

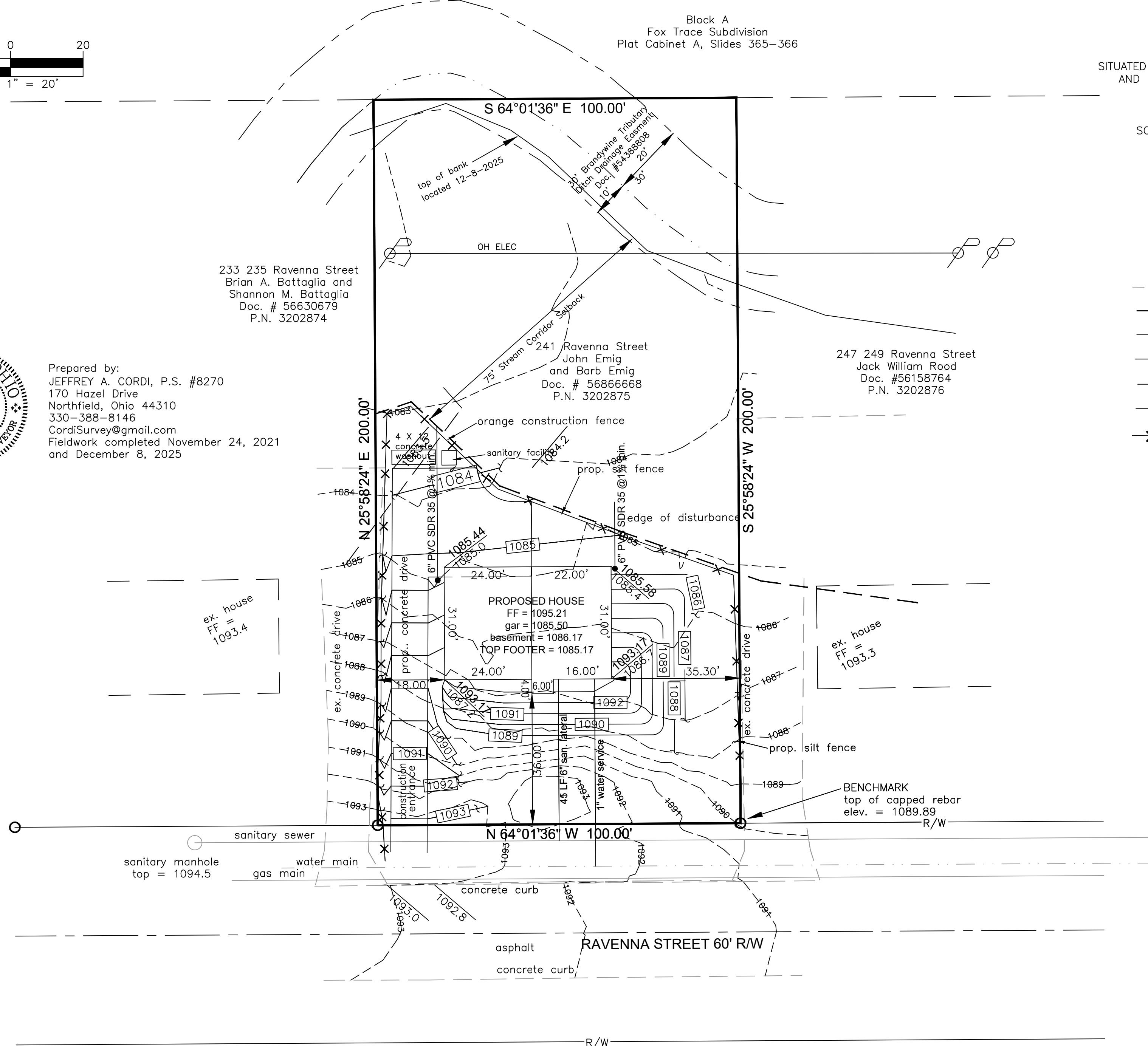
Block A
Fox Trace Subdivision
Plat Cabinet A, Slides 365-366

SITE PLAN FOR 241 RAVENNA STREET

SITUATED IN THE CITY OF HUDSON, SUMMIT COUNTY, OHIO
AND KNOWN AS BEING PART OF BLOCK B OF THE
FOX TRACE SUBDIVISION RECORDED IN
CABINET A, SLIDES 365 AND 366 OF
THE SUMMIT COUNTY RECORDS
SCALE: 1" = 20' DATE: JANUARY 2026

233 235 Ravenna Street
Brian A. Battaglia and
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Doc. # 56630679
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Fieldwork completed November 24, 2021
and December 8, 2025



WAYNE HOMES®

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ABBREVIATIONS

A/C	AIR CONDITIONING	FT	FOOT/FEET	PVMT	PAVEMENT
AB	ANCHOR BOLT	FTG	FOOTING	QT	QUARRY TILE
ABV	ABOVE	FUR	FURRED(ING)	RA	RAILS, RIGER OR ROD
ACT	ACTUAL	FURN	FURNACE	RA	RETURN AIR
ADR	AFRON DRAWER	FIX	FIXED	RD	ROOF DRAIN
ADH	ADHESIVE	GA	GAUGE	REC	RECREATION, RECESSED
ADJ	ADJUSTABLE	GAR	GARAGE	REC'D	RECEIVED
AFF	ABOVE FINISH FLOOR	GC	GENERAL CONTRACT(OR)	REFR	REFRIGERATOR
AGG	AGGREGATE	GFI	GROUND FAULT INTERRUPTER	REFR	REFERENCE
ALT	ALTERNATE	GI	GALVANIZED IRON	REINF	REINFORCED(ING)
ARCH	ARCHITECTURAL	GL	GLASS, GLAZING	REQ'D	REQUIRED
ASPH	ASPHALT	GL BLK	GLASS BLOCK	RES	RESILIENT
AUTO	AUTOMATIC	GR	GREAT ROOM	REV	REVISIONS), REVISED
ANN	AWNING	GWB	GYPSUM WALLBOARD	RFG	ROOFING
BA	BATH	HB	HOLLOW CORE	RI	ROUGH-IN
BD	BOARD	HC	HEADER	RIB	REINFORCED JUNCTION BOX
BF	BIFOLD	HDR	HARDWARE	RL	RAILING
BIT	BITUMINOUS	HDW	HARDWARE	RM	ROOM
BLDG	BUILDING	HMT	HOLLOW METAL	RNG	RANGE
BLK	BLOCK	HORIZ	HORIZONTAL	RD	ROUGH OPENING
BLKG	BLOCKING	HT	HEAT DUMP	ROW	RIGHT OF WAY
BN	BEAN	HTR	HEATER	SC	SOLID CORE
BOT	BOTTOM	HVAC	HEATING/VENTILATING/AIR COND	SCHED	SCHEDULE
BP	BIPASS	ID	INSIDE DIAMETER	SECT	SECTION
BR	BEDROOM	INSUL	INSULATED(ED)(ION)	SGD	SLIDING GLASS DOOR
BRG	BEARING	INT	INTERIOR	SH	SHELF, SHELVING OR SINGLE HUNG
BRK	BRICK	ISL.O.	IN SIDE LOOKING OUT	SHT	SHEET,
BRKF	BREAKFAST	JST	JOIST	SHTH	SHEATHING
BSMT	BASEMENT	KT	JOINT	SIM	SIMILAR
BVL	BEVELED	KIT	KITCHEN	SPEC	SPECIFICATIONS
CAB	CABINET	LAM	LAMINATED	SPKR	SPEAKER
CMD	CARBON MONOXIDE DETECTOR	LAUN	LAUNDRY	SQ	SQUARE
CEM	CEMENT	LAV	LAVATORY	SQFT	SQUARE FEET (FOOT)
CER	CERAMIC	LIV	LIVING	SQIN	SQUARE INCHES
CI	CAST IRON	LL	LIVE LOAD	SST	STAINLESS STEEL
CIR	CIRCLE	LNTL	LINTER	STD	STANDARD
CLG	CONTROL JOINT	LVL	LIGHT	STL	STEEL
CLK	CEILINGS	LVL	LUMINATED VENEER LUMBER	STO	STONE
CRN	CAULKING	LVR	LOUVER	STOR	STORAGE
CN	CONCRETE MASONRY UNIT	MAS	MASONRY	STRUCT	STRUCTURAL
COL	COLUMN	MATL	MATERIAL	SUSP	SUSPENDED
COMB	COMBINATION	MAX	MAXIMUM	T & G	TONGUE AND GROOVE
CONC	CONCRETE	MBA	MASTER BATH	T/	TOP
CONSTR	CONSTRUCTION	MBR	MASTER BEDROOM	TB	TOWEL BAR
CONT	CONTINUOUS	MC	MEDICINE CABINET	TEL	TELEPHONE
CONTR	CONTRACTOR	MECH	MECHANICAL	THK	THICKNESS)
CPT	CARPET	MFR	MANUFACTURER	THR	THRESHOLD
CRS	COURSE(S)	MH	MANHOLE	TOC	TOP OF CONCRETE
CSMT	CASEMENT	MIN	MINIMUM	TOF	TOP OF FOUNDATION
CT	CERAMIC TILE	MIR	MIRROR	TP	TOILET PAPER HOLDER
CU FT	CUBIC FOOT	MISC	MISCELLANEOUS	TRD	TREAD
CU YD	CUBIC YARD	MLDG	MOLDING, MOULDING	TRPL	TRIPLE
DED	DEDICATED	MM	MILLIMETER	TV	TELEVISION
DET	DETAIL	MO	MASONRY OPENING	TYP	TYPE
DH	DOUBLE HUNG	MOD	MODULAR	UNF	UNFINISHED
DIA	DIA	MNG	MOUNTED(ING)	UTIL	UTILITIES)
DM	DIAMETER	MTL	METAL	UC	UTILITY CABINET
DN	DEPL LOAD	MULL	MULLION	V	VANITY
DR	DOWN	NIC	NOT IN CONTRACT	VB	VAPOR BARRIER
DS	DOOR	NOM	NOMINAL	VERT	VERTICAL
DW	DOWNSPOUT	NTS	NOT TO SCALE	VIN	VINYL
EA	DISH WASHER	OA	OVERALL	VNR	VENEEER
ELEC	EACH	OC	ON CENTER	VP	VAPOR PROOF
ELEV	ELECTRICAL	OH	OVERHEAD	VT	VINYL TILE
ENT	ELEVATION	OHD	OVERHEAD DOOR	W/	WITH
EQ	ENTRY	OPT	OPTION(AL)	W/O	WITHOUT
EST	ESTIMATE	OSL.I.	OUT SIDE LOOKING IN	WC	WATER CLOSET
EXH	EXHAUST	PAR	PARALLEL	WD	WOOD
EXT	EXISTING	PC	PULL CHAIN	WF	WIDE FLANGE
EXT	EXTERIOR	PDR	PONDER ROOM	WH	WATER HEATER
FAM	FAMILY	PED	PEDESTAL	WI	WIRING IRON
FBO	FURNISHED BY OTHERS	PERI	PERIMETER	WIC	WALK IN CLOSET
FD	FOOT DRAIN	PT	PIPE	WIN	WINDOW
FDN	FOUNDATION	PLAS	PLASTER	WLC	WALK-OUT
FIN	FINISH	PNL	PANEL	WP	WATER PROOF
FLASH	FLASHING	PNTL	PAINTED)	WS	WATER SOFTNER
FUR	FLOOR(ING)	PREFAB	PREFABRICATE(D)	WSCT	WAINSCOT
FLUOR	FLUORESCENT	PSF	POUNDS PER SQUARE FOOT	WAF	WELDED WIRE FABRIC
FO	FACE OF	PSI	POUNDS PER SQUARE INCH	WAM	WELDED WIRE MESH
FP	FIREPLACE	PSL	PARALLEL STAND LUMBER		
FPHB	FROST PROOF HOSE BIB	PT	PRESSURE TREATED		
		PTN	PARTITION		
		PV	PAVED(ING)		
		PVC	POLYVINYLL CHLORIDE		

DESIGN CRITERIA / CODE COMPLIANCE

THESE PLANS ARE TO COMPLY WITH:

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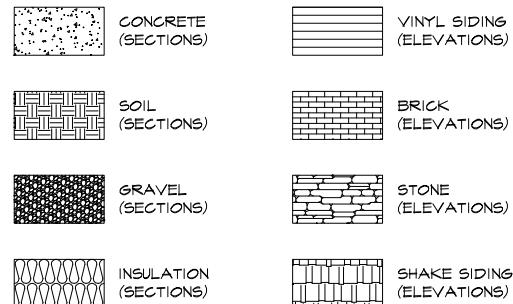
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GRAPHIC LEGEND



SQUARE FOOTAGE SUMMARY

LOWER FLOOR AREA	O S.F.
OPTIONAL FINISHED BSMT AREA	O S.F.
FIRST FLOOR AREA	O S.F.
SECOND FLOOR AREA	O S.F.
TOTAL FINISHED AREA	O S.F.
GARAGE AREA	O S.F.

