

LOT IMPROVEMENT PLAN

1425 Middleton Road

Situated in the City of Hudson,
County of Summit and State of Ohio
PPN: 3010330

Builder: Schumacher Homes

TREE SURVEY LEGEND

- A - PINE TREE
- B - OAK TREE
- C - COTTONWOOD
- D - MAPLE
- E - CUCUMBER
- F - ASH
- G - WALNUT
- H - CHERRY
- J - PEAR
- K - ARBORVITAE
- L - HICKORY

- TREE SIZE IN INCHES
- TREE SPECIES
- ⊗ TREE TO BE REMOVED

EROSION CONTROL LEGEND

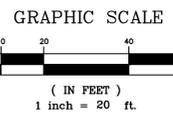
- ⊗ SILT FENCE
- ⊗ INLET PROTECTION
- ⊗ CONSTRUCTION ENTRANCE
- ⊗ CONCRETE WASHOUT
- LIMITS OF DISTURBANCE

EROSION CONTROL NOTES

1. THIS CONTRACT DRAWING SHALL BE MADE AVAILABLE ON-SITE AT ALL TIME AND PRESENTED UPON REQUEST.
2. EROSION AND SEDIMENT CONTROLS SHALL BE IMPLEMENTED AS THE FIRST OPERATION OF GRADING AND WITHIN SEVEN (7) DAYS FROM START OF GRUBBING. UPON COMPLETION OF CONSTRUCTION OF SEDIMENT CONTROL MEASURES, SEEDING AND MULCHING SHALL IMMEDIATELY FOLLOW TO AID IN STABILIZATION AND MINIMIZE EROSION AND SEDIMENT TRANSPORT OF THE SOIL TO THE EXISTING STORM SEWER. ALL EROSION AND SEDIMENT CONTROLS SHALL CONTINUE TO FUNCTION UNTIL UPLAND AREAS ARE PERMANENTLY STABILIZED, OR AS DIRECTED BY THE ADMINISTRATOR.
3. SILT FENCE SHALL BE MAINTAINED AROUND ALL SOIL STOCKPILES AND OTHER TEMPORARILY DISTURBED AREAS AS DIRECTED BY THE SUMMIT SOIL & WATER CONSERVATION DISTRICT.
4. STRIPPING OF VEGETATION, RE-GRADING, AND OTHER DEVELOPMENT ACTIVITIES SHALL BE CONDUCTED IN A MANNER SO AS TO MINIMIZE EROSION. CUT & FILL OPERATIONS MUST BE KEPT TO A MINIMUM. DEVELOPMENTAL PLANS MUST CONFORM TO TOPOGRAPHY AND SOIL TYPES AS TO CREATE THE LOWEST PRACTICAL EROSION POTENTIAL. ALL DISTURBED AREAS SHALL BE SEEDING AND MULCHING IMMEDIATELY AFTER FINAL GRADING. SECURE SEEDING AND MULCHING WITH POLYNET WHERE SLOPES ARE 3 (HORIZ.) : 1 (VERT.) OR GREATER.
5. DISTURBED AREAS, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF FOURTEEN (14) DAYS OR GREATER, SHALL BE STABILIZED WITH SEEDING AND MULCHING OR OTHER APPROPRIATE MEANS WITHIN SEVEN (7) DAYS AFTER THE LAST DISTURBANCE. DISTURBED AREAS THAT WILL REMAIN DORMANT FOR MORE THAN FOURTEEN (14) DAYS WITHIN FIFTY (50) FEET OF A STREAM SHALL HAVE TEMPORARY EROSION CONTROL MEASURES, INCLUDING BUT NOT LIMITED TO SEEDING, APPLIED WITHIN TWO (2) DAYS. DISTURBED AREAS THAT HAVE REACHED FINAL GRADE SHALL BE STABILIZED WITHIN SEVEN (7) DAYS OF REACHING FINAL GRADE.
6. WINTERIZATION - ANY DISTURBED AREA THAT IS NOT GOING TO BE WORKED BY 14 DAYS OR MORE MUST BE SEEDING AND MULCHING COVER APPLIED BETWEEN NOVEMBER 1st AND MARCH 1st.
7. ALL EROSION AND SEDIMENT CONTROL PRACTICES SPECIFIED ON THIS PLAN SHALL CONFORM WITH DETAILS AND SPECIFICATIONS OUTLINED IN THE CURRENT VERSION OF THE OHIO DEPARTMENT OF NATURAL RESOURCES BOOKLET, DRAINAGE AND LAND DEVELOPMENT.
8. EROSION AND SEDIMENT CONTROL PRACTICES NOT ALREADY SPECIFIED ON THIS PLAN MAY BE NECESSARY DUE TO UNFORESEEN ENVIRONMENTAL CONDITIONS, CONSTRUCTION PHASING AND/OR CHANGES IN DRAINAGE PATTERNS CAUSED BY EARTH-MOVING ACTIVITY. ADDITIONAL PRACTICES AND/OR A REVISION STORM WATER POLLUTION PREVENTION PLAN SHALL BE REQUIRED AT THE DEVELOPER'S EXPENSE AS DIRECTED BY THE ADMINISTRATOR.
9. NO SOLID OR LIQUID WASTE SHALL BE DISCHARGED INTO STORM WATER RUNOFF. ANY AND ALL WASTE MATERIALS (SOLID, HAZARDOUS, CONSTRUCTION & DEMOLITION, SANITARY, ETC.) GENERATED AT THE SITE SHALL BE PROPERLY DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL RULES & REGULATIONS. IT IS PROHIBITED TO BURN, BURY OR POUR OUT ON THE GROUND OR INTO THE STORM SEWERS ANY SOLVENTS, PAINTS, GASOLINE, DIESEL FUEL, USED MOTOR OIL, HYDRAULIC FLUID, ANTIFREEZE, CEMENT CURING COMPOUNDS AND ANY OTHER SUCH TOXIC OR HAZARDOUS MATERIALS OR WASTES.
10. TRACKING OF SEDIMENTS ONTO ROADWAYS BY VEHICLES SHALL BE MINIMIZED BY UTILIZING THE CONSTRUCTION ENTRANCE AS THE ONLY ENTRANCE FOR VEHICLES. THIS ENTRANCE SHALL BE MAINTAINED AS NEEDED TO PREVENT DIRT AND MUD FROM TRACKING ONTO THE ROADWAY. REGULAR SWEEPING OF THE ROADWAY MAY BE NECESSARY TO ENSURE THAT SEDIMENTS DO NOT BUILD UP ON THE ROADWAY. PAVED AREAS THAT HAVE ACCUMULATED SEDIMENT SHOULD BE CLEANED DAILY OR WHEN DIRECTED BY THE SUMMIT SOIL & WATER CONSERVATION DISTRICT. BY USE OF A MOBILE MECHANICAL SWEEPER. USE OF TRACTOR MOUNTED BROOM IS NOT ACCEPTABLE.
11. NO SOLID OR LIQUID WASTE SHALL BE DISCHARGED INTO THE STORM WATER RUNOFF. (THIS INCLUDES WASHING OUT OF CEMENT TRUCKS.) DESIGNATED CONCRETE WASHOUT AREAS SHOWN ON THE PLANS SHALL BE USED FOR THIS PURPOSE. ALL WASTE MUST BE KEPT AWAY FROM AREAS OF STORM WATER RUNOFF.
12. ALL UTILITY COMPANIES MUST COMPLY WITH ALL STORM WATER POLLUTION PREVENTION MEASURES AS DEFINED ON THIS STORM WATER POLLUTION PREVENTION PLAN.
13. NO EROSION AND SEDIMENT CONTROL BMP'S SHALL BE REMOVED FROM THE SITE PRIOR TO ADEQUATE PERMANENT STABILIZATION OF THE ASSOCIATED UPLAND DRAINAGE AREAS AND WITHOUT FIRST OBTAINING AUTHORIZATION FROM THE APPROPRIATE AUTHORITY, UNLESS THEIR REMOVAL IS SPECIFICALLY PROVIDED FOR WITHIN THE SITE'S APPROVED PLAN.
14. THE DISTURBED AREA AND THE DURATION OF EXPOSURE TO EROSION ELEMENTS SHALL BE KEPT TO A PRACTICAL MINIMUM.
15. DISTURBED SOIL SHALL BE STABILIZED AS QUICKLY AS PRACTICAL. TEMPORARY VEGETATION OR MULCHING SHALL BE EMPLOYED TO PROTECT EXPOSED CRITICAL AREAS DURING DEVELOPMENT. THESE MEASURES SHALL BE INSTALLED WITHIN 48 HOURS OF INITIAL DISTURBANCE. CRITICAL AREAS, AS THEY PERTAIN TO EROSION CONTROL MEASURES, ARE DEFINED BY THE SUMMIT SOIL & WATER CONSERVATION DISTRICT. PERMANENT VEGETATION AND STRUCTURAL EROSION CONTROL MEASURES SHALL BE INSTALLED AS SOON AS PRACTICAL BUT NO LATER THAN 48 HOURS AFTER FINAL GRADING. THIS INCLUDES SOIL OR OTHER METHODS OF RETAINING SEEDING MATERIAL PRIOR TO MATURATION IN THE LOWER HALF OF ANY DRAINAGE DITCHES.
16. STRAW, MULCH, OR NETTING MATERIAL PROVISIONS MUST BE PROVIDED TO MINIMIZE DAMAGE FROM SURFACE WATER TO THE CUT FACE OF EXCAVATIONS OR THE SLOPING SURFACE OF FILLS WITHIN 48 HOURS OF INITIAL DISTURBANCE. CUTS AND FILLS MAY NOT ENDANGER ADJOINING PROPERTY. FILLS MAY NOT ENCLOSE UPON NATURAL WATERCOURSES OR CONSTRUCTED CHANNELS IN A MANNER SO AS TO ADVERSELY AFFECT OTHER PROPERTY OWNERS.
17. REMOVAL OF EROSION CONTROL DEVICES, AND FINAL CLEANUP AND RESTORATION OF THE SITE IS THE RESPONSIBILITY OF THE CONTRACTOR.

1. GRADES SHALL COMPLY WITH THE APPROVED GRADING PLAN ON FILE WITH CORRESPONDING GOVERNMENT OFFICE. ALL UTILITIES ARE PER DESIGN PLAN.
2. MAINTAIN POSITIVE YARD DRAINAGE (TO SWALE, YARD DRAIN, NATURAL WATER COURSES OR STREET) ACROSS ENTIRE LOT.
3. ALL SWALES MUST MAINTAIN A MINIMUM SLOPE OF 1%.
4. CONTRACTOR TO DETERMINE DEPTHS OF EXISTING LATERALS AND VERIFY IF PROPER CONNECTIONS CAN BE MADE TO HOUSE. CONTACT CORRESPONDING GOVERNMENT OFFICE IF DISCREPANCIES EXIST.
5. CONTRACTOR TO NOTIFY UTILITIES PROTECTION SERVICES PRIOR TO CONSTRUCTION.
6. NO LAWN AREAS TO BE MOWED SHALL HAVE A SLOPE STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL.
7. SUMP PUMP REQUIRED. DESIGN & LOCATION TO BE DETERMINED BY BUILDER.
8. NO DETERMINATION OF THE PRESENCE OF WETLAND AREAS WAS PERFORMED BY LEWIS LAND PROFESSIONALS.
9. THIS DRAWING DOES NOT CONSTITUTE A BOUNDARY SURVEY.
10. A SOLID CLAY BULKHEAD AROUND THE PIPE SHALL BE PLACED WITHIN THE STORM & SANITARY CONNECTION TRENCH TO THE LEVEL OF THE STONE BACKFILL ABOVE THE PIPE.

Dimensions to property lines are shown to foundation wall only and do not include overhangs or footer locations.
Foundation dimensions shown are for rough field layout only; see Architectural House Plans for all dimensions.
The Contractor/Owner must verify all foundation dimensions & proposed grades shown on this topographic survey. Cuts between hubs shall be compared for discrepancies. Any error resulting from failure to check shall not be the responsibility of Lewis Land Professionals, Inc.



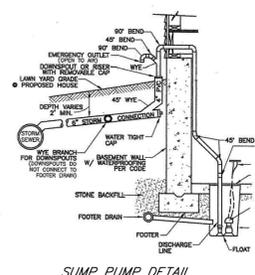
BENCHMARK:
5/8" IRON PIN
W/BROKEN CAP FOUND
ELEV.=1119.29'

FIN 1st FLR. = 1121.67'
TOP/WALL = 1120.50'
GARAGE FLR. = 1120.33'
BASEMENT FLR. = 1111.83'
BOTTOM/FOOTER = 1110.83'

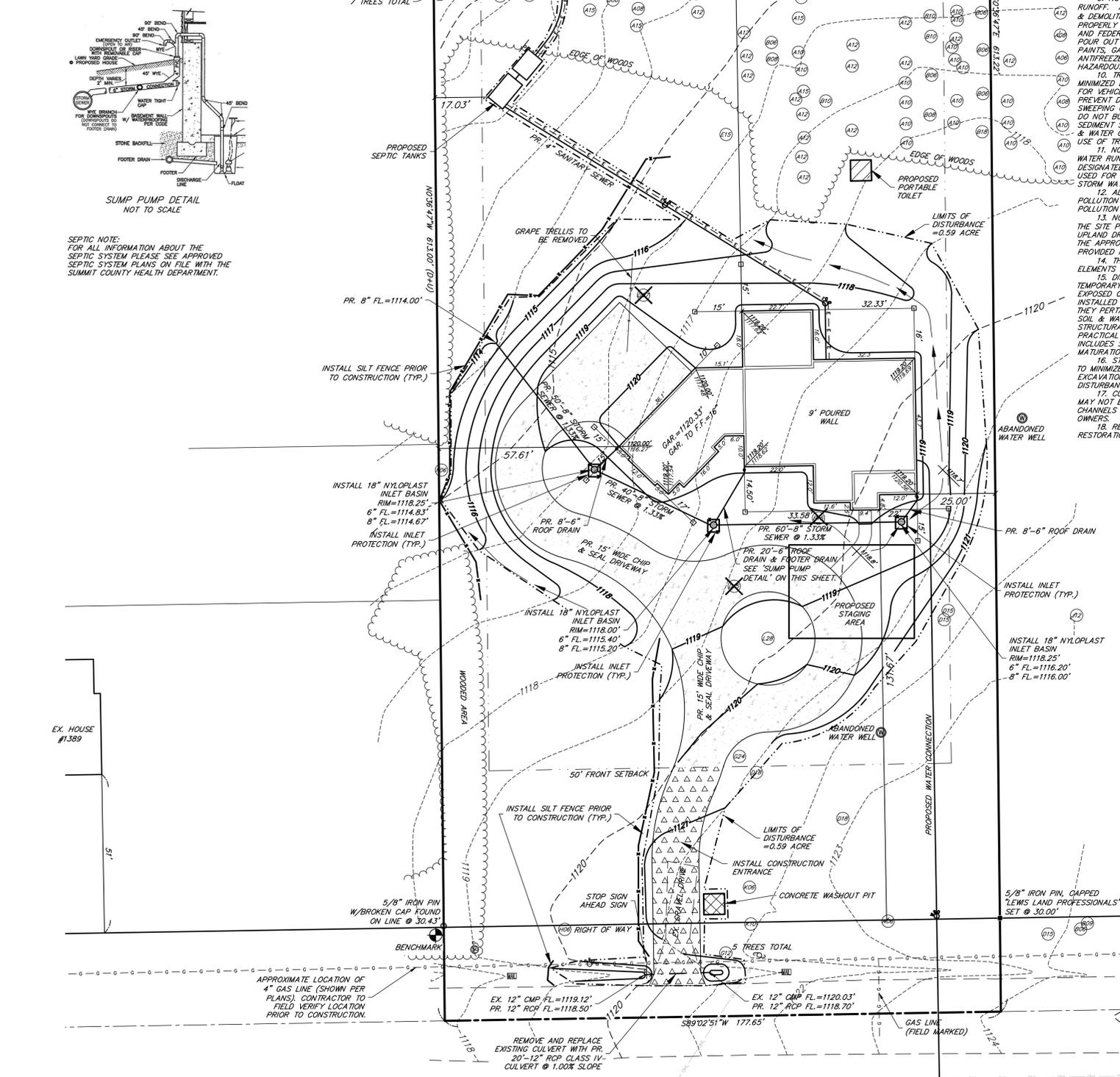
- ⊗ PROPOSED GRADE
- EXISTING GRADE
- SWALE = DRAINAGE FLOW/SWALE
- ⊗ DENOTES: CONSTRUCT CLAY BULKHEAD DAM IN ALL UTILITY TRENCHES
- PR = PROP. = PROPOSED
- EX = EXISTING
- FFL = FINISHED FLOOR
- ⊗ PR. CHIP & SEAL DRIVE

CONTRACTOR NOTE:
EXCAVATING CONTRACTOR SHALL REFER TO ARCHITECTURAL BUILDING PLANS FOR ACTUAL DIMENSIONS BETWEEN FLOORS & BOTTOM OF FOOTER, WALL SECTIONS, UNEXCAVATED AREAS, & FOUNDATION WINDOW OPENINGS.

