

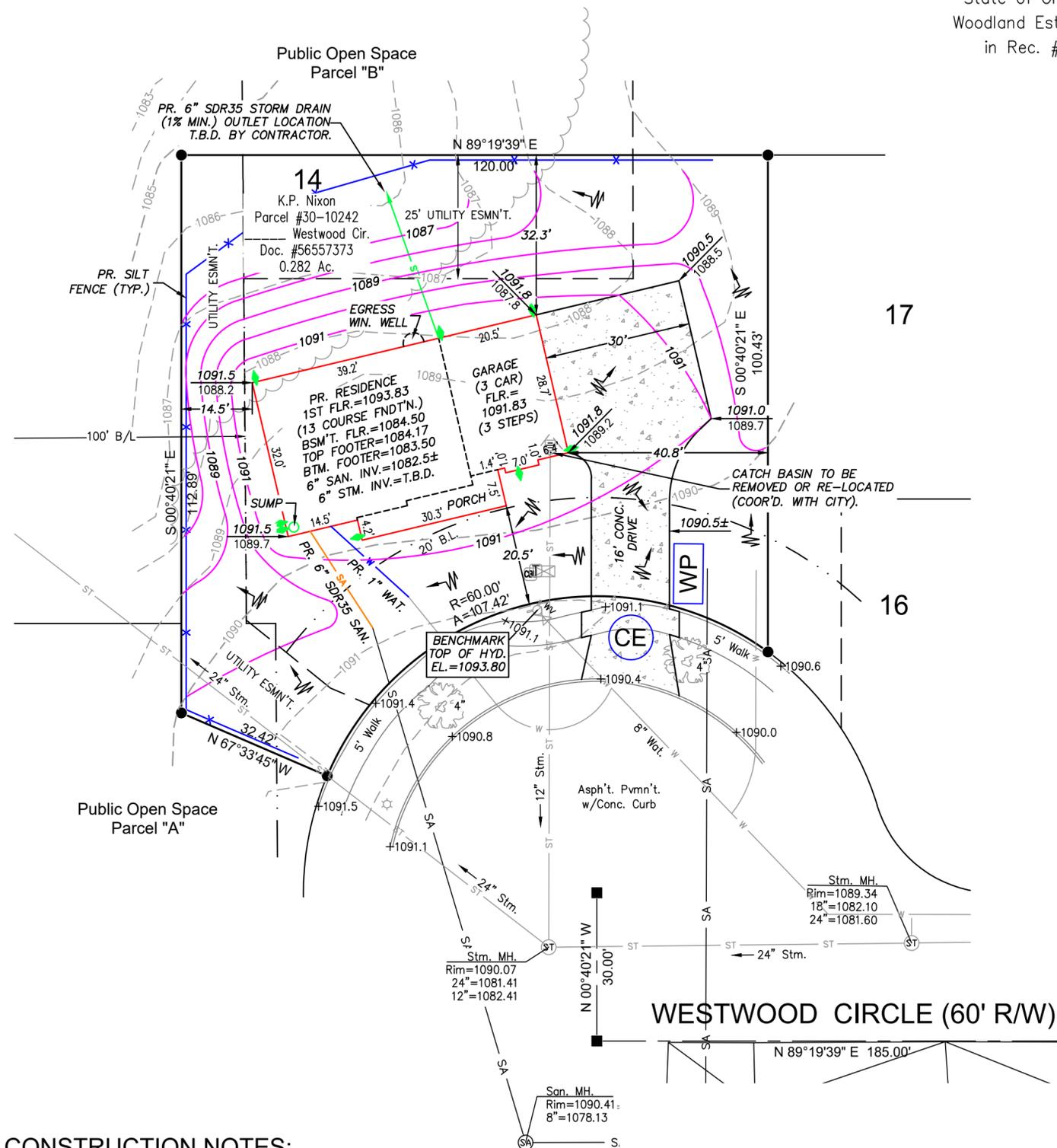
TOPOGRAPHIC SURVEY & SITE PLAN

for
~The Nixon Residence~
to be built by
LDA Builders, Inc.

Situated in the City of Hudson, County of Summit and State of Ohio: And known as being Sublot 14 in the Woodland Estates Subdivision Consolidation, as recorded in Rec. #56384595, re-plat of Rec. #55187992.

- PRELIMINARY
- FINAL
- REVISED

1.



LEGEND

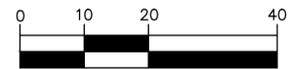
- 998 --- Ex. Contour
- 1002 --- PR. CONTOUR
- Ex. Tree Line
- PR. CLEARING LIMITS
- ✕ -- TREE TO BE REMOVED
- AS-BUILT PR. GRADE Ex. Grade
- PR. DRAINAGE DIRECTION/SWALE
- ✕ -- PR. SILT FENCE
- WP -- PR. CONC. WASHOUT PIT (TO BE MAINT'N'D. DURING CONSTRUCTION).
- CE -- PR. CONST. ENTRANCE (70 L.F. OF #1&2 LIMESTONE (12" THICK) ON GEO-FABRIC).
- ◆ -- PR. DOWNSPOUT LOCATION
- Ex. = Existing PR. = PROPOSED
- Ex. Utility Pole & Pedestals
- Ex. Mailbox --- Ex. Well
- SA ST --- Ex. San./Stm. MH.
- Ex. Stm. Inlets
- WV --- Ex. Hyd./Valve & Shutoff
- GV --- Ex. Gas Valve & Shutoff
- -- Iron Pin Fnd.
- ⊙ -- Iron Pipe Fnd.
- -- Mon. Fnd.

CONSTRUCTION NOTES:

1. Contractor must verify all foundation dimensions and proposed grades shown on this plan. Any errors resulting from failure to check or to notify the surveyor of any changes shall not be the responsibility of Apex Land Surveying.
2. Contractor to notify utilities protection services/ O.U.P.S. prior to construction.
3. Silt fence must surround all excavation areas so that no silt escapes site.
4. All grades shall comply w/corresponding government office.
5. Maintain positive yard drainage away from house and a minimum slope of 1% along all swales.
6. Contractor shall verify location and depths of existing laterals & verify if proper connections can be made to house. Contact corresponding government office or utility owner if discrepancies occur.
7. All sewer connections must maintain a minimum slope of 1%.
8. Footer drain & downspouts are to be tied into storm drain. Refer to house plans for downspout locations.
9. A foundation sump pump is required.
10. The location of utilities shown hereon are based on observed evidence of above ground appurtenances used along with plan information provided to the surveyor. The location of these utilities may vary and are subject to field verification prior to construction. Additional utilities may be encountered.
11. There was no search for easements of record, right-of-ways, restrictive covenants, encumbrances, ownership title evidence, or any other facts that a title search may disclose.



Know what's below.
Call before you dig.