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PERMS COMPLETED THRU CHANGE ORDER #	REVIEWED & APPROVED
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GENERAL NOTES

FOUNDATION NOTES

1. STOOP TIE INTO BASEMENT WALL WITH (2) PIECES OF DUROWALL AT 5th AND 8th COURSES.
2. PORCHES LACED INTO BASEMENT WALL PER DETAIL FM-2.
3. (2) ANCHOR BOLTS WITHIN 1'-0" OF EACH CORNER AND 72" ON CENTER AT ALL OTHER WALLS. (2) ANCHOR BOLTS TO BE WITHIN 1'-0" OF SILL PLATE SEAMS. MIN (2) ANCHOR BOLTS PER PLATE. NO ANCHOR BOLTS TO BE LOCATED UNDER WINDOWS IN SPLIT LEVEL. ANCHOR BOLT SPACING ON SPLIT/BILEVEL KNEEWALLS PER PRINTS. ANCHOR BOLTS AT O.H. DOORS TO BE SET 8" FROM M.O. 1/2" ANCHOR BOLTS USED AND INSTALLED MINIMUM 7" IN MASONRY/CONCRETE
4. ADD WATER PLUG (SINGLE CELL) Poured CORE TO THE END OF ALL BULKHEADS AND LINTELS. (REFER TO LEGEND FOR SYMBOL)
5. 6 MIL VAPOR BARRIER TO BE INSTALLED BENEATH ALL CONCRETE SLABS.
6. Poured CORES CONSIST OF, (2) FILLED CELLS W/ (1) #4 PER CELL, EACH, UNLESS OTHERWISE NOTED.

FRAMING NOTES

1. DOUBLE STUDS AT INTERIOR BEARING WALLS (1) STUD TO SUPPORT EACH JOIST AT HEAT RUNS.
2. USE JOIST HANGERS WHERE NO SOLID BEARING IS PROVIDED.
3. ADD DOUBLE 2x10 BLOCKING UNDER ALL JACK AND KING STUDS AT ALL BEARING WALL OPENINGS
4. HOUSE AND GARAGE SILL PLATES OFFSET 1/2" FROM OUTSIDE FOUNDATION WALL SO SHEATHING WILL BE FLUSH WITH FOUNDATION WALL, UNLESS OTHERWISE NOTED.
5. LVL NAILING PATTERN TO BE INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. 4 PLY OR LARGER NEEDS TO BE NAILED OR SCREWED PER PATTERN.
6. ADD 2x10 HORIZONTAL BLOCKING BETWEEN STUDS IN THESE LOCATION (TOP, MIDDLE, BOTTOM) OF STAIRWAY FOR HANDRAIL BRACKETS. BLOCKING TO BE INSTALLED IN FULL WALL OR OPPOSITE/RAIL AREA.
7. INSTALL 1x6 BLOCKING ON TOP PLATE OF ALL INTERIOR WALLS PERPENDICULAR TO TRUSSES IN THE MIDDLE THIRD OF THE TRUSS SPAN PER DETAIL SM-1.
8. INTERIOR TOP PLATES OF INTERSECTING WALLS NEED TO BE TIED IN.
9. ALL TRUSSES MUST BE INSTALLED AND BRACED ACCORDING TO MANUFACTURER'S INSTALLATION INSTRUCTION THAT ARE LEFT WITH TRUSS LOAD.
10. TRUSSES AND TRUSS WEBS ARE NEVER TO BE CUT OR ALTERED WITHOUT APPROVED ENGINEERING FROM BUILDER.
11. NO WOODEN SHIMS ARE TO BE USED UNDER ANY BEAMS (ONLY METAL SHIMS).
12. 1x4 #3 PINE STARTER STRIP IS TO BE USED AT THE BACK OF THE FLOORING LAYOUT PER DETAIL SF-3.

INSULATION NOTES

- I. INSTALL R-7 INSULATION BETWEEN 2x2 FURRING STRIPS ON FOUNDATION WALLS, WHEN APPLICABLE. USE R-13 BATT SPLIT IN HALF.

EXTERIOR ENVELOPE QUALITY

1. INSTALL PAN FLASHING UNDER ALL EXTERIOR DOORS EXCEPT FOR GARAGE/HOUSE AND GARAGE SERVICE DOOR PER DETAIL.
2. INSTALL 24" PVC BLACK PORCH FLASHING PER DETAIL.
3. ALL EXTERIOR WALLS COVERED W/HOUSEWRAP IN A SHINGLE AFFECT.
4. ALL WINDOWS TO BE INSTALLED, CAULKED AND TAPEDED PER DETAILS.
5. INSTALL PATIO DOOR PAN FLASHING PER DETAIL.
6. INSULATE AND HOUSE WRAP ALL CANTILEVERS PER DETAIL.
7. CORNER STEP FLASHING IS TO BE INSTALLED ON ALL WALLS PROTRUDING THROUGH ROOF.
8. BRICK FLASHING AND WEEP HOLES INSTALLED PER DETAIL.
9. VINYL J-BLOCKS ARE TO BE USED AT ALL EXTERIOR LIGHT FIXTURES, METER BASES, HOSE BIBS, DISCONNECTS AND A/C OR H/P ELECTRICAL HOOK-UPS.
10. ALL PENETRATIONS WITHOUT J-BLOCK ARE TO HAVE DUCT SEAL INSTALLED.
11. FINAL ROUGH GRADE TO BE SLOPED TO TAKE WATER AWAY FROM FOUNDATION IN ALL DIRECTIONS. SLOPE OF GRADE MUST BE AT MINIMUM OF 6" EVERY 10'.

FINISHES

1. TOWEL BAR HEIGHT TO BE 46" FROM FLOOR.
2. PAPER HOLDER HEIGHT TO BE 24" FROM FLOOR.
3. TOWEL RING TO BE MOUNTED AT 60" ABOVE FINISHED FLOOR.

JOB SPECIFIC

1

PRELIM VERIFY NOTES

1. VERIFY LOCATION OF FURNACE MUST REMAIN DUE TO THE STAIR PLACEMENT AND HOW THE TRUNK LINE NEED TO RUN ACROSS THE HOME.
2. VERIFY THE STRAIGHT RUN STAIR REQUIRED A LANDING AT THE BOTTOM WHICH MADE MORE OF AN L-SHAPE IN THE UTILITY SPACE.
3. VERIFY FLOORING SQUARE WAS ADDED AT FRONT DOOR SINCE THE FOYER HAS BEEN ELIMINATED AND IS NOW LOCATED IN THE GREAT RM SPACE WHICH IS CARPET. DRAWN AS A 6'x4' SPACE.
4. VERIFY GREAT RM FRONT WINDOWS WERE ADJUSTED FOR THE STRAIGHT RUN STAIR.
5. VERIFY 1' WAS ADDED TO FRONT OF THE FOUNDATION OF THE HOME. THIS IS DUE TO THE GRADE ADJUSTMENT AND DESIGN CHANGES. THE FRONT WALL OF THE HOME NEEDED SUPPORTED WITHOUT THE USE OF THE CANTILEVER THAT WAS ORIGINALLY THERE. ADJUST CONTRACT AS NEEDED.

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FRONT & REAR ELEVATIONS

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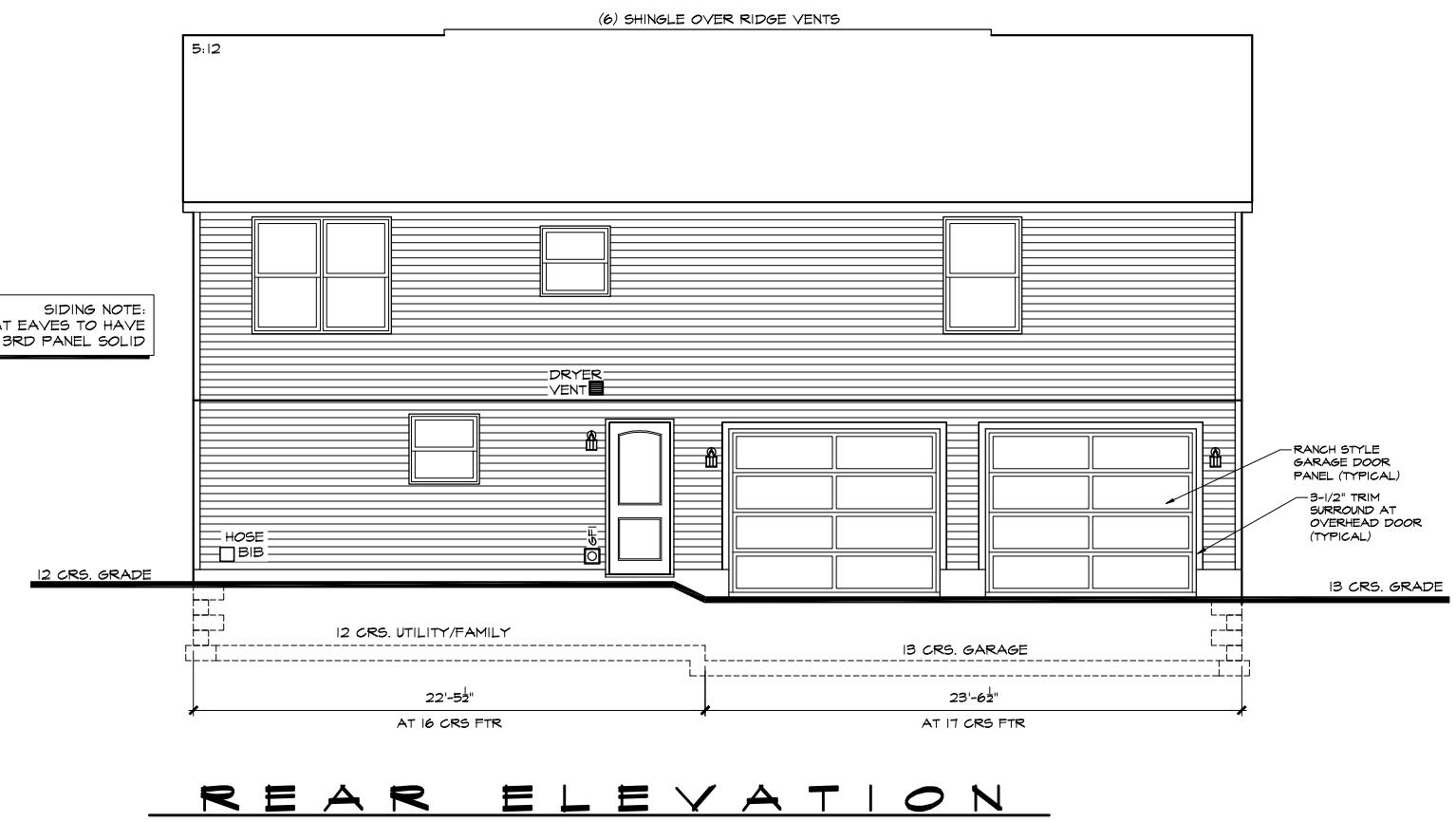
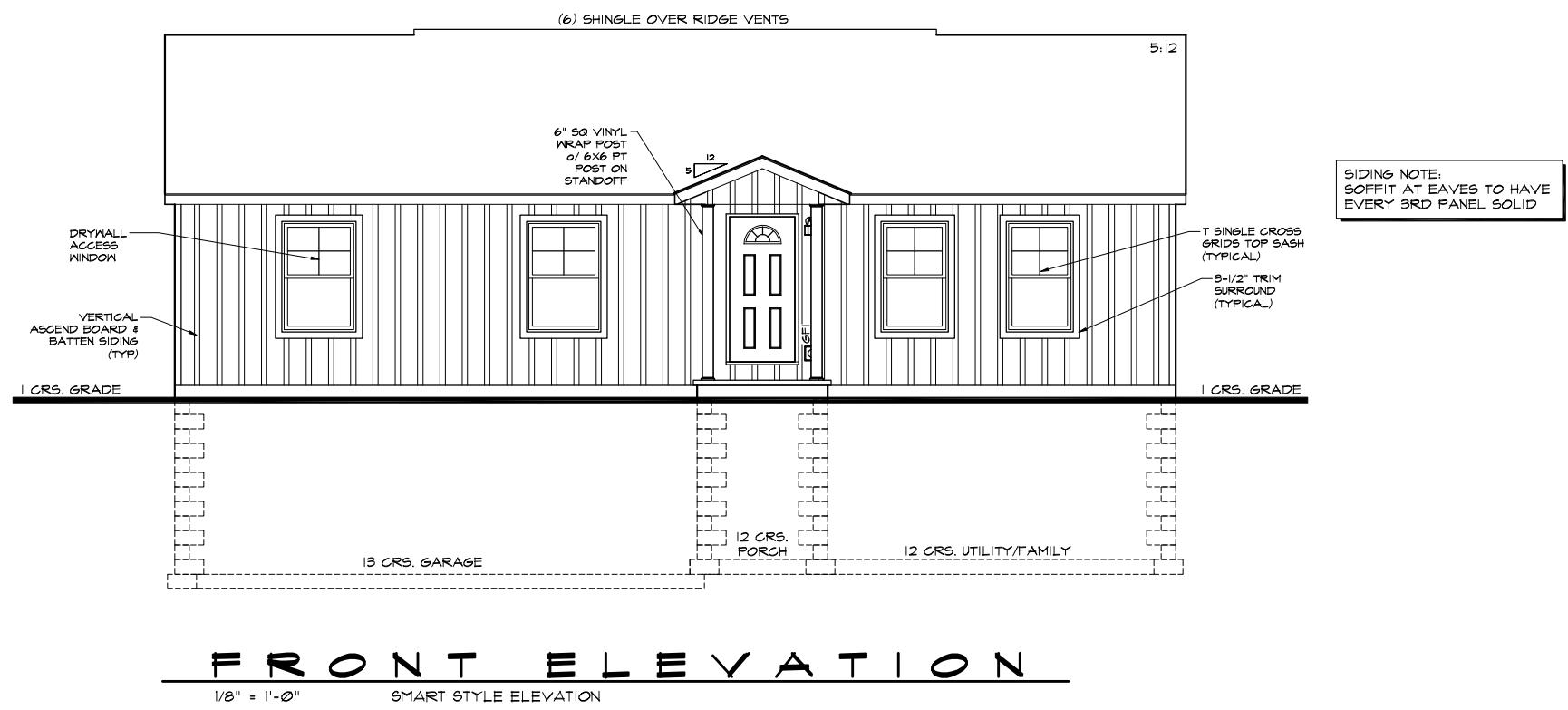
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revisions:	
date:	drawn by:

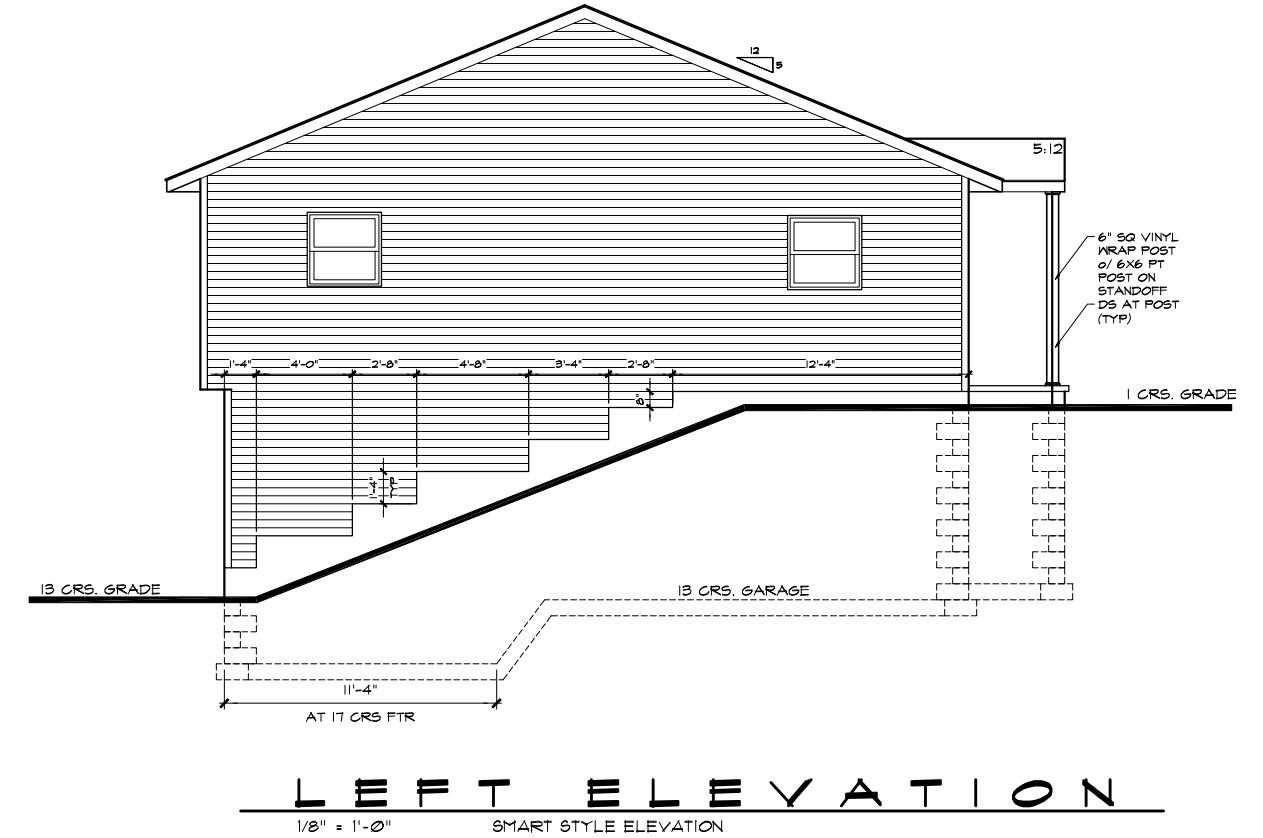
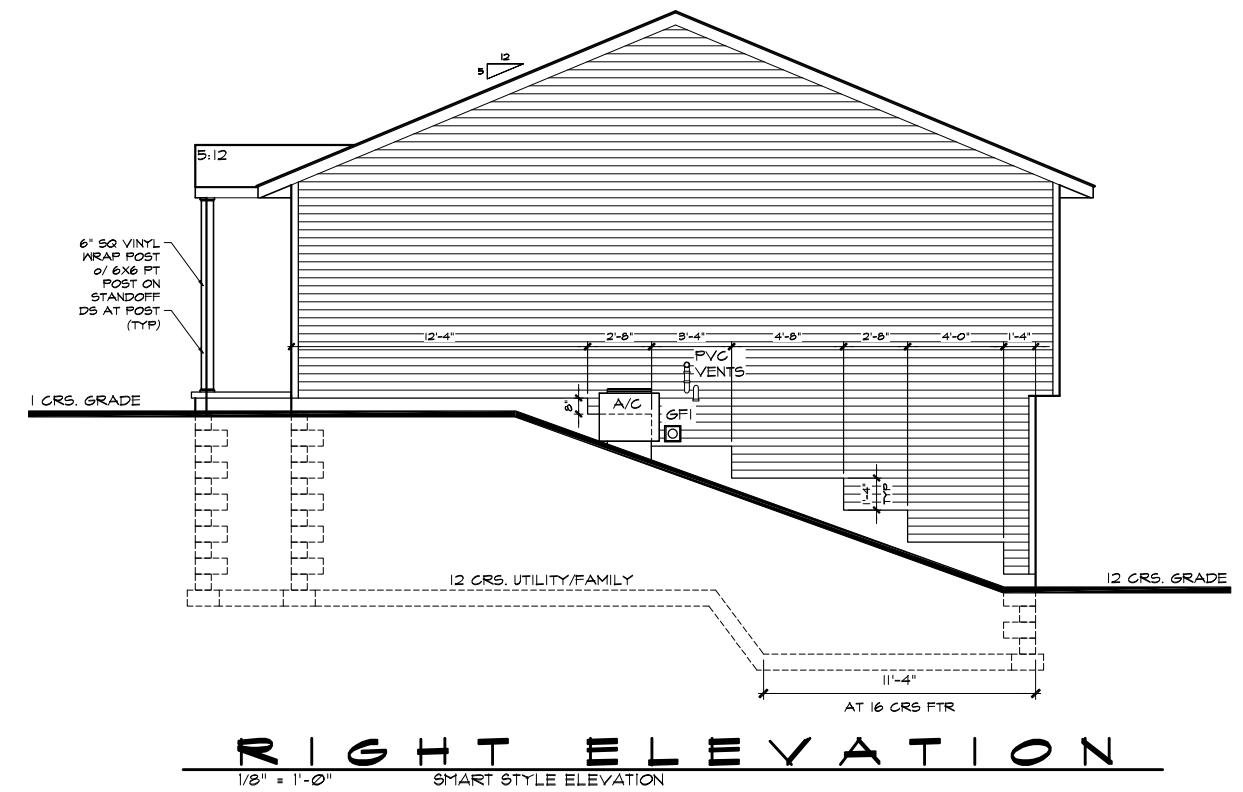


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RIGHT & LEFT ELEVATIONS

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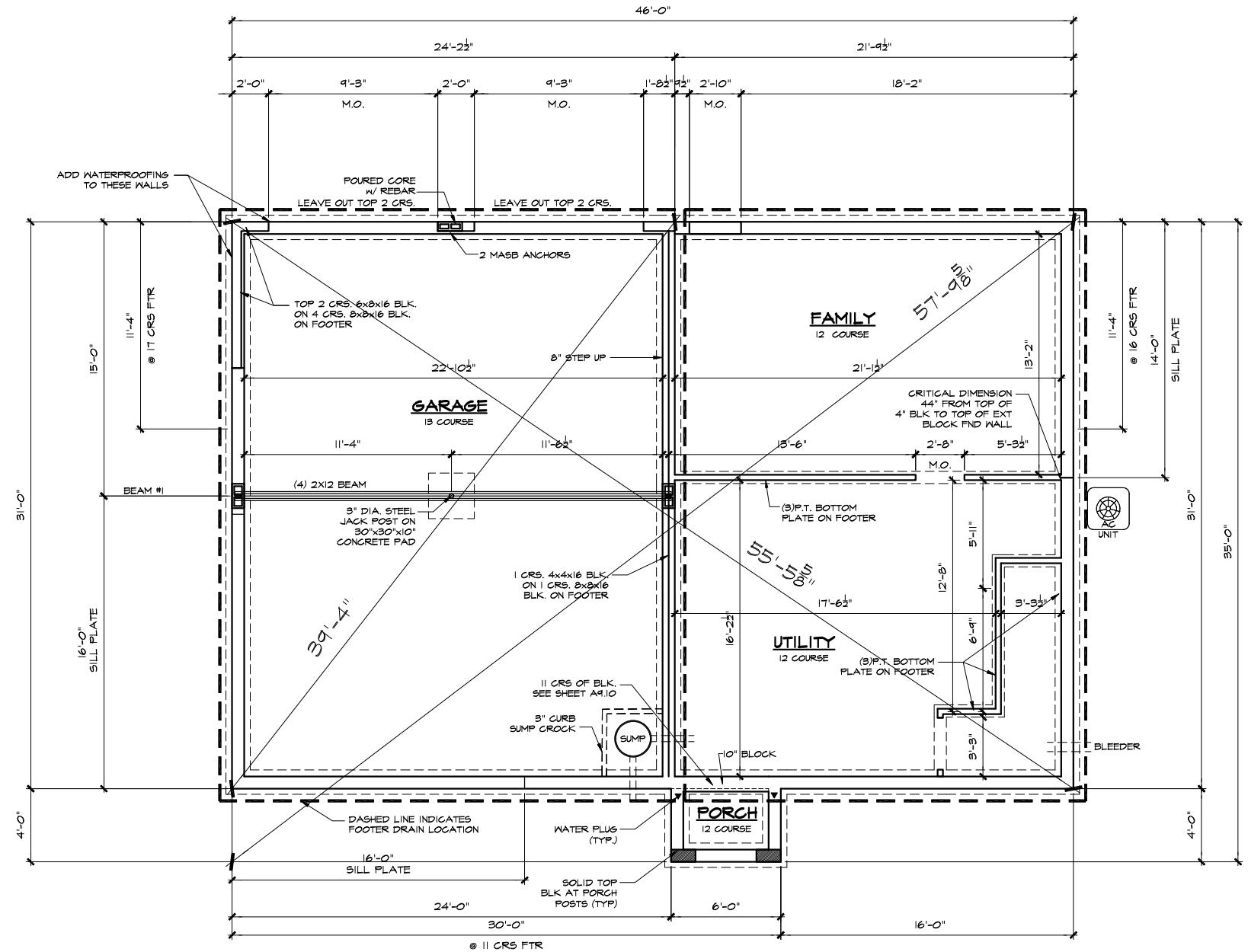
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FOUNDATION PLAN

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CONSTRUCTION NOTES:

GENERAL CONSTRUCTION:

1. THESE PLANS WILL COMPLY WITH 2020 NEC
2. UP TO (2) CONTINUOUS RUN FANS.
3. THESE PLANS WILL COMPLY WITH 2023 NEC.
4. SMOOTH COLONIST INTERIOR DOORS.
5. SWITCHED ATTIC LIGHTS
6. KNOCKDOWN STAMPED CLG. TEXTURE.
- INCLUDES GARAGE & HOUSE CLGS

MASONRY/CONCRETE:

1. BASE BLK UNDER SMALLER BLK AT BLK SIZE TRANSITIONS TO BE SOLID
2. FILTER FABRIC TO BE INCLUDED OVER FOOTER GRAVEL
3. 4 CRS FROST FTR REQUIRED.