TREE PROTECTION NOTE:
TREE PROTECTION FENCING MAY BE REQUIRED AS DETERMINED BY A CONSULTANT LANDSCAPE ARCHITECT TO PROTECT TREES NEAR PROPOSED SITE WORK THAT ARE NOT BEING REMOVED.



SEPTIC NOTE:
FOR ALL INFORMATION ABOUT THE SEPTIC SYSTEM PLEASE SEE APPROVED SEPTIC SYSTEM PLANS ON FILE WITH THE SUMMIT COUNTY HEALTH DEPARTMENT.



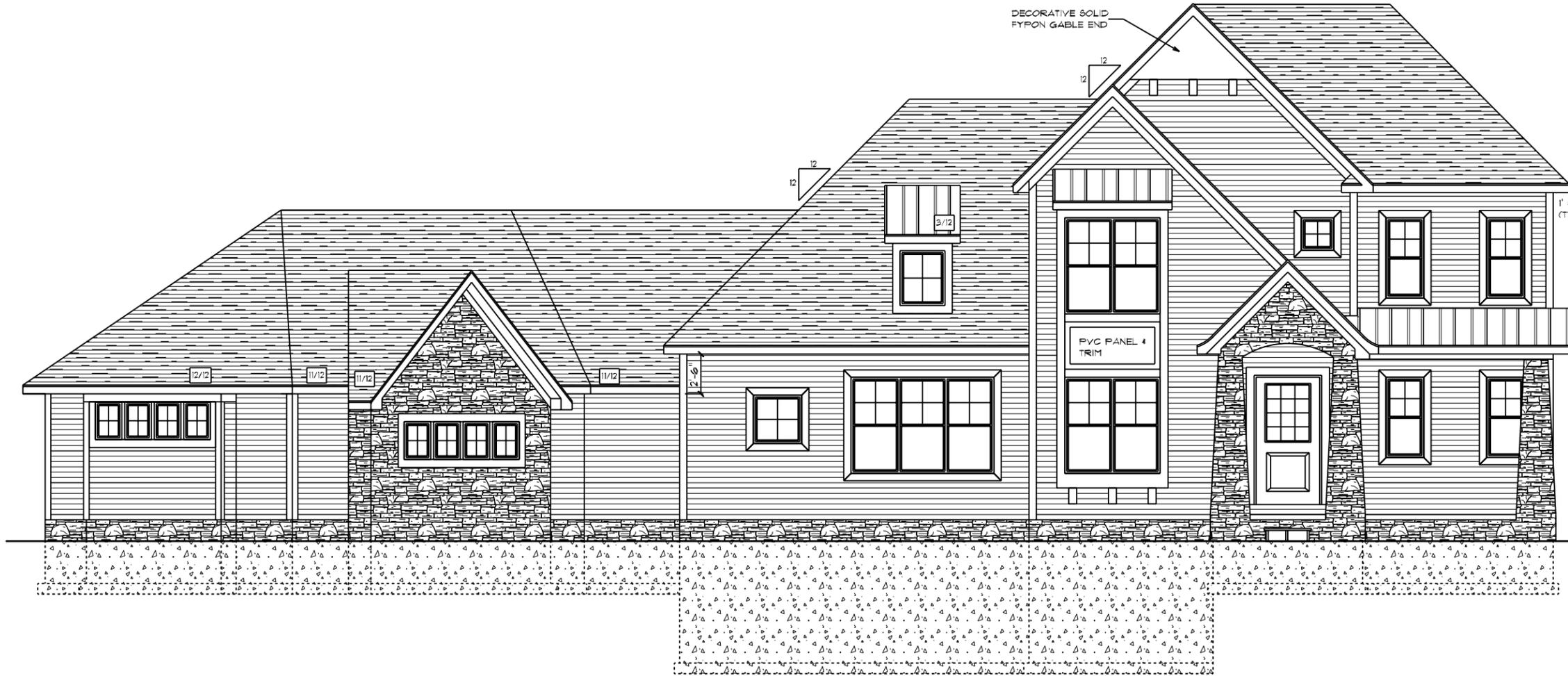
TWO WORKING DAYS BEFORE YOU DIG
Call 1-800-362-2764
Lewis Land Professionals, Inc.
Outside Ohio 216-744-5191
OHIO UTILITIES PROTECTION SERVICE

DATE	DESCRIPTION	BY
10/21/20	FINAL PLAN	SL
10/21/20	ADD LIMITS OF DISTURBANCE	SL

Lewis Land Professionals, Inc.
Civil Engineering & Surveying
8691 Wadsworth Rd., Suite 100 Wadsworth, Ohio 44281
Phone: (330) 335-8232
www.lewislandpros.com

DATE OF SURVEY: OCTOBER 21, 2020
PROJ. No. 20-392 DRAWING NAME 20-392.dwg

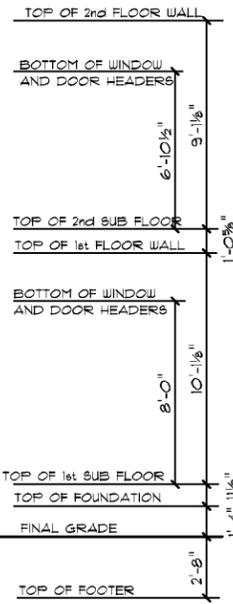
C.H. 132 MIDDLETON ROAD 60' PROPOSED 12" DIA. WATER MAIN EXTENSION



MIDDLETOWN ROAD / CUSTOM

FRONT ELEVATION
 10' CEILING HEIGHT FIRST FLOOR ONLY
 SCALE: 1/8" = 1'-0"

6" CORNER BOARDS
 ON FRONT OF HOME



DATE: 11/18/2020
 SCALE: 1/8" = 1'-0"
 DRAWN BY: DAE
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CUSTOM BUILT FOR: JOHN & HALLEY BECKER
 JOB #: CN 4
 LOCATION: VA *

Akron, OH
 119 White Pond Drive
 Akron, OH 44320
 (811) 261-3482
 www.schumacherhomes.com





MIDDLETOWN ROAD / CUSTOM
 REAR ELEVATION
 10' CEILING HEIGHT FIRST FLOOR ONLY
 SCALE: 1/8" = 1'-0"

DATE: 11/18/2020
 SCALE: 1/8" = 1'-0"
 DRAWN BY: DAE
 SHEET: 2

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 LOCATION: VN #1

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MIDDLETOWN ROAD / CUSTOM
 RIGHT ELEVATION
 10' CEILING HEIGHT FIRST FLOOR ONLY
 SCALE: 1/8" = 1'-0"



MIDDLETOWN ROAD / CUSTOM
 LEFT ELEVATION
 10' CEILING HEIGHT FIRST FLOOR ONLY
 SCALE: 1/8" = 1'-0"

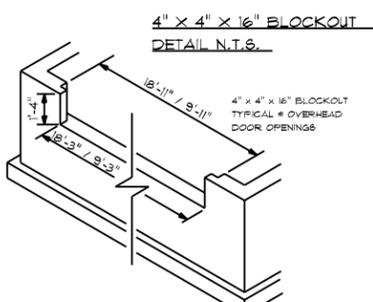
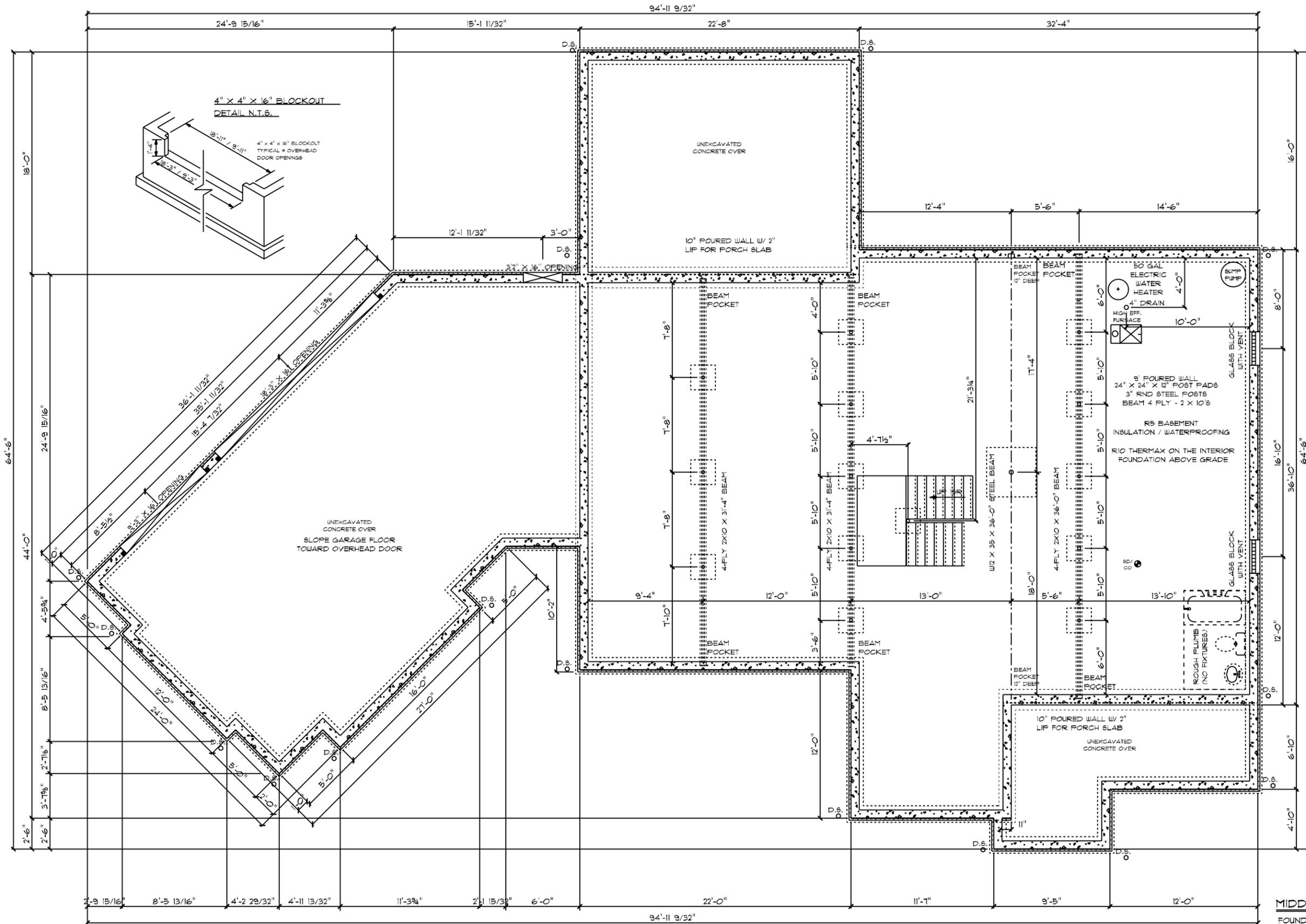
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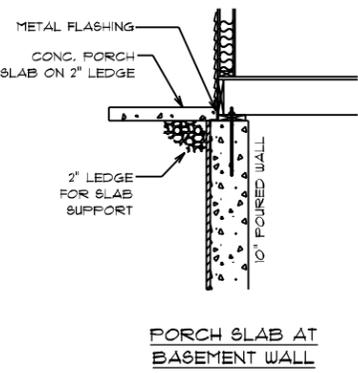
CUSTOM BUILT FOR: JOHN & HALEY BECKER
 JOB #: CN #1
 LOCATION: VN #1

Akron, OH
 119 White Pond Drive
 Akron, OH 44320
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Paul Schumacher
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- 9'-0" POURED WALL FOUNDATION NOTES:**
- 9'-0" x 8" POURED CONCRETE WALL FOUNDATION w/ 16" x 8" FOOTER.
 - INTERIOR & EXTERIOR DRAIN TILE.
 - FOOTERS AND POST PADS TO BE POURED AT SAME ELEVATION.
 - SUMP LOCATION TO BE DETERMINED ACCORDING TO GRADE ELEVATION.
 - SUMP CROCK TO BE RAISED 4" A.F.F.
 - POURED WALL REINFORCEMENT PER CODE.
 - ANCHOR BOLTS SIZED, EMBEDDED AND SPACED PER LOCAL CODE, PLACED A MAXIMUM OF 6'-0" O.C. AND NOT MORE THAN 12" FROM EACH CORNER.
 - FINISH BEAM POCKET DEPTH OF 1 1/2" UNLESS NOTED OTHERWISE.
 - GLASS BLOCK OR VINYL R.O. 16-1/2" X 32-1/2"
- FOUNDATION ELECTRICAL NOTES:**
- ALL SMOKE DETECTORS TO BE INTERCONNECTED WITH A BATTERY BACKUP.
 - ALL OUTLETS INSTALLED IN BATHROOMS, GARAGES, UNFINISHED BASEMENT AREAS, OUTLETS LOCATED WITHIN 6' OF LAUNDRY, UTILITY SINKS AND ALL OUTLETS SERVING KITCHEN COUNTERTOP SURFACES SHALL HAVE GFCI PROTECTION.
 - SUMP RECEPTACLE TO BE LOCATED NEXT TO SUMP.
 - ELECTRICAL PANEL TO BE GROUNDED OUTSIDE PER CODE.
 - WIRE FURNACE.

