLOPE.

- LEGEND**  
(SEE SHEET C-001 FOR GENERAL LEGEND)
- PROPOSED CONTOUR
  - XXX.XX4 EXISTING SPOT ELEVATION, MATCH
  - XXX.XX PROPOSED ELEVATION @ FINISHED GROUND ELEVATION
  - 0.0% PROPOSED DRAINAGE SLOPE & DIRECTION
  - PROPOSED SILT BARRIER REFER TO SWPP DETAILS
  - SF PROPOSED SILT FENCE REFER TO SWPP DETAILS
  - (00) GRADING NOTE

**BENCHMARKS:**  
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E 2283477  
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**Hudson City Schools**

**DESCRIPTION**

**DATE**

**REV**

**ISSUED FOR:**

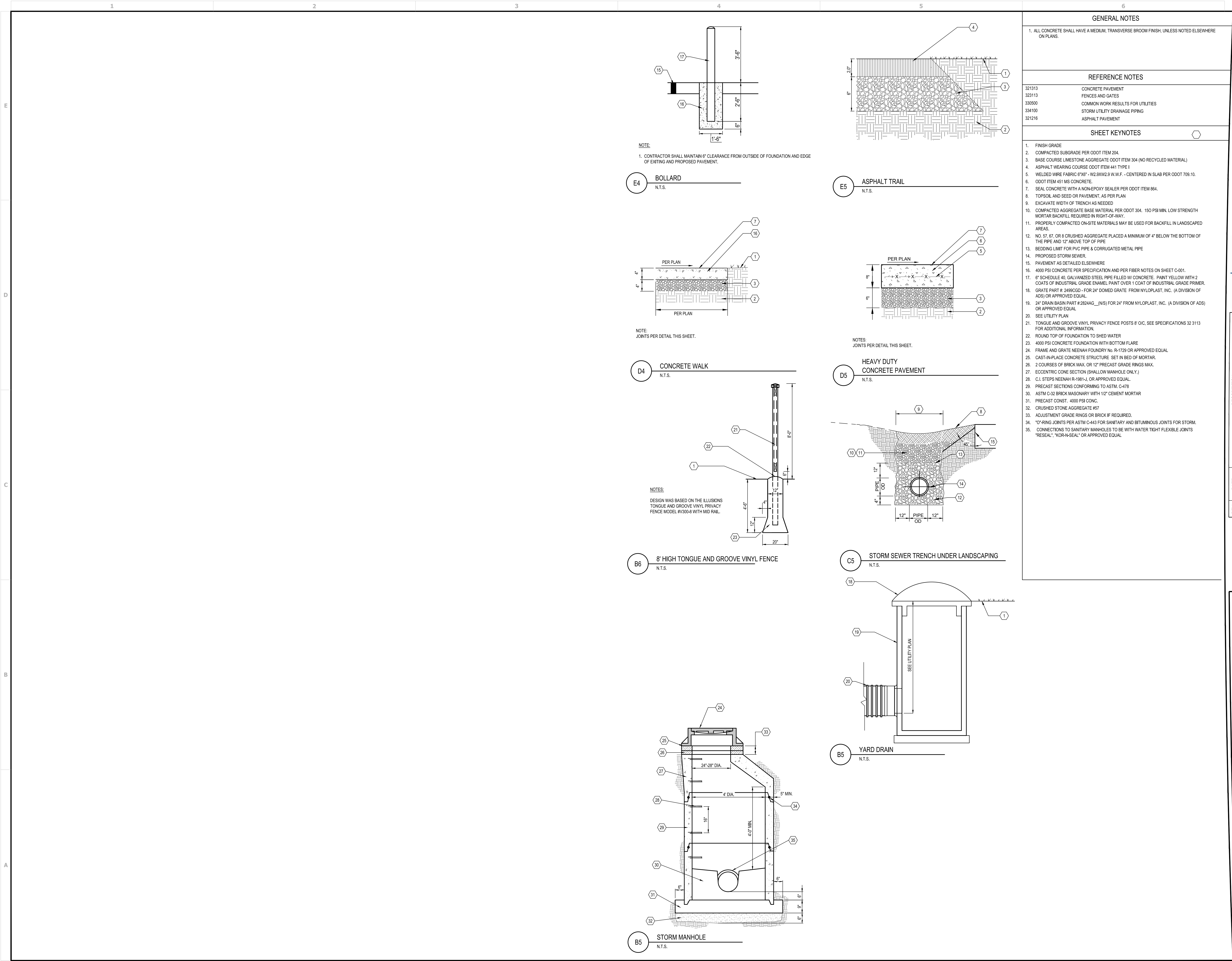
PERMIT	XXXXXX
BID	XXXXXX
CONSTRUCTION	XXXXXX
RECORD	XXXXXX

**PROJECT MANAGER** JP **DESIGNER** MH

**JOB NO.** 2018098.08

**C-131**





**GPD GROUP**  
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**Hudson City Schools**

REV	DATE	DESCRIPTION
PR-001	04/09/2020 05/04/2020 07/26/2020	ADDITIONAL 01 PR 001 CITY COMMENTS ADDED WALK AND STRIPING

**HUDSON MIDDLE SCHOOL**  
EVAMERE ADMIN OFFICES/HCR  
76 N. HAYDEN PKWY, HUDSON 44236

**SITE DETAILS**

ISSUED FOR:	
PERMIT	XXXXXX
BID	XXXXXX
CONSTRUCTION	XXXXXX
RECORD	XXXXXX
PROJECT MANAGER	DESIGNER
JP	MLH

JOB NO.  
**2018098.08**

**C-501**



SHAWN KASSON  
Fire Marshal

[skasson@hudson.oh.us](mailto:skasson@hudson.oh.us)  
(330) 342-1869

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# M E M O R A N D U M

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**DATE:** March 9, 2021

**TO:** Nick Sugar, City Planner

**FROM:** Shawn Kasson, Fire Marshal SK

**SUBJECT:** Evamere Demolition/HCSO Administrative Office – 76 North Hayden Pkwy

---

I have reviewed the architectural site plan dated 03/08/21 for the proposed Evamere Demolition/HCSO Administrative Office – 76 North Hayden Pkwy. Upon review I have no comments regarding the conditional use and find the plans in substantial compliance with the Ohio Fire Code requirements.

Note: The scope of this review is preliminary and limited the conditional use approval. The applicant must submit detailed design plans for review and final approval.