FRAMING:

1. ICE AND WATER SHIELD TO BE INSTALLED AT ALL EAVES AND VALLEYS.
2. FIRESTOPPING REQUIRED
3. EXT WALLS BEHIND TUBS/SHOWERS MUST BE INSULATED & COVERED W/ HOUSEWRAP PRIOR TO ROUGH FRAME INSPECTION.
4. USE OSB ON UNDERSIDE OF STRINGERS TO CLOSE OFF.
5. 3'X3' LANDING REQUIRED ON ALL EXT DOORWAYS WHERE FINISHED GRADE IS GREATER THAN 2 RISERS
6. ADD BLOCKING FOR WALL MOUNT LAUNDRY SINK

ANCHOR BOLTS WITHIN 1'-0" OF EACH CORNER AND 12" ON CENTER AT ALL OTHER WALLS. (2) ANCHOR BOLTS TO BE WITHIN 1'-0" OF SILL PLATE SEAMS. NO ANCHOR BOLTS TO BE LOCATED UNDER WINDOWS IN SPLIT LEVEL. ANCHOR BOLT SPACING ON SPLIT/BILEVEL KNEEWALLS PER PRINTS. ANCHOR BOLTS AT O.H. DOORS TO BE SET 8" FROM M.O.

REBAR FOOTLOCK LOOPS TO BE 2'-0" FROM INSIDE CORNERS AND 6'-0" O.C. ON ALL WALLS. (SEE DETAIL FM-09)

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LOWER LEVEL

FLOR PLAN

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SCALE: 1/8" = 1'-0"
SMART STYLE ELEVATION

CONSTRUCTION NOTES:

GENERAL CONSTRUCTION:

1. THESE PLANS WILL COMPLY WITH 2020 NEC
2. UP TO (2) CONTINUOUS RUN FANS.
3. THESE PLANS WILL COMPLY WITH 2023 NEC.
4. SMOOTH COLONIST INTERIOR DOORS.
5. SWITCHED ATTIC LIGHTS
6. KNOCKDOWN STOMPED CLG TEXTURE.
- INCLUDES GARAGE & HOUSE CLGS

MASONRY/CONCRETE:

1. BASE BLK UNDER SMALLER BLK AT BLK SIZE TRANSITIONS TO BE SOLID
2. FILTER FABRIC TO BE INCLUDED OVER FOOTER GRAVEL
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FRAMING:

1. ICE AND WATER SHIELD TO BE INSTALLED AT ALL EAVES AND VALLEYS.
2. FIRESTOPPING REQUIRED
3. EXT WALLS BEHIND TUBS/SHOWERS MUST BE INSULATED & COVERED w/ HOUSEWRAP PRIOR TO ROUGH FRAME INSPECTION.
4. USE OSB ON UNDERSIDE OF STRINGERS TO CLOSE OFF.
5. 3'X3' LANDING REQUIRED ON ALL EXT DOORWAYS WHERE FINISHED GRADE IS GREATER THAN 2 RISERS
6. ADD BLOCKING FOR WALL MOUNT LAUNDRY SINK

This architectural floor plan illustrates the layout and construction details of a house. The overall dimensions are 46'-0" wide by 32'-0" deep. The plan includes the following rooms and features:

- Living Room:** Carpeted, 17'-9" wide by 11'-9" deep. It features a 42" high wood-capped half wall on the right side.
- Kitchen:** Hard surface, 10'-2 1/2" wide by 10'-2 1/2" deep. It includes a range, a 4068 BP (sink), a 4068 BP (stove), a 2460 (pantry), and a flush eat-edge.
- Dining:** Hard surface, 15'-3" wide by 11'-8 1/2" deep.
- Owner Suite:** Carpeted, 12'-7" wide by 13'-0" deep. It includes a walk-in closet (WIC) with carpet, a 60' store & share, and a 6068 BP (bathtub).
- Bedroom 2:** Carpeted, 12'-7" wide by 10'-0" deep.
- Bedroom 3:** Carpeted, 10'-4" wide by 10'-4" deep.
- Porch:** Concrete, 6'-0" wide by 4'-0" deep. It features a 6" sq vinyl wrap post or 6x6 pt post on standoff.
- Other:** Includes a central hall, a 3030 SH (shower), a 3450 SH (shower), and a 3450 DH (shower).

Construction details and notes include:

- Locate supply line for water closet in 48" high half wall.
- 12" cantilever below insulate and housewrap (typical).
- 48" OSB (outer sheathing) is used for exterior walls.
- 3030 SH (shower) is located in the central hall.
- 3450 SH (shower) is located in the central hall.
- 3450 DH (shower) is located in the central hall.
- 4068 BP (sink) and 4068 BP (stove) are located in the kitchen.
- 2460 (pantry) is located in the kitchen.
- 12'-0" and 11'-0" dimensions are indicated for various sections of the house.
- SD (soil drain) and CO (copper) are marked for plumbing fixtures.
- Carpeting is specified for the Owner Suite, Bedroom 2, Bedroom 3, and the Living Room.
- Hard surface is specified for the Kitchen, Dining, and Porch.
- Wood capped 48" 1/2 wall is specified for the Owner Suite and the central hall.
- 42" high wood-capped half wall is specified for the Living Room.
- 6" sq vinyl wrap post or 6x6 pt post on standoff is specified for the Porch.
- Tie (2) 2x6 HDR into side walls is specified for the Porch.
- Locate supply line for water closet in 48" high half wall.
- 12" cantilever below insulate and housewrap (typical).

SCALE: 1/8" = 1'-0"
SMART STYLE ELEVATION

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CONSTRUCTION NOTES:

GENERAL CONSTRUCTION:

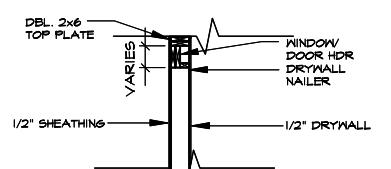
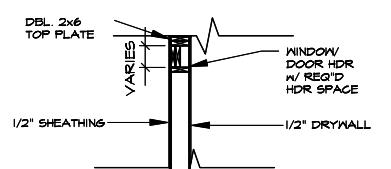
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- INCLUDES GARAGE & HOUSE CLGS

MASONRY/CONCRETE:

1. BASE BLK UNDER SMALLER BLK AT BLK SIZE TRANSITIONS TO BE SOLID
2. FILTER FABRIC TO BE INCLUDED OVER FOOTER GRAVEL
3. 4 CRS FROST FTR REQUIRED

FRAMING

1. ICE AND WATER SHIELD TO BE INSTALLED AT ALL EAVES AND VALLEYS.
2. FIRESTOPPING REQUIRED
3. EXT WALLS BEHIND TUBS/SHOWERS MUST BE INSULATED & COVERED w/ HOUSEWRAP PRIOR TO ROUGH FRAME INSPECTION.
4. USE OSB ON UNDERSIDE OF STRINGERS TO CLOSE OFF.
5. 3'x3' LANDING REWIRED ON ALL EXT DOORWAYS WHERE FINISHED GRADE IS GREATER THAN 2 RISERS
6. ADD BLOCKING FOR WALL MOUNT LAUNDRY SINK.



2x6 HEADER DETAILS

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THE WYNE HOMES.

Georgetown II

JOHN & BARBAR EMIG
241 RAVENNA ST
HUDSON, OH 44236

POR #4978

FIRST FLOOR PLAN

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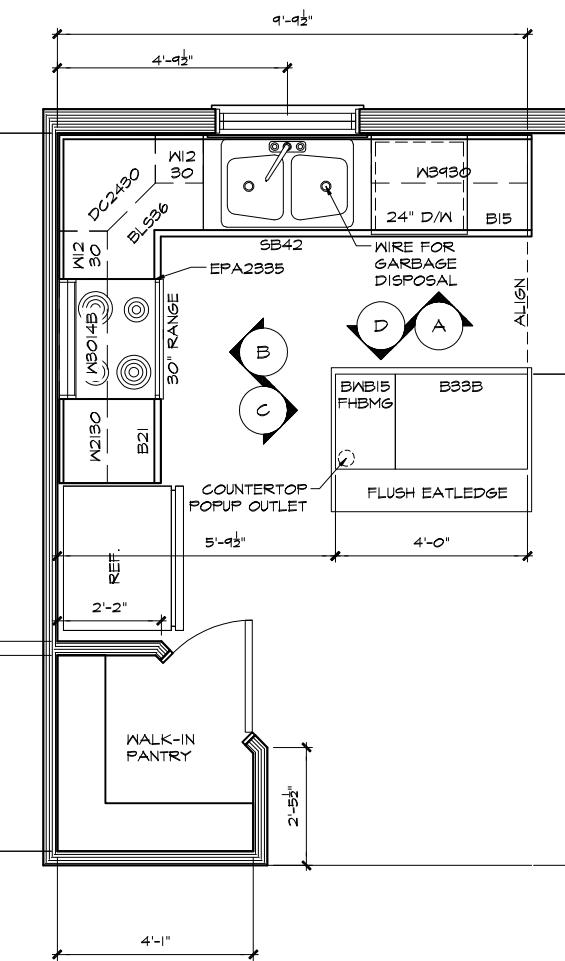
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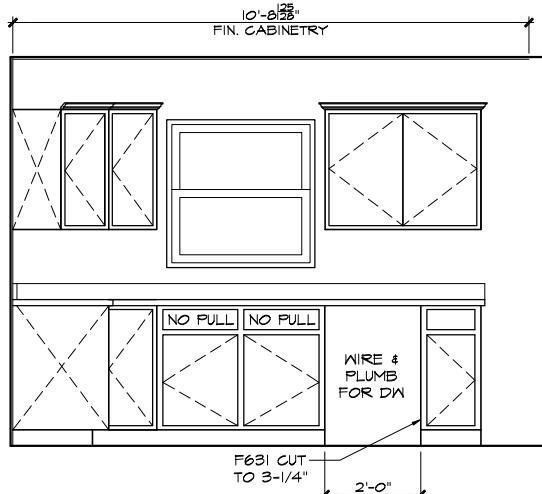
KITCHEN PLAN AND CABINETRY DETAILS

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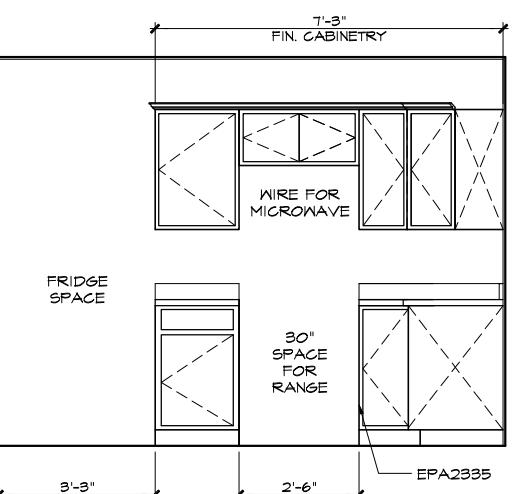


KITCHEN PLAN

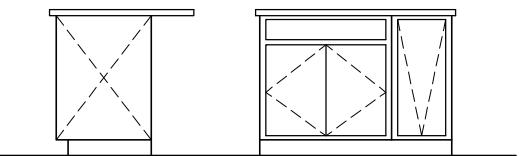
SCALE: 1/4" = 1'-0"