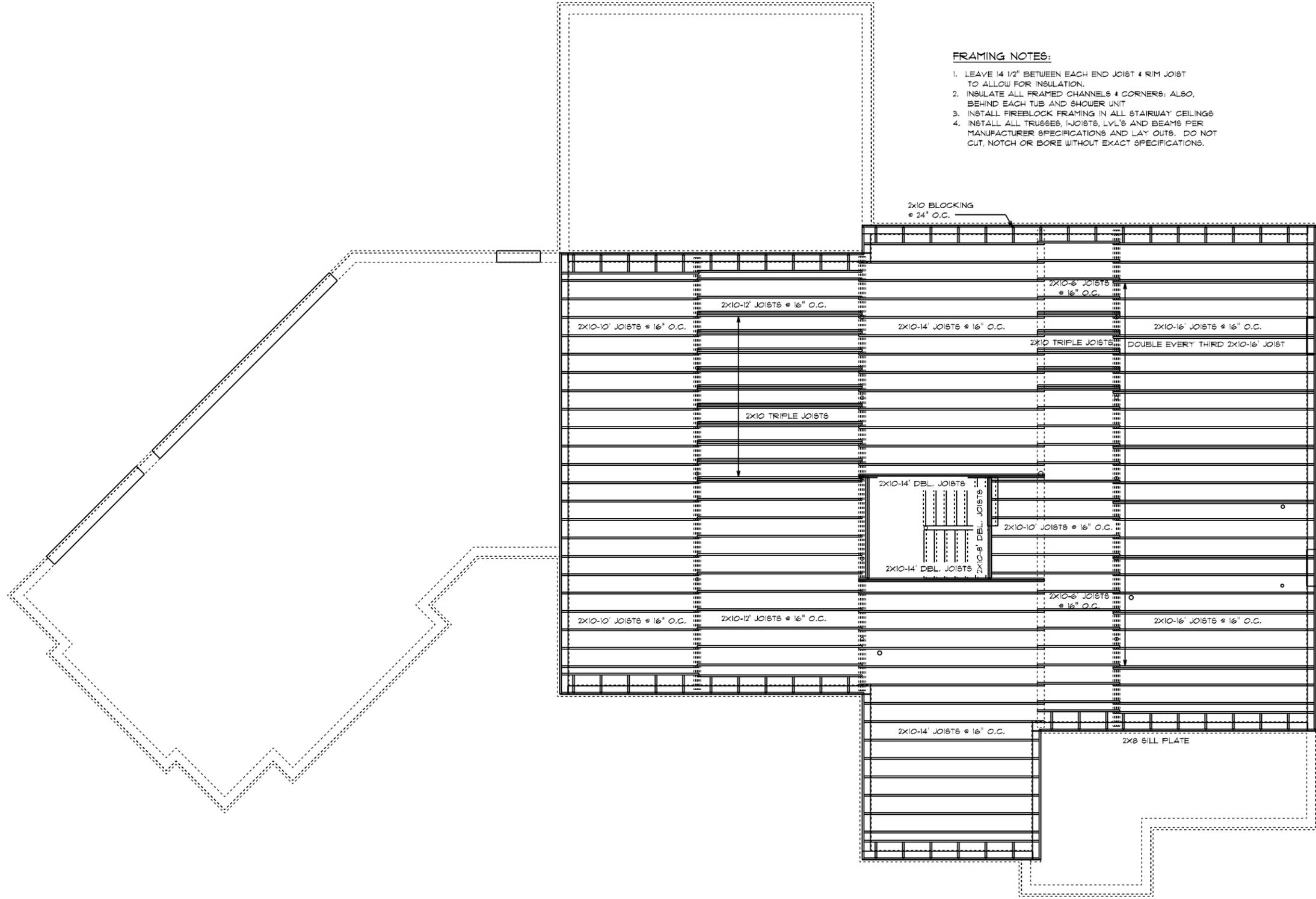


MIDDLETOWN ROAD / CUSTOM
FOUNDATION PLAN

CUSTOMER: JOHN & HALEY BECKER
 JOB #: CN 4
 LOCATION: V.N.
 DATE: 11/18/2020
 SCALE: 1/8" = 1'-0"
 DRAWN BY: DAE
 PAGES: 4

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FRAMING NOTES:

1. LEAVE 14 1/2" BETWEEN EACH END JOIST & RIM JOIST TO ALLOW FOR INSULATION.
2. INSULATE ALL FRAMED CHANNELS & CORNERS; ALSO, BEHIND EACH TUB AND SHOWER UNIT.
3. INSTALL FIREBLOCK FRAMING IN ALL STAIRWAY CEILING@
4. INSTALL ALL TRUSSES, I-JOISTS, LVL'S AND BEAMS PER MANUFACTURER SPECIFICATIONS AND LAY OUTS. DO NOT CUT, NOTCH OR BORE WITHOUT EXACT SPECIFICATIONS.

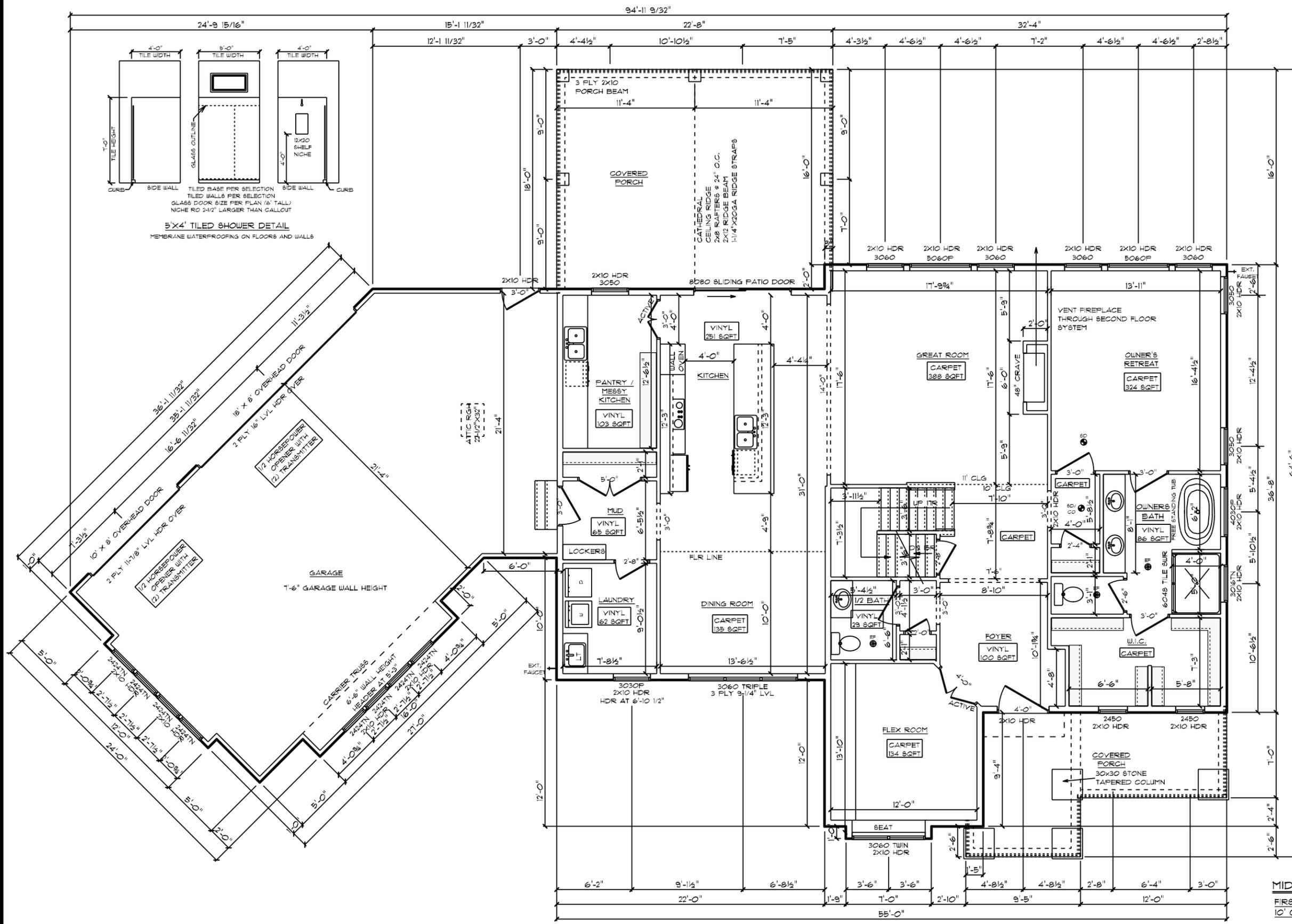
MIDDLETOWN ROAD / CUSTOM
FIRST FLOOR JOIST PLAN

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CUSTOMER BUILT FOR:		JOHN & HALLEY BECKER	
JOB #:	111	CN #:	111
LOCATION:		IN #:	

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GENERAL FRAMING NOTES:

- 2x6 EXTERIOR WALL FRAMING W/R-19 INSULATION, INCLUDING GARAGE/HOUSE INTERIOR WALLS, EXCLUDING GARAGE EXTERIOR WALLS.
- HEADERS TO BE 3-PLY 2X10 W/ (1) KING & (2) JACK STUDS UNLESS OTHERWISE NOTED
- ALL OTHER HEADERS TO BE 3 PLY UNLESS OTHERWISE NOTED
- DRYWALLED OPENINGS TO BE 6'-8" HEIGHT UNLESS OTHERWISE NOTED
- PAINTED TRIM ENTIRE HOME EXCLUDING STAIR PARTS & BALUSTERS (STANDARD)
- 5/16" MDF BASEBOARDS
- 2-1/4" MDF CASING ON INTERIOR DOORS
- WINDOWS TO BE DRYWALL WRAPPED ON INTERIOR.
- 6-PANEL HOLLOW CORE MOLDED INTERIOR DOORS
- SILVERLINE LOW-E VINYL WINDOWS W/ ARGON GAS

FLOORING NOTES:

- ALL FLOORING BREAKS OCCUR @ CENTER LINE OF DOOR OPENINGS UNLESS OTHERWISE NOTED
- FLOORING SQUARE FOOTAGES INCLUDE CLOSETS RELATIVE TO THE AREA UNLESS OTHERWISE NOTED
- SOME FLOORING SQUARE FOOTAGES MAY INCLUDE HALLS OR AREAS THAT CONNECT WITHOUT WALL SEPARATION IF THE SAME FINISH IS CONTINUED

ELECTRICAL NOTES:

- ALL SMOKE DETECTORS TO BE INTER CONNECTED WITH BATTERY BACKUP
- 1 ARC FAULT PER BEDROOM
- GARAGE DOOR LOW VOLTAGE WIRING BY ELECTRICIAN
- TWO SEPARATE KITCHEN GENERAL ELECTRIC OUTLET CIRCUITS FED BY NUMBER 12 WIRE & ON 20 AMP BREAKERS REQUIRED IN KITCHEN
- ALL OUTLETS INSTALLED IN BATHROOMS, GARAGES, & UNFINISHED BASEMENTS SHALL HAVE GFCI PROTECTION ALONG WITH OUTLETS LOCATED W/IN 6'-0" OF LAUNDRY, UTILITY, & WET BAR SINKS & ALL OUTLETS SERVING KITCHEN COUNTER TOP SURFACES.
- PROGRAMMABLE THERMOSTAT STANDARD
- CO DETECTORS STANDARD
- (1) DUAL SENSOR (PHOTOELECTRIC & IONIZATION) SMOKE DETECTOR PER FLOOR. ALL OTHER SMOKE DETECTORS TO BE EITHER PHOTOELECTRIC OR IONIZATION TYPE DEVICES
- LED LIGHT BULBS FOR ALL HANGING FIXTURES

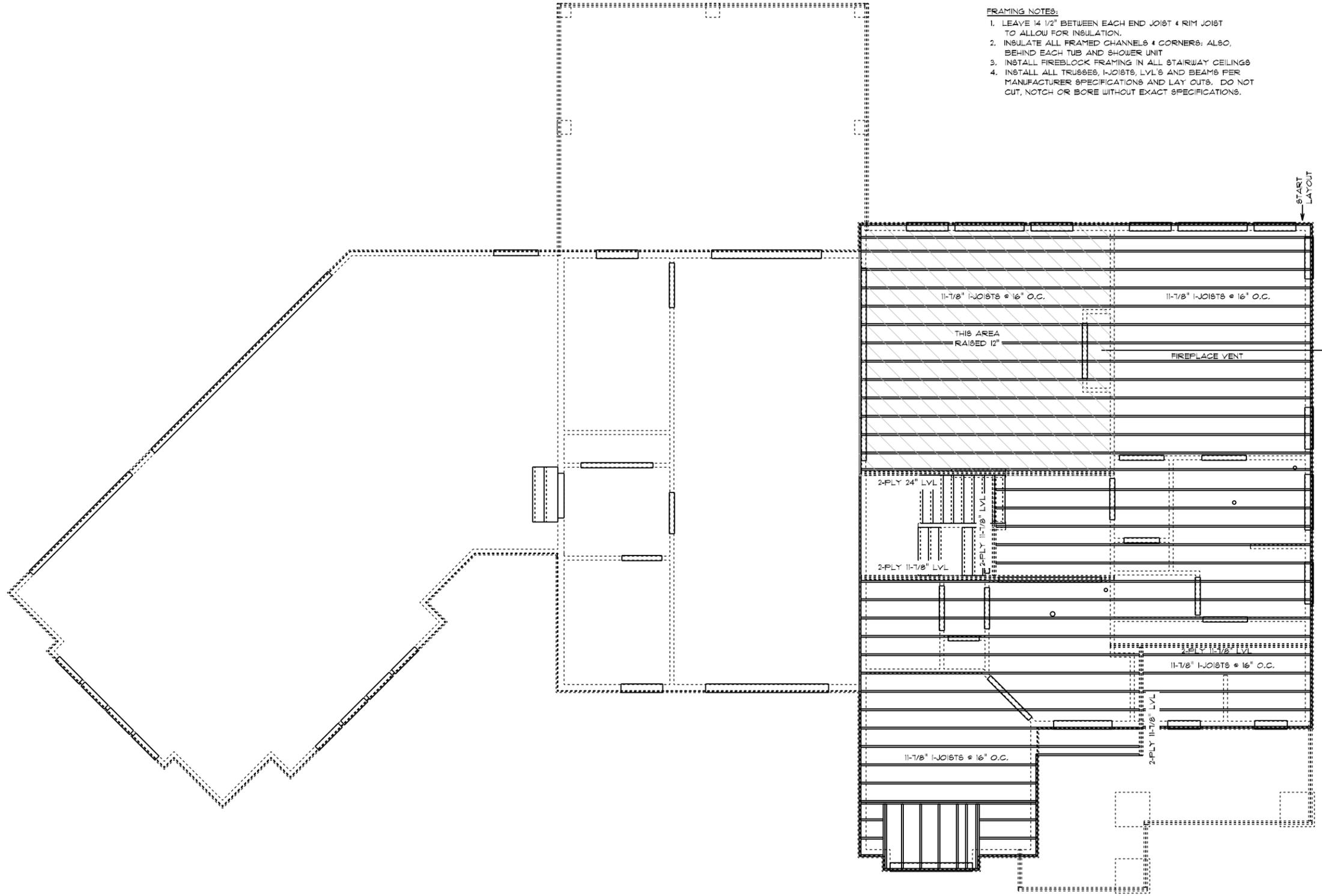
MIDDLETOWN ROAD / CUSTOM
FIRST FLOOR PLAN
10' CEILING HEIGHT

DATE: 11/18/2020
SCALE: 1/8" = 1'-0"
DRAWN BY: DAF
CUSTOMER BILL TO: JOHN & HALEY BECKER
JOB #: CN 4
LOCATION: AKRON, OH
www.schumacherhomes.com

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- FRAMING NOTES:**
1. LEAVE 1/2" BETWEEN EACH END JOIST & RIM JOIST TO ALLOW FOR INSULATION.
 2. INSULATE ALL FRAMED CHANNELS & CORNERS; ALSO, BEHIND EACH TUB AND SHOWER UNIT.
 3. INSTALL FIREBLOCK FRAMING IN ALL STAIRWAY CEILING.
 4. INSTALL ALL TRUSSES, I-JOISTS, LVL'S AND BEAMS PER MANUFACTURER SPECIFICATIONS AND LAYOUTS. DO NOT CUT, NOTCH OR BORE WITHOUT EXACT SPECIFICATIONS.