SCALE: 1" = 20'

DATUM:
B.O.B.: RECORD PLAT
VERT: IMPROVEMENT PLANS

SURVEYED BY:  APEX LAND SURVEYING KELLY D. DUNFORD, P.S. 8182 2858 FULMER DR., SILVER LAKE, OH (330) 928-7750 ps8182@sbcglobal.net www.apexlandsurveying.com	TITLE: TOPO & SITE PLAN	DATE: MAY 2022
	CLIENT: LDA BUILDERS	PROJ.: 2022038
	SCALE: 1" = 20'	FILE: 2022038.dwg
	DRAWN BY: KDD	CHECKED BY: KDD
	CREW: KDD	SHEET: 1 OF 1
SHEET SIZE: 17" X 22"		



Front Elevation (S/L 14 - 2466 Westwood Circle)

PARCLE # 30-10242
 S/L 14, Woodland Estates
 2466 Westwood Circle, Hudson, OH 44236
 Apx. Lot Size - 60' Frontage x 112.89' Deep on left, .282 acres
 Overall House Size - 60' W x 36' 4" D, Apx. 2019 Sq ft on lot
 2919 Sq ft Living Area,
 (1223 Sq ft on First floor & 1696 Sq ft on Second floor)
 1223 Sq ft Basement and 616 Sq ft of Garage

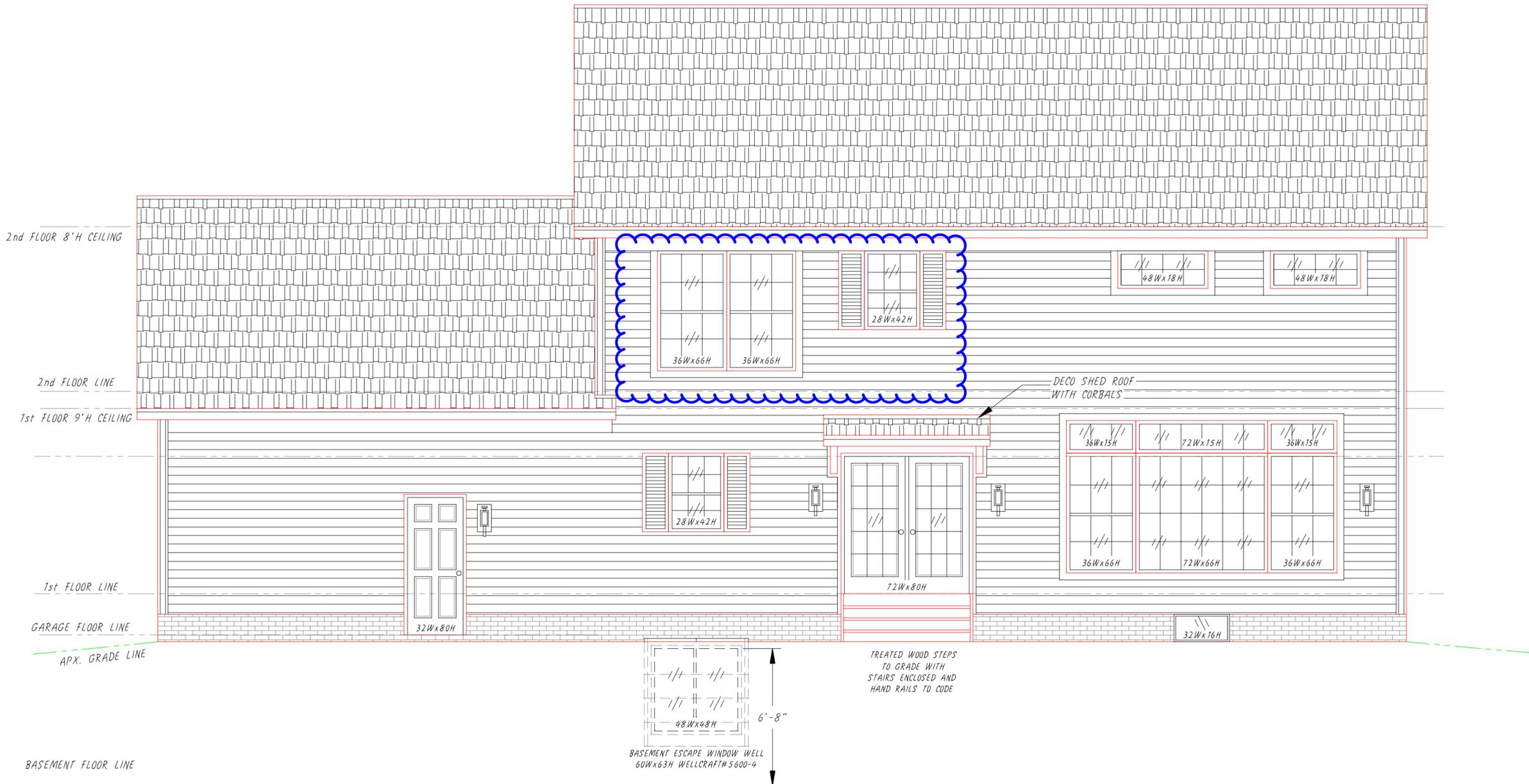
S014F

ILIDA BUILDERS
 IN CORPORATION
 Boston Hts., Ohio U.S.A. • Phone/Fax Cleveland (330) 528-3800 • Akron (330) 342-4240
 TITLE LONGWOOD II, modified 2-STORY (2919 sq.ft.)
 NO. 22-S014F-10
 FRONT ELEVATION



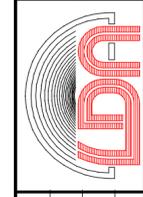
SCALE	DATE	DRN	CHKD	APVD
1/4" = 1'	05/22	/	/	/