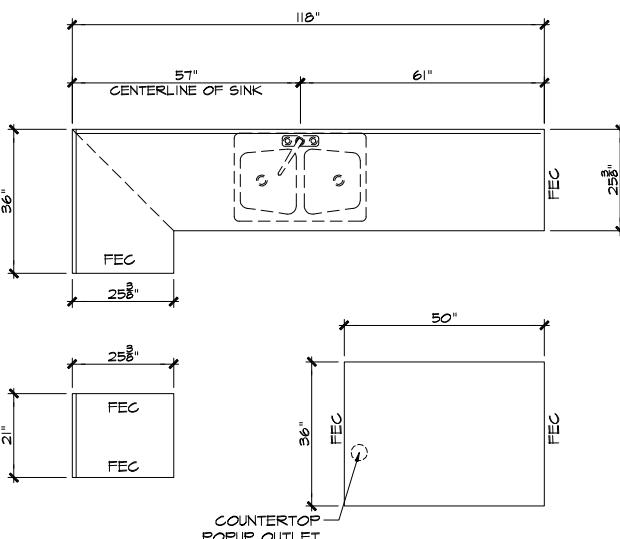
A CABINET ELEVATION



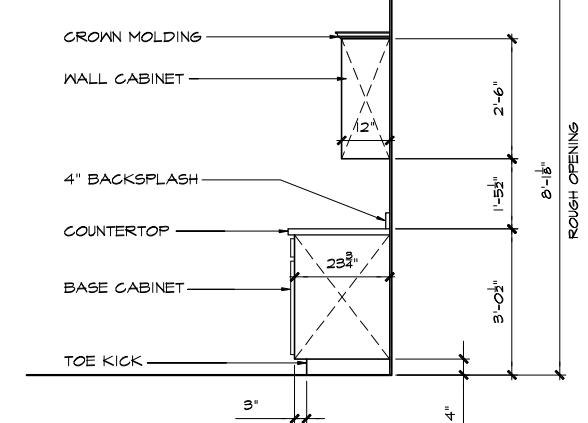
B CABINET ELEVATION



C CABINET ELEVATION



COUNTERTOP LAYOUTS



CABINET SECTION

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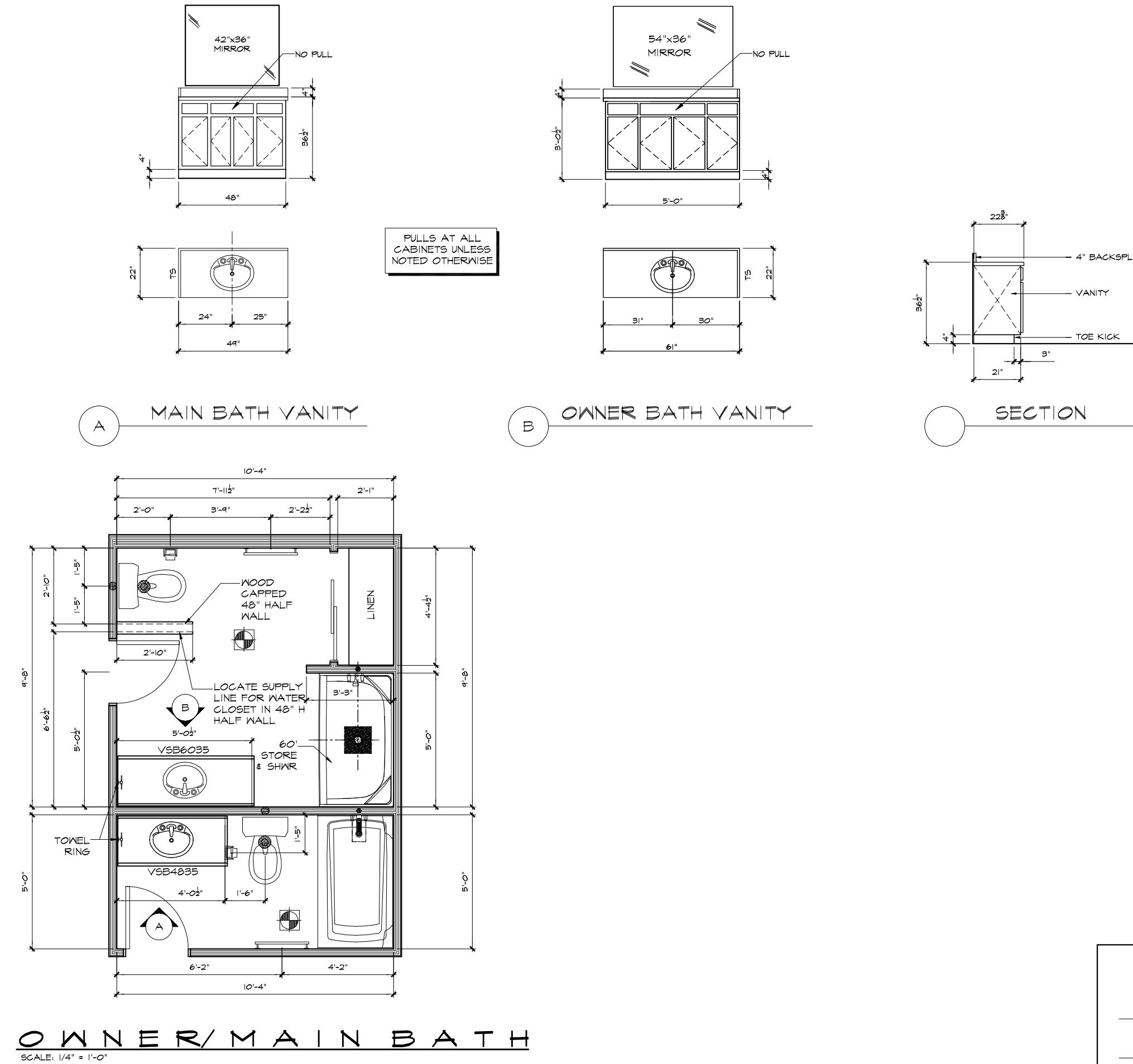
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BATH PLAN AND CABINETRY DETAILS



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ABBREVIATIONS

A/C	AIR CONDITIONING	FT	FOOT/FEET	PVMT	PAVEMENT
AB	ANCHOR BOLT	FTG	FOOTING	QT	QUARRY TILE
ABV	ABOVE	FUR	FURRED(ING)	RA	RAILS, RIGER OR ROD
ACT	ACTUAL	FURN	FURNACE	RA	RETURN AIR
ADR	AFRON DRAWER	FIX	FIXED	RD	ROOF DRAIN
ADH	ADHESIVE	GA	GAUGE	REC	RECREATION, RECESSED
ADJ	ADJUSTABLE	GAR	GARAGE	REC'D	RECEIVED
AFF	ABOVE FINISH FLOOR	GC	GENERAL CONTRACT(OR)	REFR	REFRIGERATOR
AGG	AGGREGATE	GFI	GROUND FAULT INTERRUPTER	REFR	REFERENCE
ALT	ALTERNATE	GI	GALVANIZED IRON	REINF	REINFORCED(ING)
ARCH	ARCHITECTURAL	GL	GLASS, GLAZING	REQ'D	REQUIRED
ASPH	ASPHALT	GL BLK	GLASS BLOCK	RES	RESILIENT
AUTO	AUTOMATIC	GR	GREAT ROOM	REV	REVISIONS), REVISED
AWN	AWNINGS	GWB	GYPSUM WALLBOARD	RFG	ROOFING
BA	BATH	HB	HOLLOW CORE	RI	ROUGH-IN
BD	BOARD	HC	HEADER	RIB	REINFORCED JUNCTION BOX
BF	BIFOLD	HDR	HARDWARE	RL	RAILING
BIT	BITUMINOUS	HDW	HARDWARE	RM	ROOM
BLDG	BUILDING	HMT	HOLLOW METAL	RNG	RANGE
BLK	BLOCK	HORIZ	HORIZONTAL	RD	ROUGH OPENING
BLKG	BLOCKING	HT	HEAT DUMP	ROW	RIGHT OF WAY
BN	BEAN	HTR	HEATER	SC	SOLID CORE
BOT	BOTTOM	HVAC	HEATING/VENTILATING/AIR COND	SCHED	SCHEDULE
BP	BIPASS	ID	INSIDE DIAMETER	SECT	SECTION
BR	BEDROOM	INSUL	INSULATED(ED)(ION)	SGD	SLIDING GLASS DOOR
BRG	BEARING	INT	INTERIOR	SH	SHELF, SHELVING OR SINGLE HUNG
BRK	BRICK	ISL.O.	IN SIDE LOOKING OUT	SHT	SHEET
BRKF	BREAKFAST	JST	JOIST	SHTH	SHEATHING
BSMT	BASEMENT	KT	JOINT	SIM	SIMILAR
BVL	BEVELED	KIT	KITCHEN	SPEC	SPECIFICATIONS
CAB	CABINET	LAM	LAMINATED	SPKR	SPEAKER
CMD	CARBON MONOXIDE DETECTOR	LAUN	LAUNDRY	SQ	SQUARE
CEM	CEMENT	LAV	LAVATORY	SQFT	SQUARE FEET (FOOT)
CER	CERAMIC	LIV	LIVING	SQIN	SQUARE INCHES
CI	CAST IRON	LL	LIVE LOAD	SST	STAINLESS STEEL
CIR	CIRCLE	LNTL	LINTER	STD	STANDARD
CLG	CONTROL JOINT	LVL	LIGHT	STL	STEEL
CLK	CEILINGS	LVR	LUMIN	STO	STORAGE
CRN	CAULKING	MAS	LOUVER	STOR	STORAGE
CM	CONCRETE MASONRY UNIT	MATL	MASONRY	STRUCT	STRUCTURAL
COL	COMBINATION	MAX	MATERIAL	SUSP	SUSPENDED
COMB	CONCRETE	MBA	MAXIMUM	T & G	TONGUE AND GROOVE
CONG	CONSTRUCTION	MBR	MASTER BATH	T/	TOP
CONSTR	CONTINUOUS	MC	MASTER BEDROOM	TB	TOWEL BAR
CONTR	CONTRACTOR	MECH	MEDICINE CABINET	TEL	TELEPHONE
CPT	CARPET	MFR	MECHANICAL	THK	THICKNESS
CRS	COURSE(S)	MH	MANUFACTURER	THR	THRESHOLD
CSMT	CASEMENT	MIN	MANHOLE	TOC	TOP OF CONCRETE
CT	CERAMIC TILE	MIR	MINIMUM	TOF	TOP OF FOUNDATION
CU FT	CUBIC FOOT	MISC	MIRROR	TP	TOILET PAPER HOLDER
CU YD	CUBIC YARD	MLDG	MISCELLANEOUS	TRD	TREAD
DED	DEDICATED	MM	MOLDING, MOULDING	TRPL	TRIPLE
DET	DETAIL	MO	MILLIMETER	TV	TELEVISION
DH	DOUBLE HUNG	MOD	MASONRY OPENING	TYP	TYPE
DIA	DIA	MUL	MULTULAR	UNF	UNFCHED
DM	DIMETER	MNG	MOUNTED(ING)	UTIL	UTILITIES
DN	DEPL LOAD	MTL	METAL	UC	UTILITY CABINET
DR	DOWN	MULL	MULLION	V	VANITY
DS	DOOR	NIC	NOT IN CONTRACT	VB	VAPOR BARRIER
DW	DOWNSPOUT	NOM	NOMINAL	VERT	VERTICAL
EA	DISH WASHER	NTS	NOT TO SCALE	VIN	VINYL
ELEC	EACH	OA	OVERALL	VNR	VENEEER
ELEV	ELECTRICAL	OC	ON CENTER	VP	VAPOR PROOF
ENT	ELEVATION	OH	OVERHEAD	VT	VINYL TILE
EQ	ENTRY	OHD	OVERHEAD DOOR	W/	WITH
EST	ESTIMATE	OPT	OPTION(AL)	W/O	WITHOUT
EXH	EXHAUST	OSL.I.	OUT SIDE LOOKING IN	WC	WATER CLOSET
EXT	EXISTING	PAR	PARALLEL	WD	WOOD
EXT	EXTERIOR	PCH	PULL CHAIN	WF	WIDE FLANGE
FAM	FAMILY	PDR	PONDER ROOM	WH	WATER HEATER
FBO	FUNISHED BY OTHERS	PED	PEDESTAL	WI	WIRING IRON
FD	FOOT DRAIN	PERI	PERIMETER	WIC	WALK IN CLOSET
FDN	FOUNDATION	PT	PIPE	WIN	WINDOW
FIN	FINISH	PLAS	PLASTER	WLC	WALK-OUT
FLASH	FLASHING	PNL	PANEL	WP	WATER PROOF
FUR	FLOOR(ING)	PNTL	PAINTED(ED)	WS	WATER SOFTNER
FLUOR	FLUORESCENT	PREFAB	PREFABRICATE(D)	WSCT	WAINSCOT
FO	FACE OF	PSF	POUNDS PER SQUARE FOOT	WAF	WELDED WIRE FABRIC
FP	FIREPLACE	PSI	POUNDS PER SQUARE INCH	WAM	WELDED WIRE MESH
FPHB	FROST PROOF HOSE BIB	PSL	PARALLEL STAND LUMBER		
		PT	PRESSURE TREATED		
		PTN	PARTITION		
		PV	PAVED(ING)		
		PVC	POLYVINYLL CHLORIDE		



DESIGN CRITERIA / CODE COMPLIANCE

THESE PLANS ARE TO COMPLY WITH:

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A-1.20	WINDOW SCHEDULE
A-2.20	FOUNDATION PLAN
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A-2.30	FOUNDATION ELECTRICAL PLAN
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A-3.20	LOWER LEVEL FLOOR PLAN
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A-3.30	LOWER LEVEL ELECTRICAL PLAN
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A-4.00	FIRST FLOOR FRAMING PLAN
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A-4.21	FIRST FLOOR DETAILS
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A-5.00	SECOND FLOOR FRAMING PLAN
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A-5.40	SECOND FLOOR MECHANICAL PLAN
A-6.00	ROOF FRAMING PLAN
A-7.10	FRONT/ REAR ELEVATIONS
A-7.11	LEFT/ RIGHT ELEVATIONS
A-7.21	MISC. EXTERIOR DETAILS
A-8.10	KITCHEN PLAN
A-8.20	BATH PLAN
A-8.30	LAUNDRY PLAN
A-9.10	BUILDING SECTION
A-9.11	ALTERNATE BUILDING SECTION

Georgetown II

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JOHN & BARBAR EMIG

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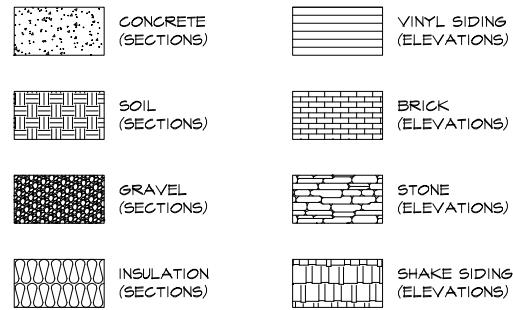
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GRAPHIC LEGEND



SQUARE FOOTAGE SUMMARY

LOWER FLOOR AREA	O S.F.
OPTIONAL FINISHED BSMT AREA	O S.F.
FIRST FLOOR AREA	O S.F.
SECOND FLOOR AREA	O S.F.
TOTAL FINISHED AREA	O S.F.
GARAGE AREA	O S.F.