MIDDLETOWN ROAD / CUSTOM
SECOND FLOOR JOIST PLAN

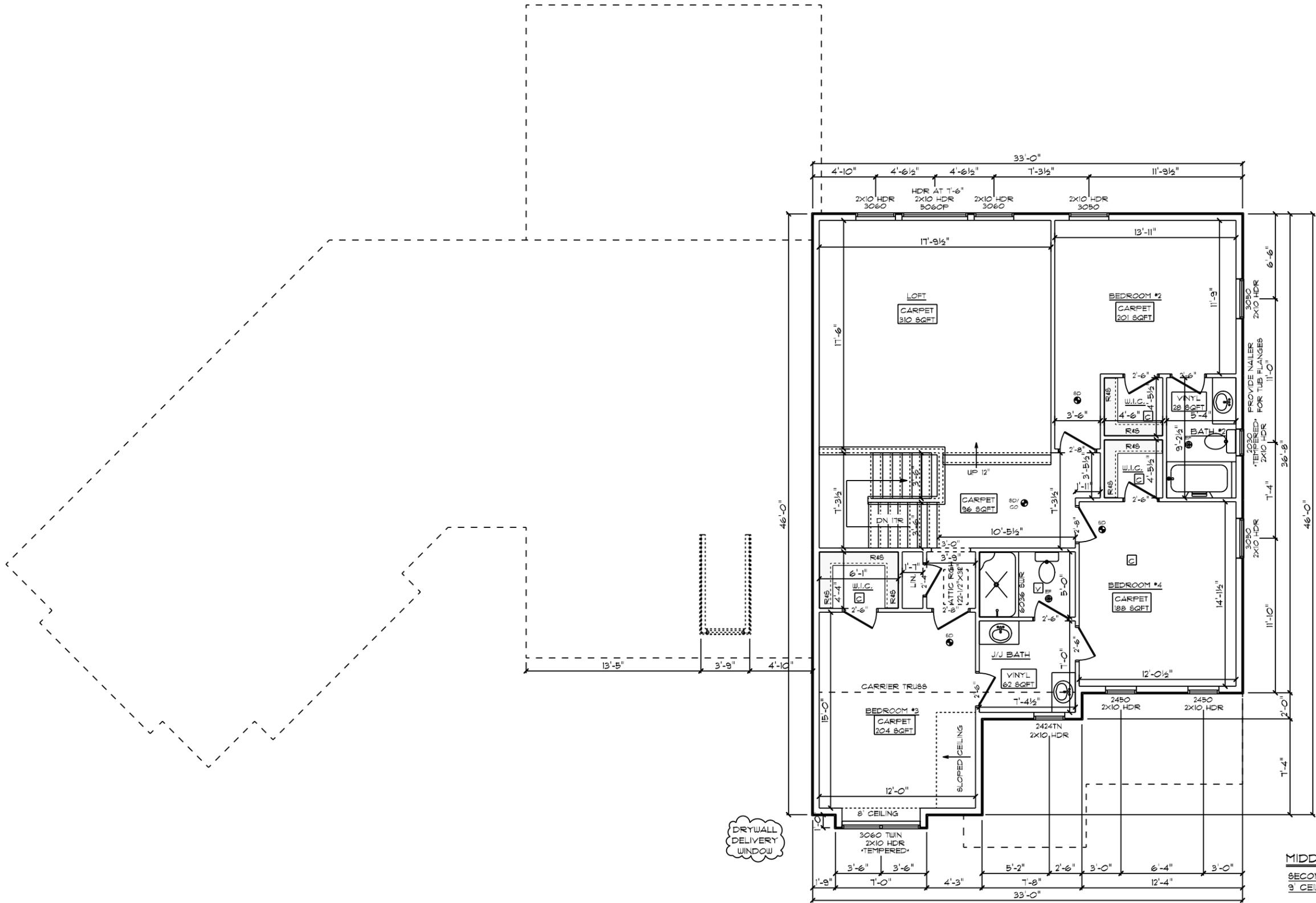
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 SCALE: 1/8" = 1'-0"
 PAGES: 7

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CUSTOMER BUILT FOR: JOHN & HALEY BECKER
 JOB #: CN #1
 LOCATION: VN #1

Akron, OH
 119 White Pond Drive
 Akron, OH 44320
 (877) 267-3482
 www.schumacherhomes.com





- GENERAL FRAMING NOTES:**
- 2x6 EXTERIOR WALL FRAMING W/R-19 INSULATION, INCLUDING GARAGE/HOUSE INTERIOR WALLS, EXCLUDING GARAGE EXTERIOR WALLS.
 - HEADERS TO BE 3-PLY 2X10 W/ (1) KING & (2) JACK STUDS UNLESS OTHERWISE NOTED
 - ALL OTHER HEADERS TO BE 3 PLY UNLESS OTHERWISE NOTED
 - DRYWALLED OPENINGS TO BE 6'-6" HEIGHT UNLESS OTHERWISE NOTED
 - PAINTED TRIM ENTIRE HOME EXCLUDING STAIR PARTS & BALUSTERS (STANDARD)
 - 5-1/4" MDF BASEBOARDS
 - 2-1/4" MDF CASING ON INTERIOR DOORS
 - WINDOWS TO BE DRYWALL WRAPPED ON INTERIOR.
 - 6-PANEL HOLLOW CORE MOLDED INTERIOR DOORS
 - SILVERLINE LOW-E VINYL WINDOWS W/ ARGON GAS
- FLOORING NOTES:**
- ALL FLOORING BREAKS OCCUR @ CENTER LINE OF DOOR OPENINGS UNLESS OTHERWISE NOTED
 - FLOORING SQUARE FOOTAGES INCLUDE CLOSETS RELATIVE TO THE AREA UNLESS OTHERWISE NOTED
 - SOME FLOORING SQUARE FOOTAGES MAY INCLUDE HALLS OR AREAS THAT CONNECT WITHOUT WALL SEPARATION IF THE SAME FINISH IS CONTINUED
- ELECTRICAL NOTES:**
- ALL SMOKE DETECTORS TO BE INTER CONNECTED WITH BATTERY BACKUP
 - 1 ARC FAULT PER BEDROOM
 - GARAGE DOOR LOW VOLTAGE WIRING BY ELECTRICIAN
 - TWO SEPARATE KITCHEN GENERAL ELECTRIC OUTLET CIRCUITS FED BY NUMBER 12 WIRE & ON 20 AMP BREAKERS REQUIRED IN KITCHEN
 - ALL OUTLETS INSTALLED IN BATHROOMS, GARAGES, & UNFINISHED BASEMENTS SHALL HAVE GFCI PROTECTION ALONG WITH OUTLETS LOCATED W/IN 6'-0" OF LAUNDRY, UTILITY, & WET BAR SINKS & ALL OUTLETS SERVING KITCHEN COUNTER TOP SURFACES.
 - PROGRAMMABLE THERMOSTAT STANDARD
 - CO DETECTORS STANDARD
 - (1) DUAL SENSOR (PHOTOELECTRIC & IONIZATION) SMOKE DETECTOR PER FLOOR. ALL OTHER SMOKE DETECTORS TO BE EITHER PHOTOELECTRIC OR IONIZATION TYPE DEVICES
 - LED LIGHT BULBS FOR ALL HANGING FIXTURES

MIDDLETOWN ROAD / CUSTOM
 SECOND FLOOR PLAN
 9' CEILING HEIGHT

AKRON, OH
 119 White Pond Drive
 AKRON, OH 44320
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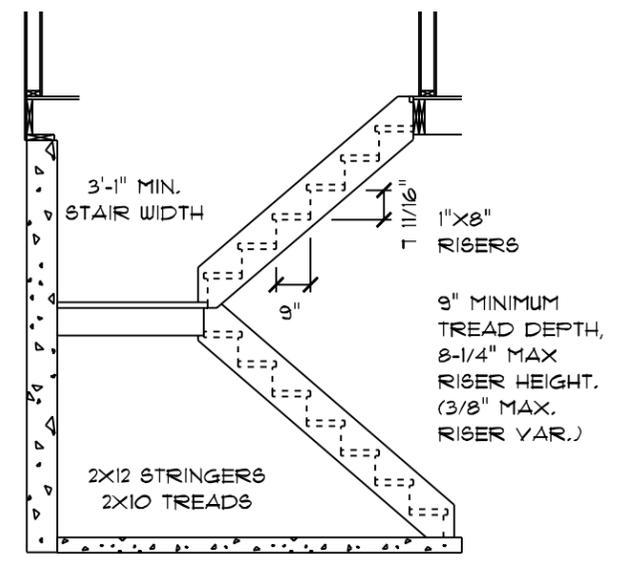
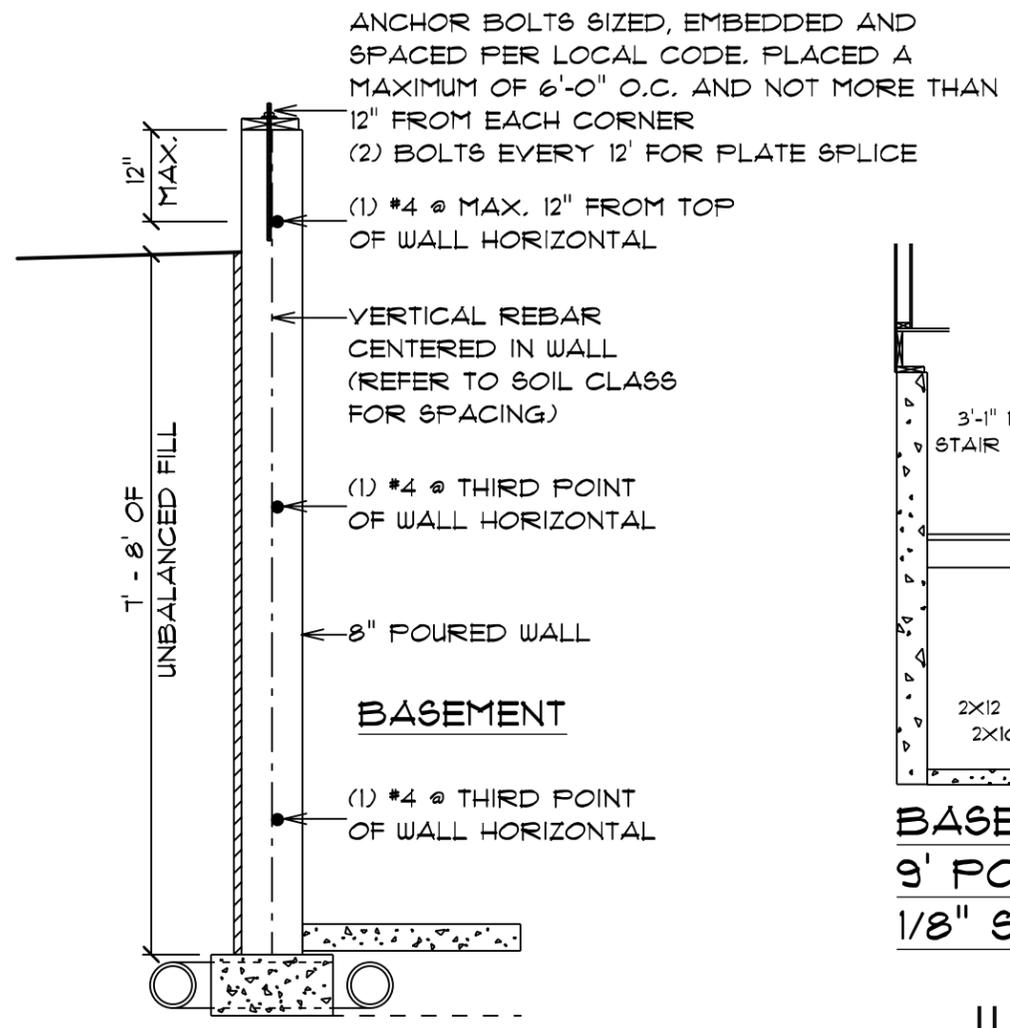
SCHUMACHER HOMES

DATE: 11/18/2020
 SCALE: 1/8" = 1'-0"
 DRAWING BY: DAF
 CUSTOMER: JOHN & HALEY BECKER
 JOB #: CN 4
 LOCATION: W 4

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NOTE:
 ROOF UNDERLAYMENT TO BE OVERLAPPED
 50% PLUS 1" ON ROOFS LESS THAN 4/12 PITCH

ICE GUARD - 2 ROWS AT EAVES, 1 ROW ON GABLE/RAKE, ALL
 VALLEYS AND WHERE ALL ROOFS MEET WALLS. ICE GUARD
 WILL RUN UP WALL 18" OFF ROOFLINE INCLUDING ALL 4 SIDES OF
 THE CHIMNEY CHASE AS COUNTER FLASHING.



BASEMENT STAIR DETAIL
9' POURED WALL BASEMENT
1/8" SCALE

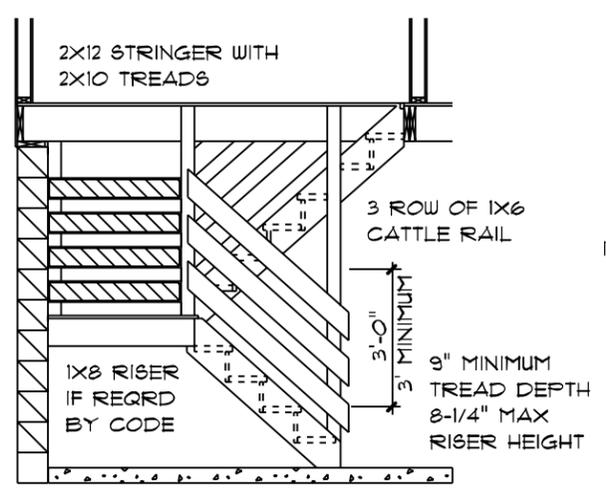
SOIL CLASS	REBAR
GW, GP, SW, SR	#6 @ 36" O.C.
GW, GL, SM, SM-SC	#6 @ 32" O.C.
SC, ML-CL, INORGANIC CL	#6 @ 23" O.C.