CUSTOMER
Kevin & Alysea Nixon



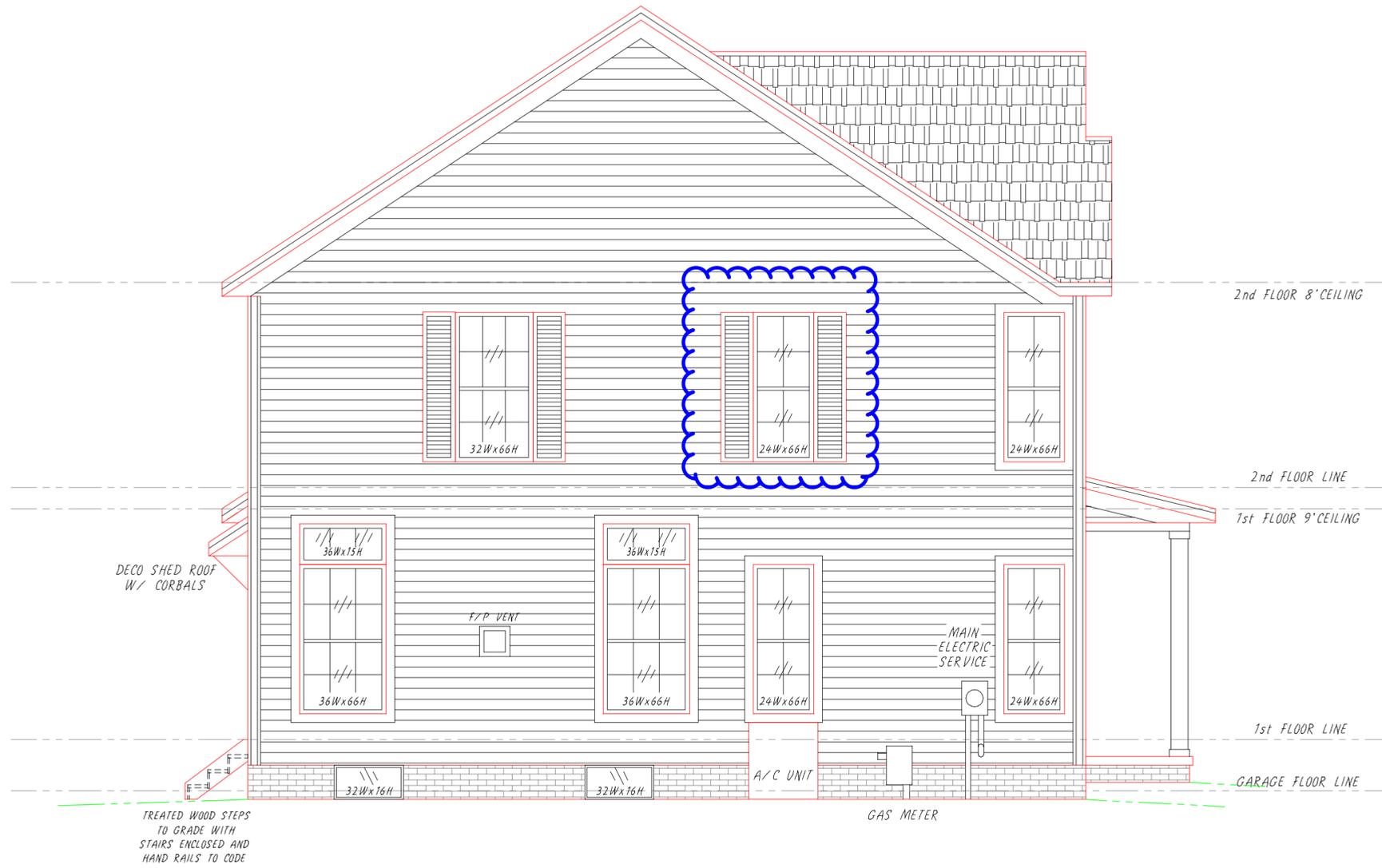
Rear Elevation

JLD.A. BUILDERS
 INCORPORATED
 Boston Hts., Ohio U.S.A. • Phone/Fax Clevel(350) 528-3800 • Akron(330) 342-4240
 TITLE **LONGWOOD II, modified 2-STORY (2919 sq.ft.)**
 NO. **22-5014F-12**
 REAR ELEVATION



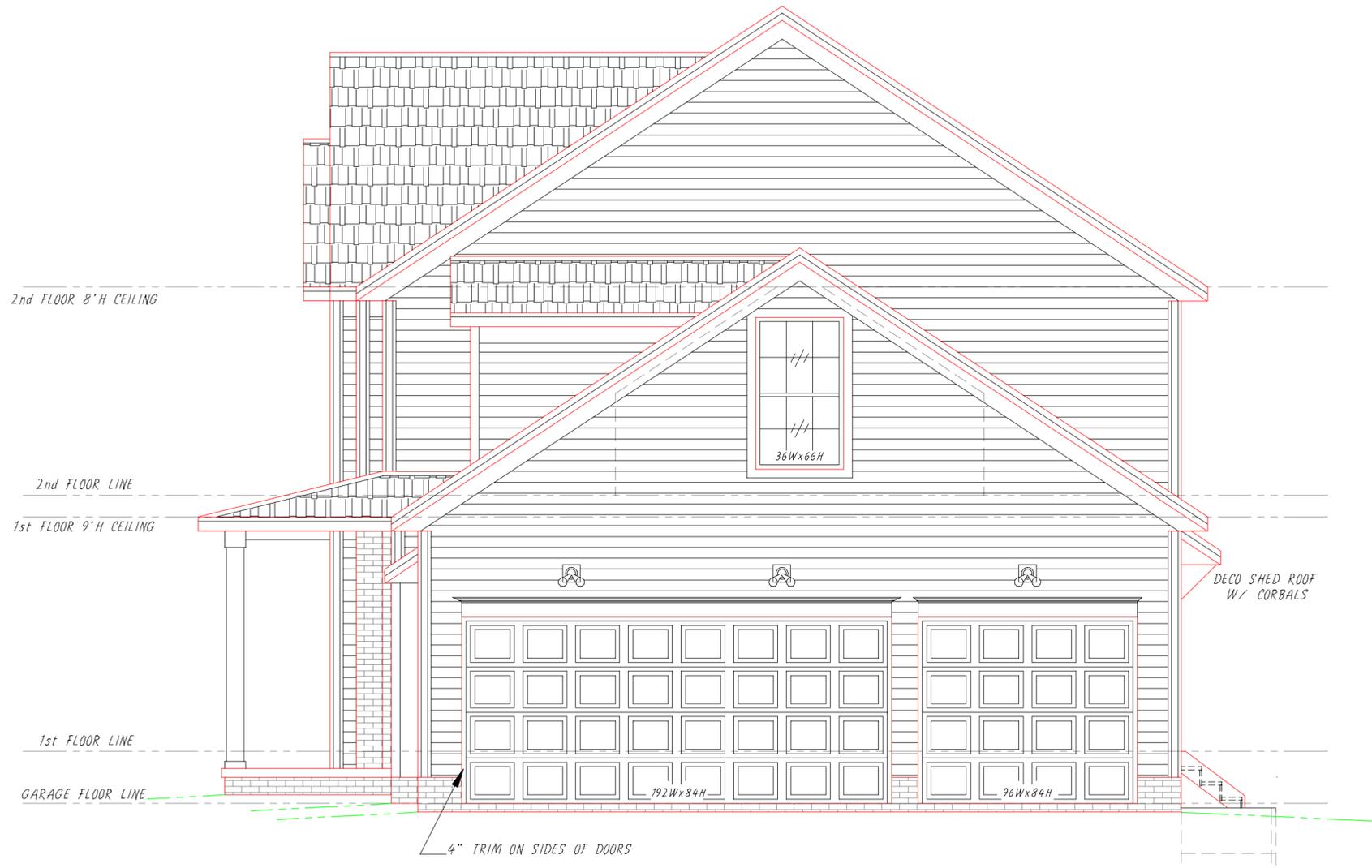
SCALE	DATE	DRN	APVD	REVISIONS	BY	DATE
1/4" = 1'	05/22	OK'D	/s/		TL	06/02/22

CUSTOMER
Kevin & Alysea Nixon
 PER HUDSON REVIEW



Left Side Elevation

CUSTOMER Kevin & Alysea Nixon	SCALE 1/4" = 1' DATE 05/22 DRN /Z AP'VD	REVISIONS PER HUDSON REVIEW	BY /Z DATE 06/02/22		ILIDA BUILDERS IN CORPORATION Boston Hts., Ohio U.S.A. • Phone/Fax Clevel(330) 528-3800 • Akron(330) 342-4240 TITLE LONGWOOD II, modified 2-STORY (2919 sq.ft.) NO. 22-S014F-11 LEFT SIDE ELEVATION
	PER HUDSON REVIEW				