Please contact me with any questions.





ENGINEERING • 1140 Terex Road • Hudson, Ohio 44236 • (330) 342-1770

**Date:** March 23, 2021

**To:** Nick Sugar, City Planner, Community Development

**From:** Nate Wonsick, P.E., Assistant City Engineer

**Re:** **Evamere Elementary School – Building Demo and Sitework  
Engineering Review - Viewpoint #21-227**

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The City of Hudson Engineering Department has reviewed the plans submitted and the comments are below. Note: The City of Hudson Engineering Standards (Engineering Standards) and Land Development Code (LDC) are available online at the City of Hudson Website [www.hudson.oh.us](http://www.hudson.oh.us) under the Engineering Dept. and Community Development Department respectively. The standards are also available in print for a fee. Please contact our office (330-342-1770) if you would like a cost for the printed version.

The City of Hudson Engineering Department has the following comments:

**Approvals that will be needed prior to the City of Hudson Engineering Acceptance include:**

1. Summit Soil and Water Conservation District (submit documentation of approval).

**General Comments:**

2. It is noted that this project is part of the overall Hudson Middle School Campus Improvements and the active NPDES permit obtained for this work may be valid for this additional site work. However, since this phase disturbs more than one-acre Summit SWCD must also review and approve the plans.
3. Update the address for Hudson City Hall in the notes as follows: 1140 Terex Road

**Storm Sewer/ Storm Water Management Comments:**

4. No net impervious surface is being created with this phase of work. No additional storm water management is required for this phase of work.

If you have any questions, please contact our office.

Sincerely,

Nate Wonsick, P.E.  
Assistant City Engineer

C: File.