REFER TO TABLE 404.1.2(3) 2019
 RESIDENTIAL CODE OF OHIO

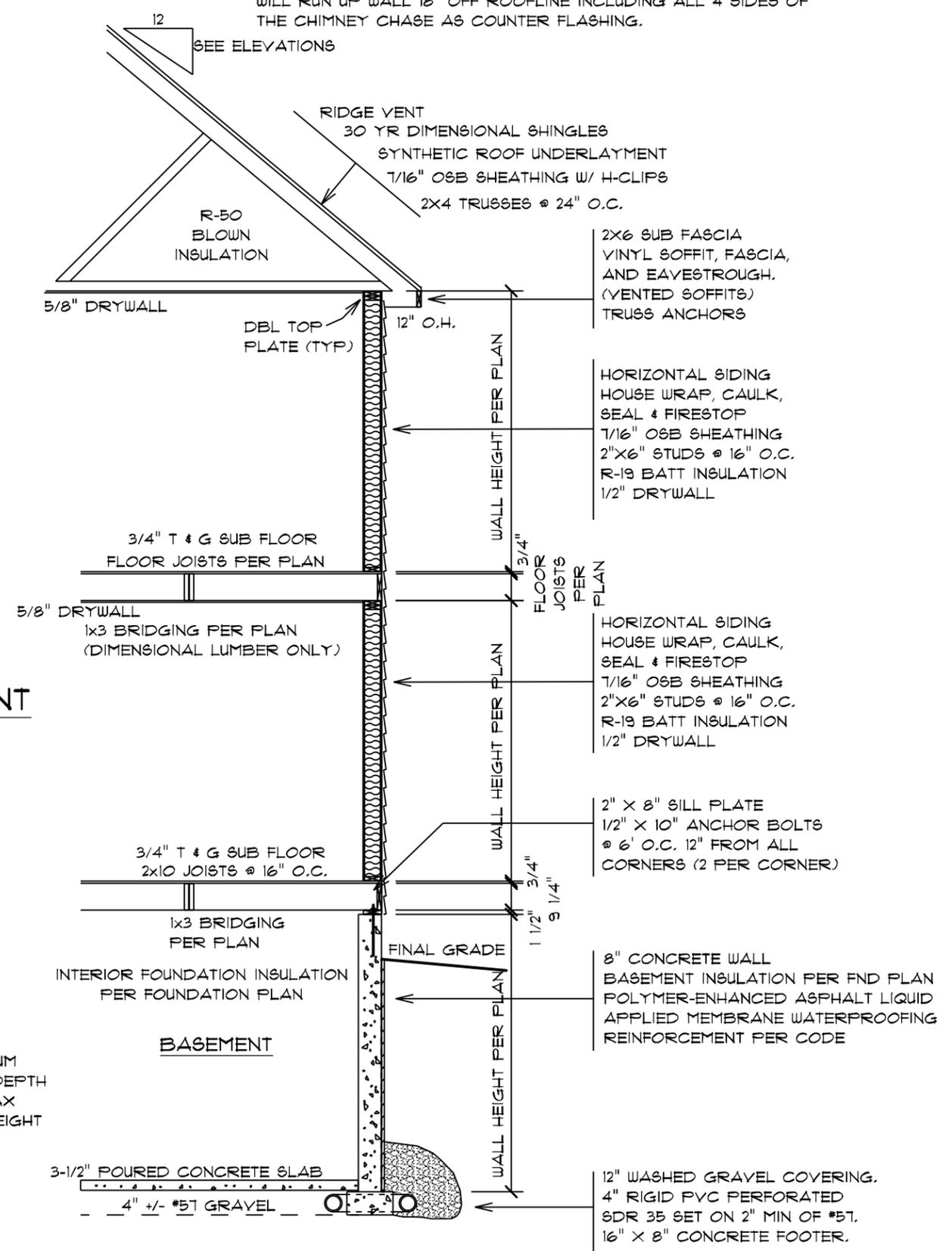
9' WALL REBAR DETAIL

4 ROWS OF 1X6 CATTLE
 RAIL ON LANDING WITH
 MINIMUM OF 4" BETWEEN

3'-1" MIN.
 STAIR WIDTH



**CROSS SECTION OF
 STANDARD CATTLE
 RAIL STAIR DETAIL**



WALL SECTION

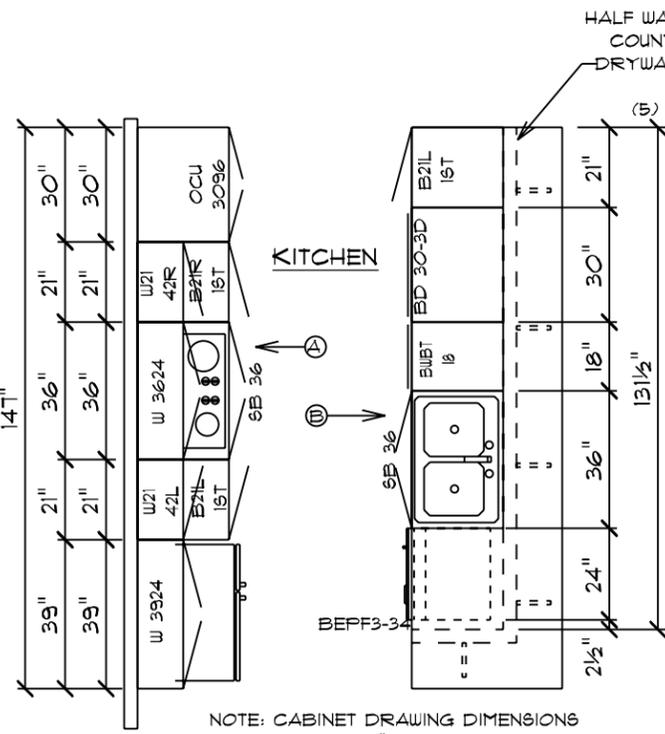
DESIGN BY: DAE DATE: 11/18/2020 SCALE: 1/4" = 1'-0" DRAWING NO: 9

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CUSTOMER BUILT FOR: JOHN & HALEY BECKER JOB #: CN 1 LOCATION: AKRON, OH

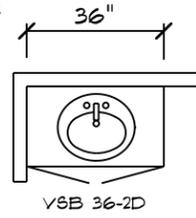
Akron, OH
 119 White Pond Drive
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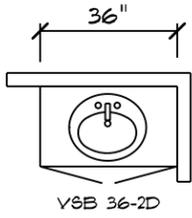


NOTE: CABINET DRAWING DIMENSIONS ACCOUNT FOR 1/2" OF DRYWALL

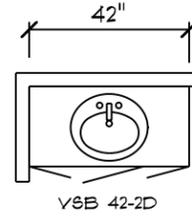
HALF WALL UNDER COUNTERTOP DRYWALL FINISH (5) CT6B



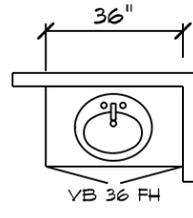
J/J BATH



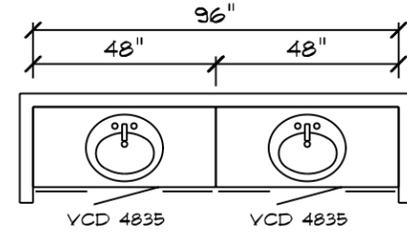
BATH #2



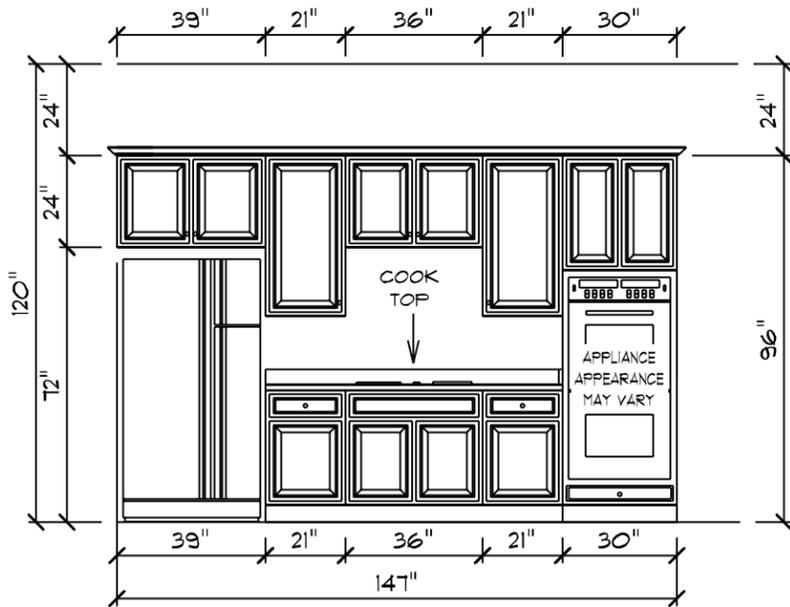
1/2 BATH



OWNERS BATH

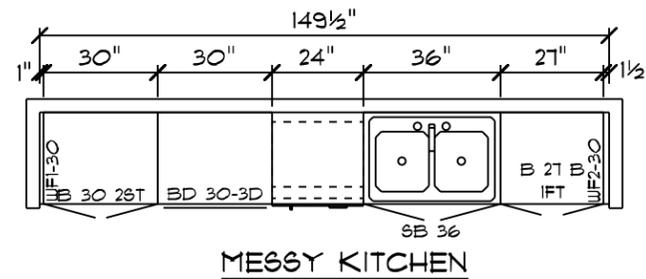


LAUNDRY

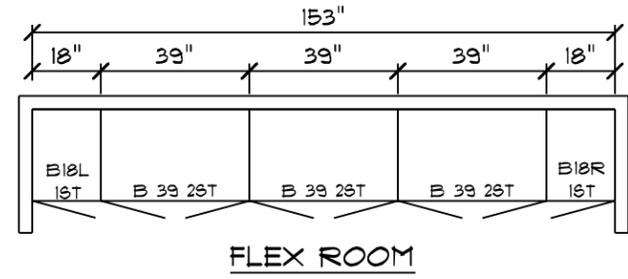


ELEVATION "A"

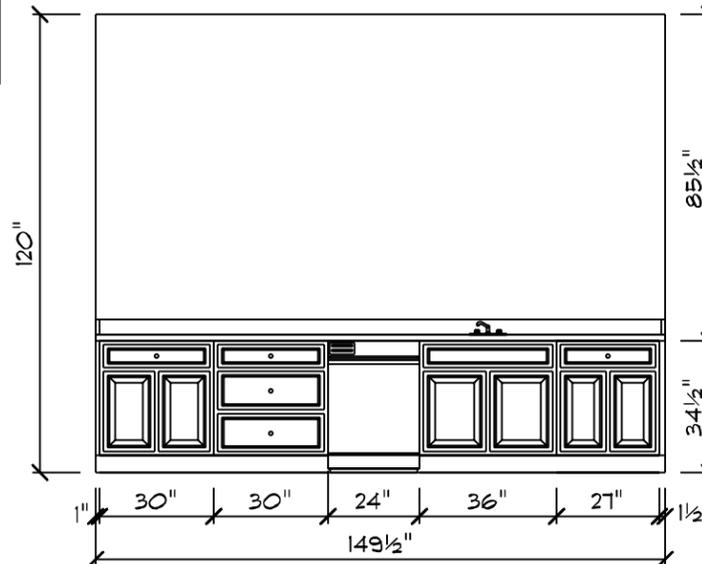
- CABINET NOTES:**
- KITCHEN**
 - MERILLAT MAPLE OR OAK CABINETS W/ TRADITIONAL OVERLAY
 - 2-1/4" CROWN MOLDING
 - GRANITE COUNTERTOPS
 - UNDERMOUNT STAINLESS STEEL KITCHEN SINK
 - SATIN NICKEL ROUND KNOBS
 - BATHS**
 - MERILLAT MAPLE OR OAK CABINETS W/ TRADITIONAL OVERLAY
 - STANDARD QUARTZ VANITY TOPS
 - SATIN NICKEL ROUND KNOBS



MESSY KITCHEN



FLEX ROOM



ELEVATION "B"

MIDDLETOWN ROAD / CUSTOM CABINET PLAN

DESIGN BY: DAF DATE: 11/18/2020 SCALE: 1/4" = 1'-0" DWG: 10

CUSTOM BUILT FOR: JOHN & HALEY BECKER

AKRON, OH
119 White Pond Drive
Akron, OH 44320
(877) 267-3482
www.schumacherhomes.com

SCHUMACHER HOMES

Silverline V1 Series Single Hung Windows																				
R.O	36 1/2	38 1/2	40 1/2	42 1/2	44 1/2	46 1/2	48 1/2	50 1/2	52 1/2	54 1/2	56 1/2	60 1/2	62 1/2	64 1/2	66 1/2	72 1/2	74 1/2	78 1/2	80 1/2	84 1/2
18 1/2	1630	1632			1638	16310	1640	1642	1644	1646	1648	1650	1652	1654	1656	1660	1662	1666		1670
20 1/2	1830	1832			1838	18310	1840	1842	1844	1846	1848	1850	1852	1854	1856	1860	1862	1866		1870
24 1/2	2030	2032	2034	2036	2038	20310	2040	2042	2044	2046	2048	2050	2052	2054	2056	2060	2062	2066		2070
28 1/2	2430	2432			2438	24310	2440	2442	2444	2446	2448	2450	2452	2454	2456	2460	2462	2466		2470
30 1/2	2630	2632	2634	2636	2638	26310	2640	2642	2644	2646	2648	2650	2652	2654	2656	2660	2662	2666		2670
32 1/2	2830	2832	2834	2836	2838	28310	2840	2842	2844	2846	2848	2850	2852	2854	2856	2860	2862	2866		2870
36 1/2	3030	3032	3034	3036	3038	30310	3040	3042	3044	3046	3048	3050	3052	3054	3056	3060	3062	3066	3068	3070
38 1/2	3230	3232			3238	32310	3240	3242	3244	3246	3248	3250	3252	3254	3256	3260	3262	3266		3270
40 1/2	3430	3432			3438	34310	3440	3442	3444	3446	3448	3450	3452	3454	3456	3460	3462	3466		3470
42 1/2	3630	3632			3638	36310	3640	3642	3644	3646	3648	3650	3652	3654	3656	3660	3662			3670
44 1/2	3830	3832			3838	38310	3840	3842	3844	3846	3848	3850	3852	3854	3856	3860	3862	3866		3870
48 1/2	4030	4032			4038	40310	4040	4042	4044	4046	4048	4050	4052	4054	4056	4060	4062	4066		4070

BOLD TYPE MEETS EGRESS

UNDERLINED CALLOUTS MEET EGRESS WITH CLEAR OPENING HARDWARE

Silverline V3 Series Casement Windows						
R.O	18	21	24 5/8	28 7/8	34	36 7/16
24 5/8	C1-1520	C1-1820	C1-2020	C1-2420		
28 7/8	C1-1524	C1-1824	C1-2024	C1-2424	C1-2924	
36 7/16	C1-15211	C1-18211	C1-20211	C1-24211	C1-29211	C1-211211
41 5/16	C1-1534	C1-1834	C1-2034	C1-2434	<u>C1-2934</u>	C1-21134
48 1/2	C1-1540	C1-1840	C1-2040	<u>C1-2440</u>	<u>C1-2940</u>	C1-21140
53 5/16	C1-1544	C1-1844	C1-2044	<u>C1-2444</u>	<u>C1-2944</u>	C1-21144
60 3/8	C1-15411	C1-18411	C1-20411	<u>C1-24411</u>	<u>C1-29411</u>	C1-211411
65 5/16	C1-1554	C1-1854	C1-2054	<u>C1-2454</u>	<u>C1-2954</u>	C1-21154
72 3/8	C1-15511	C1-18511	C1-20511	<u>C1-24511</u>	<u>C1-29511</u>	C1-211511

Silverline V3 Series Awning Windows						
R.O	25 5/8	28 7/8	32	36 7/16	41 1/4	48 1/2
17 1/2	AW1-2015	AW1-2415	AW1-2715	AW1-21115	AW1-3415	AW1-4015
21	AW1-2018	AW1-2418	AW1-2718	AW1-21118	AW1-3418	AW1-4018
24 5/8	AW1-2020	AW1-2420	AW1-2720	AW1-21120	AW1-3420	AW1-4020
28 7/8	AW1-2024	AW1-2424	AW1-2724	AW1-21124	AW1-3424	AW1-4024
32		AW1-2427	AW1-2727	AW1-21127	AW1-3427	AW1-4027
36 4/9			AW1-27211	AW1-211211	AW1-34211	AW1-40211

Silverline Sliding Door	
6068	72-1/4"x80-1/2"

Masonite Patio Door Units	
Unit	Rough Opening
3068	38 1/2" x 82 1/2"
3080	38 1/2" x 98 1/2"
6068	75 5/8" x 82 1/2"
6080	75 5/8" x 98 1/2"
9068	112 5/8" x 82 1/2"
9080	112 5/8" x 98 1/2"

Exterior Door with Sidelites	
3'-0" w(1) 14" S.L.	54 5/8" X 82 1/2"
3'-0" w(2) 14" S.L.	69 5/8" X 82 1/2"

Andersen 200 Narroline	
Gliding Patio Door	
Unit	Rough Opening
NLGD6068	72" x 80"
NLGD12068-4	141 3/4" x 80"
NLGD6080	72" x 96"
NLGD12080-4	141 3/4" x 96"

Andersen 100 Patio Door	
Unit	Rough Opening
6068	72" x 80"
6080	72" x 96"

Silverline V3 Series Twin Casement Windows					
R.O	41 1/4	48 1/2	57	63 1/4	72 1/8
24 5/8	C2-3420	C2-4020	C2-4820		
28 7/8	C2-3424	C2-4024	C2-4824		
36 7/16	C2-34211	C2-40211	C2-48211	C2-52211	C2-511211
41 5/16	C2-3434	C2-4034	C2-4834	<u>C2-5234</u>	C2-51134
48 1/2	C2-3440	C2-4040	<u>C2-4840</u>	<u>C2-5240</u>	C2-51140
53 5/16	C2-3444	C2-4044	<u>C2-4844</u>	<u>C2-5244</u>	C2-51144
60 3/8	C2-34411	C2-40411	<u>C2-48411</u>	<u>C2-52411</u>	C2-511411
65 5/16	C2-3454	C2-4054	<u>C2-4854</u>		
72 3/8	C2-34511	C2-40511	<u>C2-48511</u>		

Silverline V3 Series Twin Awning Windows			
R.O	57	63 1/4	72 1/8
17 1/2	AW2-4815	AW2-5215	AW2-51115
21	AW2-4818	AW2-5218	AW2-51118
24 5/8	AW2-4820	AW2-5220	AW2-51120
28 7/8	AW2-4824	AW2-5224	AW2-51124
32		AW2-5227	AW2-51127
36 7/16			AW2-511211