Right Side Elevation

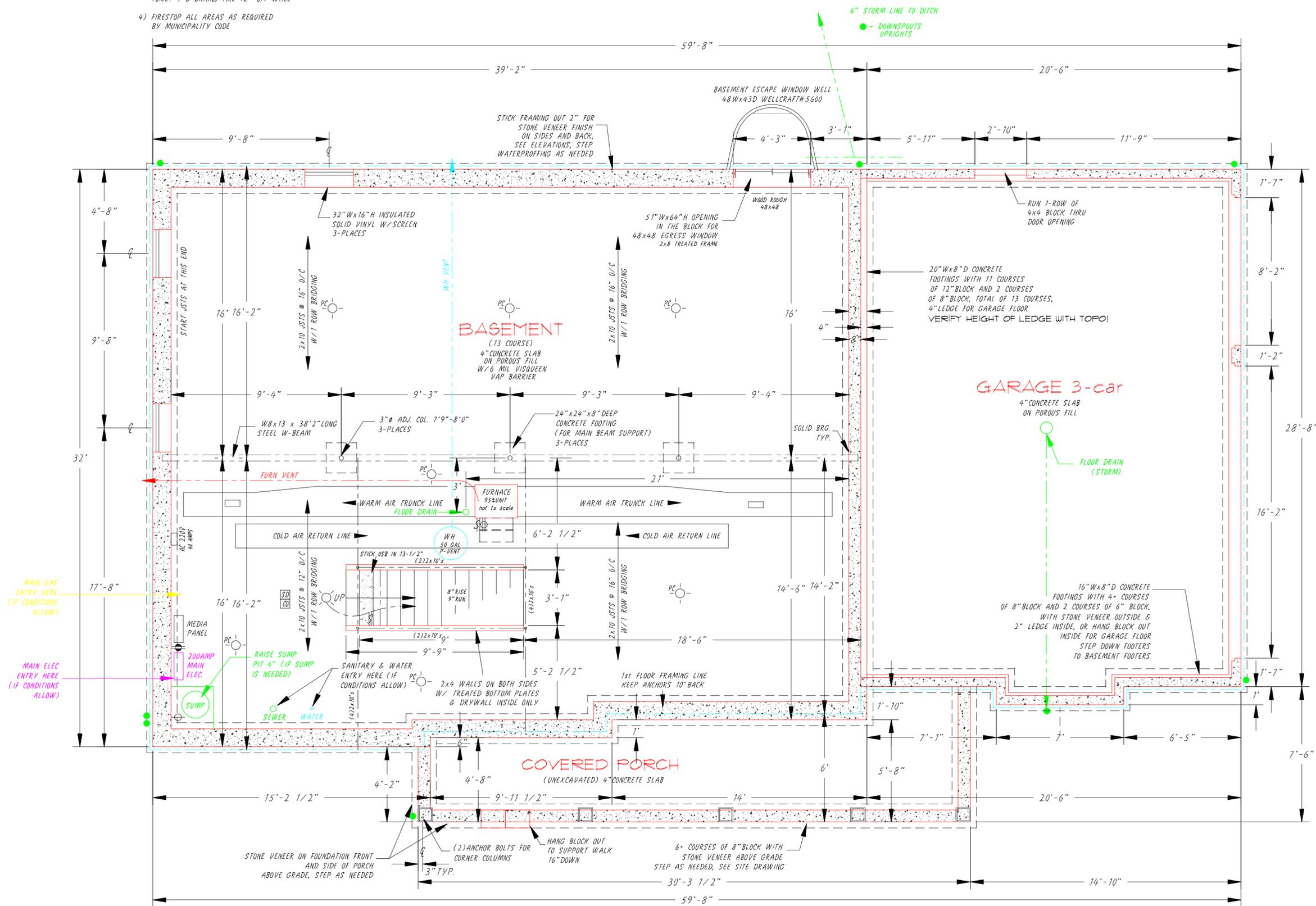
CUSTOMER Kevin & Alysea Nixon	SCALE 1/4" = 1'	REVISIONS	BY	DATE
	DATE 05/22	DRN /Z	APYD	TORB
				
ILLIDA BUILDERS IN CORPORATION Boston Hts., Ohio U.S.A. • Phone/Fax Clevel(330) 528-3800 • Akron(330) 342-4240 TITLE LONGWOOD II, modified 2-STORY (2919 sq.ft.) NO. 22-SØ14F-13 RIGHT SIDE ELEVATION				

FRAMING NOTES

- 1) PROVIDE DOUBLE JOIST AND CROSS BLOCKING UNDER ALL PARALLEL WALLS
- 2) ALL FRAMING LUMBER TO BE STRUCTURAL GRADE
- 3) SPACE FLOOR JOISTS OR HEADER OFF FLOOR JOISTS FOR TOILETS, CENTER OF TOILET 4" D DRAINS ARE 12" OFF WALL
- 4) FIRESTOP ALL AREAS AS REQUIRED BY MUNICIPALITY CODE

MASONRY NOTES

- 1) STEP DOWN FOOTINGS WHERE SLAB MEETS BASEMENT FOR DIRECT BEARING
- 2) FILL ALL VOIDS IN MASONRY WALLS PRIOR TO DAMP/WATERPROOFING
- 3) SEE ELEVATION DRAWINGS & TOPO FOR GARAGE FLOOR LEDGE & STEPPING OF BRICK/STONE VENEER