CHANGE ORDER SUMMARY

PRELIMS COMPLETED THRU CHANGE ORDER #	PRELIM PRINT
PERMS COMPLETED THRU CHANGE ORDER #	REVIEWED & APPROVED
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GENERAL NOTES

FOUNDATION NOTES

1. STOOP TIE INTO BASEMENT WALL WITH (2) PIECES OF DUROWALL AT 5th AND 6th COURSES.
2. PORCHES LACED INTO BASEMENT WALL PER DETAIL FM-2.
3. (2) ANCHOR BOLTS WITHIN 1'-0" OF EACH CORNER AND 72" ON CENTER AT ALL OTHER WALLS. (2) ANCHOR BOLTS TO BE WITHIN 1'-0" OF SILL PLATE SEAMS. MIN (2) ANCHOR BOLTS PER PLATE. NO ANCHOR BOLTS TO BE LOCATED UNDER WINDOWS IN SPLIT LEVEL. ANCHOR BOLT SPACING ON SPLIT/BILEVEL KNEEWALLS PER PRINTS. ANCHOR BOLTS AT O.H. DOORS TO BE SET 8" FROM M.O. 1/2" ANCHOR BOLTS USED AND INSTALLED MINIMUM 7" IN MASONRY/CONCRETE
4. ADD WATER PLUG (SINGLE CELL) Poured CORE TO THE END OF ALL BULKHEADS AND LINTELS. (REFER TO LEGEND FOR SYMBOL)
5. 6 MIL VAPOR BARRIER TO BE INSTALLED BENEATH ALL CONCRETE SLABS.
6. Poured CORES CONSIST OF, (2) FILLED CELLS W/ (1) #4 PER CELL, EACH, UNLESS OTHERWISE NOTED.

FRAMING NOTES

1. DOUBLE STUDS AT INTERIOR BEARING WALLS (1) STUD TO SUPPORT EACH JOIST AT HEAT RUNS.
2. USE JOIST HANGERS WHERE NO SOLID BEARING IS PROVIDED.
3. ADD DOUBLE 2x10 BLOCKING UNDER ALL JACK AND KING STUDS AT ALL BEARING WALL OPENINGS
4. HOUSE AND GARAGE SILL PLATES OFFSET 1/2" FROM OUTSIDE FOUNDATION WALL SO SHEATHING WILL BE FLUSH WITH FOUNDATION WALL, UNLESS OTHERWISE NOTED.
5. LVL NAILING PATTERN TO BE INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. 4 PLY OR LARGER NEEDS TO BE NAILED OR SCREWED PER PATTERN.
6. ADD 2x10 HORIZONTAL BLOCKING BETWEEN STUDS IN THESE LOCATION (TOP, MIDDLE, BOTTOM) OF STAIRWAY FOR HANDRAIL BRACKETS. BLOCKING TO BE INSTALLED IN FULL WALL OR OPPOSITE/RAIL AREA.
7. INSTALL 1x6 BLOCKING ON TOP PLATE OF ALL INTERIOR WALLS PERPENDICULAR TO TRUSSES IN THE MIDDLE THIRD OF THE TRUSS SPAN PER DETAIL SM-1.
8. INTERIOR TOP PLATES OF INTERSECTING WALLS NEED TO BE TIED IN.
9. ALL TRUSSES MUST BE INSTALLED AND BRACED ACCORDING TO MANUFACTURER'S INSTALLATION INSTRUCTION THAT ARE LEFT WITH TRUSS LOAD.
10. TRUSSES AND TRUSS WEBS ARE NEVER TO BE CUT OR ALTERED WITHOUT APPROVED ENGINEERING FROM BUILDER.
11. NO WOODEN SHIMS ARE TO BE USED UNDER ANY BEAMS (ONLY METAL SHIMS).
12. 1x4 #3 PINE STARTER STRIP IS TO BE USED AT THE BACK OF THE FLOORING LAYOUT PER DETAIL SF-3.

INSULATION NOTES

1. INSTALL R-7 INSULATION BETWEEN 2x2 FURRING STRIPS ON FOUNDATION WALLS, WHEN APPLICABLE. USE R-13 BATT SPLIT IN HALF.

EXTERIOR ENVELOPE QUALITY

1. INSTALL PAN FLASHING UNDER ALL EXTERIOR DOORS EXCEPT FOR GARAGE/HOUSE AND GARAGE SERVICE DOOR PER DETAIL.
2. INSTALL 24" PVC BLACK PORCH FLASHING PER DETAIL.
3. ALL EXTERIOR WALLS COVERED W/HOUSEWRAP IN A SHINGLE AFFECT.
4. ALL WINDOWS TO BE INSTALLED, CAULKED AND TAPEDED PER DETAILS.
5. INSTALL PATIO DOOR PAN FLASHING PER DETAIL.
6. INSULATE AND HOUSE WRAP ALL CANTILEVERS PER DETAIL.
7. CORNER STEP FLASHING IS TO BE INSTALLED ON ALL WALLS PROTRUDING THROUGH ROOF.
8. BRICK FLASHING AND WEEP HOLES INSTALLED PER DETAIL.
9. VINYL J-BLOCKS ARE TO BE USED AT ALL EXTERIOR LIGHT FIXTURES, METER BASES, HOSE BIBS, DISCONNECTS AND A/C OR H/P ELECTRICAL HOOK-UPS.
10. ALL PENETRATIONS WITHOUT J-BLOCK ARE TO HAVE DUCT SEAL INSTALLED.
11. FINAL ROUGH GRADE TO BE SLOPED TO TAKE WATER AWAY FROM FOUNDATION IN ALL DIRECTIONS. SLOPE OF GRADE MUST BE AT MINIMUM OF 6" EVERY 10'.

FINISHES

1. TOWEL BAR HEIGHT TO BE 46" FROM FLOOR.
2. PAPER HOLDER HEIGHT TO BE 24" FROM FLOOR.
3. TOWEL RING TO BE MOUNTED AT 60" ABOVE FINISHED FLOOR.

JOB SPECIFIC

- 1.

PRELIM VERIFY NOTES

1. VERIFY LOCATION OF FURNACE MUST REMAIN DUE TO THE STAIR PLACEMENT AND HOW THE TRUNK LINE NEED TO RUN ACROSS THE HOME.
2. VERIFY THE STRAIGHT RUN STAIR REQUIRED A LANDING AT THE BOTTOM WHICH MADE MORE OF AN L-SHAPE IN THE UTILITY SPACE.
3. VERIFY FLOORING SQUARE WAS ADDED AT FRONT DOOR SINCE THE FOYER HAS BEEN ELIMINATED AND IS NOW LOCATED IN THE GREAT RM SPACE WHICH IS CARPET. DRAWN AS A 6'x4' SPACE.
4. VERIFY GREAT RM FRONT WINDOWS WERE ADJUSTED FOR THE STRAIGHT RUN STAIR.
5. VERIFY 1' WAS ADDED TO FRONT OF THE FOUNDATION OF THE HOME. THIS IS DUE TO THE GRADE ADJUSTMENT AND DESIGN CHANGES. THE FRONT WALL OF THE HOME NEEDED SUPPORTED WITHOUT THE USE OF THE CANTILEVER THAT WAS ORIGINALLY THERE. ADJUST CONTRACT AS NEEDED.