Fireplace Framing	
36" WOOD BURNING EL36 W: 42" H: 40-1/4" D: 21-1/2"	
42" WOOD BURNING EL42 W: 48" H: 40-1/4" D: 21-1/2"	
36" DIRECT VENT NDV4236i W: 42" H: 35-1/4" D: 24"	
42" DIRECT VENT NDV4842i W: 49" H: 35-1/4" D: 24"	
36" MODERN GAS DV NEVO4236i W: 42" H: 40-1/4" D: 20-1/4"	
42" RAVE DIRECT VENT RAVE42-IFT-B W: 50" H: 33-1/4" D: 18-1/4"	
48" CRAVE DIRECT VENT CRAVE6048 W: 60-1/4" H: 42-1/2" D: 18-3/4"	
60" CRAVE DIRECT VENT CRAVE7260-B W: 72-1/4" H: 48-1/2" D: 18-3/4"	
HOLD FIREPLACE UP 2" TO ALLOW FOR STONE HEARTH IF APP.	
A PLYWOOD FLOOR IS REQUIRED ON ALL WOODBURNERS AT LEAST 6' HIGH TO BE INSTALLED BY FRAMERS	
2X6 WRAP AT TOP OF CHASE	

Silverline V3 Triple Csmnt Windows			
R.O	61 1/2	72 3/8	85 1/8
24 5/8	C3-5120	C3-51120	C3-7020
28 7/8	C3-5124	C3-51124	C3-7024
36 7/16	C3-51211	C3-511211	C3-70211
41 5/16	C3-5134	C3-51134	C3-7034
48 1/2	C3-5140	C3-51140	<u>C3-7040</u>
53 5/16	C3-5144	C3-51144	<u>C3-7044</u>
60 3/8	C3-51411	C3-511411	<u>C3-70411</u>

Silverline Oval Windows		
	Rough Opening	
	Width	Height
OVL-2030	24 1/2	36 1/2
OVL-2434	28 1/2	40 1/2
OVL-2838	32 1/2	44 1/2
OVL-3040	36 1/2	48 1/2
OVL-3050	36 1/2	60 1/2

Window Notes	Additional Important Information
1. TO CALCULATE THE R.O. FOR A WINDOW WITH A TRANSOM, ADD BOTH UNIT DIMENSIONS TOGETHER AND ADD 1/2".	1. THERE IS NO ALLOWANCE IN ANY OF THE HEIGHT DIMENSIONS FOR CARPET SHIM. (PLEASE ADD ACCORDINGLY)
2. TO CALCULATE THE R.O. FOR MULTIPLE UNITS, ADD BOTH ACTUAL UNIT DIM TOGETHER AND ADD 1/2" PER MULL	2. BRICK OPENINGS ARE 2-1/2" WIDER AND 1-1/4" HIGHER THAN ACTUAL UNIT SIZE.
3. FOR R.O.'S NOT LISTED, ADD 1/2" TO THE ACTUAL UNIT DIM FOR BOTH THE WIDTH AND HEIGHT	3. FOR 7' DOORS ADD 4" TO THE ACTUAL UNIT SIZE AND ROUGH OPENING HEIGHT DIMENSIONS.
	4. DO NOT STORE PRE-HUNG UNITS OUTSIDE.

Lintel Schedule				1/2" or Equiv
Size of Steel Angle	No story Above	One story above	Two Stories Above	Reinforcing Bars
3 x 3 x 1/4	6'-0"	4'-6"	3'-0"	1
4 x 3 x 1/4	8'-0"	6'-0"	4'-6"	1
5 x 3-1/2 x 5/16	10'-0"	8'-0"	6'-0"	2
6 x 3-1/2 x 5/16	14'-0"	9'-6"	7'-0"	2
(2) 6 x 3-1/2 x 5/16	20'-0"	12'-0"	9'-6"	4

Miscellaneous Framing
FRAME SOFFITS THE SAME HEIGHT AS DRYWALL OPENINGS.
LEAVE 14-1/2" BETWEEN EACH END JOIST & RIM JOIST
TO ALLOW FOR INSULATION. INSULATE ALL FRAMED CHANNELS & CORNERS AND BEHIND SHOWER & TUB UNITS. INSTALL FIREBLOCK FRAMING IN ALL STAIRWAY CEILINGS.

CUSTOMER BUILT FOR: JOHN & HALEY BECKER
 DATE: 11/18/2020
 SCALE: 1/8" = 1'-0"
 DRAWN BY: DAE
 JOB #: CN #
 LOCATION:
 Akron, OH
 119 White Pond Drive
 Akron, OH 44320
 (811) 261-3482
 www.schumacherhomes.com
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**SEPTIC SYSTEM PLAN
FOR A
PROPOSED RESIDENCE**

1425 Middleton Road

Situated in the City of Hudson,
County of Summit and State of Ohio
PPN: 3010330

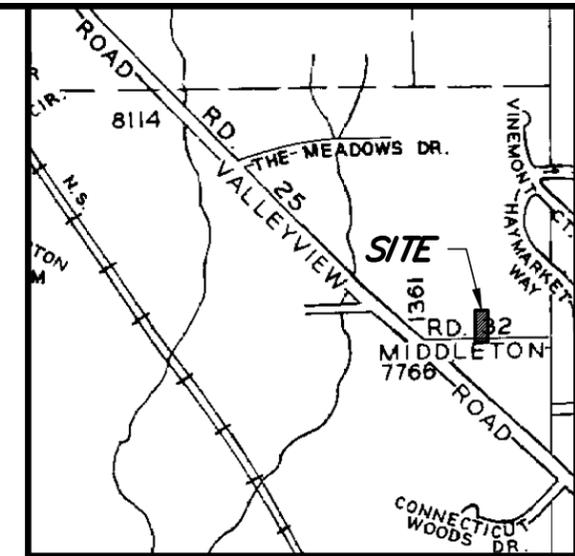
Builder: Schumacher Homes

**SPRAY IRRIGATION SYSTEM WITH
AERATION TANK AND TIMED DOSING
FOR A 4 BEDROOM HOME**

**PROPOSED WATER CONNECTION
FROM MIDDLETON ROAD**

HOUSEHOLD SEWAGE TREATMENT SYSTEM SCHEDULE

- (A) INSTALL 500 GPD AERATION TANK "A" WITH 36" RISER
TOP OF RISER=1112.00'
TOP OF TANK=1109.00'
4" FL. (IN)=1108.00'
4" FL. (OUT)=1107.67'
(FROM MACK INDUSTRIES, INC. OR EQUAL)
(SEE DETAIL ON SHEET 4)
- (B) INSTALL 2000 GALLON DOSING TANK "B"
WITH ELECTRICAL & ALARM LIGHT CONTROL PANEL
TO INCLUDE TIMED DOSING (36" RISER)
TOP OF RISER=1111.58'
TOP OF TANK=1108.58'
4" FL. (IN)=1107.67'
1-1/4" FL. (OUT)=1107.83'
(FROM MACK INDUSTRIES, INC. OR EQUAL)
(SEE SYSTEM PUMP INFORMATION ON SHEET 4)
- (C) INSTALL 1" SCH. 40 PVC TEE
PER "PVC TEE DETAIL" ON SHEET 4
- (D) INSTALL SPRAY HEAD RISER WITH #6 LOW ANGLE
40 PSI NOZZLE & SPRAY RADIUS OF 180"
PER "SPRAY HEAD RISER DETAIL" ON SHEET 3



LOCATION MAP
NOT TO SCALE

PLAN CONTENTS

- SHEET 1: TITLE SHEET
- SHEET 2: SEPTIC SYSTEM LAYOUT PLAN
- SHEET 3: SPRAY HEAD DETAILS
- SHEET 4: AERATOR, DOSING TANK, & PUMP DETAILS
- SHEET 5: CONSTRUCTION NOTES
- SHEET 6: SPRAY IRRIGATION CALCULATIONS

DESIGNER

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— PLANS PREPARED BY —

LEWIS LAND PROFESSIONALS INC.



CIVIL ENGINEERING LAND SURVEYING
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WADSWORTH, OH 44281 (330) 335-8232



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PLACE RAIN GAUGES IN SPRAY ABSORPTION AREA TO VERIFY APPLICATION RATE DURING PRESSURE TEST

10' RADIUS FROM SPRAY HEAD TO REMOVE ALL WOODY VEGETATION AND VEGETATION OVER 10' HIGH

140' - 4" SCH. 40 PVC AT 1% MIN SLOPE

ABANDONED WATER WELL

SEE WATER MAIN EXTENSION PLANS FOR DETAILS OF PROPOSED WATER MAIN

ABANDONED WATER WELL

SOIL TEST HOLE #1

INSTALL CLEANOUT. SEE DETAIL ON SHEET 3.

SOIL TEST HOLE #2

SIGNS READING "SPRAY IRRIGATION APPLYING PRETREATED WASTEWATER NOT FOR DRINKING WATER PURPOSES"

180' - 1-1/4" SCH. 40 PVC FORCE MAIN AT 1% MIN. SLOPE (TO ALLOW WATER IN LINE TO DRAIN BACK TO DOSING TANK).

UF-B DIRECT BURY WIRE FOR HEATING CABLE WITH A MINIMUM OF 18" COVER

ABSORPTION AREA NOTE:
CONTRACTOR SHALL STAKE & TAPE OFF THE PROPOSED ABSORPTION AREA PRIOR TO CONSTRUCTION. NO CONSTRUCTION EQUIPMENT OR TRAFFIC SHALL BE PERMITTED ON THE ABSORPTION AREA. DO NOT STOCKPILE MATERIALS, TOPSOIL, OR FILL DIRT IN THIS AREA. DO NOT COMPACT THE ABSORPTION AREA IN ANY WAY.

SEPTIC SYSTEM LEGEND

SEE SHEET 1 FOR HOUSEHOLD SEWAGE TREATMENT SYSTEM SCHEDULE.

- (A) INSTALL 500 GPD AERATION TANK "A" SEE SHEET 4 FOR DETAIL.
- (B) INSTALL 2,000 GALLON DOSING TANK "B" SEE SHEET 4 FOR DETAIL.
- (C) INSTALL 1" SCH. 40 PVC TEE SEE SHEET 4 FOR DETAIL.
- (D) INSTALL SPRAY HEAD RISER SEE SHEET 3 FOR DETAIL.

BASEMENT SERVICE NOTE:
SANITARY SEWER FLOWS FROM THE BASEMENT WILL GRAVITY FLOW TO THE PROPOSED TANKS. A BASEMENT FLOOR OF 1111.83' OR HIGHER IS ASSUMED.

SURVEY NOTE:
TOPOGRAPHIC INFORMATION SHOWN ON THIS DRAWING IS FROM A SURVEY PERFORMED BY LEWIS LAND PROFESSIONALS, INC. ON 10/21/2020.

FINISHED 1st FLOOR = 1121.67'
TOP OF WALL = 1120.50'
GARAGE FLOOR = 1120.33'
BASEMENT FLOOR = 1111.83'
BOTTOM OF FOOTER = 1110.83'

BENCHMARK:
5/8" IRON PIN WITH BROKEN CAP
ELEV.=1119.29'

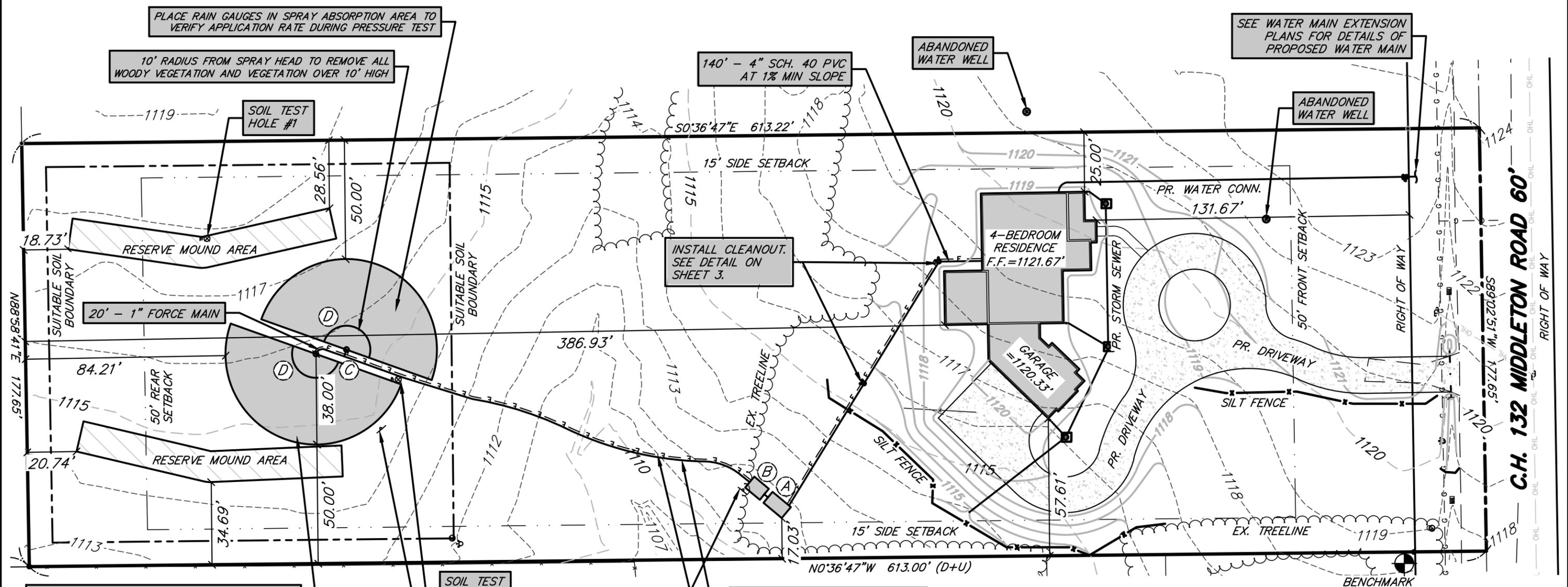


GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.