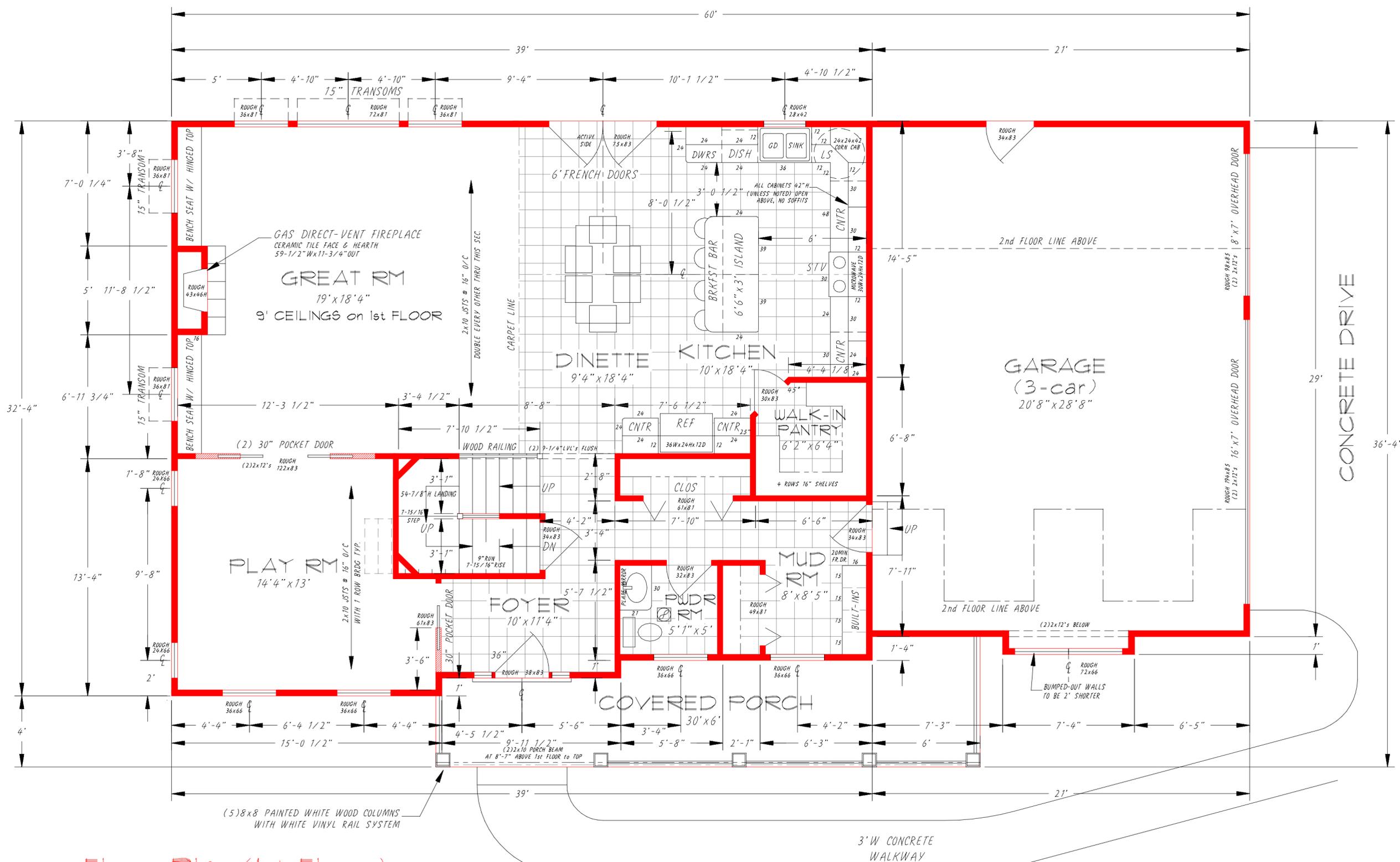
Foundation
Front of House

ILD A BUILDERS
INCORPORATED
Boston Hts., Ohio U.S.A. • Phone/Fax (330) 528-3800 • Akron (330) 342-4240
TITLE LONGWOOD II, modified 2-STORY (2919 sq.ft.) FOUNDATION PLAN NO. 22-S014F-22



DATE	BY	REVISIONS

CUSTOMER
Kevin & Alysea Nixon
SCALE 1/4" = 1'
DATE 05/22
DRN /Z
APVD



Floor Plan (1st Floor)
Front of House

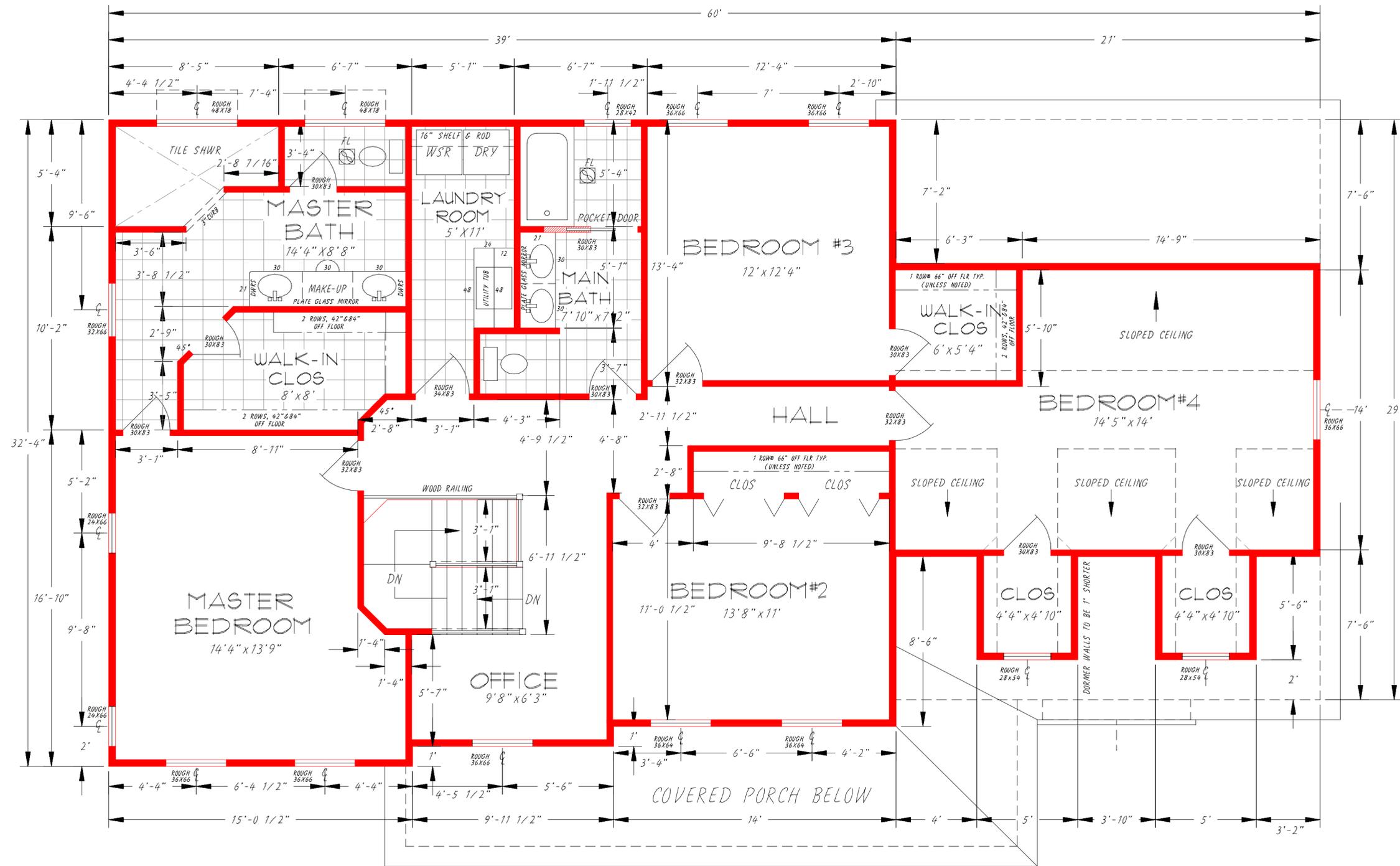
ILD A BUILDERS
INCORPORATED
Boston Hts., Ohio U.S.A. • Phone/Fax Cleveland (330) 528-3800 • Akron (330) 342-4240
TITLE: **LONGWOOD II, modified 2-STORY (2919 sq.ft.)**
FLOOR PLAN (1st Floor)