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FOR #4978

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FRONT & REAR ELEVATIONS

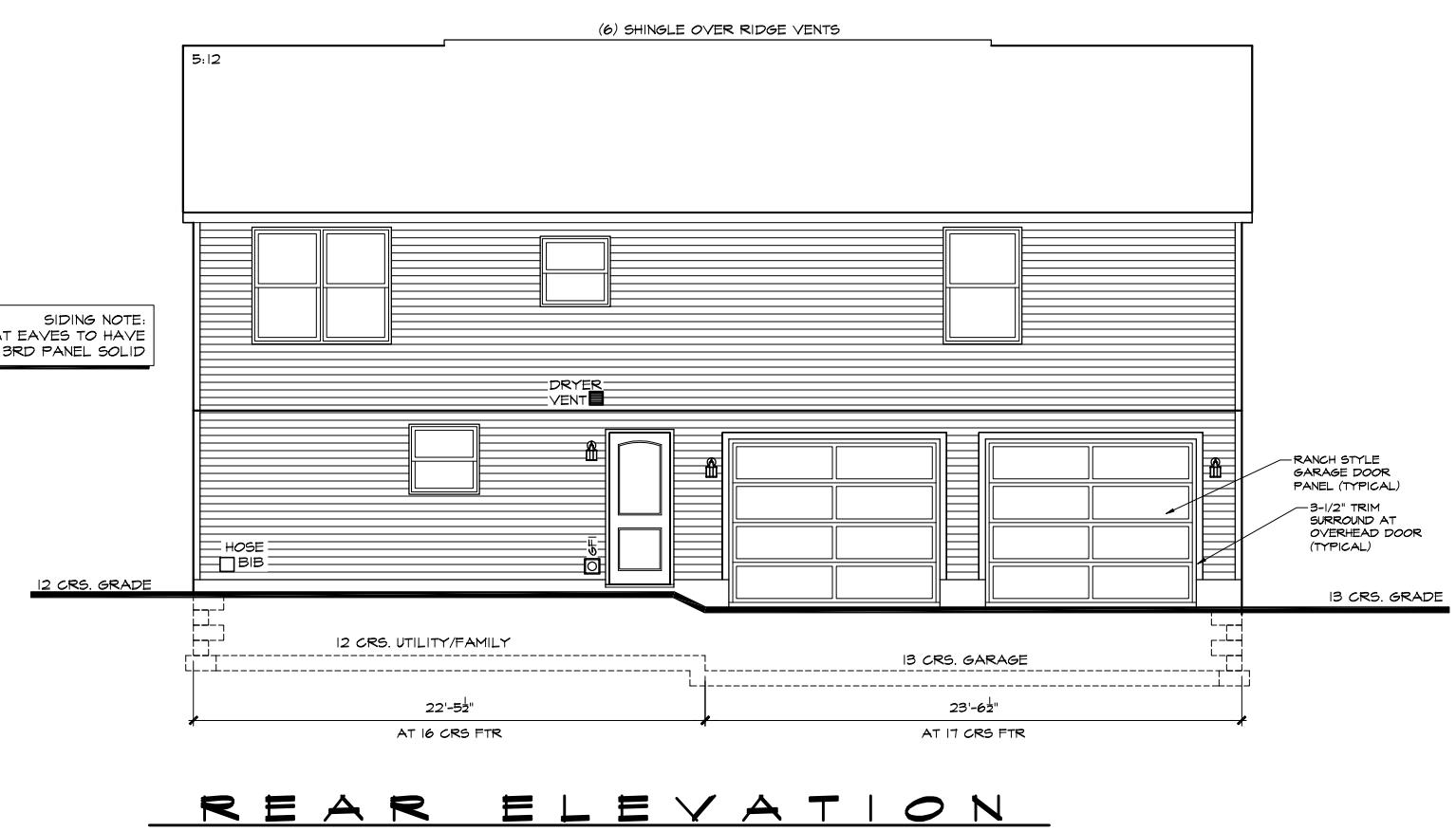
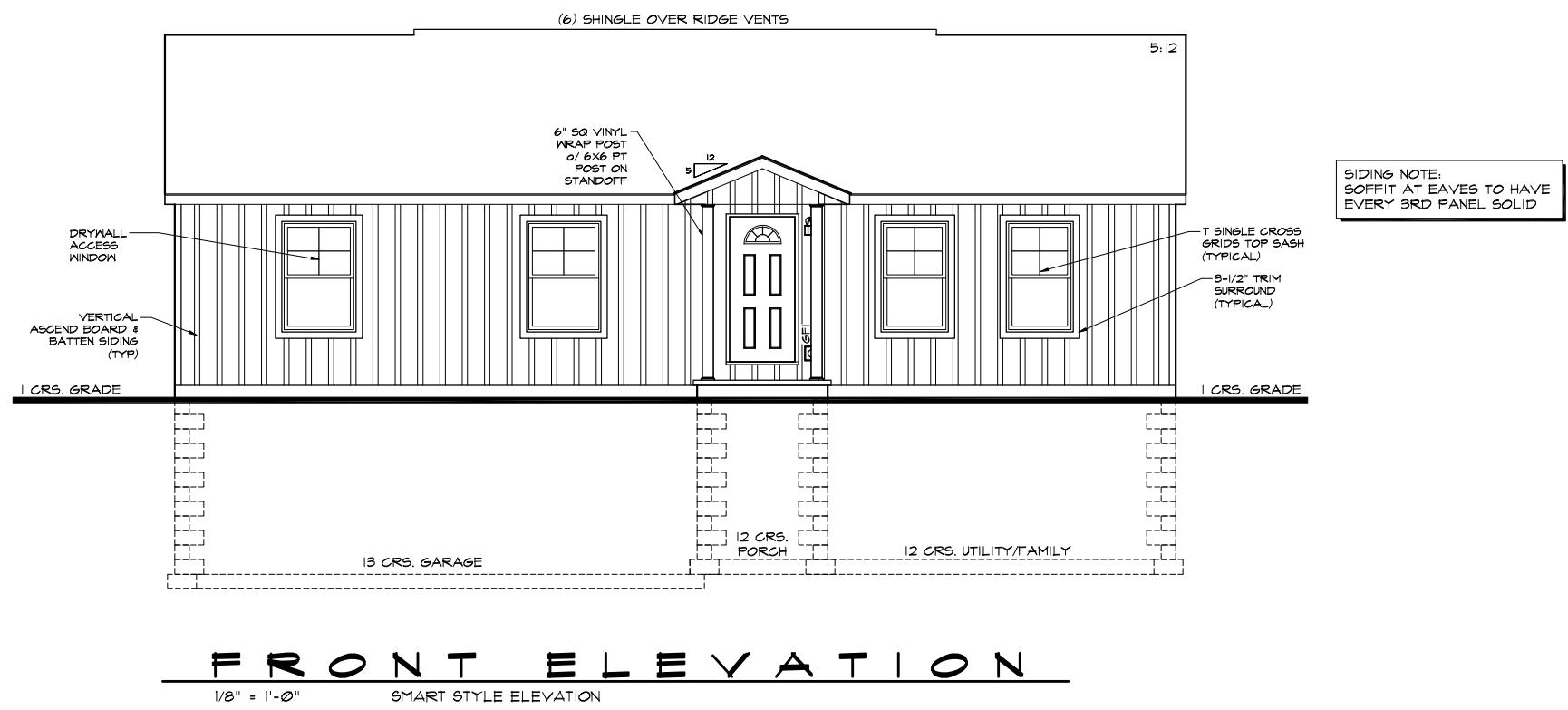
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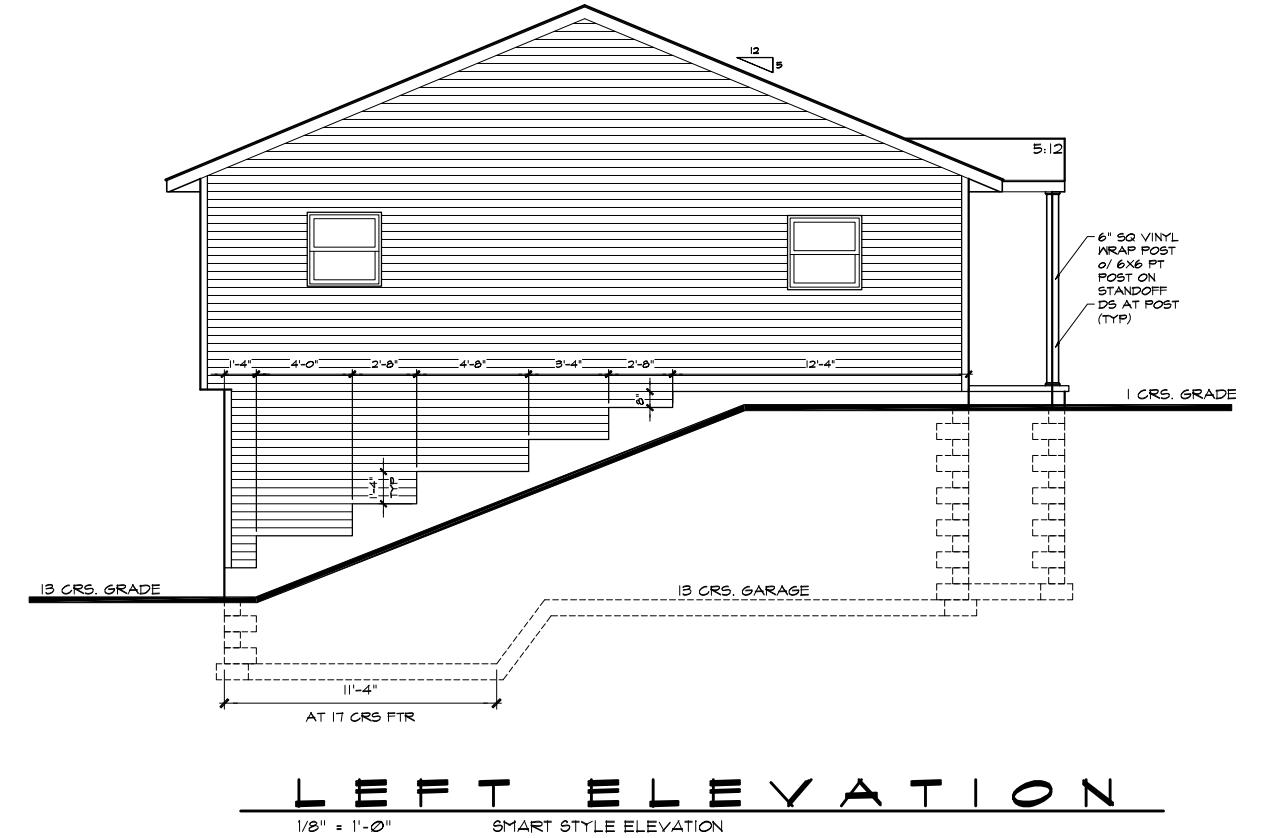
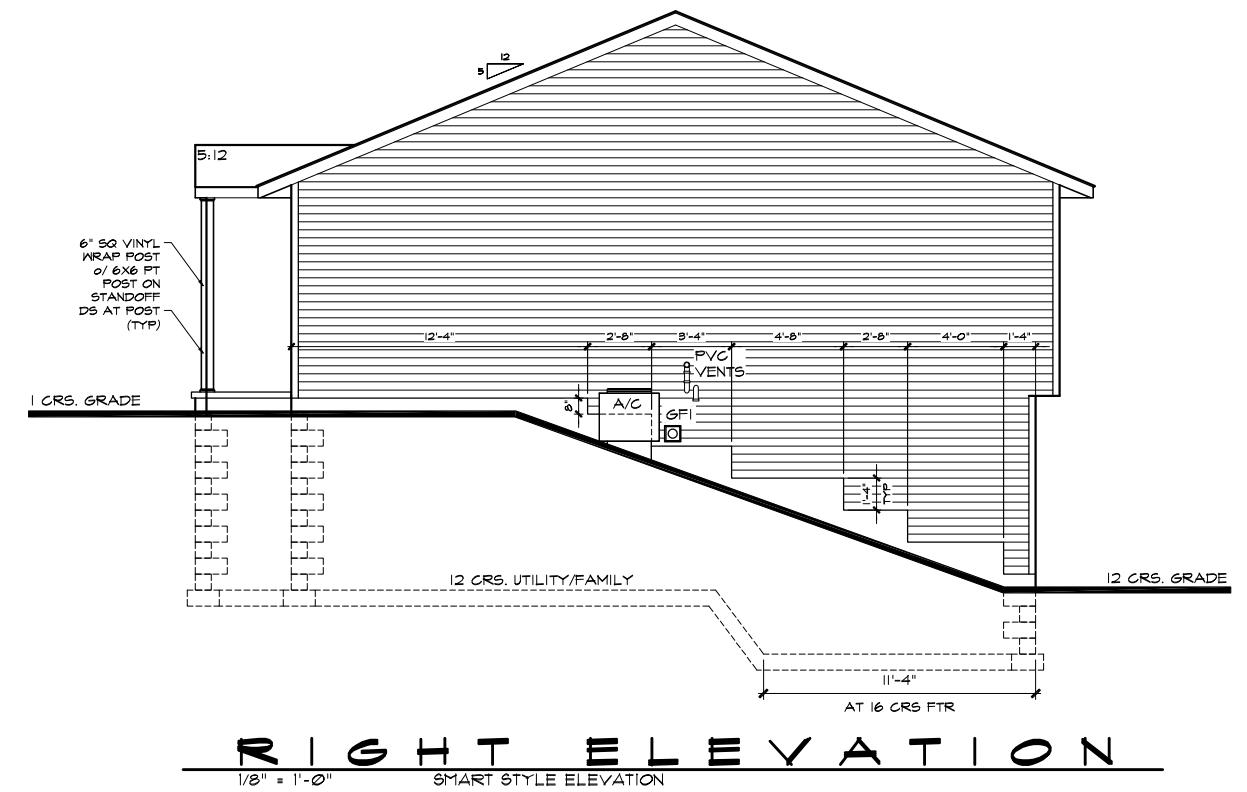
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RIGHT & LEFT ELEVATIONS

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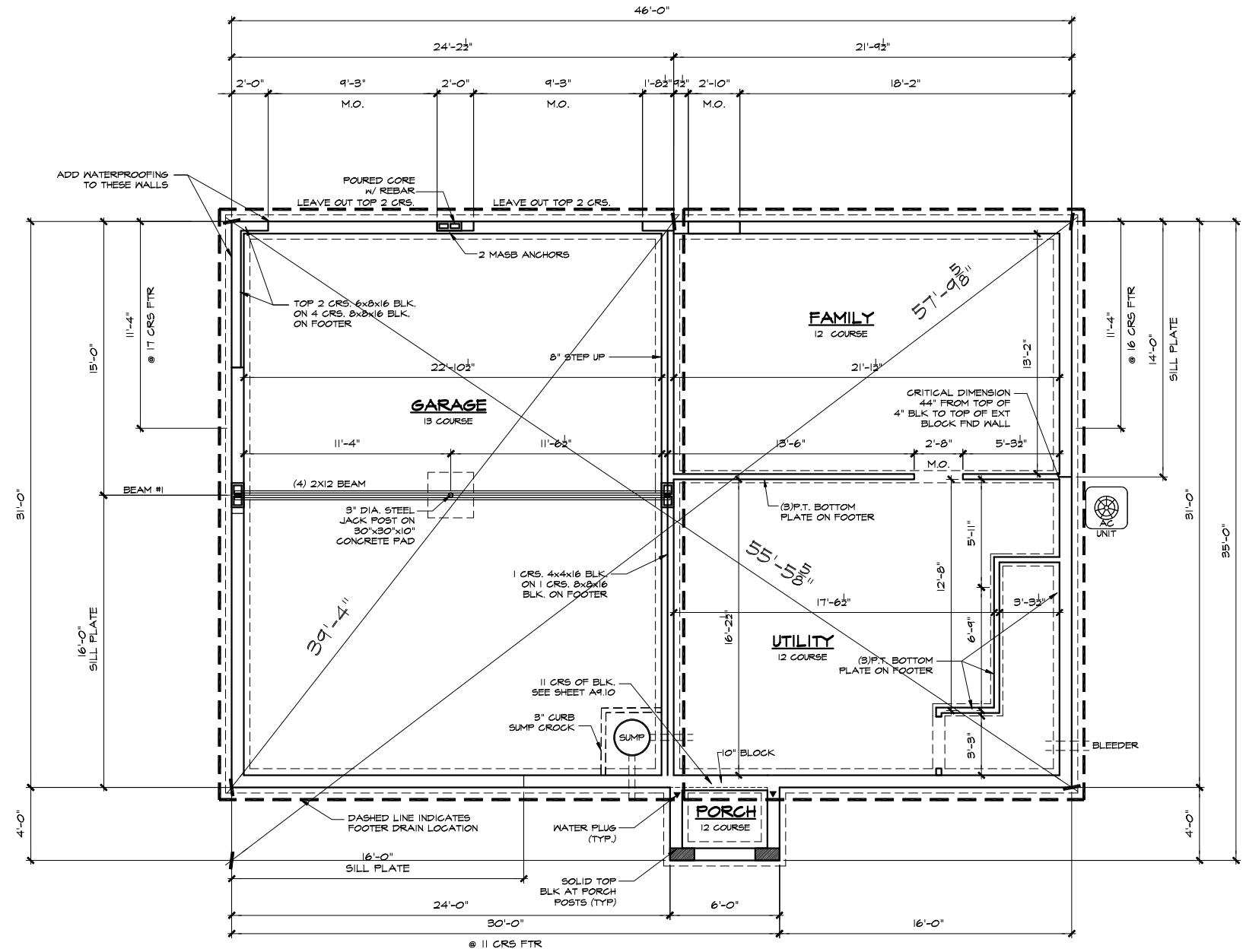
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FOUNDATION PLAN

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5. 3'X3' LANDING REQUIRED ON ALL EXT DOORWAYS WHERE FINISHED GRADE IS GREATER THAN 2 RISERS
6. ADD BLOCKING FOR WALL MOUNT LAUNDRY SINK

ANCHOR BOLTS WITHIN 1'-0" OF EACH CORNER AND 12" ON CENTER AT ALL OTHER WALLS. (2) ANCHOR BOLTS TO BE WITHIN 1'-0" OF SILL PLATE SEAMS. NO ANCHOR BOLTS TO BE LOCATED UNDER WINDOWS IN SPLIT LEVEL. ANCHOR BOLT SPACING ON SPLIT/BILEVEL KNEEWALLS PER PRINTS. ANCHOR BOLTS AT O.H. DOORS TO BE SET 8" FROM M.O.