SCALES: HORIZONTAL 1"= 40'	DATE: 11/3/2020
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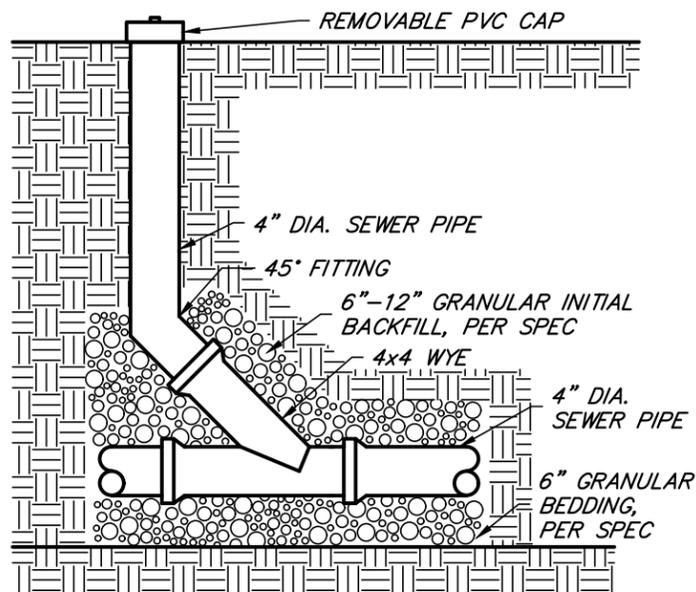
LOW ANGLE DATA

NOZZLES	PRESSURE PSI	RADIUS FT.	FLOW GPM
#1	30	22'	1.2
	40	24'	1.7
	50	26'	1.8
	60	28'	2.0
#3	30	29'	3.0
	40	32'	3.1
	50	35'	3.5
	60	37'	3.8
#4	30	31'	3.4
	40	34'	3.9
	50	37'	4.4
	60	38'	4.7
#6	40	38'	6.5
	50	40'	7.3
	60	42'	8.0
	70	44'	8.6

SPRAY HEAD NOZZLE CHART

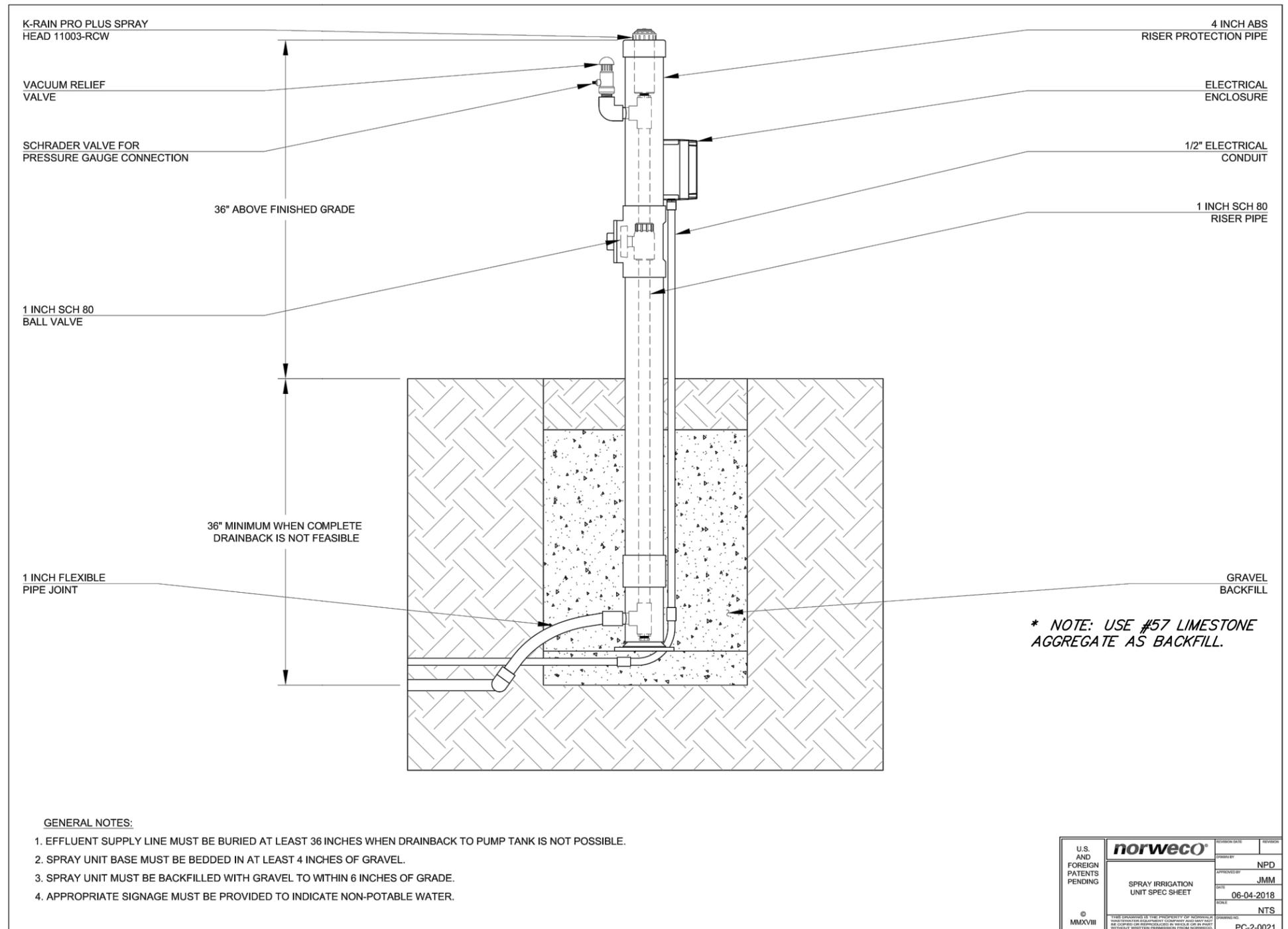
NOT TO SCALE

USE #6 LOW ANGLE 40 PSI SPRAY HEAD NOZZLE FOR THE K-RAIN 11003-RCW SPRINKLER.



CLEANOUT DETAIL

NOT TO SCALE

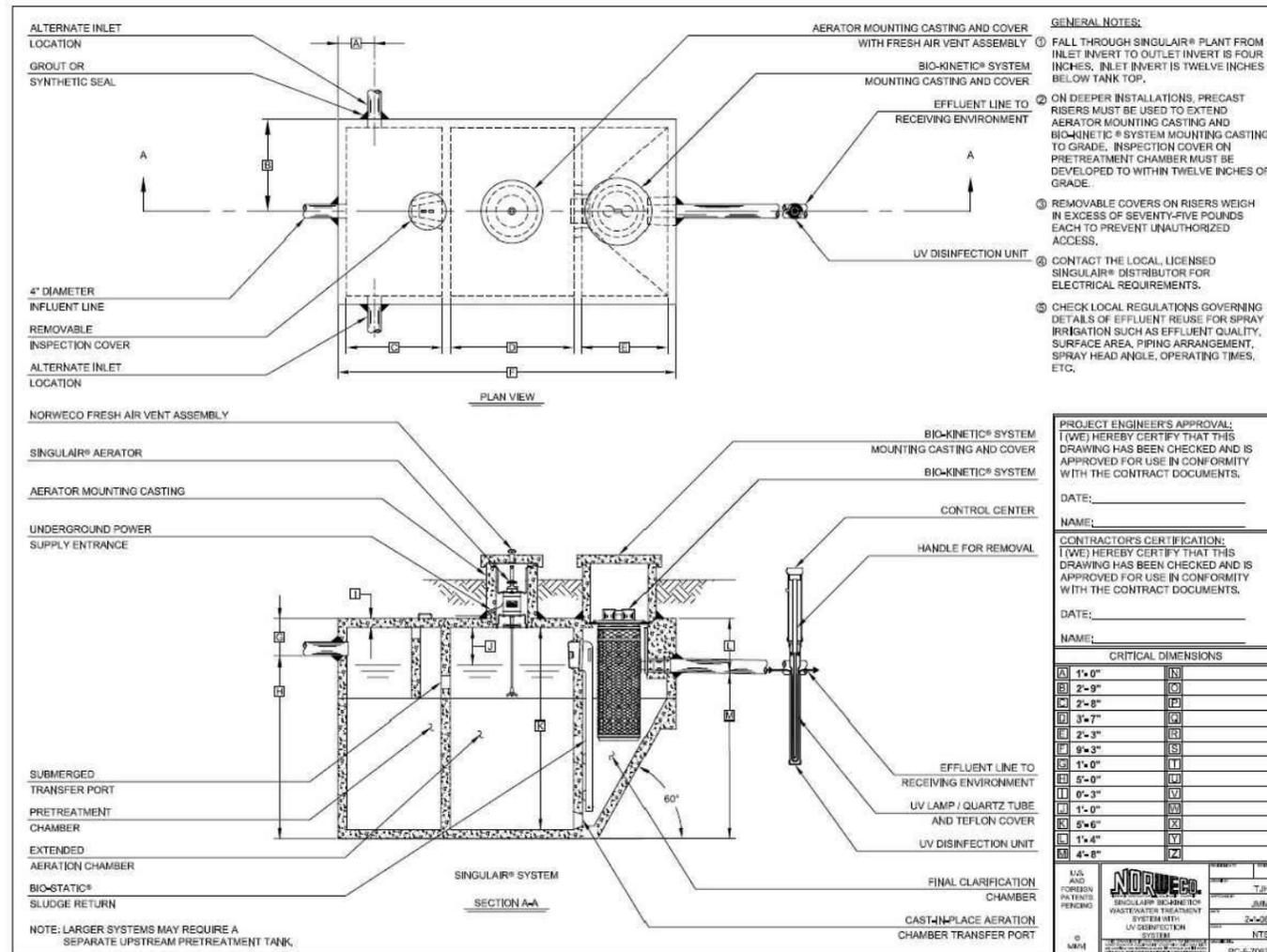


SPRAY HEAD RISER DETAIL

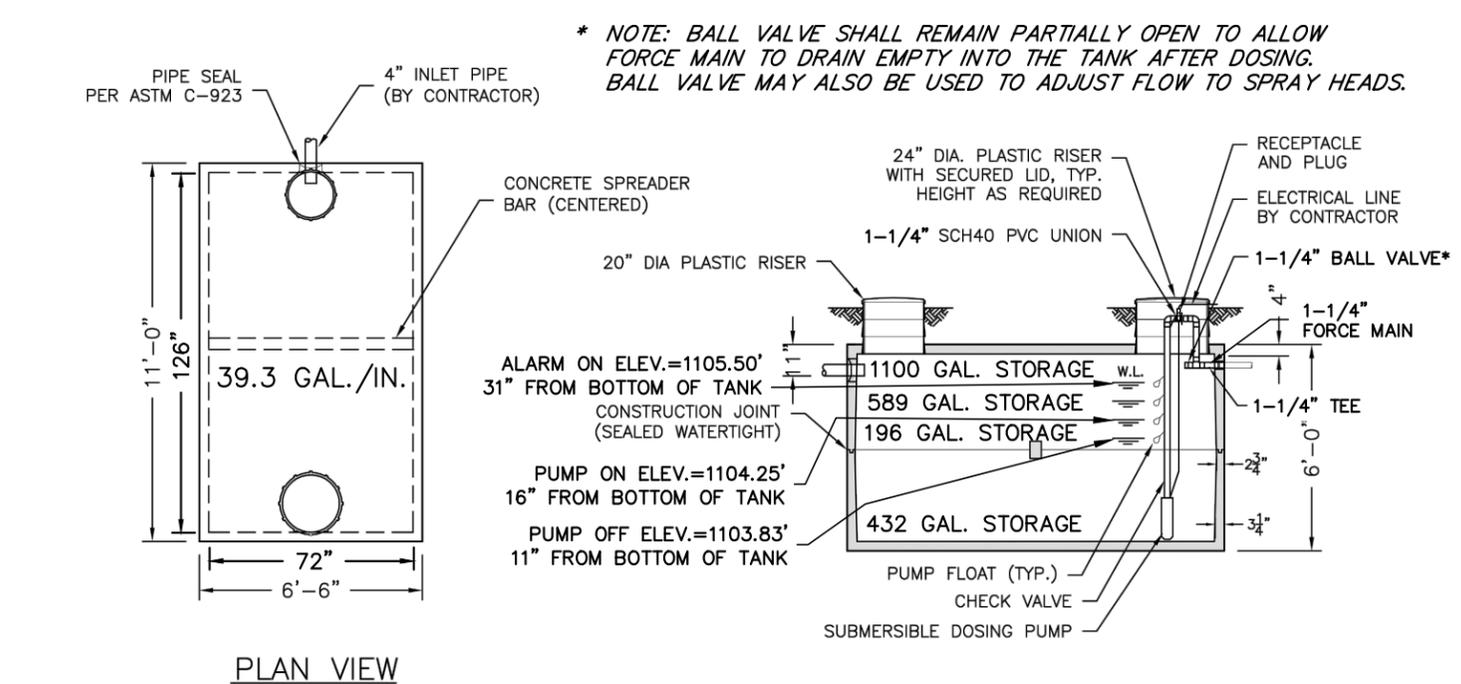
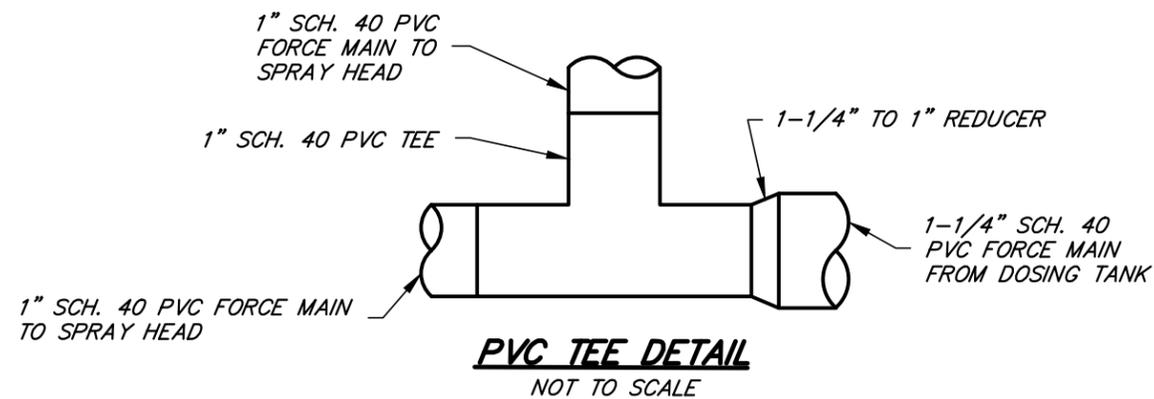
NOT TO SCALE

U.S. AND FOREIGN PATENTS PENDING © MMXVIII	norweco	REVISION DATE	REVISION
	SPRAY IRRIGATION UNIT SPEC SHEET	DATE	06-04-2018
		SCALE	NTS
		DRAWING NO.	PC-2-0021

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500 GPD AERATOR "A" DETAIL



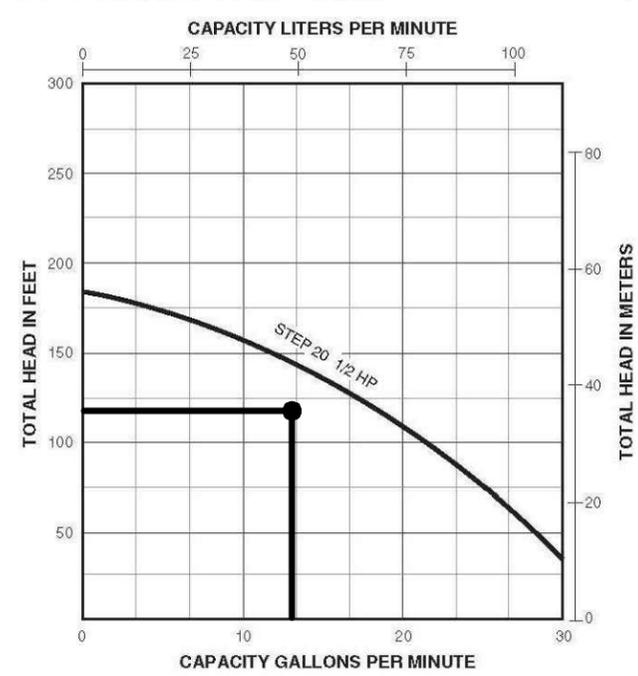
SECTION VIEW

RESIDENTIAL SPRAY IRRIGATION TANK		
DRAWN BY: ADM	SCALE: 1/4"=1'-0"	DRAWING NO.: RESDOSING2K
DATE: 9/16/15	REV:	
REV:		

MACK INDUSTRIES, INC.
201 COLUMBIA ROAD, VALLEY CITY, OHIO 44280 (216)483-3111

2,000 GALLON DOSING TANK "B" DETAIL

PUMP PERFORMANCE - 20 GPM



- SYSTEM PUMP INFORMATION**
- CONTRACTOR SHALL USE AN EFFLUENT PUMP CAPABLE OF PUMPING 13.0 GAL/MIN. AT 117.85' TOTAL DYNAMIC HEAD (TDH).
 - USE PENTAIR STA-RITE MODEL NUMBER STEP20 1/2 HP FOR PUMP (OR EQUAL).
 - PUMP TO BE SET TO TURN ON AT 4:00 AM TO DOSE IF THE WATER LEVEL IS HIGHER THAN THE ACTIVATION FLOAT (16" FROM THE BOTTOM OF THE INSIDE OF THE TANK).
 - PUMP TO BE SET FOR AN "ON" CYCLE OF 38 MINUTES AND 04 SECONDS. "OFF" CYCLE TO BE 23 HOURS, 21 MINUTES, AND 56 SECONDS.