REVISIONS	BY	DATE

CUSTOMER: **Kevin & Alyssa Nixon**
SCALE: 1/4" = 1'
DATE: 05/22
DRN: /Z
APPV: /

NO. 22-S014F-23



Floor Plan (2nd Floor)
Front of House

IDA BUILDERS
INCORPORATED
Boston Hts., Ohio U.S.A. • Phone/Fax Cleveland (330) 528-3800 • Akron (330) 342-4240

TITLE: **LONGWOOD II, modified 2-STORY (2919 sq.ft.)**
FLOOR PLAN (2nd Floor)

NO. **22-S014F-24**

SCALE: 1/4" = 1'

DATE: 05/7/22

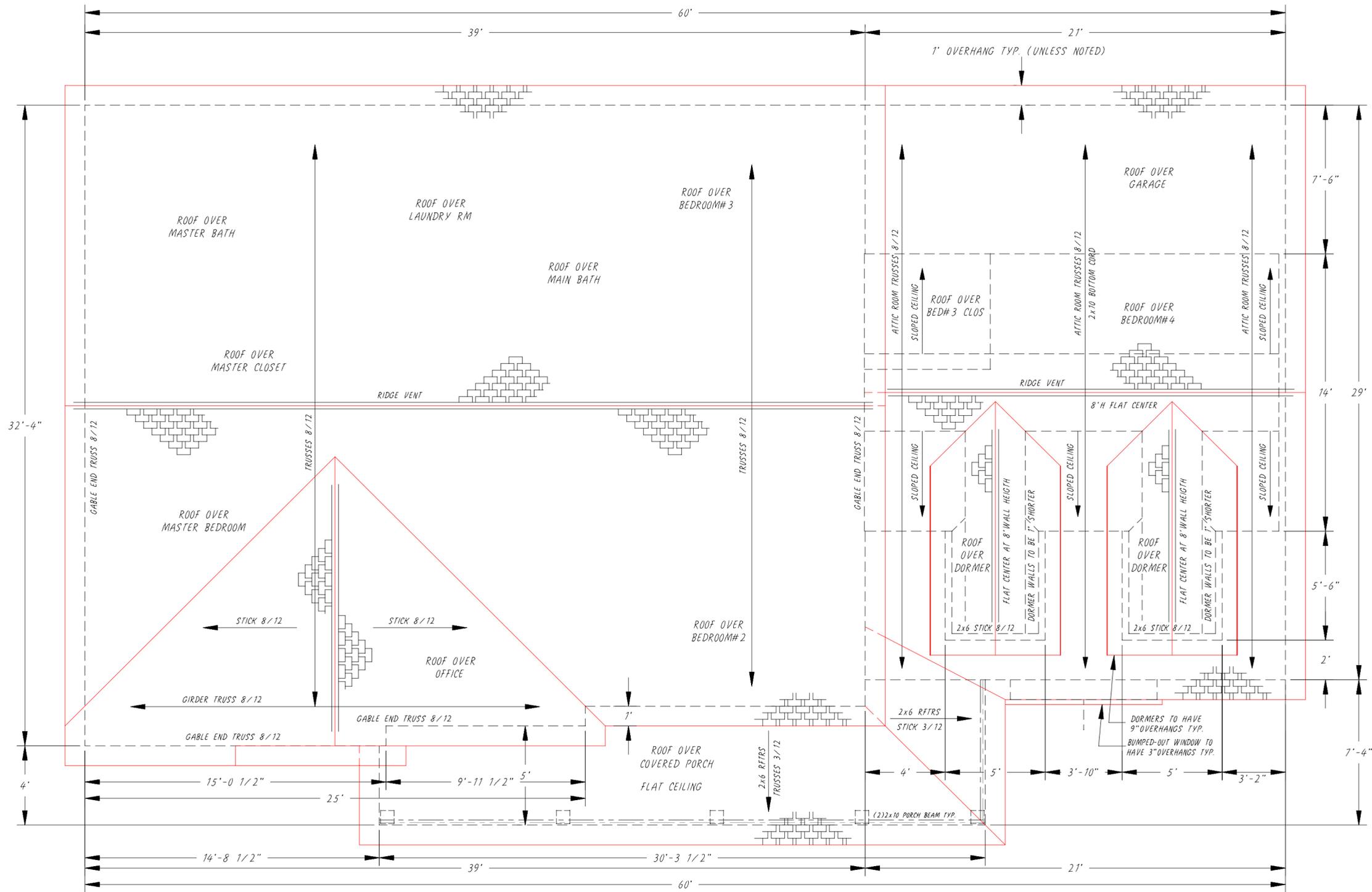
DRN: /Z

APVD:

REVISIONS

NO.	DATE	DESCRIPTION

CUSTOMER: **Kevin & Alysea Nixon**



Roof Plan
Front of House

NOTE - ALL ROOF PITCHES TO BE AN 8/12 SIDE TO SIDE & A 8/12 FRONT TO BACK (UNLESS NOTED)