REBAR FOOTLOCK LOOPS TO BE 2'-0" FROM INSIDE CORNERS AND 6'-0" O.C. ON ALL WALLS. (SEE DETAIL FM-09)

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revisions:	
date:	drawn by



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PRELIM PRINT
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This architectural floor plan illustrates the layout and construction details of a house. The overall dimensions are 46'-0" wide by 32'-0" deep. The plan includes the following rooms and features:

- Living Room:** Carpeted, 17'-9" wide by 11'-9" deep. It features a 42" high wood-capped half wall on the right side.
- Kitchen:** Hard surface, 10'-2 1/2" wide by 10'-2 1/2" deep. It includes a range, a 4068 BP (sink), a 4068 BP (stove), a 2460 (pantry), and a flush eat-edge.
- Dining:** Hard surface, 15'-3" wide by 11'-8 1/2" deep.
- Owner Suite:** Carpeted, 12'-7" wide by 13'-0" deep. It includes a walk-in closet (WIC) with carpet, a 60' store & share, and a 6068 BP (bathtub).
- Bedroom 2:** Carpeted, 12'-7" wide by 10'-0" deep.
- Bedroom 3:** Carpeted, 10'-4" wide by 10'-4" deep.
- Porch:** Concrete, 6'-0" wide by 4'-0" deep. It features a 6" sq vinyl wrap post or 6x6 pt post on standoff.
- Other:** Includes a central hall, a 3030 SH (shower), a 3450 SH (shower), and a 3450 DH (shower).

Construction details and notes include:

- Locate supply line for water closet in 48" high half wall.
- 12" cantilever below insulate and housewrap (typical).
- 48" OSB (outer sheathing) is used for exterior walls.
- 3030 SH (shower) is located in the central hall.
- 3450 SH (shower) is located in the central hall.
- 3450 DH (shower) is located in the central hall.
- 4068 BP (sink) and 4068 BP (stove) are located in the kitchen.
- 2460 (pantry) is located in the kitchen.
- 12'-0" and 11'-0" dimensions are indicated for various sections of the house.
- SD (soil drain) and CO (copper) are marked for plumbing fixtures.
- Carpeting is specified for the Owner Suite, Bedroom 2, Bedroom 3, and the Living Room.
- Hard surface is specified for the Kitchen, Dining, and Porch.
- Wood capped 48" 1/2 wall is specified for the Owner Suite and the central hall.
- 42" high wood-capped half wall is specified for the Living Room.
- 6" sq vinyl wrap post or 6x6 pt post on standoff is specified for the Porch.
- Tie (2) 2x6 HDR into side walls is specified for the Porch.
- Locate supply line for water closet in 48" high half wall.
- 12" cantilever below insulate and housewrap (typical).

SCALE: 1/8" = 1'-0"
SMART STYLE ELEVATION

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CONSTRUCTION NOTES:

GENERAL CONSTRUCTION:

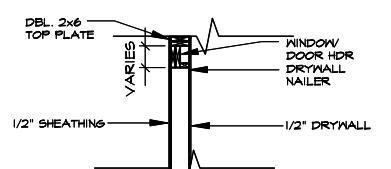
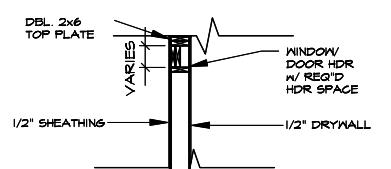
1. THESE PLANS WILL COMPLY WITH 2020 NEC
2. UP TO (2) CONTINUOUS RUN FANS.
3. THESE PLANS WILL COMPLY WITH 2023 NEC.
4. SMOOTH COLONIST INTERIOR DOORS.
5. SWITCHED ATTIC LIGHTS
6. KNOCKDOWN STOMPED CLG TEXTURE.
- INCLUDES GARAGE & HOUSE CLGS

MASONRY/CONCRETE:

1. BASE BLK UNDER SMALLER BLK AT BLK SIZE TRANSITIONS TO BE SOLID
2. FILTER FABRIC TO BE INCLUDED OVER FOOTER GRAVEL
3. 4 CRS FROST FTR REQUIRED

FRAMING

1. ICE AND WATER SHIELD TO BE INSTALLED AT ALL EAVES AND VALLEYS.
2. FIRESTOPPING REQUIRED
3. EXT WALLS BEHIND TUBS/SHOWERS MUST BE INSULATED & COVERED w/ HOUSEWRAP PRIOR TO ROUGH FRAME INSPECTION.
4. USE OSB ON UNDERSIDE OF STRINGERS TO CLOSE OFF.
5. 3'x3' LANDING REWIRED ON ALL EXT DOORWAYS WHERE FINISHED GRADE IS GREATER THAN 2 RISERS
6. ADD BLOCKING FOR WALL MOUNT LAUNDRY SINK.



2x6 HEADER DETAILS

WAYNE HOMES

THE WYNE HOMES.

Georgetown II

JOHN & BARBAR EMIG
241 RAVENNA ST
HUDSON, OH 44236

POR #4978

FIRST FLOOR PLAN

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A standard 1D barcode is positioned vertically on the left side of the page.

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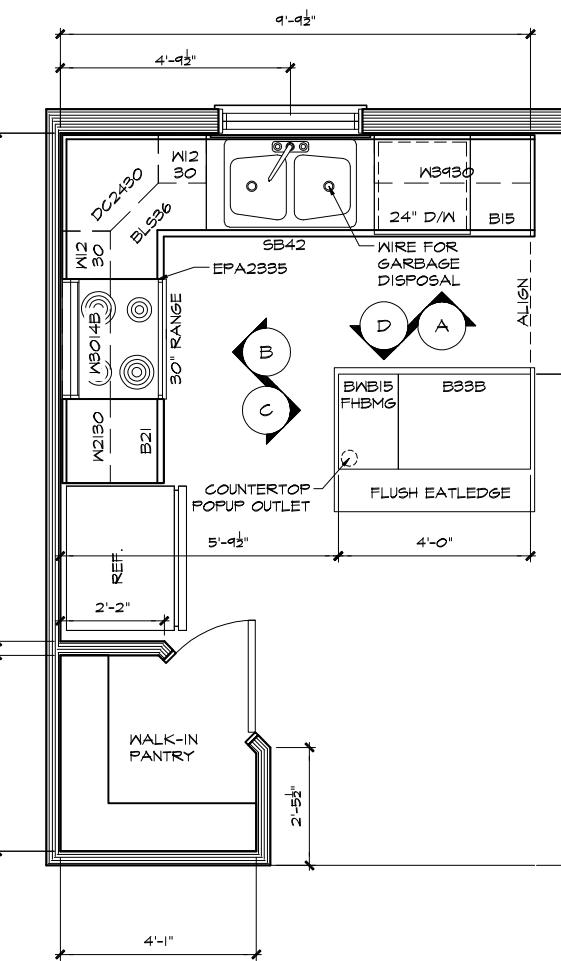
Georgetown II

JOHN & BARBAR EMIG
241 RAVENNA ST
HUDSON, OH 44236

FORM #4978
SUMMIT CO.

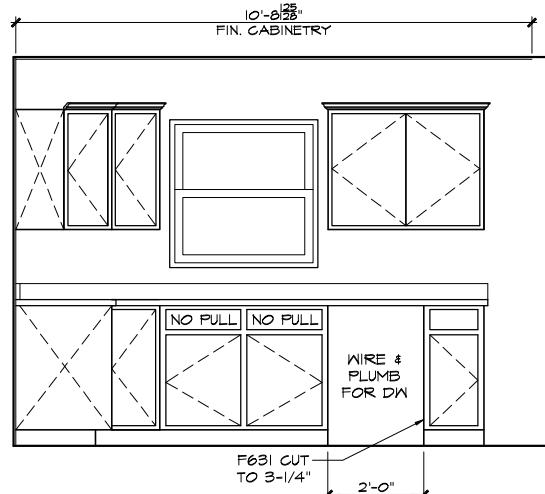
KITCHEN PLAN AND CABINETRY DETAILS

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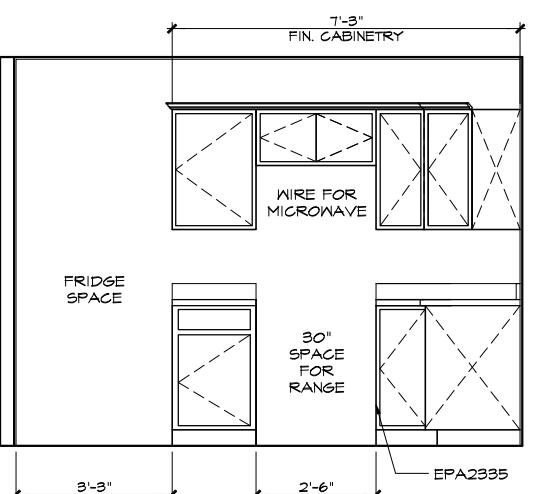


KITCHEN PLAN

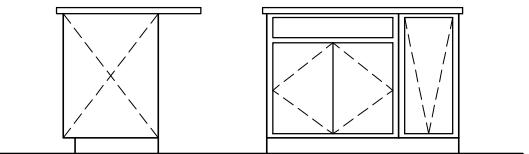
SCALE: 1/4" = 1'-0"



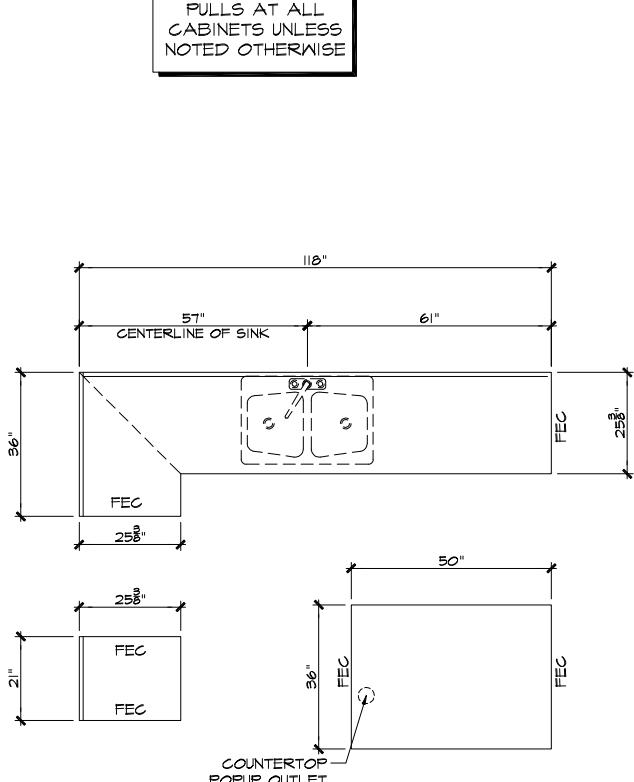
CABINET ELEVATION



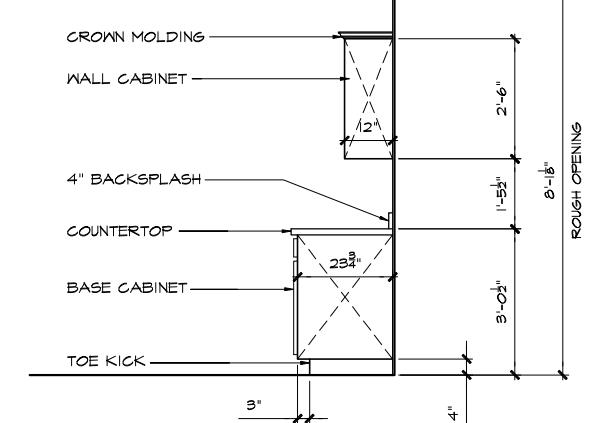
CABINET ELEVATION



CABINET ELEVATION



COUNTERTOP LAYOUTS



CABINET SECTION

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Look Alike Map























11.