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PLAN VIEW

NOTE: PUMPS TO BE SET FOR TIMED DOSING; 1 DOSE PER DAY (24 HOURS) WITH 200 GALLON MINIMUM PER DOSING (5" DEPTH IN CHAMBER)

NOTES:

- REINFORCED PRECAST CONCRETE TO HAVE A COMPRESSIVE STRENGTH OF 5000 PSI @ 28 DAYS.
- PRECAST CONCRETE TANK SHALL MEET OR EXCEED SPECIFICATIONS AS SET BY O.A.C. RULE 3701-293-11.
- CONCRETE JOINT SEALANT CONFORMS TO ASTM C-990.
- INLET AND DISCHARGE PIPE SEALS CONFORM TO ASTM C-923.

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CONSTRUCTION NOTES:

1. INSTALLATION SHALL BE DONE IN ACCORDANCE WITH THE OHIO DEPARTMENT OF HEALTH SPECIAL DEVICE APPROVAL FOR SPRAY IRRIGATION [OAC 3701-29-20(C)] AND OHIO STATE UNIVERSITY EXTENSION BULLETIN 912.
2. INSTALLER SHALL NOT DEVIATE FROM THE APPROVED PLAN. ALL FIELD MODIFICATIONS SHALL BE APPROVED BY THE DESIGN ENGINEER. IF A DEVIATION FROM THE APPROVED PLAN BECOMES NECESSARY, SITE WORK SHALL STOP AND THE BOARD OF HEALTH AND DESIGN ENGINEER SHALL BE NOTIFIED PRIOR TO ANY FIELD CHANGES BEING MADE.
3. PRIOR TO EXCAVATION, INSTALLER SHALL CHECK ALL ELEVATIONS RELATIVE TO THE BENCHMARK TO ASSURE PROPER FLOW THROUGH THE SYSTEM.
4. LAYOUT THE SPRAY HEAD RISERS AS LOCATED ON THE APPROVED PLAN, USING AN INTERCEPTOR SWALE ALONG THE UPSLOPE SIDE OF THE ABSORPTION AREA TO DIVERT SURFACE WATER. SPRAY HEADS SHALL BE CONNECTED TO THE LATERALS USING A SWING JOINT AS SHOWN IN THE "CROSS-SECTION DETAIL". ALL WOODY VEGETATION WITHIN 10' OF SPRAY HEADS SHALL BE REMOVED BY MOWING. REMOVE ALL VEGETATION TALLER THAN 10' WITHIN A 10' RADIUS OF SPRAY HEADS. RAKE CUT VEGETATION IF IT IS, OR WILL BECOME, MATTED. DO NOT COMPACT THE INFILTRATIVE AREA. MAINTAIN THE AREA AROUND THE SPRAY HEADS TO PREVENT VEGETATION GROWTH THAT WOULD HINDER EFFECTIVE OPERATION OF THE SYSTEM IN THE FUTURE.
5. INSTALL AERATION TANK AND DOSING TANK AS INDICATED ON THE APPROVED PLAN. INSTALLER SHALL VERIFY THE FLOWLINE ELEVATION OF THE SANITARY SEWER PIPE EXITING THE HOUSE. SEPTIC AERATION TANK ELEVATION AND DOSING TANK ELEVATION SHALL BE SET ACCORDINGLY TO MAINTAIN A MINIMUM OF 1% SLOPE FOR ALL GRAVITY SEWERS.
6. INSTALL THE FORCE MAIN PIPE FROM THE DOSING TANK TO THE SPRAY HEADS. CUT AND CAP THE PIPE. LAY PIPE BELOW FROST LINE OR SLOPING UNIFORMLY BACK TO THE PUMP CHAMBER SO THAT IT DRAINS AFTER DOSING. BACKFILL AND COMPACT THE SOIL AROUND THE PIPE TO PREVENT BACK SEEPAGE OF EFFLUENT ALONG PIPE.
7. BACKFILL THE SPRAY HEAD RISER TRENCH WITH COMPACTED CLAY BACKFILL.
8. PRESSURE TEST THE DISTRIBUTION SYSTEM FOR UNIFORMITY OF FLOW. THE SYSTEM IS DESIGNED FOR A MINIMUM PRESSURE OF 30 PSI IN ORDER TO OPERATE. THE PRESSURE TEST SHALL INCLUDE BASELINE MEASUREMENTS OF HEAD PRESSURE, APPLICATION RATE USING RAIN GAUGES, AND DOSE VOLUME. FIELD ADJUST SETTINGS IN ORDER TO MATCH DESIGN PARAMETERS. BASELINE MEASUREMENTS SHALL BE SAVED FOR FUTURE O&M COMPARISON OF HOW THE SYSTEM IS OPERATING.
9. SEED THE FORCE MAIN TRENCH AREA TO PREVENT SOIL LOSS DUE TO EROSION.
10. PROTECT THE ABSORPTION AREA FOR A DISTANCE EQUAL TO THE RADIUS OF THE SPRAY HEAD FOR THE DESIGN PRESSURE. KEEP THE WHEELS OF TRUCKS OFF THE SPRAY FIELD AREA TO AVOID COMPACTION OF DOWNSLOPE AREAS. DISTURBANCE OR DAMAGE TO THE ABSORPTION AREA MAY RESULT IN INVALIDATION OF THIS DESIGN.
11. TWO PERMANENT SIGNS ARE REQUIRED. ONE ON THE FRONT OF THE ALARM CONTROL PANEL AND ANOTHER NEAR THE SPRAY ABSORPTION AREA. THE SIGNS MUST READ "SPRAY IRRIGATION APPLYING PRETREATED WASTEWATER NOT FOR DRINKING WATER PURPOSES". THE SIGN LOCATED NEAR THE SPRAY ABSORPTION AREA MUST HAVE LETTERING THAT IS A MINIMUM OF 2" TALL.
12. AN AS-BUILT DRAWING MUST BE PROVIDED BY THE INSTALLER TO THE LOCAL BOARD OF HEALTH ONCE INSTALLATION IS COMPLETE. AS-BUILT RECORDS SHALL INCLUDE BASELINE MEASUREMENTS FROM THE PRESSURE TEST AND O&M INSTRUCTIONS.
13. THE OWNER WILL BE PROVIDED COPIES OR ELECTRONIC ACCESS TO THE OPERATIONS AND MAINTENANCE REQUIREMENTS, MANUALS, AND INSTRUCTIONS FOR SERVICE PROVIDERS FOR ALL OF THE COMPONENTS OF THE SEPTIC SYSTEM.

SOIL EVALUATION NOTE:

SOIL EVALUATION REPORT PREPARED BY TODD HOUSER
OF CONSERVATION SCIENCE, LLC
ON 2/6/2020
(PHONE #: 330-573-7811)

THE REPORT GAVE THE FOLLOWING INFORMATION:

DEPTH TO LIMITING LAYER = 8 INCHES
SITE SLOPE = 4%
HYDRAULIC LINEAR LOADING RATE = 2.7 GAL/DAY/FT
INFILTRATION LOADING RATE = 0.6 GAL/DAY/FT²

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Spray Irrigation System Design Calculations

All calculations are based on the requirements of OAC 3701-29-20(C) & Ohio State University Extension Bulletin 912.

Design Information	
Depth of Suitable Soil (inches)	8
Site Slope (%)	4
Number of Bedrooms	4
Sprinkler Head Pressure (PSI)	40
Spray Radius (feet)	38
Nozzle Flow Rate (GPM)	6.5

Project Information	
Proposed Residence	
Project #: 20-392	
1425 Middleton Road	
City of Hudson	
Summit County	
Prepared on 11/3/2020 by KAS	

Spray Irrigation Design Calculations	
1. Daily Design Flow (120 gpd/day/bedroom) x (Number of Bedrooms) 120 gpd/day/bedroom x 4 =	480 GPD
2. Minimum Required Land Area (Daily Design Flow) x (Conversion Factor to Sq. Ft.) 480 GPD x 8.02 =	3850 Sq. Ft.

Sprinkler Head Information	
3. Nozzle Number (last 2 digits denote PSI) =	640
5. Number of Heads =	2 heads
6. Spray Angle =	180 degrees
7. Actual Application Land Area ($\pi \times \text{spray radius}^2 \times \text{number of spray heads} \times \text{spray angle} / 360$) $38 \text{ ft}^2 \times \pi \times 2 \times 180 / 360 =$	4536 Sq. Ft.
8. Required System Flow Rate (Require Nozzle Flow Rate) x (Number of Heads) 6.5 GPM x 2 heads =	13 GPM

Pressure Distribution Information			
9. Force Main Diameter =	1.25 inch(es)		
10. Force Main Velocity (Between 1 to 5 ft/sec) [(System Flow Rate) / (gal/ft for pipe)] * (1 min / 60 sec) 13 GPM / 0.077699 gal/ft * 1 min / 60 sec =	2.79 ft/sec		
11. Force Main Length =	180 ft		
12. Static Lift =	16 ft		
13. Fittings Used	Quantity	Equiv. Ft.	Total
90	4	4	16 ft
Tee	2	3	6 ft
Disconnect	1	1	1 ft
Ball Valve	1	1	1 ft
Check Valve	1	11	11 ft
Total Friction Loss in Equivalent Lengths =			35 ft

14. Head Loss for Force Main using Hazen Williams equation =	8.78 ft
15. Lateral Diameter =	1 inch(es)
16. Length of Lateral =	10 ft
17. Lateral Velocity (Between 1 to 5 ft/sec) [(System Flow Rate/# of Laterals)/(gal/ft for pipe)]*(1 min/60 sec) 6.5 GPM / 0.044896 gal/ft * 1 min / 60 sec =	2.41 ft/sec
18. Total Length of Laterals (Length of Lateral) x (Number of Laterals) 10 ft x 2 laterals =	20 ft
19. Head Loss for Laterals using Hazen Williams equation =	0.67 ft
20. Required Sprinkler Head Pressure (PSI for Sprinkler Head to Work) x (2.31 Ft. Head/PSI) 40 PSI x 2.31 Ft. Head / PSI	92.4 ft
21. Total Dynamic Head Main Head Loss + Lat. Head Loss + Lift + Sprinkler Pressure 8.78 0.67 + 16 92.4 =	117.85 ft
Pump Requires 13 GPM at 117.85 feet TDH	

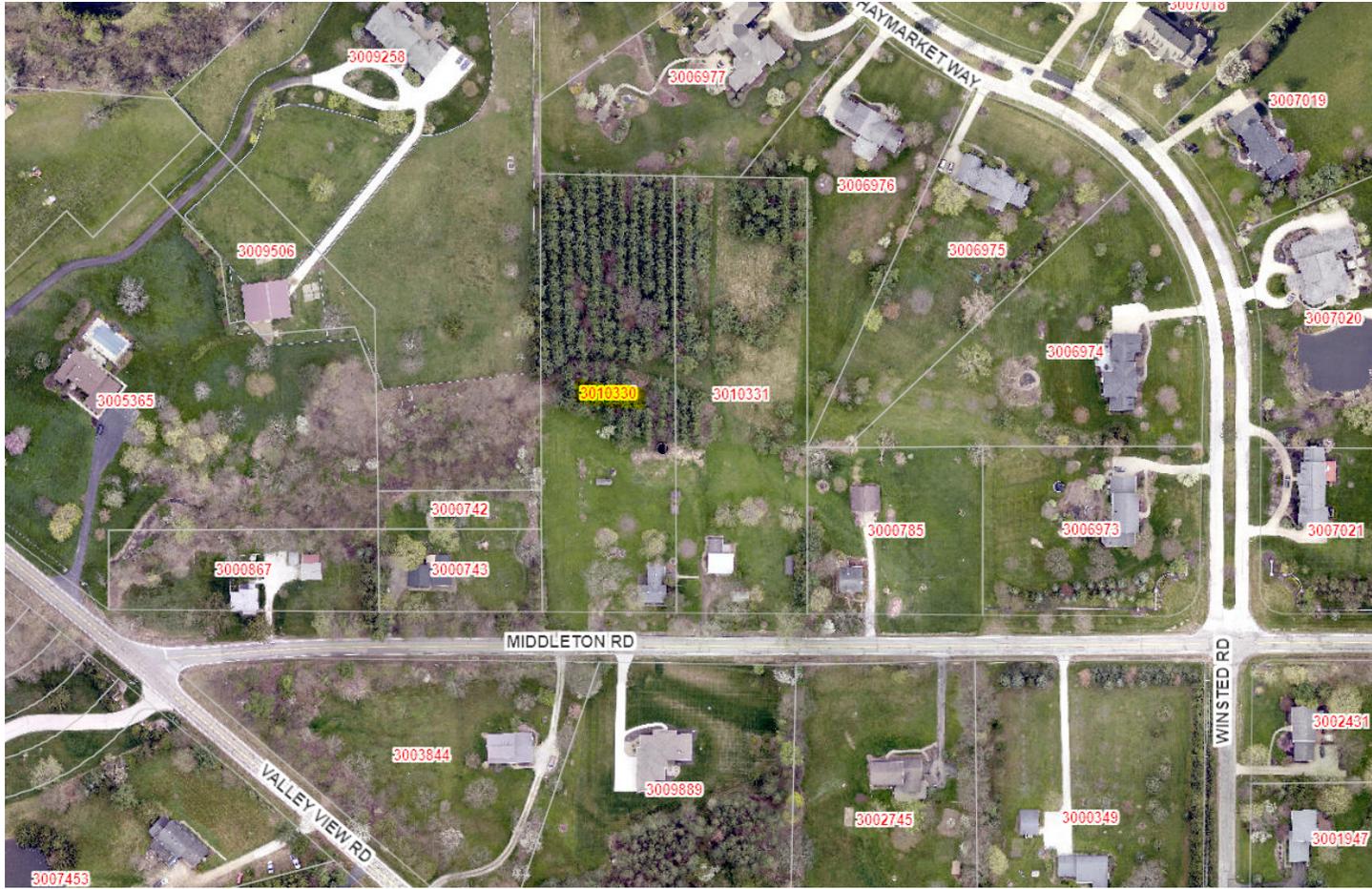
Dosing Information	
22. Dosing Tank Cross-Sectional Area (gallons per inch) (Inner Width in Inches) x (Inner Length in Inches) / 231 gal/in ³ 72 inches x 126 inches / 231 gal/in ³	39.3 gal/in
23. Void Volume of Force Main (Gallons per Foot of Pipe) x (Length of Pipe) 0.077699 gal/ft x 180 ft =	13.99 gal
24. Void Volume of Laterals (Gallons per Foot of Pipe) x (Length of Pipe) 0.044896 gal/ft x 20 ft =	0.90 gal
25. Drain Back Volume (Volume of Force Main) + (Volume of Laterals) 13.99 gal + 0.90 gal =	14.88 gal
26. Minimum Dose Volume of Activation Float (>10 min. run time) [(5 in. Height in Tank) x (Gallons per in.)] + (Drain Back Volume) 5 inches x 39.3 gal/in + 14.88 gal =	211 gal
28. Maximum Pump Run Time (Daily Design Flow + Drain Back Volume) / System Flow Rate 480 GPD + 14.88 gal / 13 GPM =	38.07 minutes
Pump ON Setting	0 Hours 38 Minutes 4 Seconds
Pump OFF Setting	23 Hours 21 Minutes 56 Seconds

Calculated Precipitation Rate (inches per day per sq. ft.)	
[(Gallons per Day)*(231 in ² /gal/144 in ² /ft ²)] / (Application Area) 480 GPD * 1.604 / 4536 sq. ft. =	0.170 in/day/ft ²
Calculated Precipitation Rate (gallons per day per sq. ft.)	
(Gallons per Day) / (Application Area) 480 GPD / 4536 sq. ft. =	0.106 gal/day/ft ²

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PLAT MAP



1361 Middleton Road (Second House to the left)



1389 Middleton Road (First house to the left)



1441 Middleton Road (Second to the right)



1440 Middleton Road (Across the street to the left)



1414 Middleton Road (Directly Across)



7735 Valley View Road (Across and one to the right)