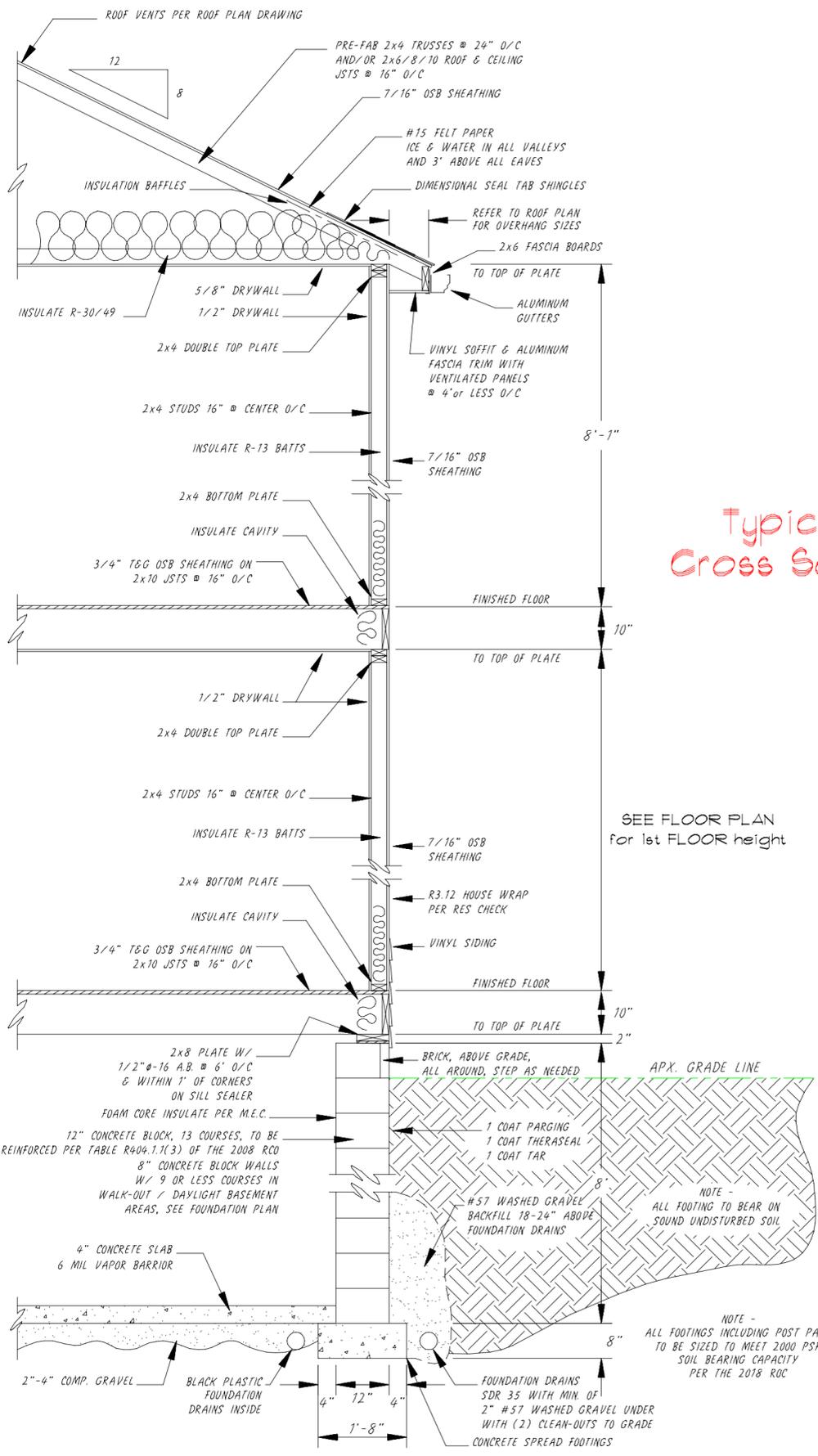


JDA BUILDERS
INCORPORATED
Boston Hts., Ohio U.S.A. • Phone/Fax Cleveland (330) 528-3800 • Akron (330) 342-4240
TITLE LONGWOOD II, modified 2-STORY (2919 sq.ft.)
NO. 22-S014F-25
ROOF PLAN

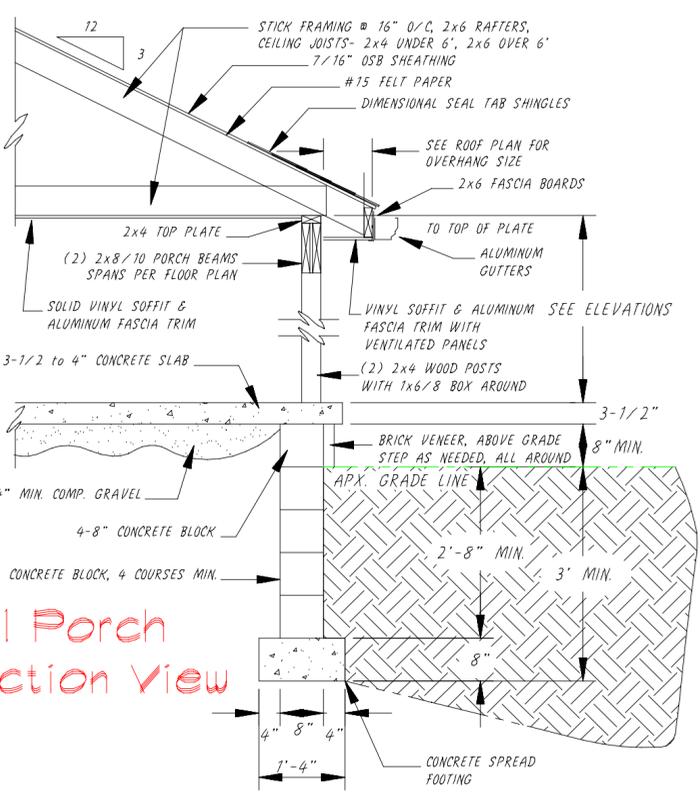
REVISIONS	DATE	BY

CUSTOMER
Kevin & Alysea Nixon

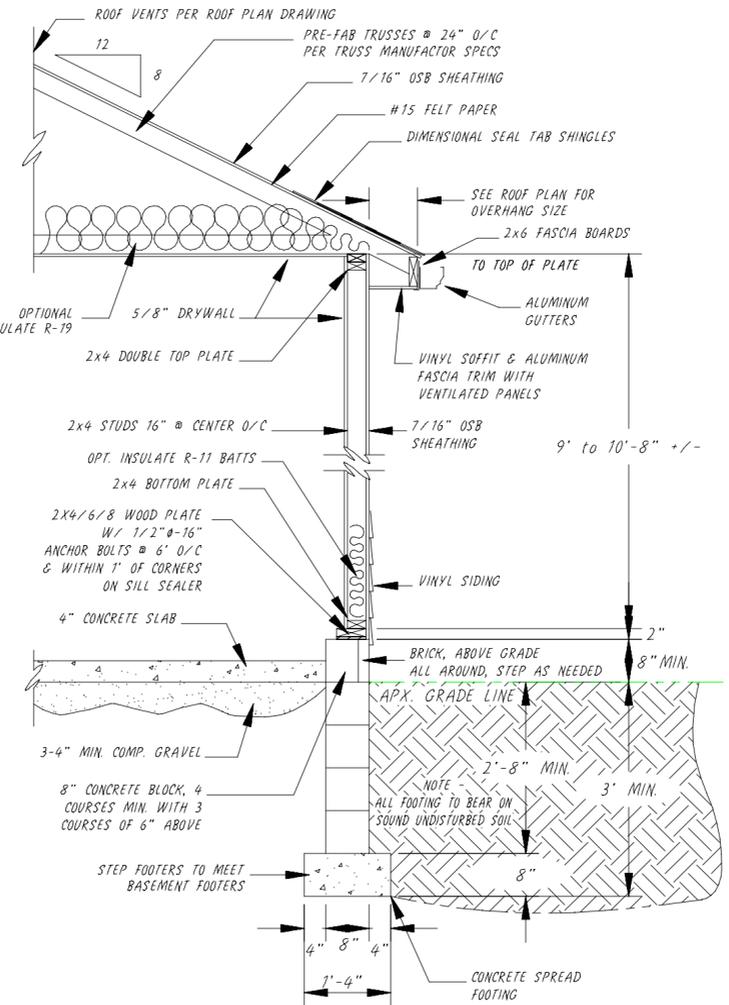
SCALE 1/4" = 1'
DATE 05/22
DRN /Z
APPD



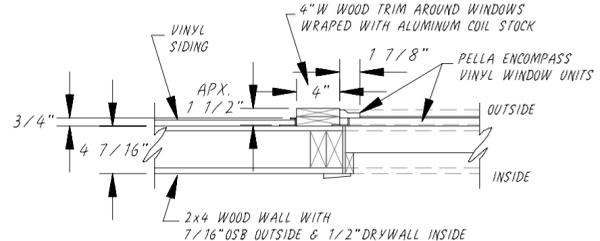
Main House Wall Cross Section View



Typical Porch Cross Section View



Garage Wall Cross Section View



Typical Window Section View
(Scale 1" = 1')

CONSTRUCTION NOTES (2018 RCO)

- 1) ALL ROOF PITCHES TO BE A 8/12 SIDE TO SIDE & A 8/12 FRONT TO BACK, UNLESS NOTED, INCLUDING GARAGES, PORCHES & CANTILEVERS
- 2) ALL PARALLEL WALLS TO HAVE DOUBLE JOISTS AND CROSS BLOCKING UNDER THEM
- 3) GARAGE WALLS, BETWEEN GARAGE & HOUSE, AND GARAGE CEILING TO HAVE 5/8" FIRECODE DRYWALL
- 4) FOUNDATION WALLS TO REINFORCED PER SECTION 401 OF THE 2018 RCO
- 5) ALL HEADERS TO BE A MIN. OF (2) 2x10'S WITH 7/16" OSB CENTER, OR LARGER AS INDICATED ON FLOOR PLANS
- 6) ALL ROOF STICK FRAMING & OVERBUILDS TO BE A MIN. OF 2x6 FOR SPANS UNDER 14', A MIN. OF 2x8 FOR SPANS 14' TO 18' AND INCLUDE 2x8 SHOE PLATES, 2x8 RIDGE BOARDS AND 2x4 COLLAR TIES
- 7) TRUSS ANCHORS TO BE INSTALLED PER SECTION 802 OF THE 2018 RCO
- 8) ALL DEAD AND LIVE LOADS TO BE PER THE 2018 RCO, AND MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS TO BE PER SECTION 301 OF THE 2018 RCO
- 9) THE MAIN DOOR BETWEEN THE HOUSE & GARAGE, AND ALL FIRESTOPPING TO COMPLY WITH SECTION 301 OF THE 2018 RCO.

ILIDA BUILDERS
 IN CORP. A
 Boston Hts., Ohio U.S.A. • Phone/Fax (Cleveland) 528-3800 • Akron (330) 342-4240
 TITLE LONGWOOD II, modified 2-STORY (2919 sq.ft.)
 NO. 22-S014F-29
 CROSS SECTION VIEW & DETAILS



REVISIONS	DATE	BY

CUSTOMER
 Kevin & Alysea
 Nixon
 SCALE 1/2" = 1'
 DATE 05/22
 DRN /
 APYD

OHIO

HUDSON

COMMUNITY DEVELOPMENT • 115 Executive Parkway, Suite 400 • Hudson, Ohio 44236 • (330) 342-1790

Residential Landscaping Requirements

To be completed at application for new house construction

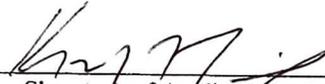
The following information must be submitted at application for new residential construction. The Land Development Code requires the planting (or preservation) of up to three trees within the site limits of disturbance. The total number of trees required will be determined by a review of the approved site plan and noted as a condition on the zoning certificate.

I, KEVIN & ALESSA NIXON accepts responsibility for the
Owner or Applicant (Please Type or Print)

planting of trees as noted within the conditions of the Zoning Certificate for the house construction at:

S/L #14 WESTWOOD CIR.
Street # or S/L# **Street Name**

as required by Land Development Code Section 1207.04(j)(1). Tree planting must be completed within **18 months** from the start of construction and **24 months** from the issuance of the Zoning Certificate.

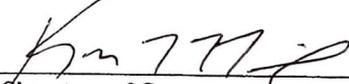
 5/17/2022
Signature of Applicant or Owner **Date**

o o o o o

This tree planting responsibility is not transferable unless the City of Hudson receives the form below executed by the property owner or purchaser.

I, KEVIN NIXON accept the above stated responsibility for
Owner or Purchaser (Please Type or Print)

planting trees within the time period specified or otherwise approved by the City.

 5/17/2022
Signature of Owner or Purchaser **Date**

FAILURE TO FULFILL THE REQUIREMENTS AS ENUMERATED HEREIN WILL RESULT IN CIVIL AND/OR CRIMINAL LIABILITY TO THE PERSON OR ENTITY SIGNING THIS ACKNOWLEDGEMENT PURSUANT TO THE MANDATES OF THE HUDSON LAND DEVELOPMENT CODE



2466 Westwood Circle- Subject property



2467 Westwood Circle- Lot across (left) of subject property



2473 Westwood Circle- across one lot east of subject property



2472 Westwood Circle- lot right of the subject property



7582 Woodland Ave



7590 Woodland Ave



7565 Woodland Ave



7573 Woodland Ave



7581 Woodland Ave

City of Hudson, OH



Disclaimer: Map and parcel data are believed to be accurate, but accuracy is not guaranteed. This is not a legal document and should not be substituted for a title search, appraisal, survey, or for zoning verification.

Map Scale
1 inch = 99 feet
2/4/2020

REGIONAL INCOME TAX AGENCY

CITY OF HUDSON
MUNICIPAL INCOME TAX

REGISTRATION OF CONTRACTORS

PROPERTY ADDRESS: 2466 Westwood Cir.

CONTRACTOR NAME: LDA Builders, Inc

DATE: 5-17-22 APPLICATION #: _____

ADDRESS: 6683 Old Eiger Rd.

AMT. OF CONTRACT: 400,300

CITY: Peninsula, OH 44264 PHONE: (330) 528-3800

ZONING PERMIT #: _____

FED. I.D. # OR S.S. #: 34-1760118

TYPE	SUB-CONTRACTORS	ADDRESS	SOCIAL SECURITY # OR FED. TAX I.D. #	CONTRACT AMOUNT	ESTIMATED WAGES
CARPENTRY	Mullet Construction	5183 Aurora Rd. Mechanicsville, OH 43105	291-84-6583		
MASONRY	Dave Miller Masonry	473 Stratford Rd. Delaware OH 45013			
EXCAVATION	Bontrager	11087 Cleveland Ave. N.W. Uniontown, OH	20-3560639		
SBP. TANK/SEWER	N/A	N/A	N/A		
HOT ROOFING	N/A	N/A	N/A	N/A	N/A
PLUMBING	Hershberger	15325 Georgia Rd. Middlefield OH 44130	271-74-8290	N/A	N/A
SHEET METAL	N/A	N/A	N/A		
ELECTRICAL	Northern Ohio Electric	5457 Harthorn Rd. Valley City, OH 44280	463620490	N/A	N/A
REFRIGERATION	N/A	N/A	N/A		
AIR CONDITION.	A New Image Heating/cooling	4463 Renaissance Parkway Warrensville Hts., OH 44128	34-1681284	N/A	N/A
WARM AIR HEAT.	Same as above				
STEAM VAPOR	N/A	N/A	N/A		
HOT WATER	Hershberger	(Same as above - plumbing)		N/A	N/A
DRYWALL/PLAST.	Lenwood, Inc	P.O. Box 360198 Strongsville, OH 44136	34-1521909		
DEMOLITION	N/A	N/A	N/A		
LANDSCAPING	N/A	N/A	N/A	N/A	N/A
PAINTING/DÉCOR.	Viole He Painting	3946 Crestview Ave. Warren OH 44484	278-70-0490	N/A	N/A
OTHER	Concrete Dave Spellman	3456 Summit Rd. Ravenna, OH 44266	34-1906766		
			TOTAL		